



**North Liberty
Planning
Commission
Meeting Information**

Tuesday, October 3, 2017

6:30 PM

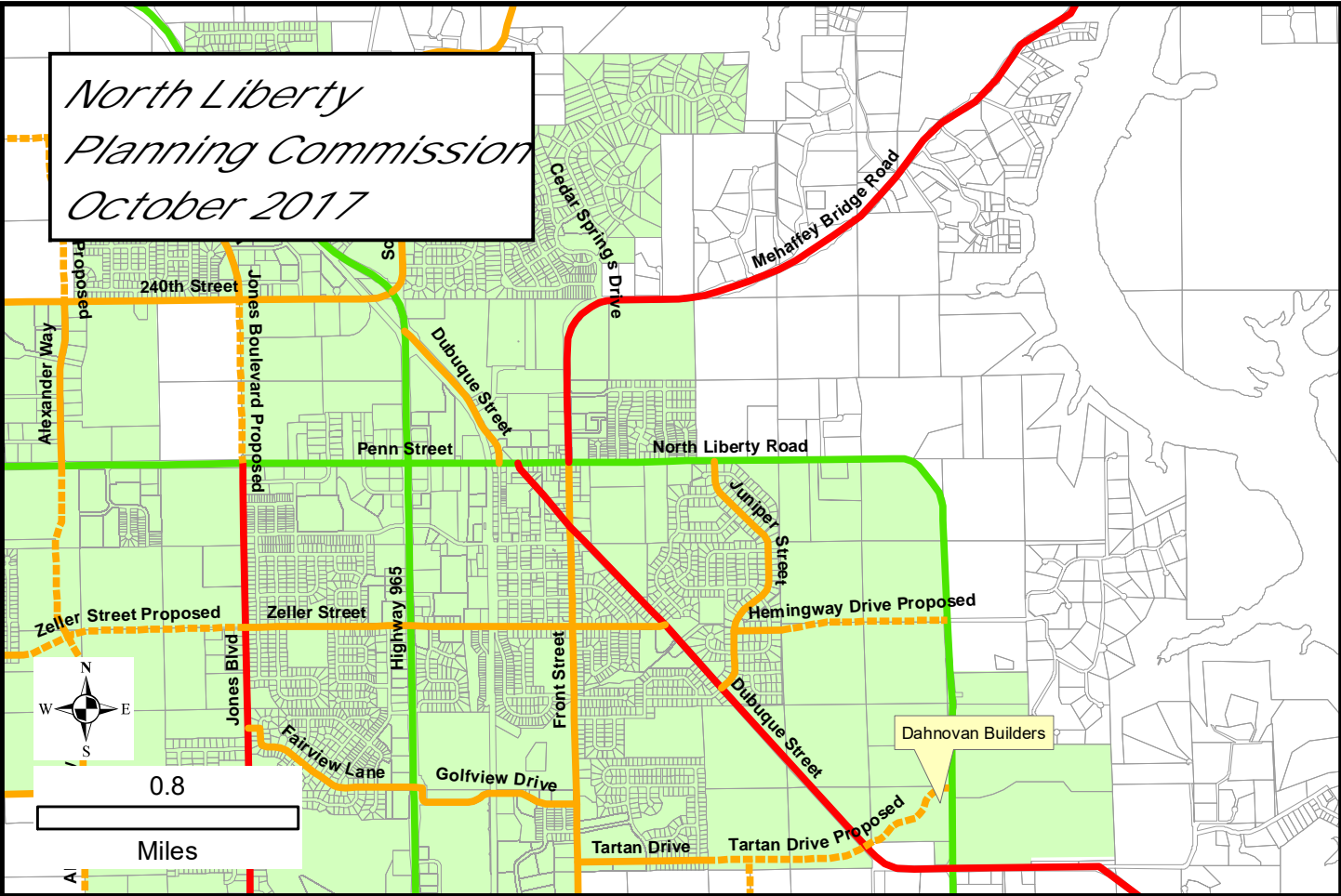
City Council Chambers

If you would like additional information, larger-scale maps, or other information before the meeting, please contact Dean Wheatley at 626-5747 or at dwheatley@northlibertyiowa.org



NORTH LIBERTY PLANNING COMMISSION
MEETING NOTICE AND AGENDA
Tuesday, October 3, 2017, 6:30 PM
North Liberty City Council Chambers, 1 Quail Creek Circle

1. **ROLL CALL**
2. **AGENDA APPROVAL**
3. **SITE PLAN:** Request from Dahnovan Builders to approve a site plan for multi-family property located at the northwest corner of Tartan Drive and North Liberty Road, west of Scanlon Farms – North Ridge single family neighborhood. (Lot 20, Dahnovan Estates)
 - a. Staff Presentation
 - b. Applicants Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council
4. **APPROVAL OF PREVIOUS MINUTES**
5. **OLD BUSINESS**
6. **NEW BUSINESS**
7. **ADJOURNMENT**



Dahnovan Builders Site Plan Request



September 29, 2017

Memo

To: North Liberty Planning Commission
From: Dean Wheatley, Planning Director
Subject: Site Plan Approval Request
(Lot 20, Dahnovan Estates)

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

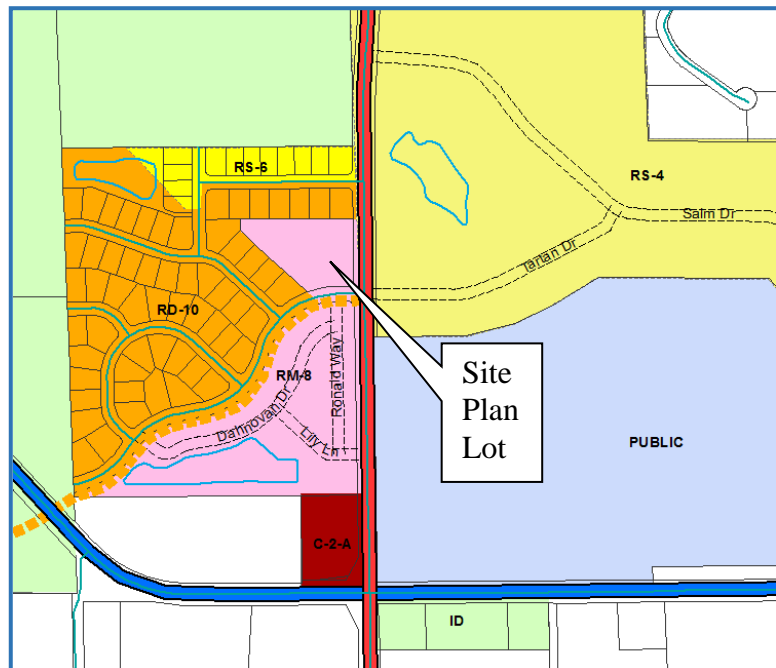
Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Tom Palmer, City Building Official
Scott Peterson, City Attorney
Kevin Trom, City Engineer
Dean Wheatley, Planning Director

This request from Dahnovan Builders to approve a site plan for multi-family property is located at the northwest corner of Tartan Drive and North Liberty Road, west of Scanlon Farms – North Ridge single family neighborhood. The zoning is RM-8, multi-family, and this site is part of a larger overall property that extends west and north and includes commercial, duplex, single-family, and additional multi-family zoning.

This plan proposes 23 units on 2.76 acres, a density of 5,227 square feet of land per unit, while the minimum number of square feet per unit allowed in the RM-8 district is 5,000. Storm water for this lot is directed to the large management facilities developed as part of the overall Dahnovan Estates subdivision.

The configuration of the development as proposed has been substantially modified from its original submission after productive discussions with the developer. Some noteworthy changes that enhanced the plan include:

1. Reconfiguring the layout to move decks out of the required setbacks.



2. Adding sidewalks to both sides of the private drive.
3. Pulling all drives and parking areas farther away from surrounding duplex lots.
4. Much better orientation of the buildings, to better function with surrounding lots.
5. Much better options for snow storage on the site.
6. Enhanced building side elevations at corner locations.

There is one building style proposed, a two-story townhome with single-stall garages. Attention to detail is obvious in the design, especially the front and rear elevations.

The landscape plan is comprehensive and well designed. The North Liberty Road frontage has been noted by staff from the original plat submittal to be important for berming and landscaping enhanced design, and that has been addressed.

Staff recommends approval of the site plan.

Notes:

A BMP maintenance agreement is required.

SWPPP will need to be submitted to the stormwater coordinator for approval.

Roads are less than 29' wide, no on street parking will be allowed. "No parking" signs are required.

