



**North Liberty
Planning
Commission
Meeting Information**

Tuesday, July 5, 2016

6:30 PM

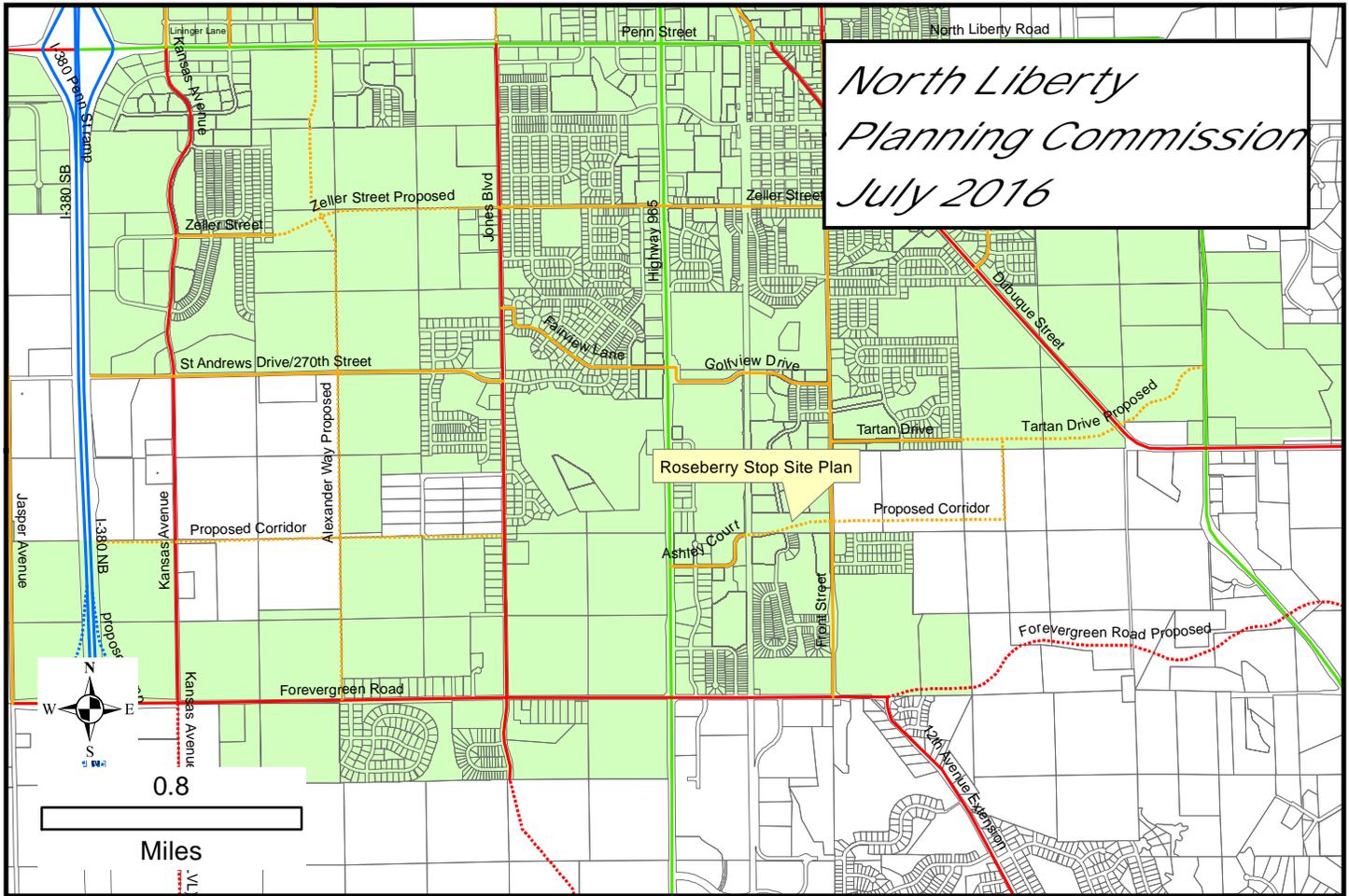
City Council Chambers

If you would like additional information, larger-scale maps, or other information before the meeting, please contact Dean Wheatley at 626-5747 or at dwheatley@northlibertyiowa.org



NORTH LIBERTY PLANNING COMMISSION
MEETING NOTICE AND AGENDA
Tuesday, July 5, 2016, 6:30 PM

- 1. ROLL CALL**
- 2. AGENDA APPROVAL**
- 3. SITE PLAN:** Request of Francis and Christine Lenane to approve a site plan for multi-family condominium development on South Front Street, proposed Lot 1 Roseberry Stop subdivision.
 - a. Staff Presentation
 - b. Applicants Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council
- 4. APPROVAL OF PREVIOUS MINUTES**
- 5. OLD BUSINESS**
- 6. NEW BUSINESS**
- 7. ADJOURNMENT**





June 28, 2016

Memo

To: North Liberty Planning Commission
From: Dean Wheatley, Planning Director
Subject: Site Plan Approval Request
(Proposed lot 1, Roseberry Stop)

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Tom Palmer, City Building Official
Scott Peterson, City Attorney
Kevin Trom, City Engineer
Dean Wheatley, Planning Director

This request from Francis and Christine Lenane to approve a site plan for multi-family property located on the west side of South Front Street, just north of Creekside Commons condominiums. The zoning is RM-8 PAD, multi-family, and this site is part of a larger overall property that extends west to the CRANDIC railroad. Muddy Creek bisects the larger Lenane property north to south, and the creek and timber are immediately west of the proposed condominiums.

A site plan was previously approved for this location some time ago but has since expired, and this plan is very similar but updated where necessary to meet current ordinance requirements. That plan had 19 smaller units on this same site now proposed for 16 units, and did not include sidewalks or extra parking found on the new plan. Visually, this site will lay out much like the Creekside Commons development to the south. Zoning Ordinance requirements are met.

The buildings are an attractive rowhouse design with generous windows, roofline changes, offsets, masonry, and porches, and will be an asset in the area.

Staff recommends approval of the site plan.

Notes:

A Preliminary Plat Agreement has been approved by Council for the subdivision.

A BMP maintenance agreement is required.

PAD SITE PLAN ROSEBERRY STOP, LOT 1 NORTH LIBERTY, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER:
FRANCIS LENANE AND
CHRISTINE WOHLFORD-LENANE
2797 S. FRONT STREET
NORTH LIBERTY, IA 52317

SUBDIVIDER:
FRANK LENANE
2797 S. FRONT STREET
NORTH LIBERTY, IA 52317

SUBDIVIDERS ATTORNEY:
MICHAEL J. PUGH
1100 SIXTH STREET, SUITE 102
CORALVILLE, IA 52241

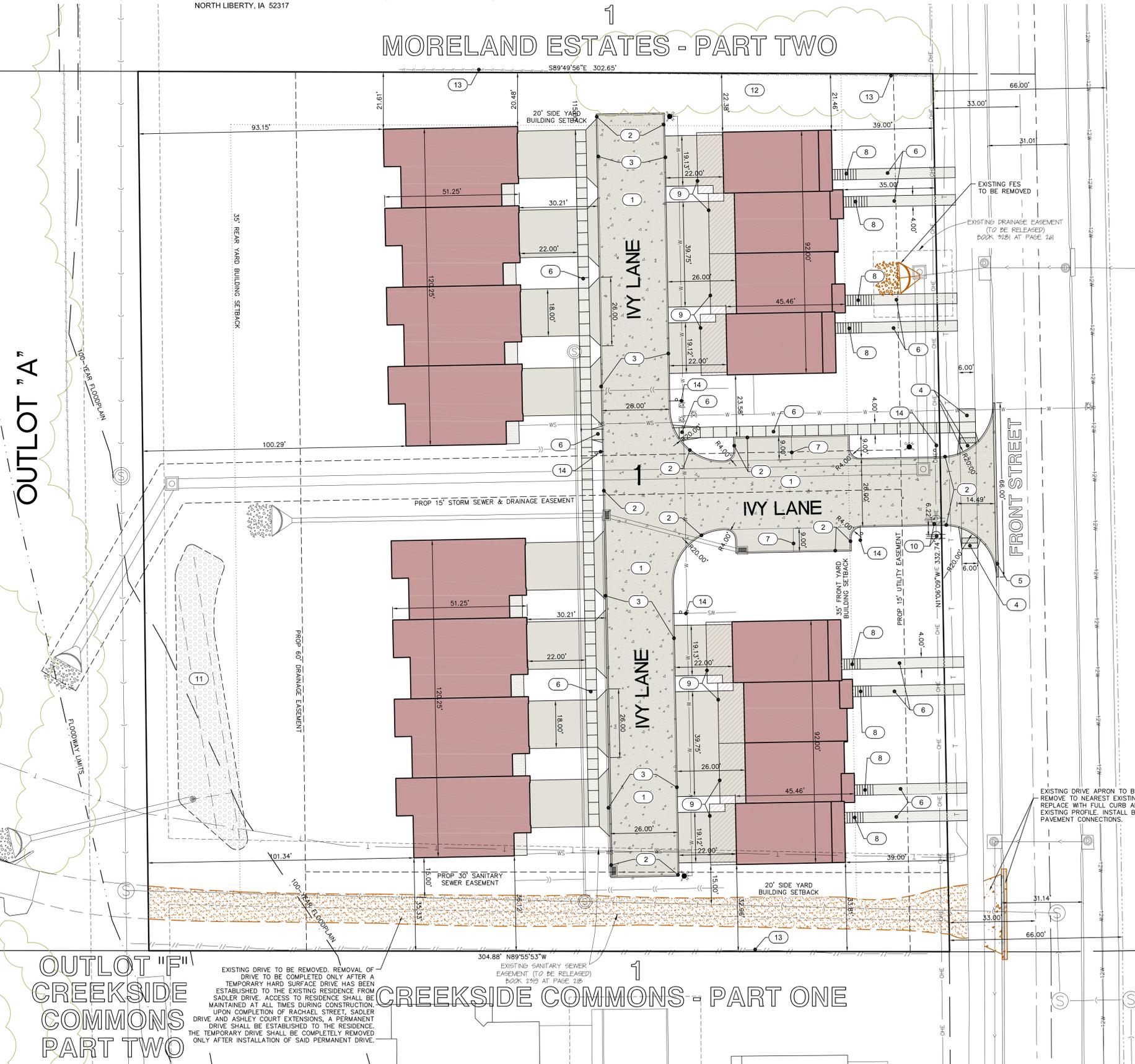


PAVEMENT LEGEND	
	7" PCC (1,240 SF)
	5" PCC (948 SY)
	4" PCC SIDEWALK (340 SY)

MORELAND ESTATES - PART TWO

IVY LANE

CREEKSIDE COMMONS - PART ONE



LEGAL DESCRIPTION
LOT 1, ROSEBERRY STOP, CONTAINING 2.07 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

ADDRESS
NOT ASSIGNED

APPLICANT
FRANCIS AND CHRISTINE LENANE
2797 S. FRONT STREET
NORTH LIBERTY, IA 52317

DEVELOPMENT CHARACTERISTICS
CURRENT ZONING: RM-8 PAD
REQUESTED LAND USE: RESIDENTIAL MULTI-FAMILY
LOT AREA: 101,132 SF (2.32 ACRES)

SETBACK REQUIREMENTS	REQUIRED	PROPOSED
BUILDING SETBACKS:		
FRONT YARD	45 FEET	45 FEET (SEE PLAN)
SIDE YARD	20 FEET	20 FEET
REAR YARD	35 FEET	35 FEET
PARKING SETBACKS:		
FRONT SIDE	10 FEET	10 FEET
REAR	5 FEET	5 FEET

MINIMUM LOT REQUIREMENTS
LOT FRONTAGE: 75 FEET
LOT WIDTH: 100 FEET
LOT AREA: 21,780 SQUARE FEET; (5,000 PER DWELLING UNIT) 40 FEET OR 3 STORIES

LOT CHARACTERISTICS
LOT AREA: 101,132 SF (100%) (2.32 AC)
BUILDING AREA PROPOSED: 17,028 SF (16.8%)
PAVING AREA PROPOSED: 22,752 SF (22.5%)
GREEN SPACE AREA: 61,352 SF (60.7%)

BUILDING FOOTPRINT CHARACTERISTICS:
2 - PROPOSED 4-PLEX BUILDINGS @ 3,744 SF (TOTAL 7,488 SF)
2 - PROPOSED 4-PLEX BUILDINGS @ 5,512 SF (TOTAL 11,024 SF)

PARKING REQUIREMENTS:
PROPOSED RESIDENTIAL: 2.2 / DU
16 DU X 2.2 = 35.2
TOTAL PARKING REQUIRED = 36 SPACES

PROPOSED PARALLEL PARKING SPACES = 4
PROPOSED DRIVEWAY PARKING SPACES = 32
PROPOSED GARAGE SPACES = 32

TOTAL PARKING PROVIDED = 68 SPACES

ALL GROUND MOUNTED MECHANICAL UNITS, TELEPHONE PEDESTALS AND LIGHT FIXTURES SHALL BE SCREENED WITH LANDSCAPING, (SEE SHEET 4).