PLAT PREPARED BY: MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

OWNER: WAPSI DEVELOPMENT LLC 1519 S GILBERT STREET IOWA CITY, IA 52240

APPLICANT: DAHNOVAN BUILDERS PO BOX 458 NORTH LIBERTY, IA 52317

APPLICANT'S ATTORNEY: C. JOSEPH HOLLAND 123 N. LINN STREET IOWA CITY, IA 52245

SITE PLAN

LOT 20, DAHNOVAN ESTATES

IN THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

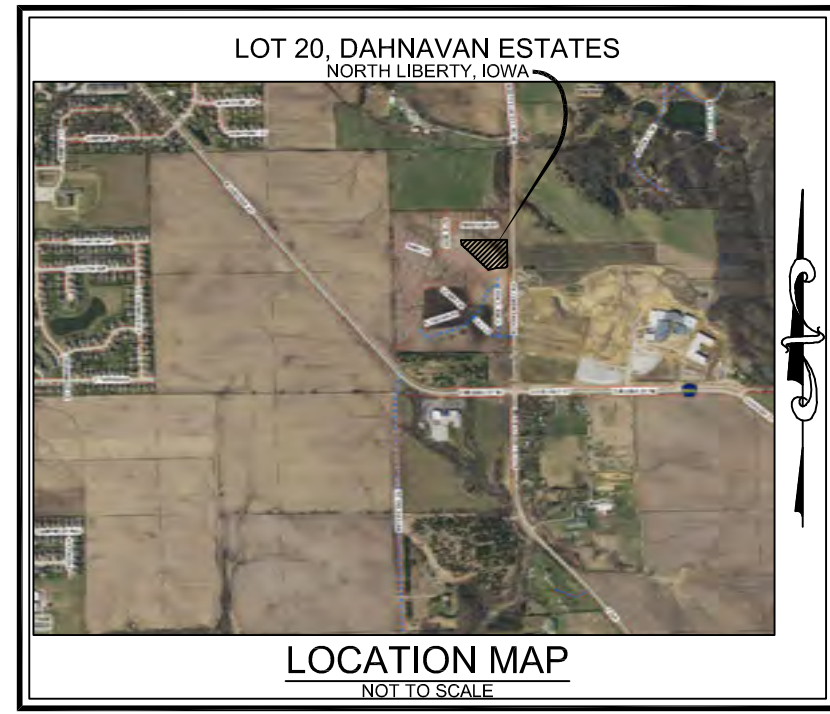
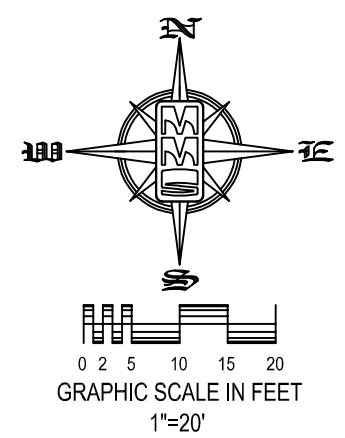
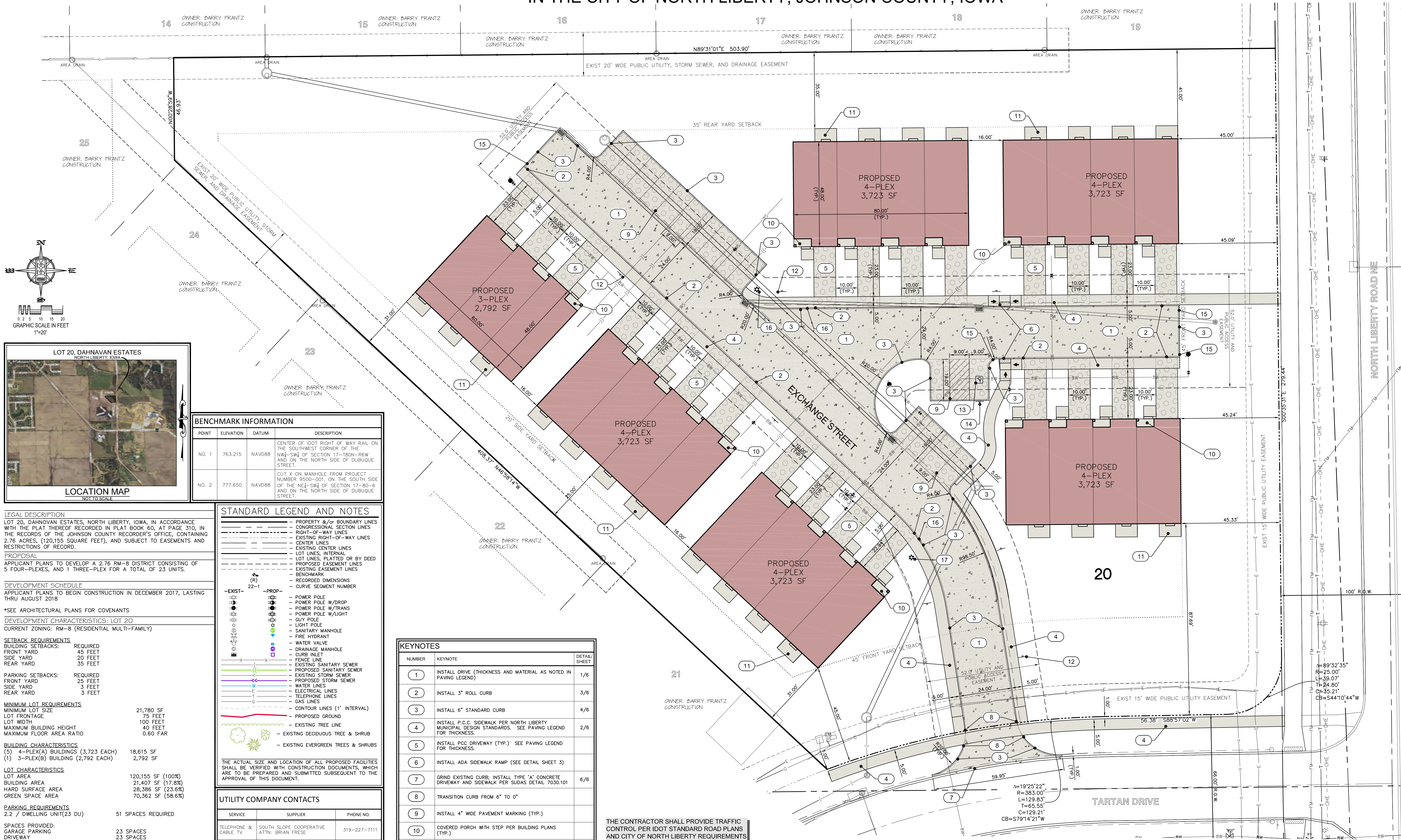
- SHEET INDEX**
- 1 SITE LAYOUT AND DIMENSION PLAN
 - 2 EROSION CONTROL PLAN AND SWPPP
 - 3 SITE GRADING PLAN
 - 4 SITE UTILITY PLAN
 - 5 SITE LANDSCAPE PLAN
 - 6 GENERAL NOTES AND DETAILS



**CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS**

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
09-25-17	PER CITY COMMENTS BTMLLS
09-29-17	PER CITY COMMENTS BTMLLS



POINT	ELEVATION	DATUM	DESCRIPTION
NO. 1	763.215	NAVD88	CENTER OF IDOT RIGHT OF WAY RAIL ON THE SOUTHWEST CORNER OF THE NW¼-SW¼ OF SECTION 17-T80N-R6W AND ON THE NORTH SIDE OF DUBUQUE STREET.
NO. 2	777.650	NAVD88	CUT X ON MANHOLE FROM PROJECT NUMBER 9500-001. ON THE SOUTH SIDE OF THE NE¼-SW¼ OF SECTION 17-80-6 AND ON THE NORTH SIDE OF DUBUQUE STREET.

LEGAL DESCRIPTION
LOT 20, DAHNOVAN ESTATES, NORTH LIBERTY, IOWA, IN ACCORDANCE WITH THE PLAT THEREOF RECORDED IN PLAT BOOK 60, AT PAGE 310, IN THE RECORDS OF THE JOHNSON COUNTY RECORDER'S OFFICE, CONTAINING 2.76 ACRES, (120,155 SQUARE FEET), AND SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

PROPOSAL
APPLICANT PLANS TO DEVELOP A 2.76 RM-B DISTRICT CONSISTING OF 5 FOUR-PLEXES, AND 1 THREE-PLEX FOR A TOTAL OF 23 UNITS.

DEVELOPMENT SCHEDULE
APPLICANT PLANS TO BEGIN CONSTRUCTION IN DECEMBER 2017, LASTING THRU AUGUST 2018

***SEE ARCHITECTURAL PLANS FOR COVENANTS**
DEVELOPMENT CHARACTERISTICS: LOT 20
CURRENT ZONING: RM-B (RESIDENTIAL MULTI-FAMILY)

SETBACK REQUIREMENTS

REQUIRED	
BUILDING SETBACKS:	
FRONT YARD	45 FEET
SIDE YARD	20 FEET
REAR YARD	35 FEET
PARKING SETBACKS:	
FRONT YARD	25 FEET
SIDE YARD	3 FEET
REAR YARD	3 FEET

MINIMUM LOT REQUIREMENTS

MINIMUM LOT SIZE	21,780 SF
LOT FRONTAGE	75 FEET
LOT WIDTH	100 FEET
MAXIMUM BUILDING HEIGHT	40 FEET
MAXIMUM FLOOR AREA RATIO	0.60 FAR

BUILDING CHARACTERISTICS

(5) 4-PLEX(A) BUILDINGS (3,723 EACH)	18,615 SF
(1) 3-PLEX(B) BUILDING (2,792 EACH)	2,792 SF

LOT CHARACTERISTICS

LOT AREA	120,155 SF (100%)
BUILDING AREA	21,407 SF (17.8%)
HARD SURFACE AREA	28,386 SF (23.6%)
GREEN SPACE AREA	70,362 SF (58.6%)

PARKING REQUIREMENTS

2.2 / DWELLING UNIT(23 DU)	51 SPACES REQUIRED
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SPACES PROVIDED:

GARAGE PARKING	23 SPACES
DRIVEWAY	23 SPACES
OFF-STREET PARKING	17 SPACES (1 ADA)
TOTAL PROVIDED	63 SPACES

ALL GROUND MOUNTED MECHANICAL UNITS, TELEPHONE PEDESTALS AND LIGHT FIXTURES SHALL BE SCREENED WITH LANDSCAPING

- LIGHTING**
- FREE STANDING LIGHT POLES NOT TO EXCEED 25 FEET.
 - PARKING LIGHTS TO BE NON-ADJUSTABLE DOWNLIGHTS.
 - WALL MOUNTED LIGHTS SHALL NOT BE FORWARD THROWING.
 - MAXIMUM WATTAGE = 250 WATTS
 - LIGHT SPREAD SHALL NOT IMPACT BEYOND PROPERTY LIMITS.

- GENERAL NOTES**
1. ALL PRIVATE DRIVES ARE DESIGNED TO SUPPORT A GROSS AXLE WEIGHT OF 75,000 POUNDS.
 2. 'NO PARKING' SIGNS SHALL BE INSTALLED ALONG ALL PRIVATE DRIVES.
 3. THE HEIGHT OF ROOF EAVES WILL NOT EXCEED 30 FEET.

STANDARD LEGEND AND NOTES

---	PROPERTY &/OR BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER

(R)	22-1	EXIST	POWER POLE
(R)	22-1	PROP	POWER POLE W/DROP
(R)	22-1	PROP	POWER POLE W/TRANS
(R)	22-1	PROP	POWER POLE W/LIGHT
(R)	22-1	PROP	QUIET POLE
(R)	22-1	PROP	SANITARY MANHOLE
(R)	22-1	PROP	FIRE HYDRANT
(R)	22-1	PROP	WATER VALVE
(R)	22-1	PROP	DRAINAGE MANHOLE
(R)	22-1	PROP	CURB INLET
(R)	22-1	PROP	EXISTING SANITARY SEWER
(R)	22-1	PROP	PROPOSED SANITARY SEWER
(R)	22-1	PROP	EXISTING STORM SEWER
(R)	22-1	PROP	PROPOSED STORM SEWER
(R)	22-1	PROP	WATER LINES
(R)	22-1	PROP	ELECTRICAL LINES
(R)	22-1	PROP	TELEPHONE LINES
(R)	22-1	PROP	GAS LINES
(R)	22-1	PROP	CONTOUR LINES (1' INTERVAL)
(R)	22-1	PROP	PROPOSED GROUND
(R)	22-1	PROP	EXISTING TREE LINE
(R)	22-1	PROP	EXISTING DECIDUOUS TREE & SHRUB
(R)	22-1	PROP	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

UTILITY COMPANY CONTACTS

SERVICE	SUPPLIER	PHONE NO.
TELEPHONE & CABLE TV	SOUTH SLOPE COOPERATIVE ATTN: BRIAN FRESZE	319-227-7111
NATURAL GAS	MIDAMERICAN ENERGY ATTN: DONALD MASTON	319-341-4461
ELECTRICITY	LINN COUNTY REC ATTN: JOHNA NUNEMAKER	319-377-1587
TELEPHONE & CABLE TV	WINDSTREAM ATTN: JOEL SCHROEDER	1-800-289-1901
TELEPHONE & CABLE TV	MEDIACOM ATTN: DARWIN DRISCOLL	319-351-0408
WATER	CITY OF NORTH LIBERTY ATTN: DAN LANGE	319-626-5719
SEWER	CITY OF NORTH LIBERTY ATTN: DAN LANGE	319-626-5719

KEYNOTES

NUMBER	KEYNOTE	DETAIL/SHEET
1	INSTALL DRIVE (THICKNESS AND MATERIAL AS NOTED IN PAVING LEGEND)	1/6
2	INSTALL 3" ROLL CURB	3/6
3	INSTALL 6" STANDARD CURB	4/6
4	INSTALL P.C.C. SIDEWALK PER NORTH LIBERTY MUNICIPAL DESIGN STANDARDS. SEE PAVING LEGEND FOR THICKNESS.	2/6
5	INSTALL PCC DRIVEWAY (TYP.) SEE PAVING LEGEND FOR THICKNESS.	
6	INSTALL ADA SIDEWALK RAMP (SEE DETAIL SHEET 3)	
7	GRIND EXISTING CURB; INSTALL TYPE 'A' CONCRETE DRIVEWAY AND SIDEWALK PER SUDAS DETAIL 7030.101	6/6
8	TRANSITION CURB FROM 6" TO 0"	
9	INSTALL 4" WIDE PAVEMENT MARKING (TYP.)	
10	COVERED PORCH WITH STEP PER BUILDING PLANS (TYP.)	
11	PCC PATIO WITH STEP PER BUILDING PLANS (TYP.)	
12	'NO PARKING' SIGN (TYP.)	
13	INSTALL ADA SYMBOL	5/6
14	INSTALL ADA SIGN	7/6
15	TRANSITION CURB FROM 6" TO 3" OVER 2'-0"	
16	TRANSITION CURB FROM 6" TO 3" OVER 5'-0"	
17	PROPOSED LIGHT POLE	

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

PAVING LEGEND

[Symbol]	7" PCC (13,917 SF.)
[Symbol]	5" PCC DRIVEWAY/PARKING (9,632 SF.)
[Symbol]	4" PCC SIDEWALK (5,654 SF.)