SNOW STORAGE FOR THE SITE CAN BE PROVIDED AT THE NORTH AND SOUTHERN ENDS OF THE PROPOSED RESIDENTIAL UNITS AND ADJACENT TO THE SOUTHERN PARALLEL PARKING SPACES.

NOTE: EACH DWELLING UNIT TO HAVE INDIVIDUAL CURB SIDE GARBAGE PICK-UP

NUMBER	KEYNOTE	DETAIL
1	INSTALL DRIVE PER DETAIL (THICKNESS AND MATERIAL AS NOTED)	1 / 6
2	INSTALL 6" STANDARD CURB	2 / 6
3	INSTALL 3" ROLL CURB	3 / 6
4	INSTALL 6" P.C.C. SIDEWALK AND CURB RAMPS PER NORTH LIBERTY MUNICIPAL DESIGN STANDARDS AND ADA REQUIREMENTS	4 / 6
5	GRIND EXISTING CURB TO ALLOW FOR PROPOSED DRIVE CONNECTION; REFER TO SUDAS CONNECTION DETAIL	
6	INSTALL 4" P.C.C. SIDEWALK AND CURB RAMPS	
7	4" WIDE PAVEMENT MARKINGS (TYP.)	
8	INSTALL STAIRS W/ HANDRAIL (RISERS AS REQUIRED; COORDINATE WITH ARCHITECTURAL PLANS)	
9	BUILDING DECK LINE ABOVE	
10	OVERHEAD ELECTRIC POWER POLE TO BE RELOCATED BY OTHERS; COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITIES TAKING PLACE	
11	PROPOSED BIO-CELL	5 / 6
12	PROTECT EXISTING TREES	
13	PROTECT EXISTING FENCE	
14	INSTALL "NO PARKING" SIGN	

STANDARD LEGEND AND NOTES	
	PROPERTY &/OR BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	EXISTING POWER POLE
	PROPOSED POWER POLE
	EXISTING POWER POLE W/DRP
	PROPOSED POWER POLE W/TRANS
	EXISTING POWER POLE W/LIGHT
	PROPOSED POWER POLE W/LIGHT
	EXISTING GUY POLE
	PROPOSED GUY POLE
	EXISTING LIGHT POLE
	PROPOSED LIGHT POLE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING DRAINAGE MANHOLE
	PROPOSED DRAINAGE MANHOLE
	EXISTING CURB INLET
	PROPOSED CURB INLET
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING WATER LINES
	PROPOSED WATER LINES
	EXISTING ELECTRICAL LINES
	PROPOSED ELECTRICAL LINES
	EXISTING TELEPHONE LINES
	PROPOSED TELEPHONE LINES
	EXISTING GAS LINES
	PROPOSED GAS LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREE & SHRUB

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

SHEET INDEX
1 SITE LAYOUT AND DIMENSION PLAN
2 SITE GRADING PLAN AND SWPPP
3 SITE UTILITY PLAN - PRIVATE
4 STORM SEWER PLAN - PUBLIC
5 SITE LANDSCAPE PLAN
6 GENERAL NOTES AND DETAILS

2.32 AC

CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
04/21/16	PER CITY COMMENTS - NPB
06/10/16	PER CITY COMMENTS - BTM
06/21/16	PER CITY COMMENTS - BTM

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

SERVICE	SUPPLIER	PHONE NO.
COMMUNICATIONS	SOUTH SLOPE COOPERATIVE ATTN: BRIAN FRIESE	319-227-7111
COMMUNICATIONS	MEDIACOM ATTN: KEVIN FOUNTAIN	319-351-0408
COMMUNICATIONS	UNITE PRIVATE NETWORKS, LLC ATTN: CLARK LUNDY	515-321-3356
NATURAL GAS	MIDAMERICAN ENERGY ATTN: DONALD MASTON	319-341-4461
ELECTRIC	LINN COUNTY REC ATTN: JOHNA NUNEMAKER	319-377-1587
	CITY OF NORTH LIBERTY ATTN: MIKE KEATING	319-626-5719

I hereby certify that this engineering document was prepared by me or under my direct supervision and I am a duly licensed Professional Engineer under the laws of the State of Iowa.

KELLY J. BECKLER
14624
P.E. Iowa Lic. No. 14624

My license renewal date is October 31, 20...
These sheets covered by this seal:

ROSEBERRY STOP, LOT 1
NORTH LIBERTY, IOWA

LOCATION MAP
NOT TO SCALE

1
of 6

SITE LAYOUT AND DIMENSION PLAN

ROSEBERRY STOP

NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.
Date: MARCH 31, 2016
Designed by: BTM
Drawn by: BTM
Checked by: KJB
Project No: IOWA CITY 9896002

Field Book No: 1123 & 1132
Scale: 1" = 20'
Sheet No: 1

PAD SITE PLAN ROSEBERRY STOP, LOT 1 NORTH LIBERTY, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER:
FRANCIS LENANE AND
CHRISTINE WOHLFORD-LENANE
2797 S. FRONT STREET
NORTH LIBERTY, IA 52317

SUBDIVIDER:
FRANK LENANE
2797 S. FRONT STREET
NORTH LIBERTY, IA 52317

SUBDIVIDERS ATTORNEY:
MICHAEL J. PUGH
1100 SIXTH STREET, SUITE 102
CORALVILLE, IA 52241



GRADING LEGEND

- 000.00EX = EXISTING SURFACE
- 000.00TS = TOP SLAB
- 000.00TW = TOP WALK
- 000.00TC = TOP CURB
- 000.00TR = TOP RIM
- 000.00WB = BOTTOM WALL
- 000.00WT = TOP WALL

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.
WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEY AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



EROSION CONTROL LEGEND

- SILT FENCE/FILTER SOCK
- PERIMETER SILT FENCE
- TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT
- TEMPORARY SOIL STOCKPILE AREA
- TEMPORARY PARKING AND STORAGE
- CONCRETE TRUCK/EQUIPMENT WASHOUT
- PORTABLE RESTROOM
- DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)
- FILTER SOCK INLET PROTECTION
- FILTER SOCK BEHIND CURB AT CURB RAMP

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER



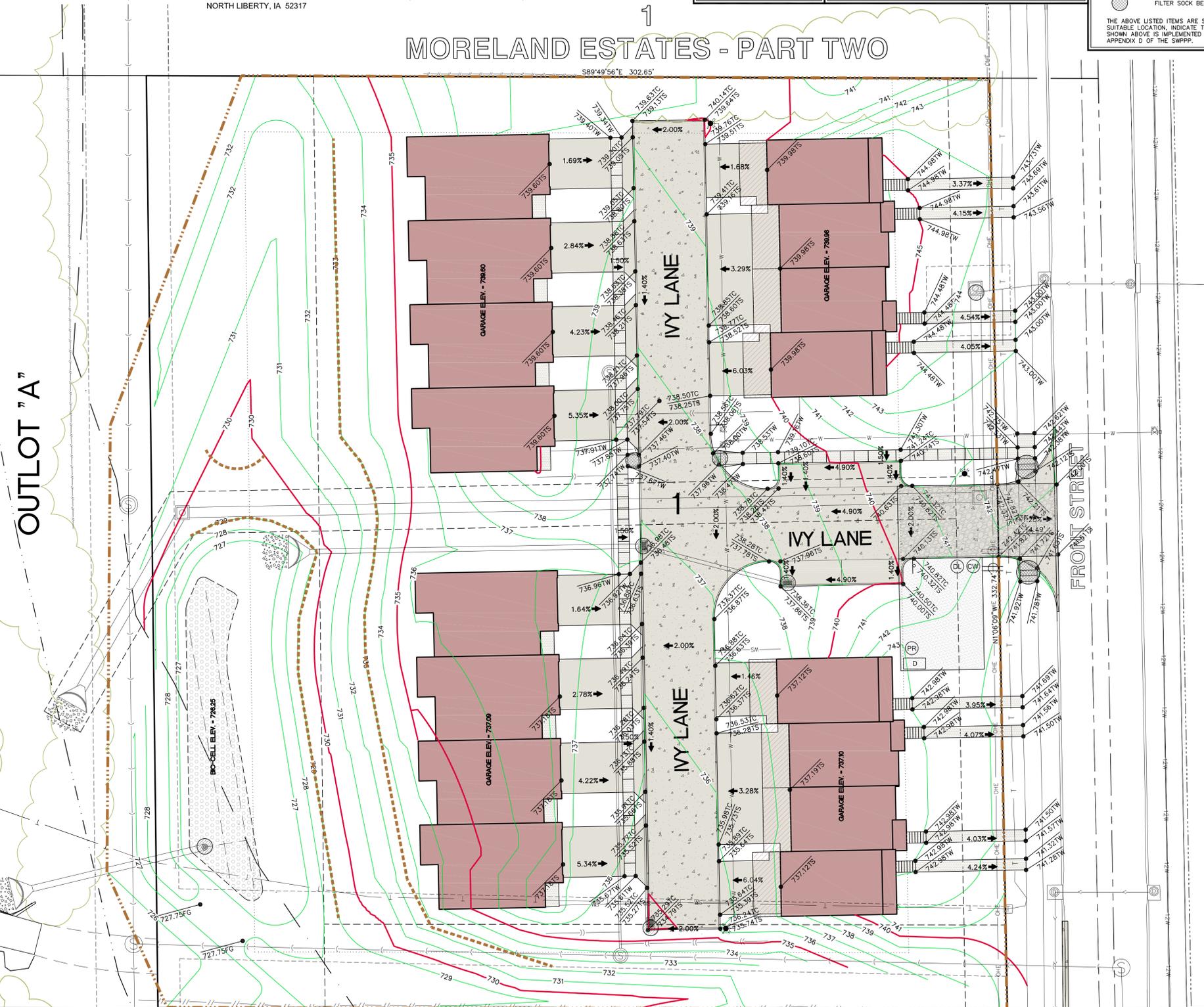
CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS
1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

MORELAND ESTATES - PART TWO

OUTLOT "A"

OUTLOT "F"
CREEKSIDE COMMONS
PART TWO

CREEKSIDE COMMONS - PART ONE



GRADING NOTES

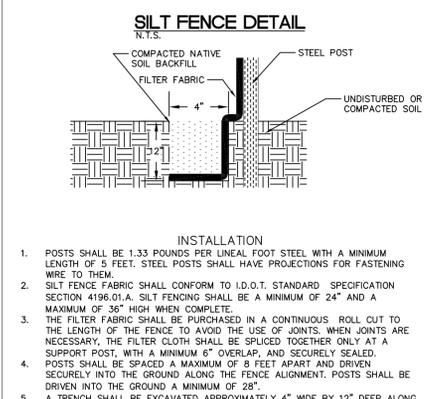
- MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3.5% HORIZONTAL TO 1% VERTICAL.
- NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- COMPACTION TO BE 95% STANDARD PROCTOR WHERE > 6:1 SLOPE.
- ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH CITY OF NORTH LIBERTY DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.
- A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED OVER ALL DISTURBED LANDSCAPE AREAS.