THESE QUANTITIES INCLUDE ALL SITE IMPROVEMENTS, INCLUDING THOSE IN THE RIGHT-OF-WAY

HORIZONTAL CONTROL

POINT	NORTHING	EASTING	DESCRIPTION
H1	637874.56	2164276.94	FOUND RED PIN 8295 #REBAR AT SW CORNER OF LOT
H2	637503.64	2165554.88	FOUND PIN #REBAR AT NW CORNER OF THE INTERSECTION OF NORTH LIBERTY ROAD AND DUBUQUE STREET
H3	639445.73	2165550.68	FOUND PIN #REBAR AT NW CORNER OF LOT.

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO, NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

IOWA ONE CALL
800-292-8888

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

BENJAMIN T. MITCHELL
P.E. Iowa Lic. No. 23397

BENJAMIN T. MITCHELL
23397

Professional Engineer

Project No. IOWA CITY 9135-007

Sheet No. 1 of 6

SITE LAYOUT AND DIMENSION PLAN

LOT 20, DAHNOVAN ESTATES
IN THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

MMS CONSULTANTS, INC.

Date: 08-22-17

Designed by: BTM Field Book No: FB 1190, PG 41

Drawn by: TAV Scale: 1"=20'

Checked by: KJB Sheet No: 1

Project No: IOWA CITY 9135-007 of 6

SITE PLAN

LOT 20, DAHNOVAN ESTATES

IN THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER: WAPSI DEVELOPMENT LLC
1519 S. GILBERT STREET
IOWA CITY, IA 52240

APPLICANT: DAHNOVAN BUILDERS
PO BOX 458
NORTH LIBERTY, IA 52317

APPLICANT'S ATTORNEY: C. JOSEPH HOLLAND
123 N. LINN STREET
IOWA CITY, IA 52245

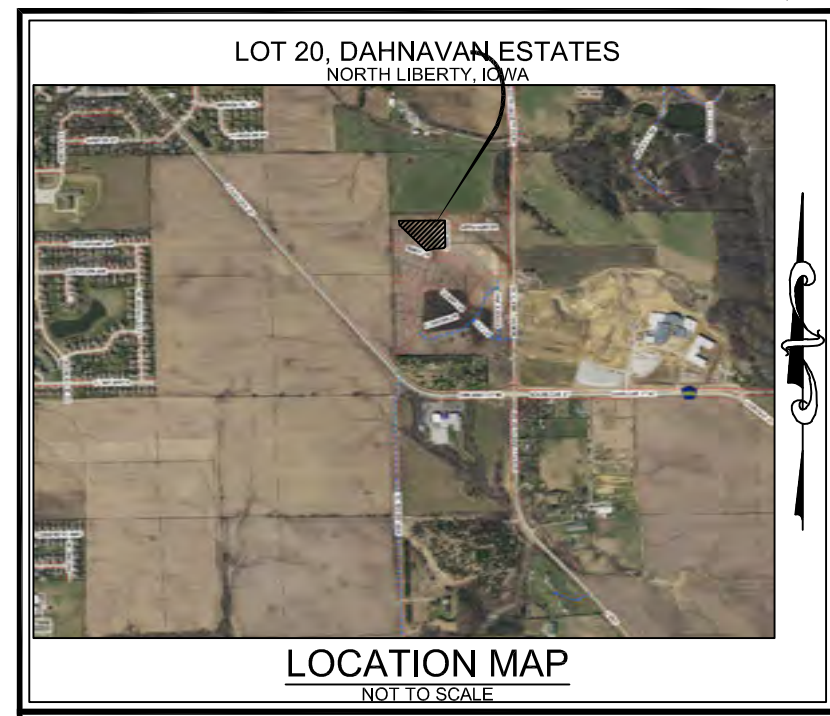
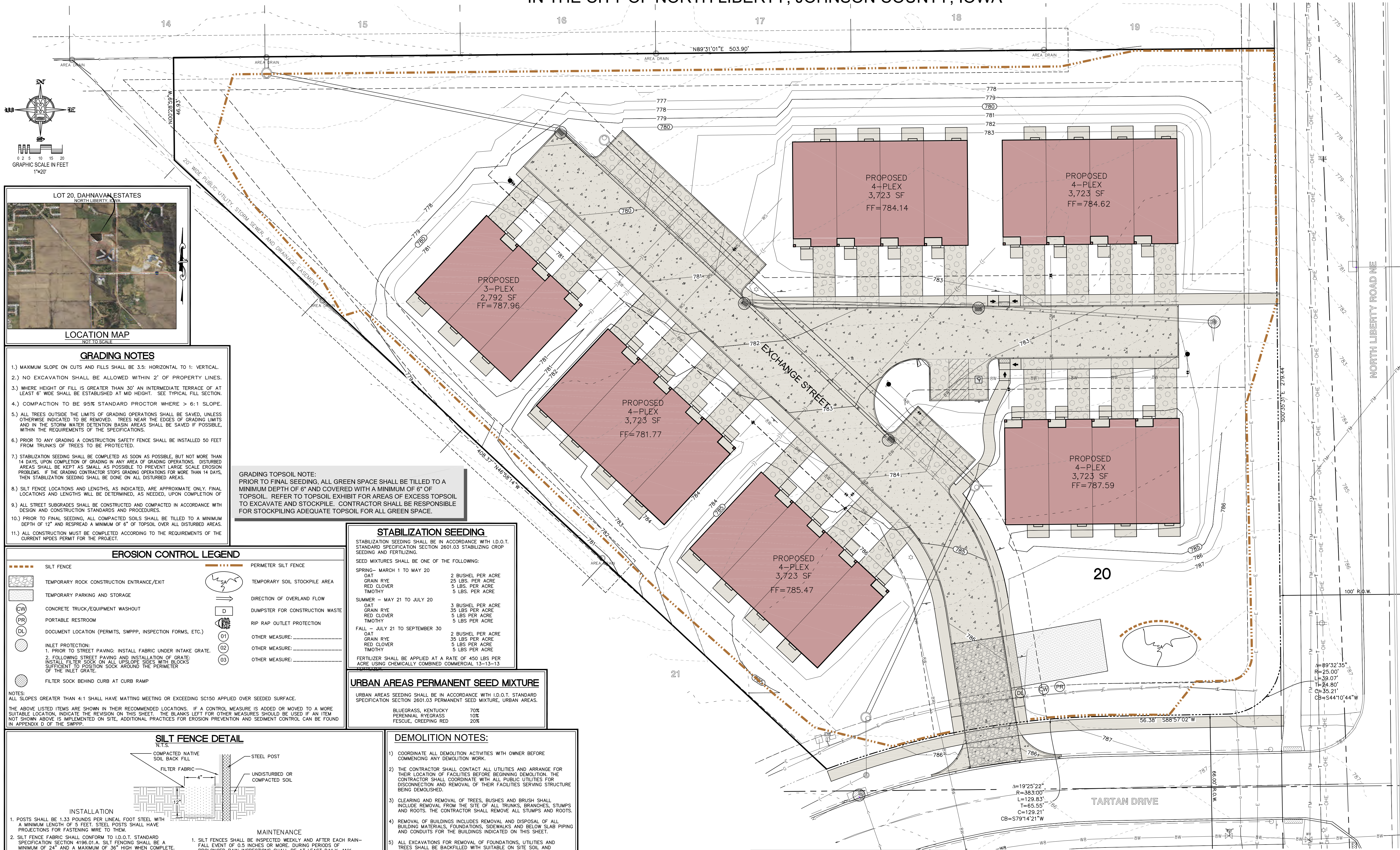
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- #### GRADING NOTES
- 1.) MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3.5: HORIZONTAL TO 1: VERTICAL.
 - 2.) NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
 - 3.) WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
 - 4.) COMPACTION TO BE 95% STANDARD PROCTOR WHERE > 6:1 SLOPE.
 - 5.) ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
 - 6.) PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
 - 7.) STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
 - 8.) SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING.
 - 9.) ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.
 - 10.) PRIOR TO FINAL SEEDING, ALL COMPACTED SOILS SHALL BE TILLED TO A MINIMUM DEPTH OF 12" AND RESPREAD A MINIMUM OF 6" OF TOPSOIL OVER ALL DISTURBED AREAS.
 - 11.) ALL CONSTRUCTION MUST BE COMPLETED ACCORDING TO THE REQUIREMENTS OF THE CURRENT NPDES PERMIT FOR THE PROJECT.

GRADING TOPSOIL NOTE:
PRIOR TO FINAL SEEDING, ALL GREEN SPACE SHALL BE TILLED TO A MINIMUM DEPTH OF 6" AND COVERED WITH A MINIMUM OF 6" OF TOPSOIL. REFER TO TOPSOIL EXHIBIT FOR AREAS OF EXCESS TOPSOIL TO EXCAVATE AND STOCKPILE. CONTRACTOR SHALL BE RESPONSIBLE FOR STOCKPILING ADEQUATE TOPSOIL FOR ALL GREEN SPACE.

STABILIZATION SEEDING

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH I.D.O.T. STANDARD SPECIFICATION SECTION 2601.03 STABILIZING CROP SEEDING AND FERTILIZING.

SEED MIXTURES SHALL BE ONE OF THE FOLLOWING:

SPRING - MARCH 1 TO MAY 20	OAT	2 BUSHEL PER ACRE
	GRAIN RYE	25 LBS. PER ACRE
	RED CLOVER	5 LBS. PER ACRE
	TIMOTHY	5 LBS. PER ACRE
SUMMER - MAY 21 TO JULY 20	OAT	3 BUSHEL PER ACRE
	GRAIN RYE	35 LBS PER ACRE
	RED CLOVER	5 LBS PER ACRE
	TIMOTHY	5 LBS PER ACRE
FALL - JULY 21 TO SEPTEMBER 30	OAT	2 BUSHEL PER ACRE
	GRAIN RYE	35 LBS PER ACRE
	RED CLOVER	5 LBS PER ACRE
	TIMOTHY	5 LBS PER ACRE

FERTILIZER SHALL BE APPLIED AT A RATE OF 450 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13

URBAN AREAS PERMANENT SEED MIXTURE

URBAN AREAS SEEDING SHALL BE IN ACCORDANCE WITH I.D.O.T. STANDARD SPECIFICATION SECTION 2601.03 PERMANENT SEED MIXTURE, URBAN AREAS.

BLUEGRASS, KENTUCKY	70%
PERENNIAL RYEGRASS	10%
FESCUE, CREEPING RED	20%

EROSION CONTROL LEGEND

	SILT FENCE		PERIMETER SILT FENCE
	TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT		TEMPORARY SOIL STOCKPILE AREA
	TEMPORARY PARKING AND STORAGE		DIRECTION OF OVERLAND FLOW
	CONCRETE TRUCK/EQUIPMENT WASHOUT		DUMPSTER FOR CONSTRUCTION WASTE
	PORTABLE RESTROOM		RIP RAP OUTLET PROTECTION
	DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)		OTHER MEASURE:
	INLET PROTECTION: 1. PRIOR TO STREET PAVING: INSTALL FABRIC UNDER INTAKE GRATE. 2. FOLLOWING STREET PAVING AND INSTALLATION OF GRATE: INSTALL FILTER SOCK ON UPSLOPE SIDES WITH BLOCKS SUFFICIENT TO POSITION SOCK AROUND THE PERIMETER OF THE INLET GRATE.		OTHER MEASURE:
	FILTER SOCK BEHIND CURB AT CURB RAMP		OTHER MEASURE:

NOTES:
ALL SLOPES GREATER THAN 4:1 SHALL HAVE MATTING MEETING OR EXCEEDING SC150 APPLIED OVER SEEDING SURFACE.

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

SILT FENCE DETAIL

N.T.S.

INSTALLATION

1. POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
2. SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 418.01A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN COMPLETE.
3. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL OUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
4. POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28".
5. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS.
6. FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
7. THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

MAINTENANCE

1. SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAIN-FALL EVENT OF 0.5 INCHES OR MORE. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
2. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
4. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEED.
5. SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

- #### DEMOLITION NOTES:
- 1) COORDINATE ALL DEMOLITION ACTIVITIES WITH OWNER BEFORE COMMENCING ANY DEMOLITION WORK.
 - 2) THE CONTRACTOR SHALL CONTACT ALL UTILITIES AND ARRANGE FOR THEIR LOCATION OF FACILITIES BEFORE BEGINNING UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH ALL PUBLIC UTILITIES FOR DISCONNECTION AND REMOVAL OF THEIR FACILITIES SERVING STRUCTURE BEING DEMOLISHED.
 - 3) CLEARING AND REMOVAL OF TREES, BUSHES AND BRUSH SHALL INCLUDE REMOVAL FROM THE SITE OF ALL TRUNKS, BRANCHES, STUMPS AND ROOTS. THE CONTRACTOR SHALL REMOVE ALL STUMPS AND ROOTS.
 - 4) REMOVAL OF BUILDINGS INCLUDES REMOVAL AND DISPOSAL OF ALL BUILDING MATERIALS, FOUNDATIONS, SIDEWALKS AND BELOW SLAB PIPING AND CONDUITS FOR THE BUILDINGS INDICATED ON THIS SHEET.
 - 5) ALL EXCAVATIONS FOR REMOVAL OF FOUNDATIONS, UTILITIES AND TREES SHALL BE BACKFILLED WITH SUITABLE ON SITE SOIL AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - 6) WHERE WORK CAUSES REMOVAL OF PAVEMENT WITHIN EXISTING RIGHTS-OF-WAY, PAVEMENT SHALL BE REPLACED AS SOON AS PRACTICAL.
 - 7) REMOVAL OF FENCES INCLUDES REMOVAL AND DISPOSAL OF ALL FENCE MATERIALS FROM THE PROJECT SITE.
 - 8) ADJACENT STREETS ARE TO BE MAINTAINED CLEAN AS PER CITY OF NORTH LIBERTY REQUIREMENTS.
 - 9) WHEN PEDESTRIAN TRAFFIC FLOW IS INTERRUPTED, CONTRACTOR SHALL INSTALL PROPER SIGNAGE ("SIDEWALK CLOSED AHEAD USE OTHER SIDE").
 - 10) THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL CONFORMING TO THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" WHEN WORK EXTENDS INTO THE STREET.

1. ALL AREAS ADJACENT TO FINISHED BUILDINGS, SIDEWALKS AND PRIVATE DRIVES SHALL BE SEEDED WITH URBAN PERMANENT GRASS SEED PER SUDAS SPECIFICATION 9010.
2. ALL OTHER DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING PER SUDAS SPEC SECTION 9010 APPLIED. USE RURAL TEMPORARY EROSION CONTROL MIXTURE PER SECTION 9010.2.02.E.

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL 800/292-8989 ONE CALL LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THESE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

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THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

EROSION CONTROL PLAN AND SWPPP

LOT 20, DAHNOVAN ESTATES
IN THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

MMS CONSULTANTS, INC.

Date: 08-22-17

Designed by: BTM Field Book No: FB 1190, PG 41

Drawn by: TAV Scale: 1"=20'

Checked by: KJB Sheet No: 2

Project No: IOWA CITY 9135-007 of 6

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER:
WAPSI DEVELOPMENT LLC
1519 S GILBERT STREET
IOWA CITY, IA 52240

APPLICANT:
DAHNOVAN BUILDERS
PO BOX 458
NORTH LIBERTY, IA 52317

APPLICANT'S ATTORNEY:
C. JOSEPH HOLLAND
123 N. LINN STREET
IOWA CITY, IA 52245

SITE PLAN

LOT 20, DAHNOVAN ESTATES

IN THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

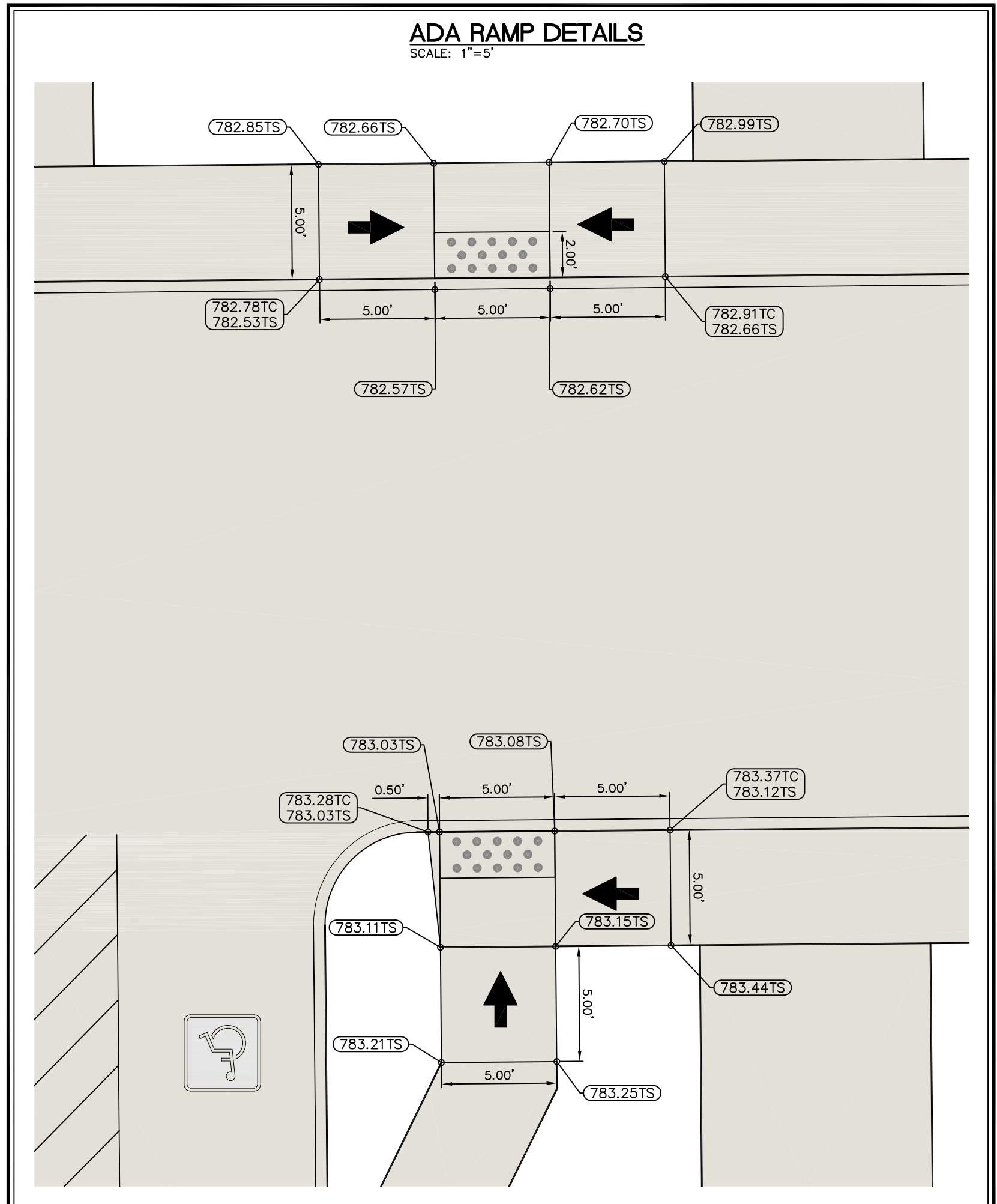
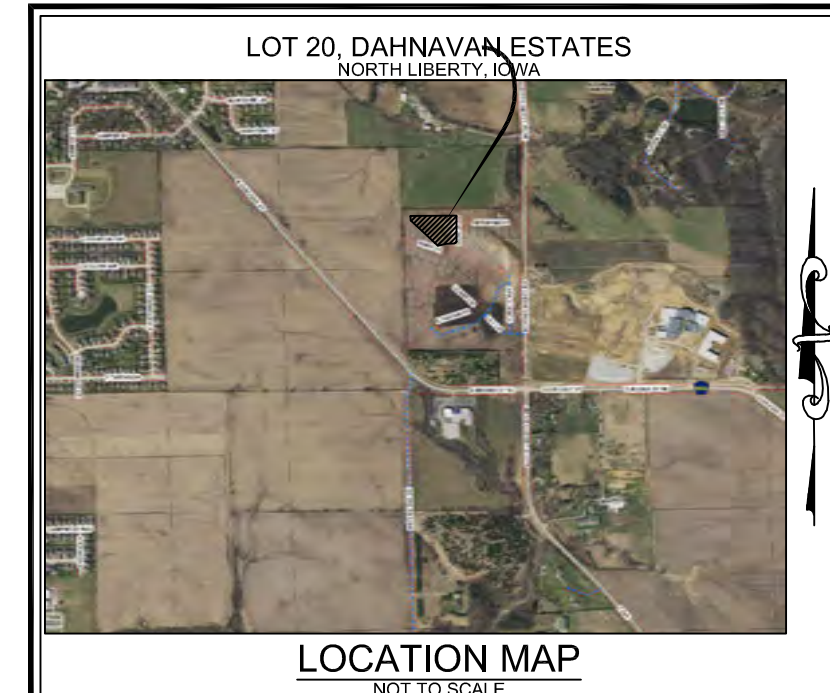
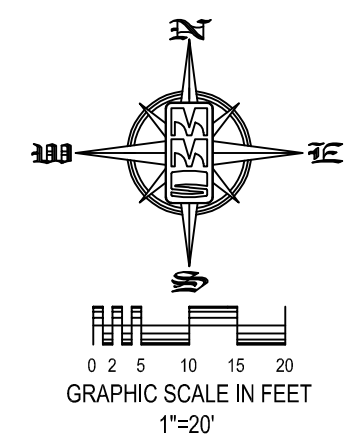
SHEET INDEX
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 2 EROSION CONTROL PLAN AND SWPPP
 3 **SITE GRADING PLAN**
 4 SITE UTILITY PLAN
 5 SITE LANDSCAPE PLAN
 6 GENERAL NOTES AND DETAILS