STABILIZATION SEEDING

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH I.D.O.T. STANDARD SPECIFICATION SECTION 2601.03 STABILIZING CROP SEEDING AND FERTILIZING. SEED MIXTURES SHALL BE ONE OF THE FOLLOWING:

SPRING - MARCH 1 TO MAY 20	2 BUSHEL PER ACRE OAT
	25 LBS. PER ACRE RED CLOVER
	5 LBS. PER ACRE TIMOTHY
SUMMER - MAY 21 TO JULY 20	3 BUSHEL PER ACRE OAT
	35 LBS. PER ACRE RED CLOVER
	5 LBS. PER ACRE TIMOTHY
FALL - JULY 21 TO SEPTEMBER 30	2 BUSHEL PER ACRE OAT
	35 LBS. PER ACRE RED CLOVER
	5 LBS. PER ACRE TIMOTHY

FERTILIZER SHALL BE APPLIED AT A RATE OF 450 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13 FERTILIZER.



GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 2.07 ACRES
TOTAL AREA TO BE DISTURBED: 2.07 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

MAINTENANCE

- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT OF 0.5 INCHES OR MORE. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
- SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

**ROSEBERRY STOP, LOT 1
NORTH LIBERTY, IOWA**

LOCATION MAP
NOT TO SCALE

NOTES:

- ALL ELEVATIONS ARE TOP OF SLAB UNLESS NOTED OTHERWISE.
- FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.

SITE GRADING PLAN AND SWPPP

ROSEBERRY STOP

NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.
Date: MARCH 31, 2016
Designed by: BTM
Drawn by: BTM
Checked by: KJB
Project No: IOWA CITY 9896002
Field Book No: 1123 & 1132
Scale: 1" = 20'
Sheet No: 2
of: 6

PAD SITE PLAN ROSEBERRY STOP, LOT 1 NORTH LIBERTY, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

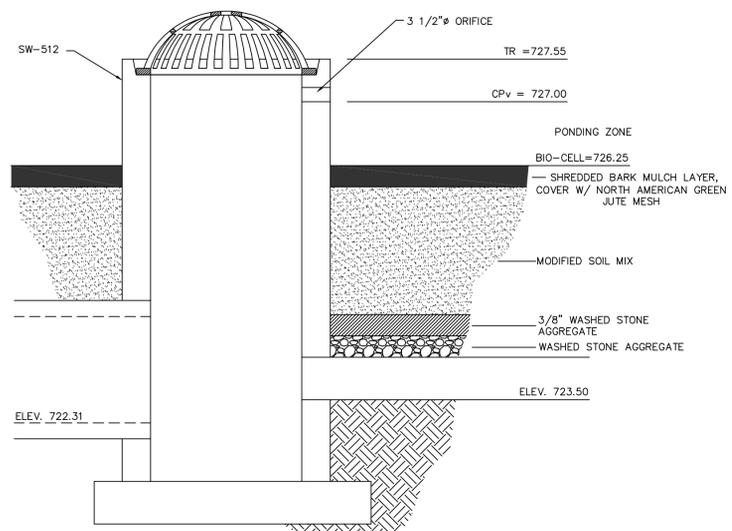
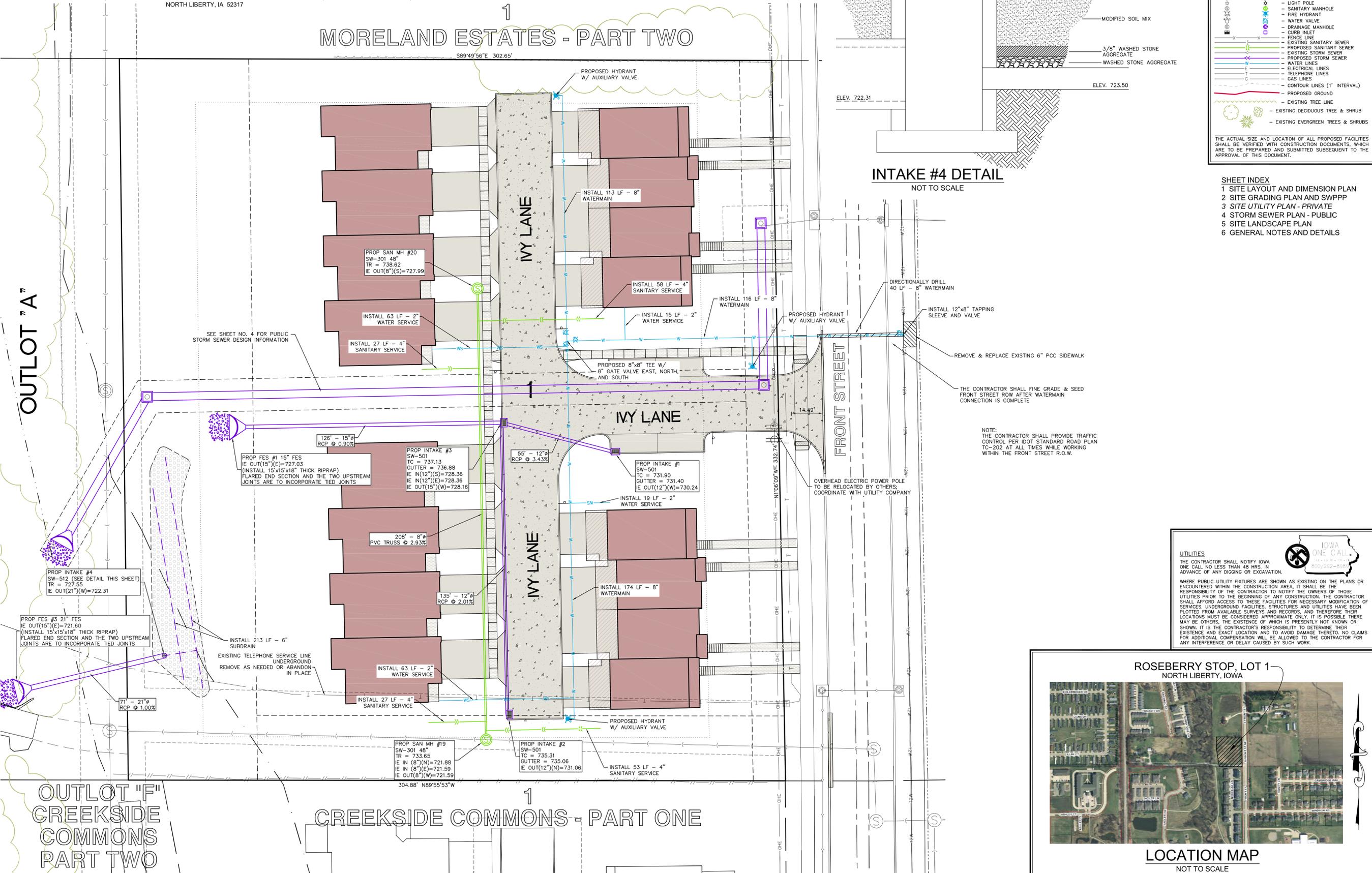
OWNER:
FRANCIS LENANE AND
CHRISTINE WOHLFORD-LENANE
2797 S. FRONT STREET
NORTH LIBERTY, IA 52317

SUBDIVIDER:
FRANK LENANE
2797 S. FRONT STREET
NORTH LIBERTY, IA 52317

SUBDIVIDERS ATTORNEY:
MICHAEL J. PUGH
1100 SIXTH STREET, SUITE 102
CORALVILLE, IA 52241



1
MORELAND ESTATES - PART TWO



STANDARD LEGEND AND NOTES

---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	22-1

EXIST	POWER POLE
EXIST	POWER POLE W/DROP
EXIST	POWER POLE W/TRANS
EXIST	POWER POLE W/LIGHT
EXIST	GUY POLE
EXIST	LIGHT POLE
EXIST	SANITARY MANHOLE
EXIST	FIRE HYDRANT
EXIST	WATER VALVE
EXIST	DRAINAGE MANHOLE
EXIST	CURB INLET
EXIST	FENCE LINE
EXIST	EXISTING SANITARY SEWER
EXIST	PROPOSED SANITARY SEWER
EXIST	EXISTING STORM SEWER
EXIST	PROPOSED STORM SEWER
EXIST	WATER LINES
EXIST	ELECTRICAL LINES
EXIST	TELEPHONE LINES
EXIST	GAS LINES
EXIST	CONTOUR LINES (1' INTERVAL)
EXIST	PROPOSED GROUND
EXIST	EXISTING TREE LINE
EXIST	EXISTING DECIDUOUS TREE & SHRUB
EXIST	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

SHEET INDEX

1	SITE LAYOUT AND DIMENSION PLAN
2	SITE GRADING PLAN AND SWPPP
3	SITE UTILITY PLAN - PRIVATE
4	STORM SEWER PLAN - PUBLIC
5	SITE LANDSCAPE PLAN
6	GENERAL NOTES AND DETAILS

2.32 AC

CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
04/21/16	PER CITY COMMENTS - NPB
06/10/16	PER CITY COMMENTS - BTM
06/21/16	PER CITY COMMENTS - BTM

SITE UTILITY PLAN - PRIVATE

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

ROSEBERRY STOP

NORTH LIBERTY
JOHNSON COUNTY
IOWA

ROSEBERRY STOP, LOT 1 NORTH LIBERTY, IOWA

LOCATION MAP
NOT TO SCALE

MMS CONSULTANTS, INC.