CIVIL ENGINEERS
 LAND PLANNERS
 LAND SURVEYORS
 LANDSCAPE ARCHITECTS
 ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
 IOWA CITY, IOWA 52240
 (319) 351-8282
www.mmsconsultants.net

Date	Revision
09-25-17	PER CITY COMMENTS BTM/LS
09-29-17	PER CITY COMMENTS BTM/LS



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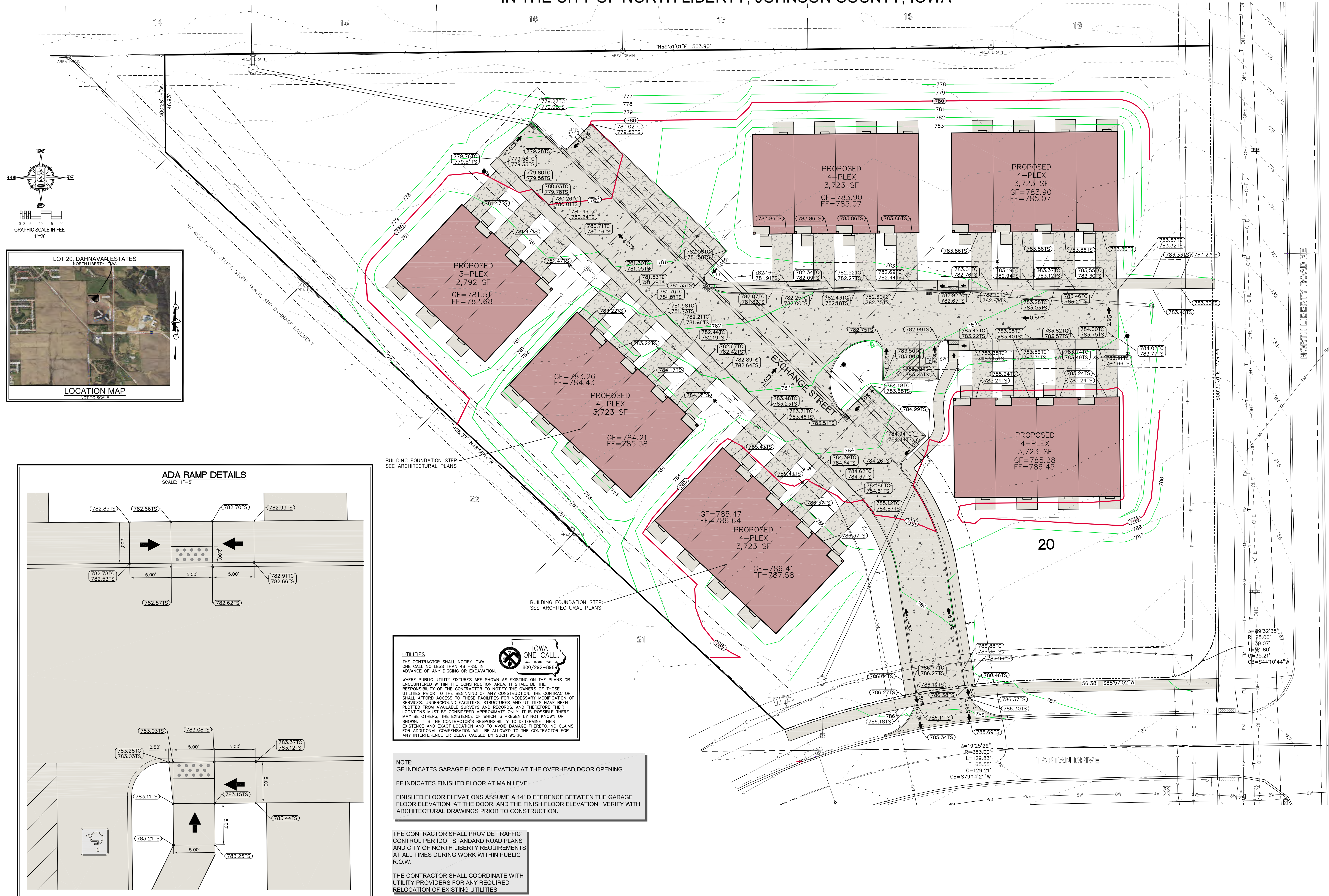
IOWA ONE CALL
 CALL 800-892-6843 OR 800/292-8989

NOTE:
 GF INDICATES GARAGE FLOOR ELEVATION AT THE OVERHEAD DOOR OPENING.
 FF INDICATES FINISHED FLOOR AT MAIN LEVEL.

FINISHED FLOOR ELEVATIONS ASSUME A 14" DIFFERENCE BETWEEN THE GARAGE FLOOR ELEVATION, AT THE DOOR, AND THE FINISH FLOOR ELEVATION. VERIFY WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.

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SITE GRADING PLAN

LOT 20,
 DAHNOVAN
 ESTATES
 IN THE CITY OF
 NORTH LIBERTY,
 JOHNSON COUNTY,
 IOWA

MMS CONSULTANTS, INC.

Date:	08-22-17
Designed By:	BTM
Field Book No.:	FB 1190, PG 41
Drawn By:	TAV
Scale:	1"=20'
Checked By:	KJB
Sheet No.:	3
Project No.:	IOWA CITY 9135-007

3. IOWA CITY 9135-007 - 08-22-17 - 11:53:07 AM - 10/26/2017 8:27:15 AM

SITE PLAN

LOT 20, DAHNOVAN ESTATES

IN THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

SHEET INDEX

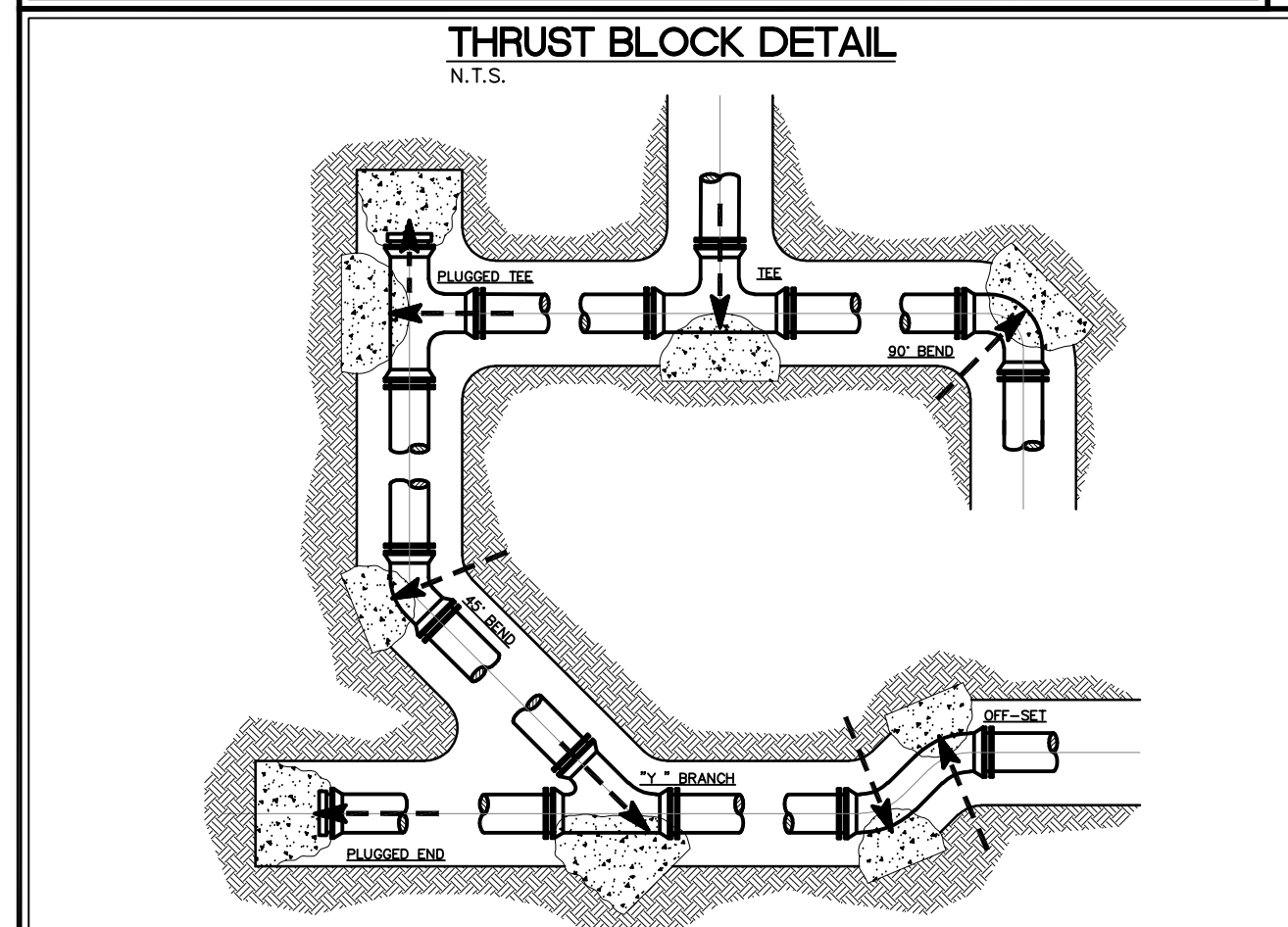
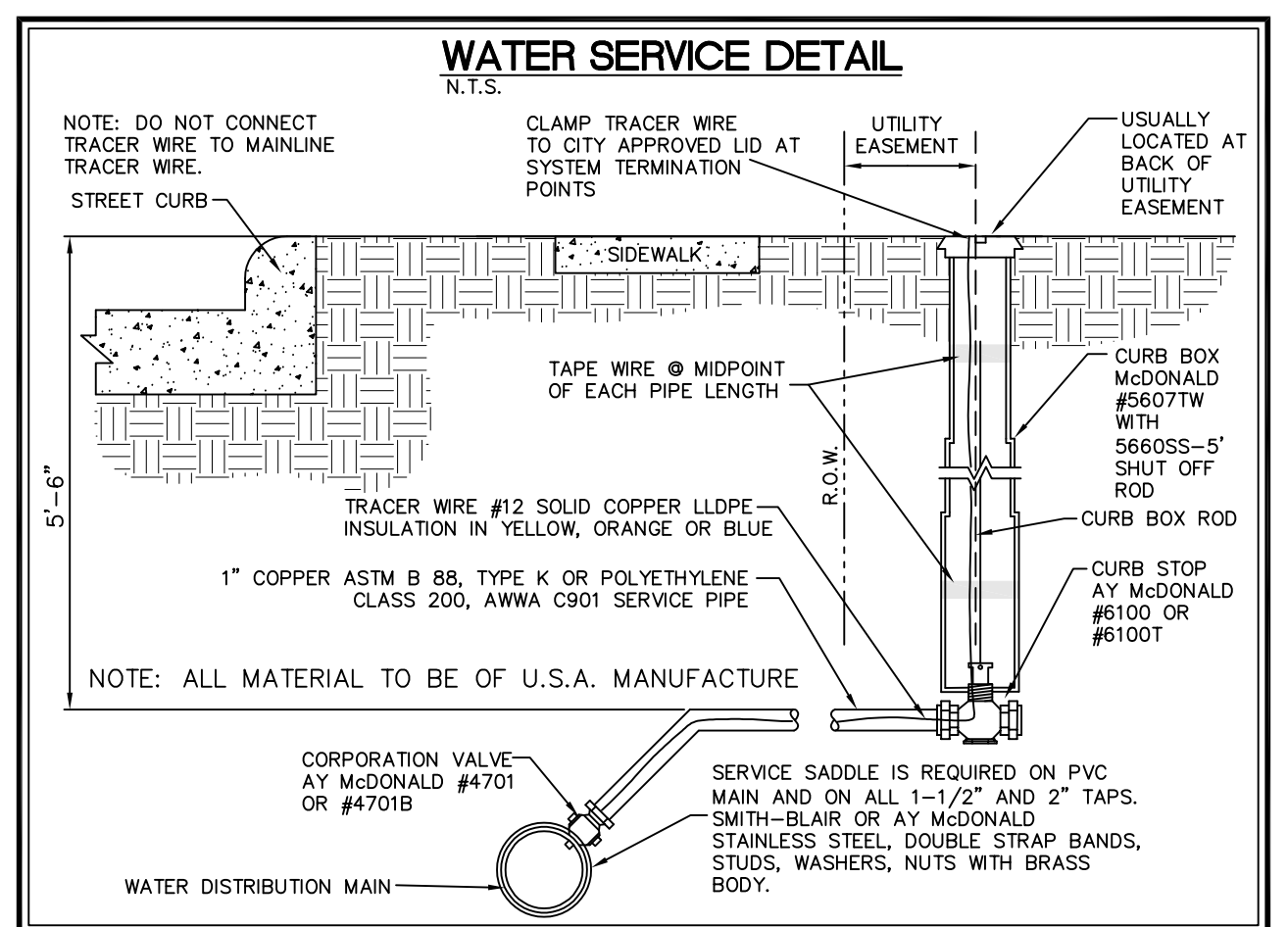
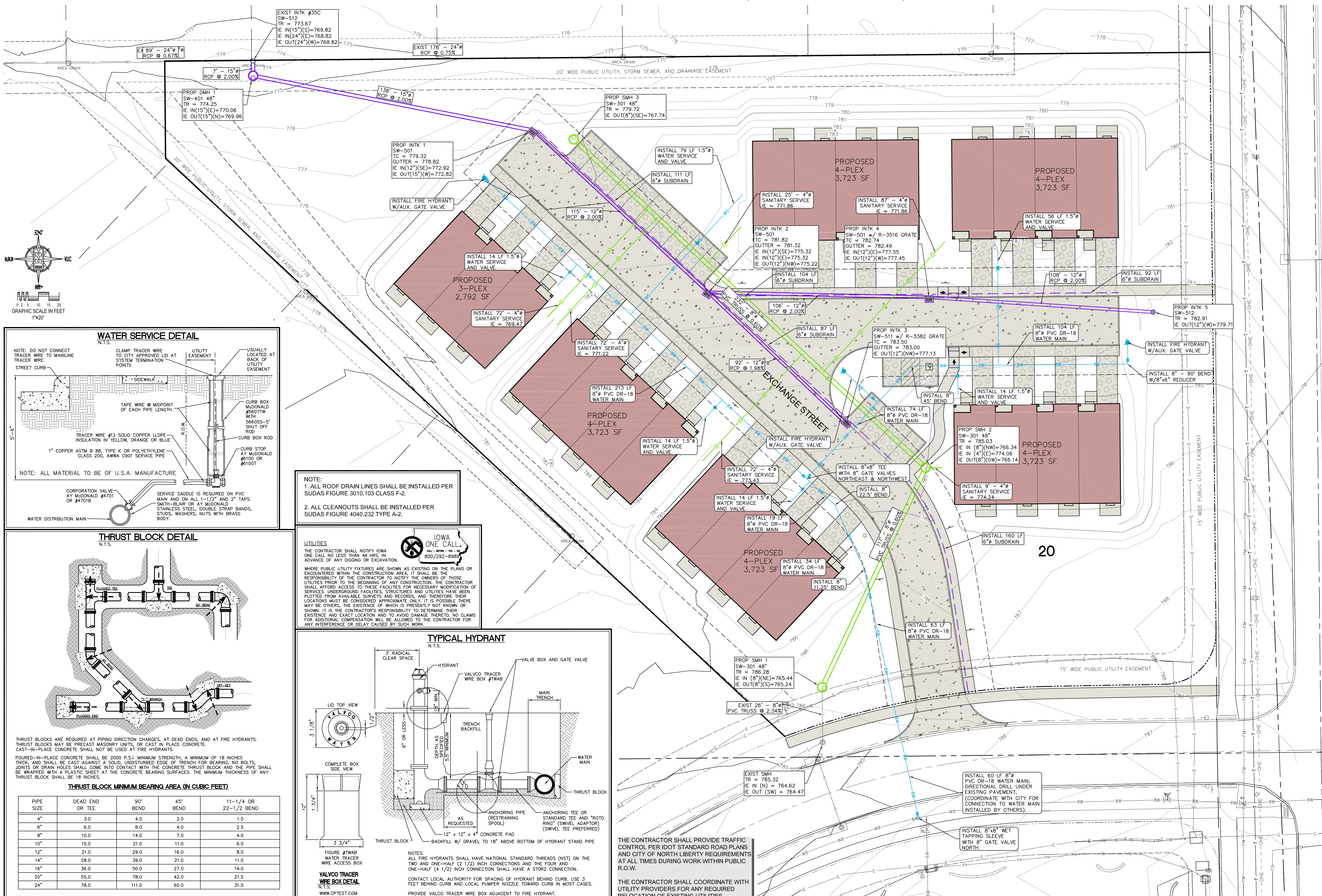
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THRUST BLOCKS ARE REQUIRED AT PIPING DIRECTION CHANGES, AT DEAD ENDS, AND AT FIRE HYDRANTS. THRUST BLOCKS MAY BE PRECAST MASONRY UNITS, OR CAST IN PLACE CONCRETE. CAST-IN-PLACE CONCRETE SHALL NOT BE USED AT FIRE HYDRANTS.

POURED-IN-PLACE CONCRETE SHALL BE 2000 P.S.I. MINIMUM STRENGTH, A MINIMUM OF 18 INCHES THICK, AND SHALL BE CAST AGAINST A SOLID, UNDISTURBED EDGE OF TRENCH FOR BEARING. NO BOLTS, JOINTS OR DRAIN HOLES SHALL COME INTO CONTACT WITH THE CONCRETE THRUST BLOCK AND THE PIPE SHALL BE WRAPPED WITH A PLASTIC SHEET AT THE CONCRETE BEARING SURFACES. THE MINIMUM THICKNESS OF ANY THRUST BLOCK SHALL BE 18 INCHES.

THRUST BLOCK MINIMUM BEARING AREA (IN CUBIC FEET)

PIPE SIZE	DEAD END OR TEE	90° BEND	45° BEND	11-1/4" OR 22-1/2" BEND
4"	3.0	4.0	2.0	1.5
6"	6.0	8.0	4.0	2.5
8"	10.0	14.0	7.0	4.0
10"	15.0	21.0	11.0	6.0
12"	21.0	29.0	16.0	8.0
14"	28.0	39.0	21.0	11.0
16"	36.0	50.0	27.0	14.0
20"	55.0	78.0	42.0	21.5
24"	78.0	111.0	60.0	31.0

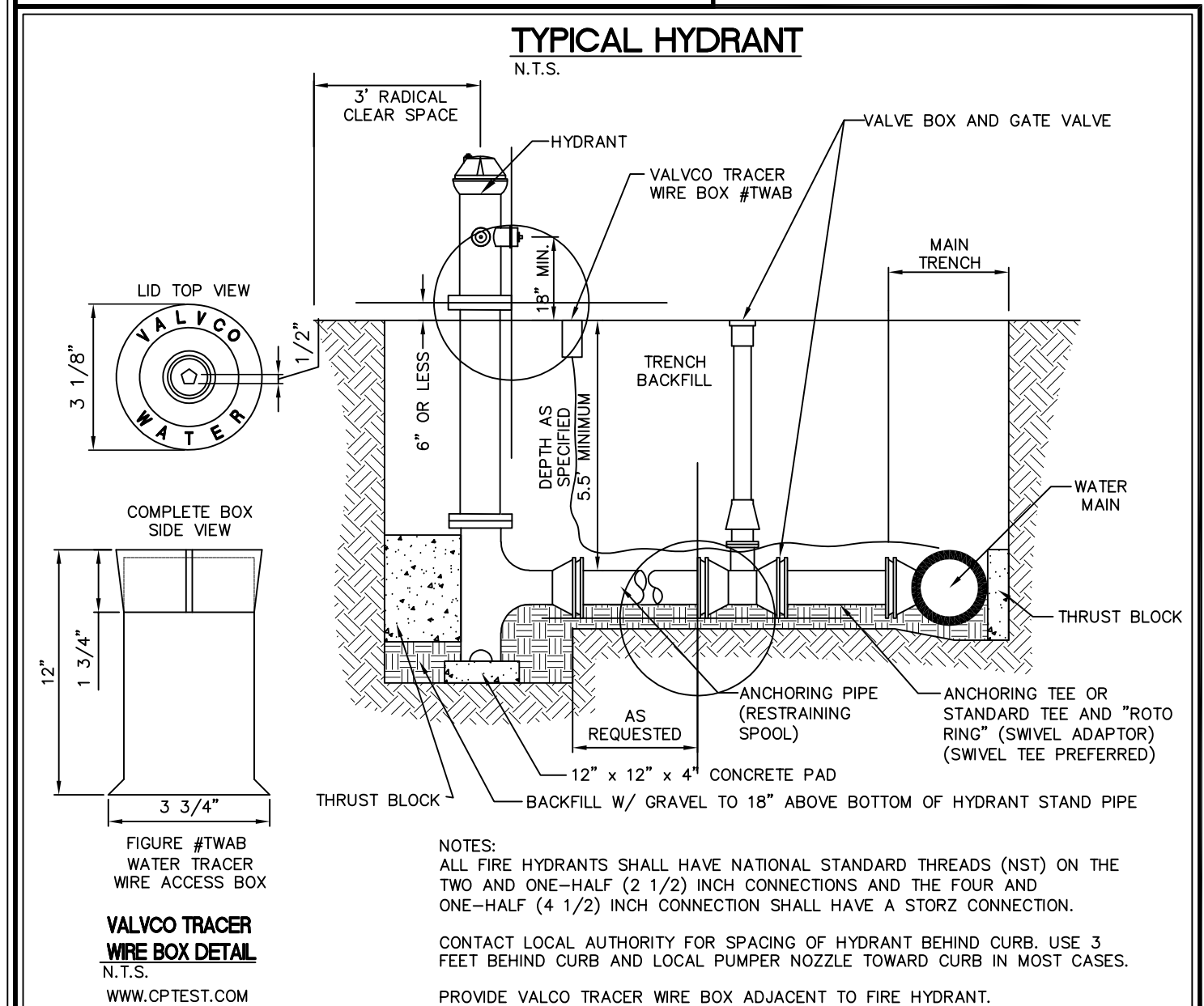
NOTE:

- ALL ROOF DRAIN LINES SHALL BE INSTALLED PER SUDAS FIGURE 3010.103 CLASS F-2.
- ALL CLEANOUTS SHALL BE INSTALLED PER SUDAS FIGURE 4040.232 TYPE A-2.