Date: MARCH 31, 2016

Designed by: BTM Field Book No: 1123 & 1132

Drawn by: BTM Scale: 1" = 20'

Checked by: KJB Sheet No: 3

Project No: IOWA CITY 9896002 of 6

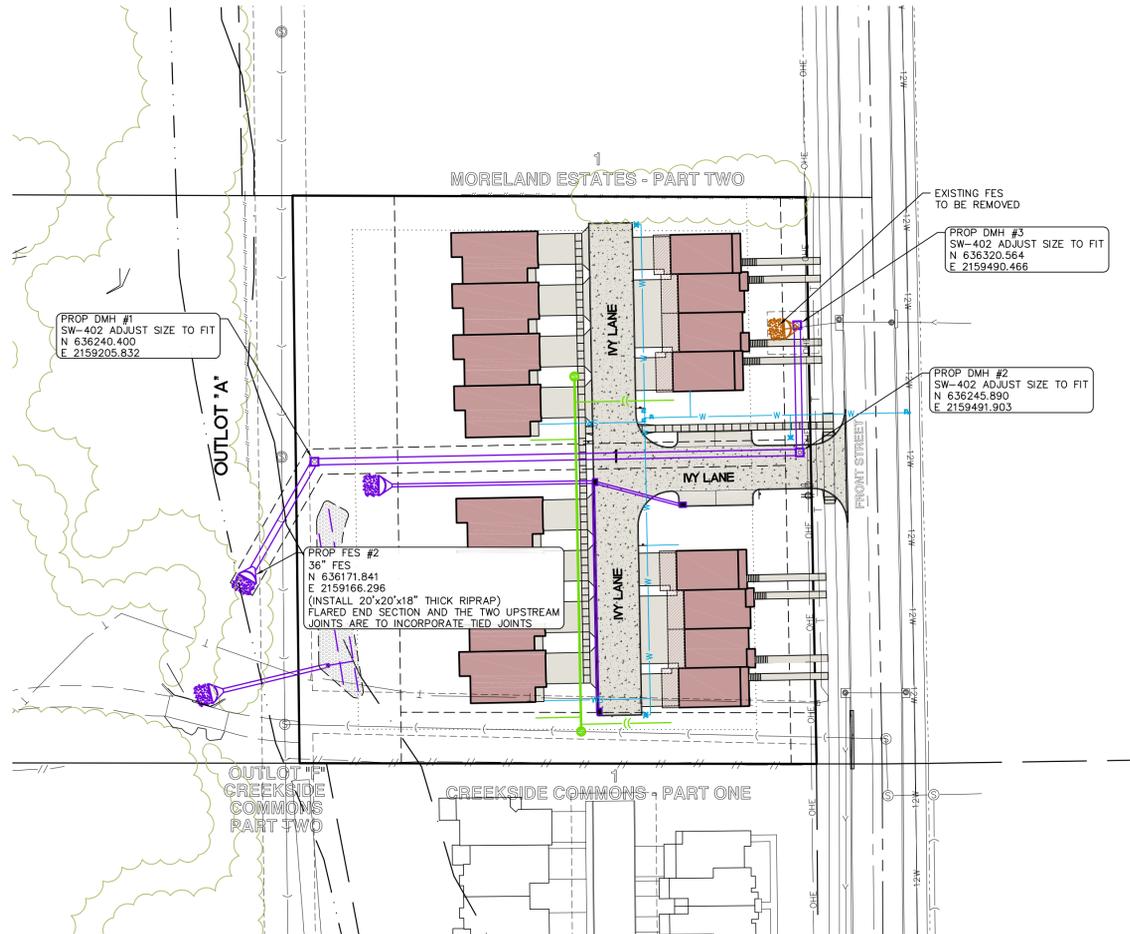
PAD SITE PLAN ROSEBERRY STOP, LOT 1 NORTH LIBERTY, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER:
FRANCIS LENANE AND
CHRISTINE WOHLFORD-LENANE
2797 S. FRONT STREET
NORTH LIBERTY, IA 52317

SUBDIVIDER:
FRANK LENANE
2797 S. FRONT STREET
NORTH LIBERTY, IA 52317

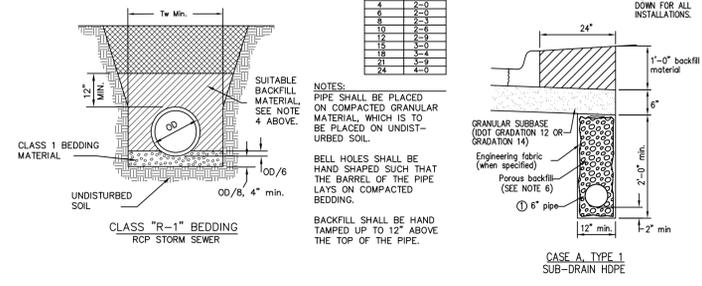
SUBDIVIDERS ATTORNEY:
MICHAEL J. PUGH
1100 SIXTH STREET, SUITE 102
CORALVILLE, IA 52241



STORM SEWER AND SUB-SURFACE CONSTRUCTION NOTES

- ALL STORM SEWER AND SUB-SURFACE CONSTRUCTION SHALL CONFORM TO PLANS AND DETAILS PREPARED FOR THIS PROJECT BY MMS CONSULTANTS, INC., AS WELL AS CONFORM TO THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL. CONSTRUCTION SHALL ALSO CONFORM TO THE CURRENT CITY OF NORTH LIBERTY DESIGN STANDARDS, WHICH SHALL SUPERSEDE PLANS AND DETAILS PROVIDED BY MMS CONSULTANTS.
- ALL STORM SEWER INTAKE AND MANHOLE LIDS SHALL HAVE THE WORDS "STORM SEWER" CAST INTO THE LID.
- ALL REINFORCED CONCRETE PIPE STORM SEWER SHALL BE CLASS III UNLESS NOTED OTHERWISE IN THE PLANS.
- ALL REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO SUDAS SPECIFICATION 4020.2.01.A WITH THE FOLLOWING ADDITIONAL RESTRICTIONS: ALL RCP JOINTS FOR 36" AND SMALLER PIPE SHALL HAVE TONGUE AND GROOVE JOINTS INCORPORATING RUBBER "O"-RING OR PROFILE GASKETS COMPLYING WITH ASTM C443 OR SHALL BE TONGUE AND GROOVE WITH ALL JOINTS WRAPPED WITH FILTER FABRIC A MINIMUM OF 24" WIDE.
- RCP PIPE BEDDING SHALL CONFORM TO SUDAS FIGURE 3010.102 CLASS R-1. CLASS 1 BEDDING MATERIAL SHALL BE AS SPECIFIED IN SUDAS SPECIFICATION 3010.2.02.A. TRENCH BACKFILL SHALL BE SUITABLE EXCAVATED MATERIAL AS IDENTIFIED IN SUDAS SPECIFICATION 3010.2.01.A PLACED AND COMPACTED IN ACCORDANCE WITH SECTIONS 3.05, D AND E. THE OWNER MAY ELECT TO TEST TRENCH COMPACTION AT THEIR OWN EXPENSE.
- SUB-SURFACE DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) CONFORMING TO SUDAS SPECIFICATION 4040.2.02.C FOR BOTH PERFORATED TILE AND SOLID WALL PIPE.
- FOR SUB-SURFACE DRAINAGE IN TURF AREAS HDPE PIPE BEDDING SHALL CONFORM TO SUDAS FIGURE 3010.103 CLASS F-3. BEDDING MATERIAL SHALL BE POROUS BACKFILL MATERIAL AS SPECIFIED IN SUDAS SPECIFICATION 4040.2.04. TRENCH BACKFILL SHALL BE SUITABLE EXCAVATED MATERIAL AS IDENTIFIED IN SUDAS SPECIFICATION 3010.2.01.A PLACED AND COMPACTED IN ACCORDANCE WITH SECTIONS 3.05 D AND E.
- FOR SUB-SURFACE DRAINAGE UNDER PAVEMENT HDPE PIPE INSTALLATION SHALL CONFORM TO SUDAS FIGURE 4040.2.01, CASE C TYPE 1. BEDDING AND BACKFILL MATERIAL SHALL BE AS SPECIFIED IN SUDAS SPECIFICATION 4040.2.04.
- AT LOCATIONS WHERE A FLARED END SECTION IS REQUIRED, THE PIPE LENGTHS SHALL BE MEASURED TO THE END OF THE FLARED END. THE FLARED END SECTION AND THE TWO UPSTREAM JOINTS ARE TO INCORPORATE TIED JOINTS.
- ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE PROPOSED STORM SEWER. NOTIFY ENGINEER OF ALL FIELD TILES ENCOUNTERED.
- CONTRACTOR SHALL PROVIDE A FIVE-YEAR MAINTENANCE BOND COVERING DEFECTIVE MATERIALS AND WORKMANSHIP FOR ALL STORM SEWER SYSTEM IMPROVEMENTS.

ID INCHES	FEET INCHES
4	2-0
6	2-3
8	2-3
12	2-3
15	3-4
18	3-4
24	4-0



STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

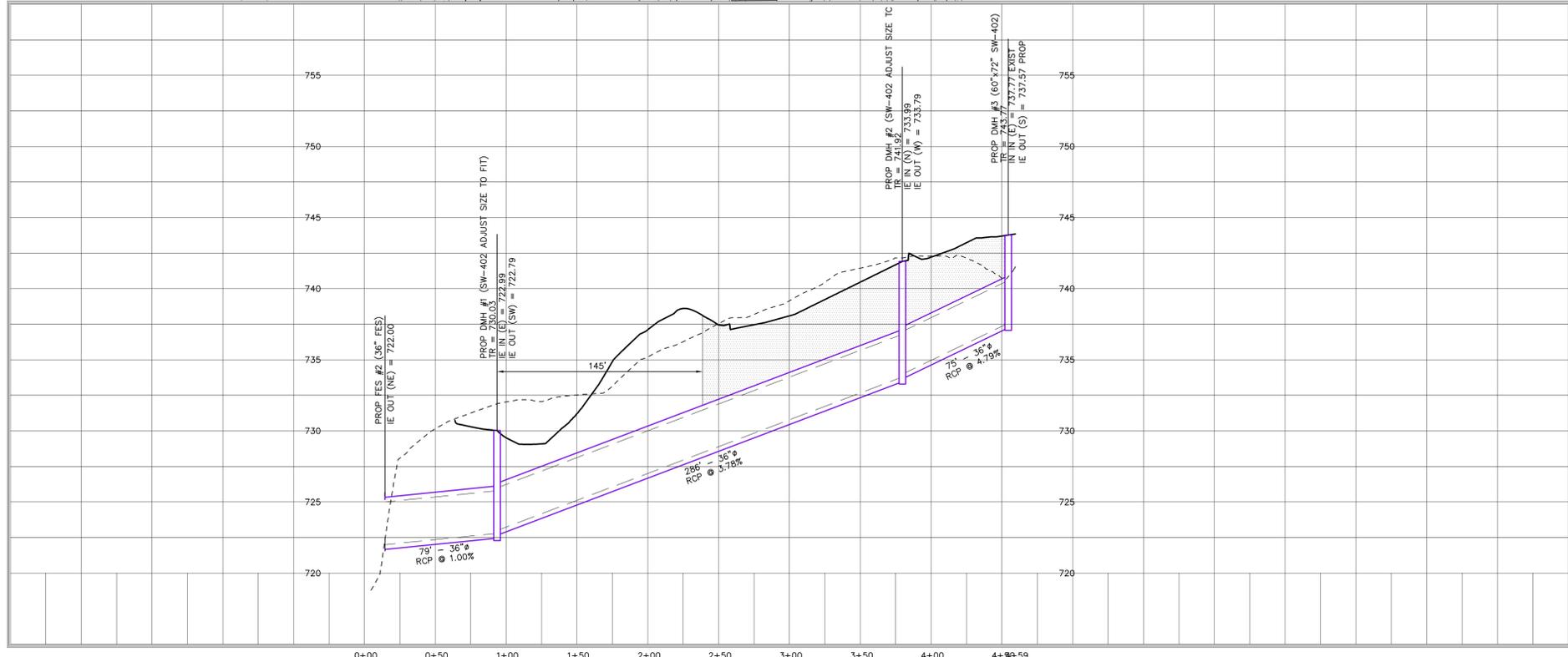
EXIST - POWER POLE, POWER POLE W/DROP, POWER POLE W/TRANS, POWER POLE W/LIGHT, GUY POLE, LIGHT POLE, SANITARY MANHOLE, FIRE HYDRANT, WATER VALVE, DRAINAGE MANHOLE, CURB INLET, FENCE LINE, EXISTING SANITARY SEWER, PROPOSED SANITARY SEWER, EXISTING STORM SEWER, PROPOSED STORM SEWER, WATER LINES, ELECTRICAL LINES, TELEPHONE LINES, GAS LINES, CONTOUR LINES (1' INTERVAL), PROPOSED GROUND, EXISTING TREE LINE, EXISTING DECIDUOUS TREE & SHRUB, EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