UTILITIES

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SITE UTILITY PLAN

LOT 20, DAHNOVAN ESTATES
IN THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

MMS CONSULTANTS, INC.

Date: 08-22-17

Designed by: BTM Field Book No: FB 1190, PG 41

Drawn by: TAV Scale: 1"=20'

Checked by: KJB Sheet No: 4

Project No: IOWA CITY 9135-007 of. 6

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER:
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APPLICANT'S ATTORNEY:
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SITE PLAN

LOT 20, DAHNOVAN ESTATES

IN THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

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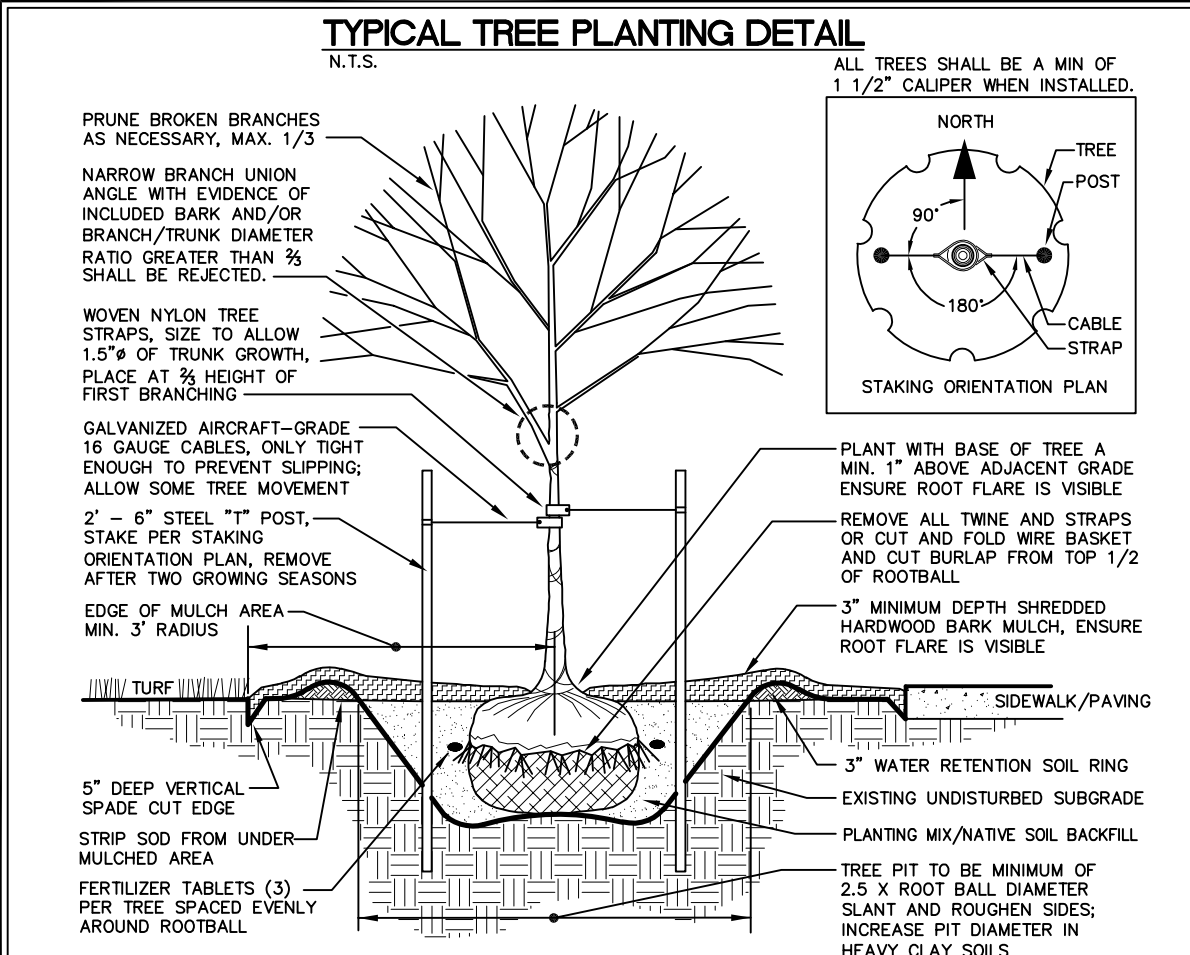
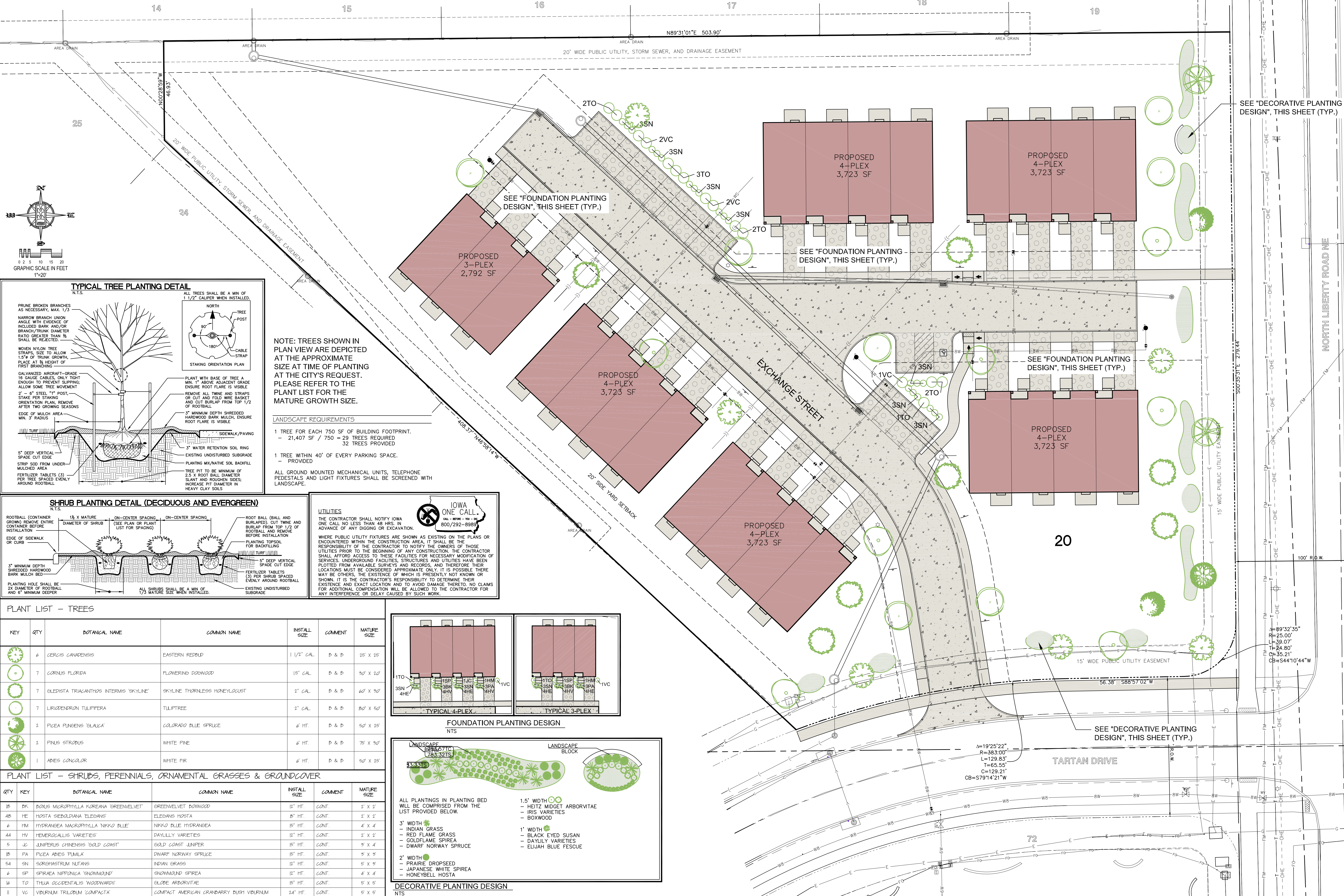
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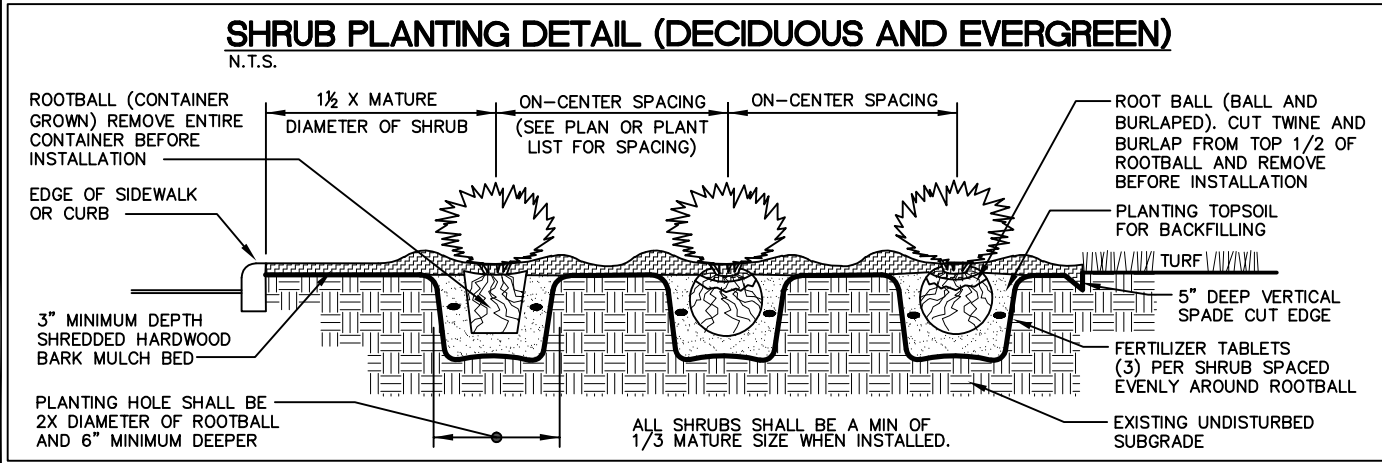


NOTE: TREES SHOWN IN PLAN VIEW ARE DEPICTED AT THE APPROXIMATE SIZE AT TIME OF PLANTING AT THE CITY'S REQUEST. PLEASE REFER TO THE PLANT LIST FOR THE MATURE GROWTH SIZE.

LANDSCAPE REQUIREMENTS

- 1 TREE FOR EACH 750 SF OF BUILDING FOOTPRINT.
 - 21,407 SF / 750 = 29 TREES REQUIRED
 - 32 TREES PROVIDED
- 1 TREE WITHIN 40' OF EVERY PARKING SPACE.
 - PROVIDED

ALL GROUND MOUNTED MECHANICAL UNITS, TELEPHONE PEDESTALS AND LIGHT FIXTURES SHALL BE SCREENED WITH LANDSCAPE.