- ### SHEET INDEX
- SITE LAYOUT AND DIMENSION PLAN
 - SITE GRADING PLAN AND SWPPP
 - SITE UTILITY PLAN - PRIVATE
 - STORM SEWER PLAN - PUBLIC
 - SITE LANDSCAPE PLAN
 - GENERAL NOTES AND DETAILS

Date	Revision
04/21/16	PER CITY COMMENTS - NPB
06/10/16	PER CITY COMMENTS - BTM
06/21/16	PER CITY COMMENTS - BTM

NOTE:
SEE SHEET NO. 3 (SITE UTILITY PLAN - PRIVATE)
FOR PRIVATE UTILITIES DESIGN INFORMATION



UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

ROSEBERRY STOP, LOT 1 NORTH LIBERTY, IOWA

LOCATION MAP

NOT TO SCALE



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

STORM SEWER PLAN - PUBLIC

ROSEBERRY STOP

NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: **MARCH 31, 2016**

Designed by: BTM Field Book No: 1123 & 1132

Drawn by: BTM Scale: 1" = 50'

Checked by: KJB Sheet No: **4**

Project No: IOWA CITY 9896002 of: 6

PAD SITE PLAN ROSEBERRY STOP, LOT 1 NORTH LIBERTY, IOWA



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER:
FRANCIS LENANE AND
CHRISTINE WOHLFORD-LENANE
2797 S. FRONT STREET
NORTH LIBERTY, IA 52317

SUBDIVIDER:
FRANK LENANE
2797 S. FRONT STREET
NORTH LIBERTY, IA 52317

SUBDIVIDERS ATTORNEY:
MICHAEL J. PUGH
1100 SIXTH STREET, SUITE 102
CORALVILLE, IA 52241



TREE REQUIREMENTS:
1 TREE / 750 SF MULTI-FAMILY BUILDING FOOTPRINT
17,028 @ 1/750 SF = 23 TREES
TOTAL TREES REQUIRED = 23 TREES
TOTAL TREES PROVIDED = 23 TREES

MORELAND ESTATES - PART TWO

IVY LANE

CREEKSIDE COMMONS - PART ONE

OUTLOT "A"

OUTLOT "F"
CREEKSIDE COMMONS
PART TWO

PLANT LIST - TREES

QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
5	CC	CERCIS CANADENSIS	EASTERN REDBUD	1 1/2" GAL	D & D	25' X 25'
6	CA	CORNUS ALTERNIFOLIA	PANCHOA DOGWOOD	1 1/2" GAL	D & D	20' X 20'
6	AH	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	8" HT.	D & D	25' X 25'
6	CF	CORNUS FLORIDA	FLOWERING DOGWOOD	1 1/2" GAL	D & D	20' X 20'

PLANT LIST - SHRUBS, PERENNIALS, ORNAMENTAL GRASSES & GROUNDCOVER

QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
6	VG	VIORNUM TRILOBUM COMPACTA	COMPACT VIBURNUM	15" HT.	CONT.	5' X 5'
6	TO	THUJA OCCIDENTALIS 'WOODWARDI'	GLOBE ARBORVITAE	15" HT.	CONT.	5' X 5'

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LATER THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

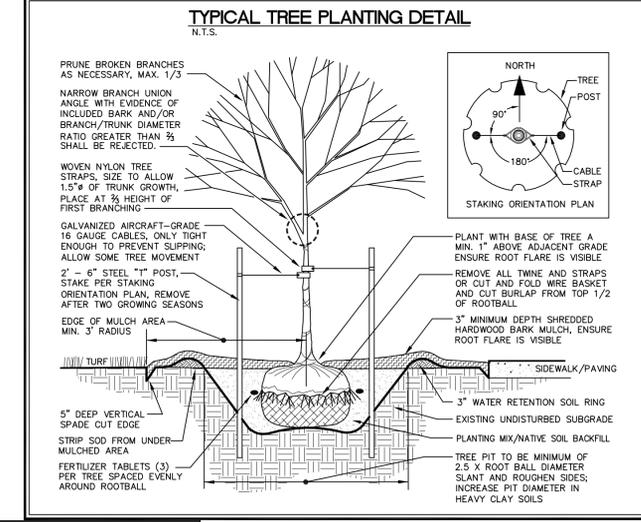
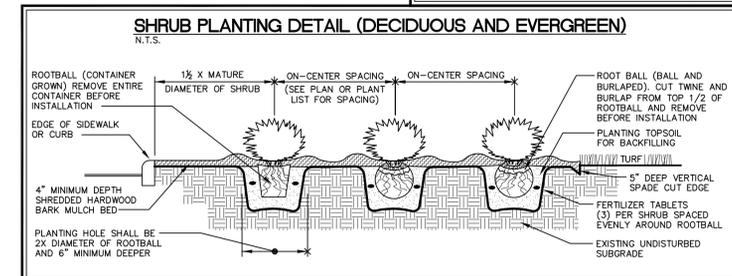
WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LATER THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



PLANT LIST - BIO-RETENTION CELL PLANTINGS

KEY	BOTANICAL NAME	COMMON NAME
G	BOULEGARDIA CURTPEPENDULA	SIDE OATS GRAMA
G	BOULEGARDIA GRACILIS	BLUE GRAMA GRASS
G	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM
G	SPOROBOLUS HETEROLEPIS	PRAIRIE BROOKSWEED
G	POELETIA MAGRANTHA	JUNE GRASS
T	SYMPHYOTRICHUM LACINIAE	SMOOTH BLUE ASTER
F	SYMPHYOTRICHUM LANCEOLATUM	WHITE PANICLE ASTER
F	ECHINACEA PURPUREA	PURPLE CONEFLOWER
F	ECHINACEA FALLOIDA	PALE PURPLE CONEFLOWER
F	MONARDA FISTULOSA	WILD BERBERANT/OSWEGO TEA/REE BALM
F	ERYNGIUM YUCCIFOLIUM	RATTLESNAKE MASTER
F	TRACHEANTHA OHIENSIS	OHIO SPRECKWORT
F	PENSTEMON DIGITALIS	FOXGLOVE BEARDTONGUE
F	LIATRIS PYGMAEOSTACHYA	PRAIRIE BLAZING STAR
F	LIATRIS SPICATA	DENSE BLAZING STAR
F	CASTILLEJA COCCINEA	INDIAN PANICGRASS
F	LOBELIA SPICATA	PALE SPIKE LOBELIA
F	PARTHENIUM INTEGRIFOLIUM	WILD QUINNE
F	ALLIUM STELLATUM	PRAIRIE ONION
F	ASCLEPIAS TUBEROSA INTERIOR	BUTTERFLY MILKWEED
F	RATIBIDA PINNATA	YELLOW CONEFLOWER
F	RUBREGIA HIRTA	BLACK-EYED SUSAN
F	RUELLIA HUMILIS	WILD PETUNIA
F	CHAMAECRISTA NICTITANS	PARTRIDGE PEA
F	ZIZIA ALBA	GOLDEN ALEXANDERS

NOTE:
1. EACH BIO RETENTION CELL SHALL BE PLANTED WITH A DIVERSE MIX OF PLUGS, FROM THE ABOVE LISTED SPECIES, WHICH SHALL INCLUDE A MINIMUM OF 3 GRASS SPECIES AND A MINIMUM OF 15 FORD SPECIES.
2. PLUGS ARE A MINIMUM INSTALLED SIZE. CONTRACTOR MAY SUBSTITUTE LARGER CONTAINER PLANTS AS NECESSARY FOR AVAILABILITY.
3. PLUGS SHALL BE SPACED AT 24" OC DIAGONALLY.

Date	Revision
04/21/16	PER CITY COMMENTS - NPB
06/10/16	PER CITY COMMENTS - BTM
06/21/16	PER CITY COMMENTS - BTM

SITE LANDSCAPE PLAN

ROSEBERRY STOP

NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: **MARCH 31, 2016**

Designed by: **BTM** Field Book No: **1123 & 1132**

Drawn by: **BTM** Scale: **1" = 20'**

Checked by: **KJB** Sheet No: **5**

Project No: **IOWA CITY 9896002** of: **6**

SHEET INDEX

- 1 SITE LAYOUT AND DIMENSION PLAN
- 2 SITE GRADING PLAN AND SWPPP
- 3 SITE UTILITY PLAN - PRIVATE
- 4 STORM SEWER PLAN - PUBLIC
- 5 SITE LANDSCAPE PLAN
- 6 GENERAL NOTES AND DETAILS



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS
1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

SANITARY SEWER AND WATER MAIN CONSTRUCTION NOTES

- *ALL SANITARY SEWER MANHOLE LIDS SHALL HAVE THE WORDS 'SANITARY SEWER' CAST IN THE LID**
- SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AS PREPARED BY MMS CONSULTANTS, INC. CONSTRUCTION SHALL ALSO CONFORM TO THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL, AND TO THE CITY OF NORTH LIBERTY STANDARDS AND APPROVED MANUFACTURERS/MODELS.
 - ALL TRENCH EXCAVATIONS SHALL BE COMPLETED IN ACCORDANCE WITH SUDAS SPECIFICATION SECTION 3010.
 - CONTRACTOR SHALL PROVIDE CLASS 1 CRUSHED STONE ENCASUREMENT BEDDING ACCORDING TO SUDAS SPECIFICATION 3010.2.02.A FOR ALL SANITARY SEWER UNLESS NOTED OTHERWISE ON THE PLANS.
 - SANITARY SEWERS TO BE PVC TRUSS PIPE (SUDAS 4010.2.01.E) UNLESS NOTED OTHERWISE. SANITARY SEWER SERVICE LINES SHALL BE PVC, SDR 23.5 WITH GASKETED JOINTS (SUDAS 4010.2.04.C).
 - CONTRACTOR TO PROVIDE CLOW "BAND-SEAL" COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
 - WATER MAINS SHALL BE OR-18 PVC PIPE, IN COMPLIANCE WITH SUDAS SPECIFICATION SECTION 5010.2.01, UNLESS NOTED OTHERWISE ON THE PLANS.
 - ALL CLASS 52 DIP SHALL BE WRAPPED WITH 8 MIL. POLYETHYLENE WRAP IN COMPLIANCE WITH SUDAS 5010.3.05.
 - #12 AWG SOLID COPPER TRACER WIRE SHALL BE INSTALLED ALONG ENTIRE LENGTH OF NEW WATER MAIN, IN COMPLIANCE WITH SUDAS SPECIFICATION 5010.3.06 AND FIGURE 5010.102. THIN INSULATION IN YELLOW, ORANGE OR BLUE.
 - SANITARY SEWER TRENCHES SHADOED ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% STANDARD PROCTOR DENSITY:
 - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED. *REFER TO SUDAS SPECIFICATION 3010.2.01 FOR UNSUITABLE MATERIAL*
 - GRANULAR TRENCH BACKFILL SHALL BE CLASS 1 CRUSHED STONE CONFORMING TO SUDAS SPECIFICATION 3010.2.02.A. COMPACT TO 95% STANDARD PROCTOR DENSITY.
 - WATER MAINS WITHIN STREET RIGHT OF WAYS OR WITHIN EASEMENTS ADJACENT TO THE STREET RIGHT OF WAYS SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% STANDARD PROCTOR DENSITY:
 - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
 - ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
 - ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED:
 - TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
 - TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.

THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED, ACCORDING TO SUDAS SPECIFICATION 5010.3.07:
 - WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
 - WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
 - VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
 - WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10-FOOT OF THE POINT OF CROSSING.
 - NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
 - WATER MAIN SHADOED ON PLAN VIEW, AND ALL WATER SERVICE LINES CROSSING STREETS, SHALL BE INSTALLED PRIOR TO PAVING.
 - VIDEO INSPECTION OF ALL SANITARY SEWER MAINS IS REQUIRED PRIOR TO CITY ACCEPTING OWNERSHIP OF THE SYSTEM.
 - ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:

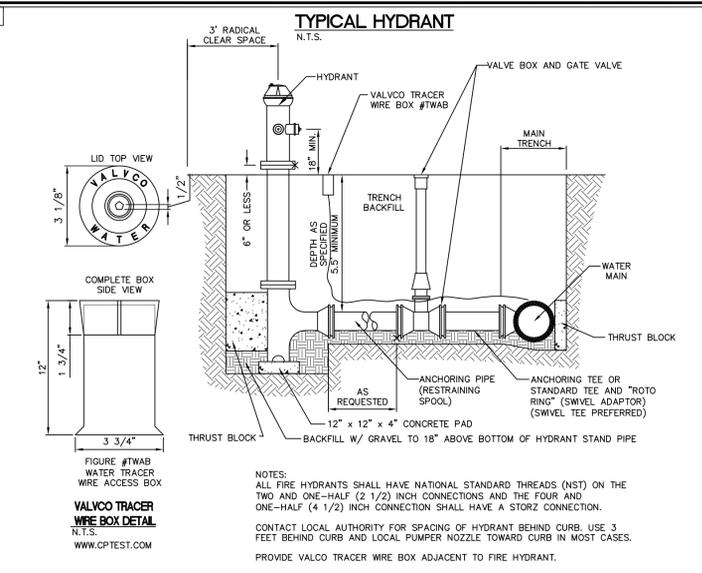
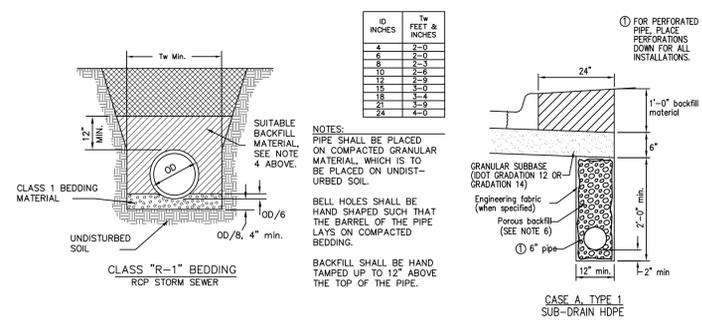
LOW PRESSURE AIR TESTING (SUDAS 4060.3.04.C)		SUDAS TABLE 4060.02: TEST DURATION	
PIPE DIAMETER, (INCHES)	TEST PERIOD DURATION (MINUTES)	PIPE DIAMETER, (INCHES)	TEST PERIOD DURATION (MINUTES)
8	4.0	18	8.5
10	5.0	21	10.0
12	6.0	24	11.5
15	7.0	27	13.0
18	8.5	30	14.0
21	10.0	36	17.0
24	11.5	42	20.0
		48	23.0
		54	25.5
		60	28.5

 - PERFORM FROM MANHOLE-TO-MANHOLE AFTER BACKFILL, CLEAN AND WET PIPE LINE
 - PLUG ALL INLETS AND OUTLETS TO RESIST THE TEST PRESSURE.
 - USE THE TABLE TO THE RIGHT TO DETERMINE THE TEST DURATION FOR SECTION BEING TESTED. PRESSURE HOLDING TIME IS BASED ON AVERAGE HOLDING PRESSURE OF 3.0 PSI OR DROP FROM 3.5-2.5 PSI.
 - INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 4 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT. PRESSURE IN SEWER SHOULD NOT EXCEED 5.0 PSIG.
 - ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
 - WHEN PRESSURE HAS STABILIZED AND IS AT OR ABOVE THE STARTING TEST PRESSURE OF 3.5 PSIG, COMMENCE THE TEST. RECORD THE DROP IN PRESSURE FOR THE TEST PERIOD. THE TEST MAY BE DISCONTINUED WHEN THE PRESCRIBED TEST TIME HAS BEEN COMPLETED, EVEN THOUGH 1.0 PSI DROP HAS NOT OCCURRED.
 - IF THE GROUNDWATER LEVEL AT THE TIME OF TESTING IS ABOVE THE PIPE INVERT, ADD 0.43 PSI OF AIR PER FOOT OF WATER ABOVE THE INVERT TO TEST AIR PRESSURE RANGE OF 2.5 PSI TO 3.5 PSI STATED ABOVE.
 - IF THE PRESSURE DROP EXCEEDS 1.0 PSI DURING THE TEST PERIOD, THE TEST WILL BE CONSIDERED TO HAVE FAILED. LOCATE AND REPAIR LEAKS, AND RETEST THE LINE.
 - AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION.
 - ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:
 - DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
 - DEFLECTION TEST TO BE CONDUCTED BY PULLING A 9 ARM DEFLECTION MANDREL, COMPLYING WITH APPLICABLE ASTM STANDARDS, THROUGH SEWER BY HAND, IN ACCORDANCE WITH SUDAS SPECIFICATION 4060.3.05.
 - NO PIPE SHALL EXCEED A DEFLECTION OF 5% OF INSIDE PIPE DIAMETER.
 - MANHOLE FRAME AND LID TO BE NENNAH R-1642 SELF SEALING OR APPROVED EQUAL. MANHOLE FRAMES IN PAVING SHALL ALSO BE NON-ROCKING.
 - CONTRACTOR SHALL PROVIDE A 2-YEAR MAINTENANCE BOND WITH THE CITY OF NORTH LIBERTY COVERING DEFECTIVE MATERIALS AND WORKMANSHIP FOR ALL SANITARY SEWER AND WATER SYSTEM IMPROVEMENTS.

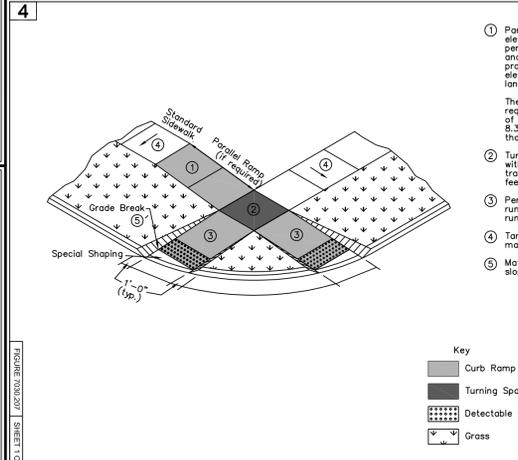
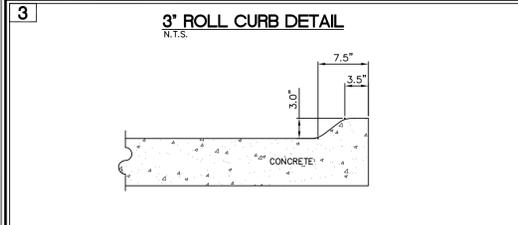
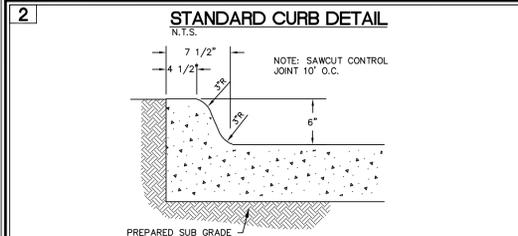
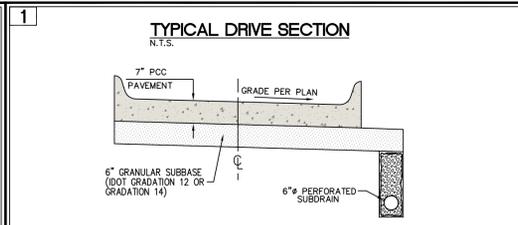
WHERE PUBLIC OR PRIVATE UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

STORM SEWER AND SUB-SURFACE CONSTRUCTION NOTES

- ALL STORM SEWER AND SUB-SURFACE CONSTRUCTION SHALL CONFORM TO PLANS AND DETAILS PREPARED FOR THIS PROJECT BY MMS CONSULTANTS, INC., AS WELL AS CONFORM TO THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL. CONSTRUCTION SHALL ALSO CONFORM TO THE CURRENT CITY OF NORTH LIBERTY DESIGN STANDARDS, WHICH SHALL SUPERSEDE PLANS AND DETAILS PROVIDED BY MMS CONSULTANTS.
- ALL STORM SEWER INTAKE AND MANHOLE LIDS SHALL HAVE THE WORDS "STORM SEWER" CAST INTO THE LID.
- ALL REINFORCED CONCRETE PIPE STORM SEWER SHALL BE CLASS II UNLESS NOTED OTHERWISE IN THE PLANS.
- ALL REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO SUDAS SPECIFICATION 4020.2.01.A WITH THE FOLLOWING ADDITIONAL RESTRICTIONS: ALL RCP JOINTS FOR 36" AND SMALLER PIPE SHALL HAVE TONGUE AND GROOVE JOINTS INCORPORATING RUBBER "O"-RING OR PROFILE GASKETS COMPLYING WITH ASTM C443 OR SHALL BE TONGUE AND GROOVE WITH ALL JOINTS WRAPPED WITH FILTER FABRIC A MINIMUM OF 24" WIDE.
- RCP PIPE BEDDING SHALL CONFORM TO SUDAS FIGURE 3010.102 CLASS R-1. CLASS 1 BEDDING MATERIAL SHALL BE AS SPECIFIED IN SUDAS SPECIFICATION 3010.2.02.A. TRENCH BACKFILL SHALL BE SUITABLE EXCAVATED MATERIAL AS IDENTIFIED IN SUDAS SPECIFICATION 3010.2.01.A PLACED AND COMPACTED IN ACCORDANCE WITH SECTIONS 3.05, D AND E. THE OWNER MAY ELECT TO TEST TRENCH COMPACTAGE AT THEIR OWN EXPENSE.
- SUB-SURFACE DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) CONFORMING TO SUDAS SPECIFICATION 4040.2.02.C FOR BOTH PERFORATED TILE AND SOLID WALL PIPE.
- FOR SUB-SURFACE DRAINAGE IN TURF AREAS HDPE PIPE BEDDING SHALL CONFORM TO SUDAS FIGURE 3010.103 CLASS F-3. BEDDING MATERIAL SHALL BE POROUS BACKFILL MATERIAL AS SPECIFIED IN SUDAS SPECIFICATION 4040.2.04. TRENCH BACKFILL SHALL BE SUITABLE EXCAVATED MATERIAL AS IDENTIFIED IN SUDAS SPECIFICATION 3010.2.01.A PLACED AND COMPACTED IN ACCORDANCE WITH SECTIONS 3.05 D AND E.
- FOR SUB-SURFACE DRAINAGE UNDER PAVEMENT HDPE PIPE INSTALLATION SHALL CONFORM TO SUDAS FIGURE 4040.2.01, CASE C TYPE 1. BEDDING AND BACKFILL MATERIAL SHALL BE AS SPECIFIED IN SUDAS SPECIFICATION 4040.2.04.
- AT LOCATIONS WHERE A FLARED END SECTION IS REQUIRED, THE PIPE LENGTHS SHALL BE MEASURED TO THE END OF THE FLARED END. THE FLARED END SECTION AND THE TWO UPSTREAM JOINTS ARE TO INCORPORATE TIED JOINTS.
- ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE PROPOSED STORM SEWER. NOTIFY ENGINEER OF ALL FIELD TILES ENCOUNTERED.
- CONTRACTOR SHALL PROVIDE A FIVE-YEAR MAINTENANCE BOND COVERING DEFECTIVE MATERIALS AND WORKMANSHIP FOR ALL STORM SEWER SYSTEM IMPROVEMENTS.



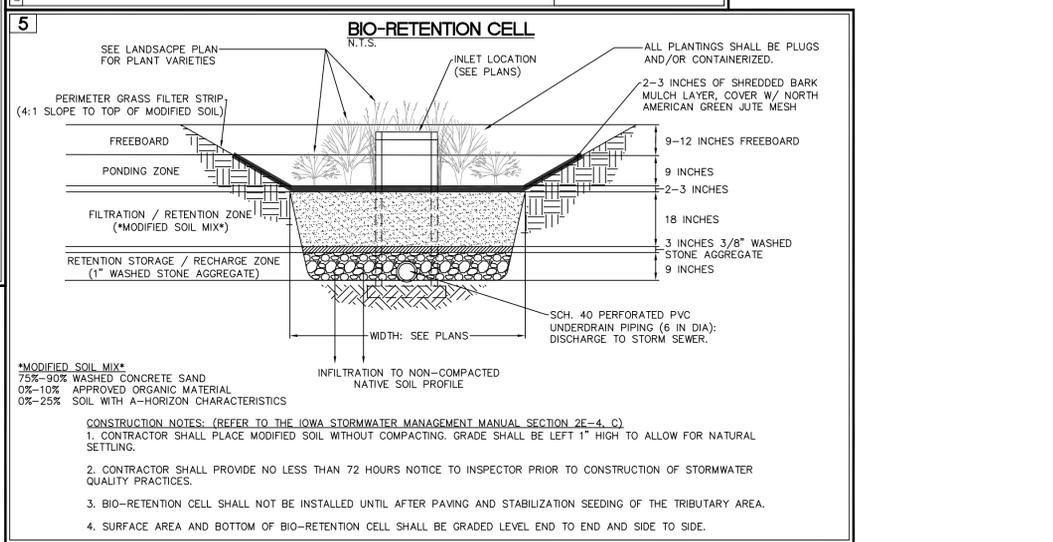
NOTES:
ALL FIRE HYDRANTS SHALL HAVE NATIONAL STANDARD THREADS (NST) ON THE TWO AND ONE-HALF (2 1/2) INCH CONNECTIONS AND THE FOUR AND ONE-HALF (4 1/2) INCH CONNECTION SHALL HAVE A STORZ CONNECTION.
CONTACT LOCAL AUTHORITY FOR SPACING OF HYDRANT BEHIND CURB. USE 3 FEET BEHIND CURB AND LOCAL PUMPER NOZZLE TOWARD CURB IN MOST CASES.
PROVIDE VALVCO TRACER WIRE BOX ADJACENT TO FIRE HYDRANT.



PAVING CONSTRUCTION NOTES

- PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
- I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
- PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
- SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
- ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.

- Parallel Curb Ramp: If normal sidewalk elevation cannot be achieved with the perpendicular ramp between the street and landing due to limited ramp length, provide a parallel ramp to make up the elevation difference between the landing and the standard sidewalk. The length of the parallel ramp is not required to exceed 15 feet, regardless of the resulting slope. Do not exceed 8.3% slope for parallel ramps shorter than 15 feet.
- Turning Space: Target slope of 1.5% with maximum slope perpendicular to the travel directions of 2.0%. Minimum 4 feet by 4 feet.
- Perpendicular Curb Ramp: Target running slope of 6.25% with maximum running slope of 8.3%.
- Target cross slope of 1.5% with a maximum cross slope of 2.0%.
- Match pedestrian street crossing cross slope or flatter.



SHEET INDEX

1	SITE LAYOUT AND DIMENSION PLAN
2	SITE GRADING PLAN AND SWPPP
3	SITE UTILITY PLAN - PRIVATE
4	STORM SEWER PLAN - PUBLIC
5	SITE LANDSCAPE PLAN
6	GENERAL NOTES AND DETAILS

Date	Revision
04/21/16	PER CITY COMMENTS - NPB
06/10/16	PER CITY COMMENTS - BTM
06/21/16	PER CITY COMMENTS - BTM

GENERAL NOTES AND DETAILS

ROSEBERRY STOP

NORTH LIBERTY
JOHNSON COUNTY
IOWA

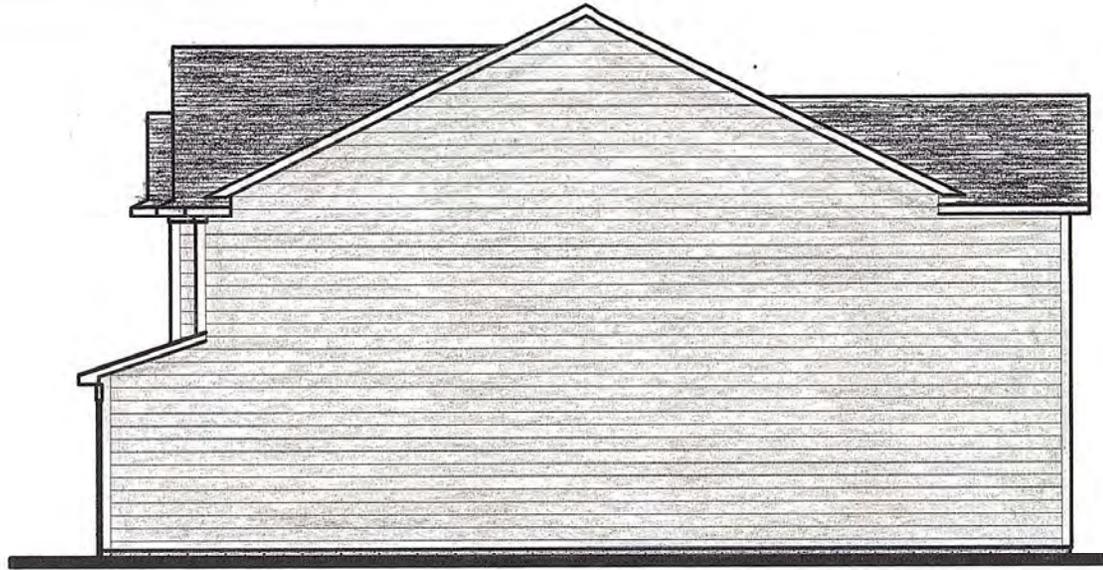
MMS CONSULTANTS, INC.
Date: **MARCH 31, 2016**
Designed by: BTM
Drawn by: BTM
Checked by: KJB
Project No: IOWA CITY 9896002
Field Book No: 1123 & 1132
Scale: AS NOTED
Sheet No: **6**
of: 6



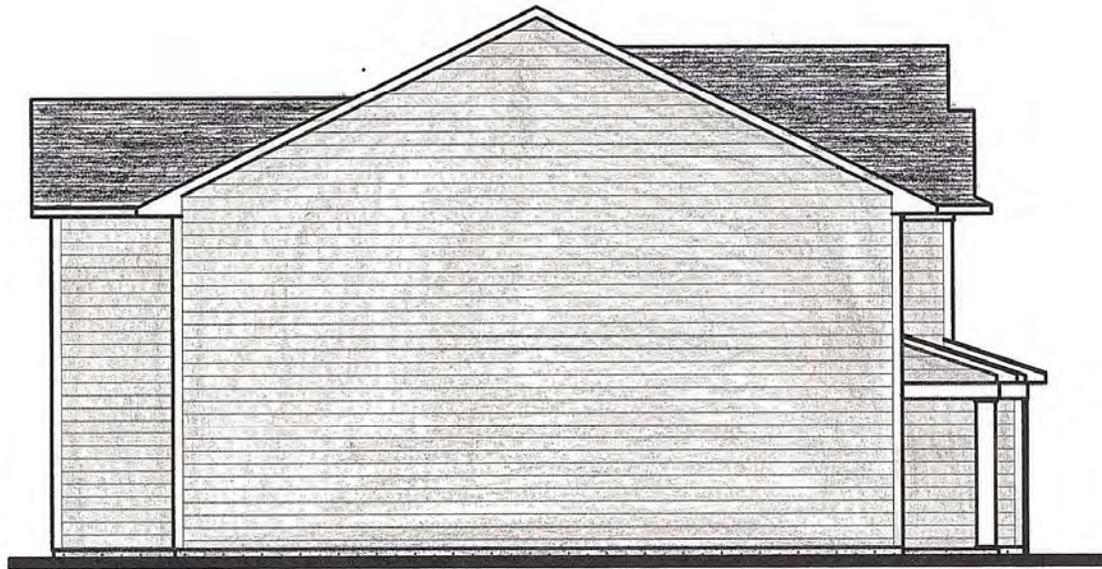
PROPOSED FRONT ELEVATION



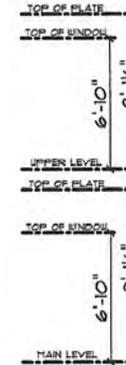
PROPOSED REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



REVISIONS	

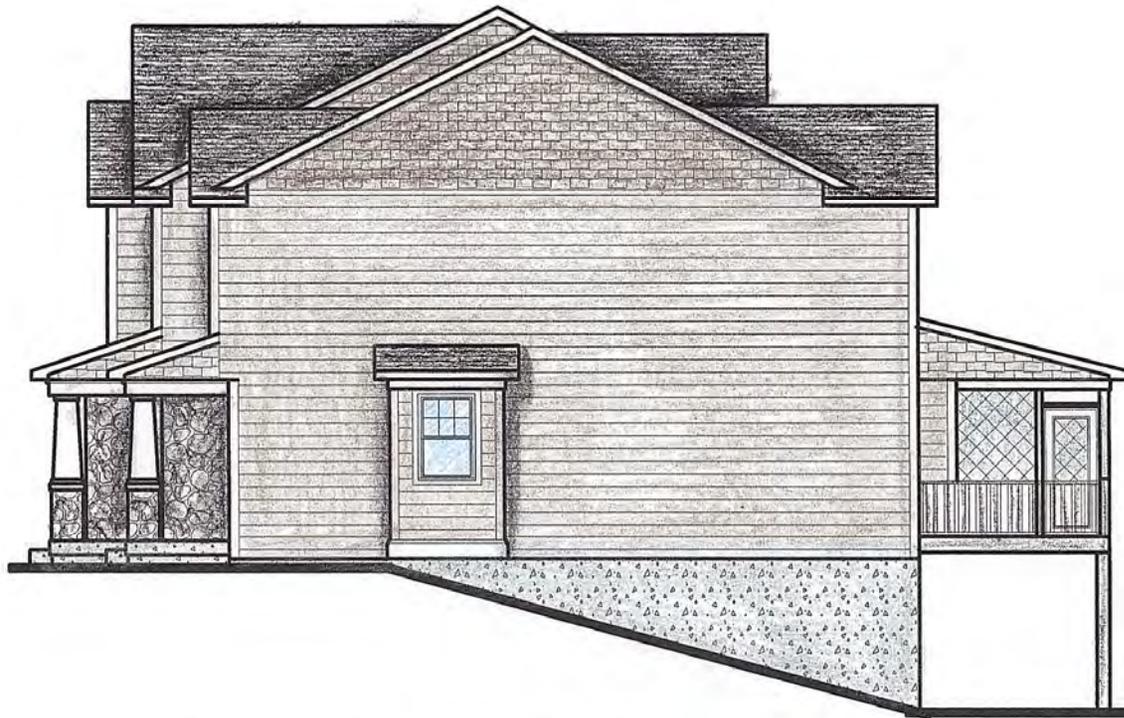
• DESIGN ELEMENTS •
 RESIDENTIAL - LIGHT COMMERCIAL DRAWING
 • LINE TELE - DWA • 90255
 90-689-4443
 WWW.DESIGNELEMENTS.NET

ROSEBERRY STOP

SCALE: 1/8" = 1'-0"
 DATE: 02/19/2016
 DRAWN BY: CDM
 CHECKED BY: CDM
 PROJECT NUMBER: 16M1746

• AI •

DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND BUILDER OF THIS PLAN RELEASE DESIGN ELEMENTS FROM ANY CLAIMS OR LIABILITIES THAT COULD ARISE DURING OR AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. IN CONCLUSION, ALL STRUCTURAL MEMBERS, BRACKETS, AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.



PROPOSED SIDE ELEVATIONS

REVISIONS

• DE-SIGN • ELEMENTS •

RESIDENTIAL - LIGHT COMMERCIAL DRAFTING

• LAKE TRAIL • BVA • 50755

• 39-659-4445

WWW.DESIGN-ELEMENTS.NET

ROSEBERRY STOP

SCALE: 1/4" = 1'-0"

DATE: 05/06/2006

DRAWN BY: CDM

CHECKED BY: CDM

PROJECT NUMBER: 06N652

• A2 •

DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THIS PLAN SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND BUILDER BY THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR DAMAGES THAT COULD ARISE DURING OR AFTER THE CONSTRUCTION OF THIS WORK OR BUILDING. IN CONCLUSION, ALL STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHERS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.



PLANNING COMMISSION

Minutes
June 7, 2016

Roll Call

At 6:30 p.m., Jennifer Bleil called the June 7, 2016 Regular Session of the North Liberty Planning Commission to order. Commission members present: Jennifer Bleil, Adam Gebhart, Jason Heisler, Kylie Pentecost, Patrick Staber; absent – Josh Covert and Ronda Detlefsen.

Others present: Dean Wheatley, Ryan Heiar, Tracey Mulcahey, Scott Peterson, Kevin Trom, Stefan Juran, Duane Musser, Eric Shoemaker, John Burchert and other interested parties.

Agenda Approval

Gebhart moved, Staber seconded to approve the agenda. The vote was all ayes. Agenda approved.

Anderson Electric Site Plan

Staff Presentation

Wheatley presented the request of Anderson Electric to approve a site plan for commercial warehouse development on Kennel Court, Lot 2 North Park subdivision. Staff recommends approval with the addition of landscaping along the east side of the property line, toward Highway 965, where such landscaping will not interfere with utilities, not as a requirement, but as a recommendation.

Applicant Presentation

Duane Musser, MMS Consultants, was present on behalf of the applicant and offered a response to the landscaping request. The applicant is concerned regarding obstruction of signage and security.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application including the landscaping request.

Recommendation to the City Council

Pentecost moved, Gebhart seconded to recommend approval of the Anderson Electric Site Plan to the City Council with no conditions. After discussion, the vote was: ayes – Heisler, Bleil, Pentecost, Gebhart, Staber; nays – none. Motion carried.

Restaurant Concepts Inc. Site Plan & Conditional Use

Staff Presentation

Wheatley presented the request of Restaurant Concepts Inc. to approve a site plan and outside eating conditional use for a new Arby's restaurant to be located at the southeast corner of West Penn Street and Kansas Avenue, Lot 24 Liberty's Gate Part 2. Staff recommends approval of the site plan and outside eating conditional use with no conditions.

Applicant Presentation

No applicant presentation was offered.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application including Kansas Avenue improvements and quality of building design.

Recommendation to the City Council – site plan

Pentecost moved, Heisler seconded to recommend approval of the site plan application to the City Council with no conditions. The vote was: ayes- Staber, Gebhart, Heisler, Pentecost, Bleil; nays – none. Motion carried.

Recommendation to the Board of Adjustment – conditional use

Heisler moved, Gebhart seconded to recommend approval of the conditional use application to the Board of Adjustment with no conditions. The vote was: ayes – Gebhart, Staber, Heisler, Bleil, Pentecost; nays – none. Motion carried.

BeerBurger Restaurant Conditional Use

Staff Presentation

Wheatley presented the request of Cameron Way Partners to approve an outside eating conditional use at the new BeerBurger restaurant located at the southwest corner of West Penn Street and Cameron Way (former Kyodai restaurant location). Staff recommends approval of the conditional use with the following conditions:

- Permit is for this owner only (future owners would need to reapply),
- Alcoholic beverage sales allowed,
- Only low-wattage lighting to be added – no floodlighting,
- Amplified music levels to be agreed to in the field by the owner and City staff, and
- No more seats than allowed by the Building and Fire Codes for this location.

Applicant Presentation

John Burchert, one of the owners, presented additional information on the application. The outdoor eating area is approximately 1,200 square feet.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application including the fit in the area.

Recommendation to the Board of Adjustment

Heisler moved, Gebhart seconded to recommend approval of the conditional use application to the Board of Adjustment with the following conditions:

- Permit is for this owner only (future owners would need to reapply),
- Alcoholic beverage sales allowed,
- Only low-wattage lighting to be added – no floodlighting,
- Amplified music levels to be agreed to in the field by the owner and City staff, and
- No more seats than allowed by the Building and Fire Codes for this location.

The vote was: ayes – Pentecost, Gebhart, Heisler, Staber, Bleil; nays – none. Motion carried.

Holiday Wrecker Revised Site Plan

Staff Presentation

Wheatley presented the request of Holiday Wrecker to approve a revised site plan for commercial warehouse development at the southeast corner of North Jones Boulevard and 236th Street, Lot 23 Deerfield 5th Addition. Staff recommends approval of the revised site plan with multi-tenant owner’s agreement for parking relating to leasing of units.

Applicant Presentation

Duane Musser was present on behalf of the applicant and offered additional information on the application.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application including tenant types and parking requirements on existing units.

Recommendation to the City Council

Pentecost moved, Staber seconded to recommend approval of the revised site plan application to the City Council with no conditions. The vote was: ayes – Pentecost, Staber, Heisler, Gebhart, Bleil; nays – none. Motion carried.

Mickelson First Addition Preliminary Plat

Staff Presentation

Wheatley presented the request of Hodge Construction to approve a preliminary plat, Mickelson First Addition, for single-family residential development west of the recent Smigel subdivision near the northwest corner of South Jones Boulevard and Forevergreen Road. Staff recommends approval of the preliminary plat with no conditions.

Applicant Presentation

Kevin Digmann was present on behalf of the applicant and offered to answer questions.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application including storm water management, timeline on the parts and the road that connects to Forevergreen Road.

Recommendation to the City Council

Heisler moved, Gebhart seconded to recommend approval of the preliminary plat to the City Council with no conditions. The vote was: ayes – Gebhart, Pentecost, Heisler, Staber, Bleil; nays – none. Motion carried.

PFS, LLC Site Plan & Conditional Use

Staff Presentation

Wheatley presented the request of PFS, LLC to approve a site plan for new restaurant development and outside eating located at the southwest corner of West Penn Street and Community Drive, Lot 12 Liberty Centre Part 1. Staff recommends approval of the site plan with no conditions. Staff recommends approval of the conditional use with the following conditions:

- Permit is for this owner only (future owners would need to reapply),
- Alcoholic beverage sales allowed,
- Only low-wattage lighting to be added – no floodlighting,
- Amplified music levels to be agreed to in the field by the owner and City staff, and
- No more seats than allowed by the Building and Fire Codes for this location.

Applicant Presentation

Eric Shoemaker, a co-owner, presented additional information on the application.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application including the size of the building, appearance of the building, available parking, quantity of bike parking, and the zoning on the parcel to the west.

Recommendation to the City Council – site plan

Gebhart moved, Heisler seconded to recommend approval of the site plan application to the City Council with no conditions. The vote was: ayes – Staber, Bleil, Gebhart, Pentecost, Heisler; nays – none. Motion carried.

Recommendation to the Board of Adjustment – conditional use

Pentecost moved, Staber seconded to recommend approval of the conditional use application to the Board of Adjustment with the following conditions:

- Permit is for this owner only (future owners would need to reapply),
- Alcoholic beverage sales allowed,
- Only low-wattage lighting to be added – no floodlighting,
- Amplified music levels to be agreed to in the field by the owner and City staff, and
- No more seats than allowed by the Building and Fire Codes for this location.

The vote was: ayes – Heisler, Gebhart, Bleil, Staber, Pentecost; nays – none. Motion carried.

Quality Care Projecting Sign Application

Staff Presentation

Wheatley presented the request of Quality Care to approve a projecting sign for their new neighborhood storage business at Penn Court, south of West Penn Street. Staff recommends approval of the sign request with no conditions.

Applicant Presentation

The applicant, Dean Moore, was present.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application including the location of the sign.

Recommendation to the City Council

Gebhart moved, Staber seconded to recommend approval of the projecting sign application to the City Council with no conditions. The vote was: ayes - Staber, Pentecost, Bleil, Heisler, Gebhart; nays - none. Motion carried.

Saxton Rezoning and Plat outside Corporate Limits

Staff Presentation

Wheatley presented Request of Charles and Elizabeth Saxton to approve a rezoning and two lot subdivision for a farmstead site west of North Liberty and within the City-County Fringe Area Agreement territory, at the northwest corner of James Avenue and 240th Street in rural Johnson County. Staff recommends approval of the subdivision and accompanying rezoning with no conditions.

Applicant Presentation

Duane Musser was present on behalf of the applicant and offered to answer questions.

Public Comments

No public comments were offered.

Questions and Comments

The Commission had none.

Recommendation to the City Council

Pentecost moved, Gebhart seconded to recommend approval of the application for rezoning and two lot subdivision to the City Council. After discussion, the vote was: ayes - Heisler, Gebhart, Staber, Pentecost, Bleil; nays - none. Motion carried.

Approval of Previous Minutes

Heisler moved, Staber seconded to approve the minutes of the May 3, 2016 Planning Commission meeting. All ayes. Minutes approved.

Old Business

No old business was presented.

New Business

Wheatley reported that the only item on the July agenda is Roseberry Stop. Peterson reported on upcoming amendments to the sign code. Wheatley reported that the small lot zoning amendment will be presented for consideration at the next Council meeting.

Adjournment

At 7:27 p.m., Heisler moved, Staber seconded to adjourn. All ayes. Meeting adjourned.