UTILITIES

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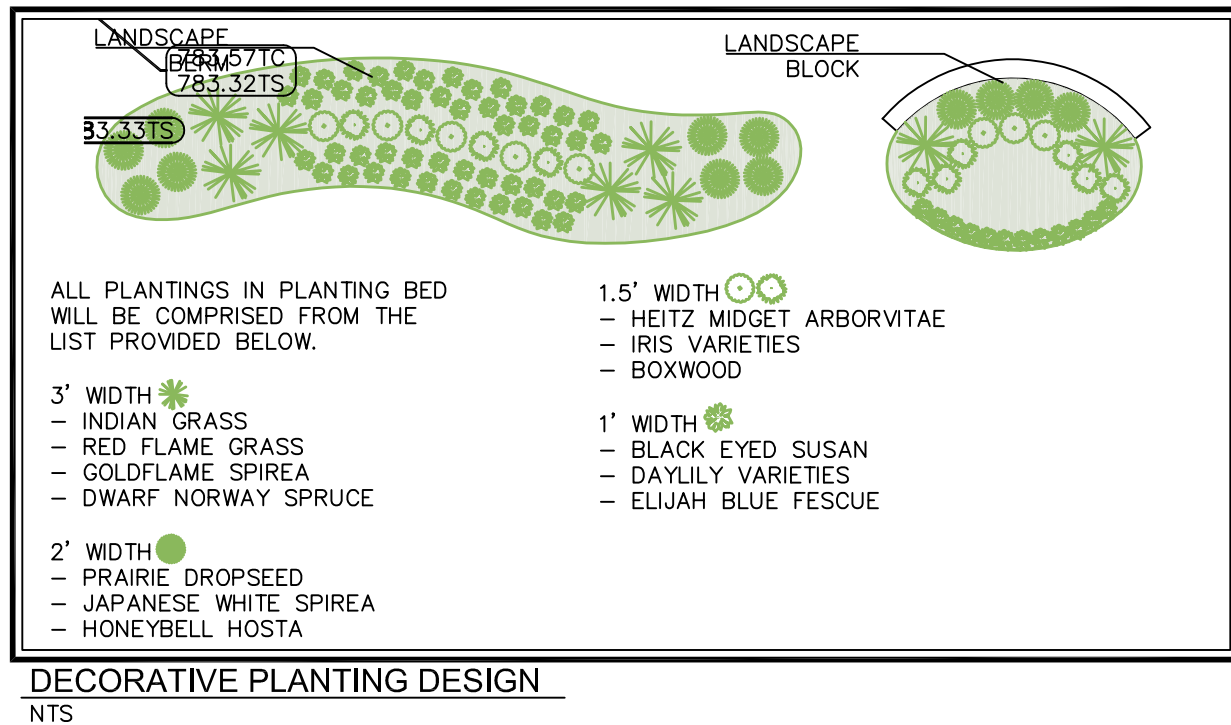
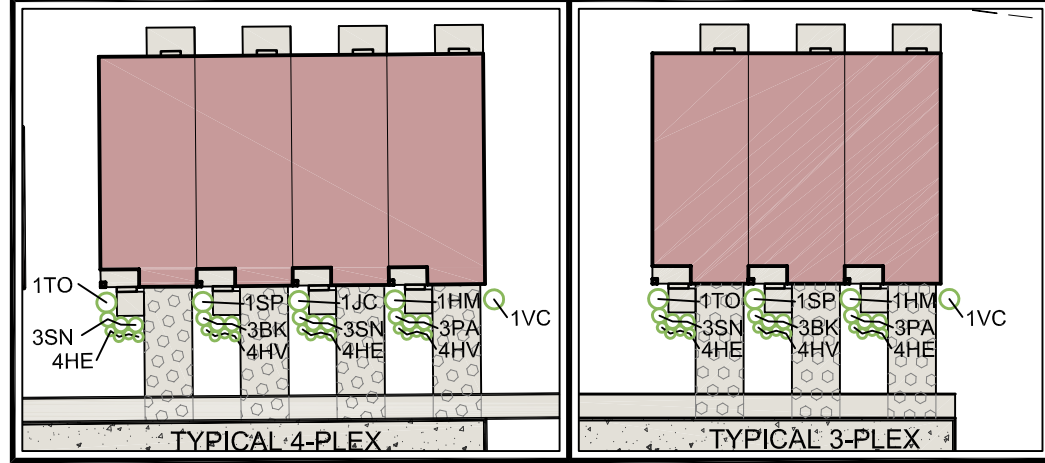
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PLANT LIST - TREES

KEY	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
6	6	CERIS CANADENSIS	EASTERN REDBUD	1 1/2" GAL	D & D	25' X 25'
7	7	CORNUS FLORIDA	FLOWERING DOGWOOD	15" GAL	D & D	30' X 20'
7	7	GLADISTA TRIACANTHOS INTERMIS 'SKYLINE'	SKYLINE THORNLESS HONEYLOCUST	2" GAL	D & D	60' X 50'
7	7	LIRIODENDRON TULIPIFERA	TULIPTREE	2" GAL	D & D	80' X 50'
2	2	PICEA PUNGENS 'BLAU'	COLORADO BLUE SPRUCE	6" HT.	D & D	50' X 25'
2	2	PINUS STROBUS	WHITE PINE	6" HT.	D & D	75' X 50'
1	1	ABIES CONCOLOR	WHITE FIR	6" HT.	D & D	50' X 25'

PLANT LIST - SHRUBS, PERENNIALS, ORNAMENTAL GRASSES & GRANDCOVER

QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
15	PK	BOLUS MICROPHYLLA KOREANA GREENVELVET	GREENVELVET BOWNWOOD	12" HT.	CONT.	2' X 2'
48	HE	HOSTA SEICROPIDIANA ELEGANS	ELEGANS HOSTA	8" HT.	CONT.	2' X 2'
6	TM	HYDRANGEA MACROPHYLLA NIKKO BLUE	NIKKO BLUE HYDRANGEA	12" HT.	CONT.	4' X 4'
44	IV	HEMEROCALLIS VARIETIES	DAYLILLY VARIETIES	12" HT.	CONT.	2' X 2'
5	JC	JUNIPERUS CHINENSIS 'GOLD COAST'	GOLD COAST JUNIPER	15" HT.	CONT.	3' X 4'
15	PA	PICEA ABIES 'FUMULA'	DWARF NORWAY SPRUCE	15" HT.	CONT.	3' X 3'
64	IN	SORGHASTRUM NUTANS	INDIAN GRASS	12" HT.	CONT.	5' X 5'
6	SP	SPHRAEA NIPPONICA 'SNOWMOUND'	SNOWMOUND SPIREA	12" HT.	CONT.	4' X 4'
16	TO	THUA OCCIDENTALIS 'WOODWARD'	ELDRE ARBORVITAE	15" HT.	CONT.	5' X 5'
11	VC	VIURNUM TRILOBUM 'COMPACTA'	COMPACT AMERICAN GRANDBERRY BUSH VIURNUM	24" HT.	CONT.	5' X 5'



SITE LANDSCAPE PLAN

LOT 20, DAHNOVAN ESTATES
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MMS CONSULTANTS, INC.

Date: 08-22-17

Designed By: BTM Field Book No: FB 1190, PG 41

Drawn By: TAV Scale: 1"=20'

Checked By: KJB Sheet No: 5

Project No: IOWA CITY 9135-007 of. 6

SANITARY SEWER AND WATER MAIN CONSTRUCTION NOTES

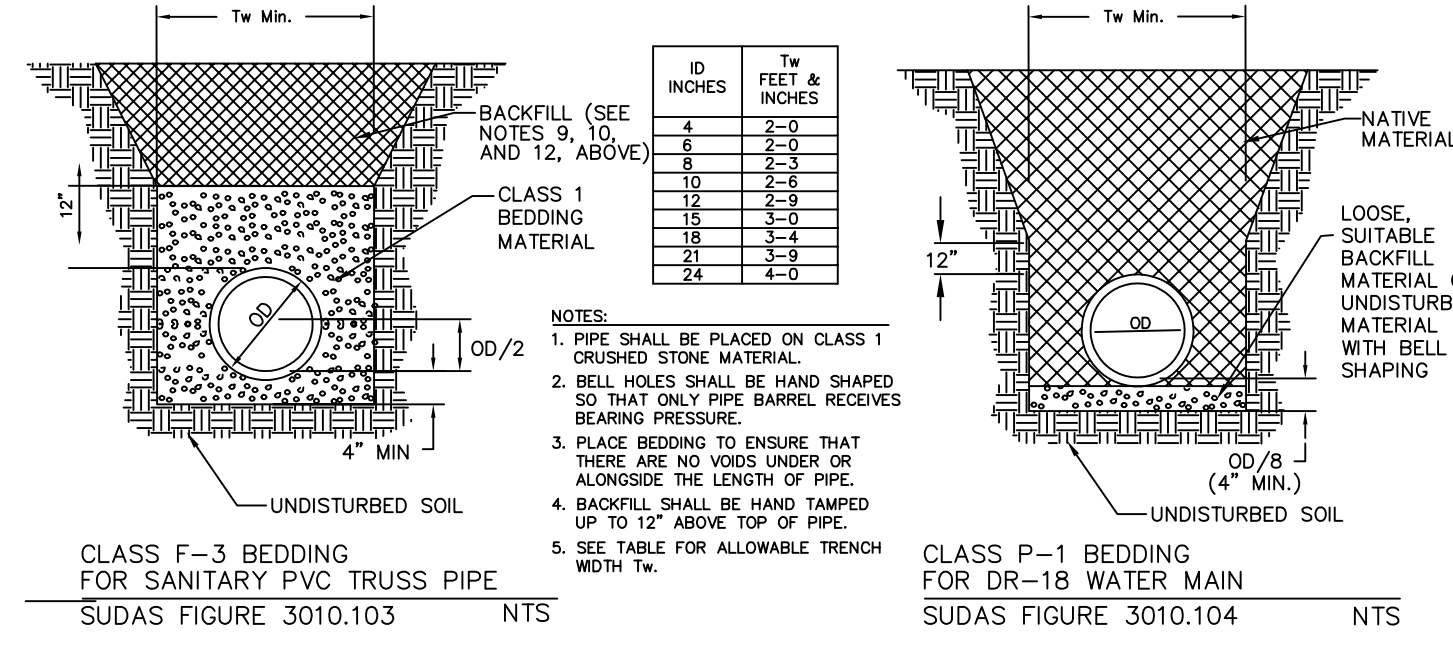
ALL SANITARY SEWER MANHOLE LIDS SHALL HAVE THE WORDS "SANITARY SEWER" CAST IN THE LID

- SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS BY MMS CONSULTANTS, INC. CONSTRUCTION SHALL ALSO CONFORM TO THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL AND TO THE CITY OF NORTH LIBERTY STANDARDS AND APPROVED MANUFACTURERS/MODELS.
- ALL TRENCH EXCAVATIONS SHALL BE COMPLETED IN ACCORDANCE WITH SUDAS SPECIFICATION SECTION 3010.
- CONTRACTOR SHALL PROVIDE CLASS 1 CRUSHED STONE ENCASEMENT BEDDING ACCORDING TO SUDAS SPECIFICATION 3010.2.02.A FOR ALL SANITARY SEWER UNLESS NOTED OTHERWISE ON THE PLANS.
- SANITARY SEWERS TO BE PVC TRUSS PIPE (SUDAS 4010.2.01.E) UNLESS NOTED OTHERWISE. SANITARY SEWER SERVICE LINES SHALL BE PVC, SOR 23.5 WITH GASKETED JOINTS (SUDAS 4010.2.04.C).
- CONTRACTOR TO PROVIDE CLOW "BAND-SEAL" COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
- WATER MAINS SHALL BE DR-18 PVC PIPE, IN COMPLIANCE WITH SUDAS SPECIFICATION SECTION 5010.2.01, UNLESS NOTED OTHERWISE ON THE PLANS.
- ALL CLASS 52 DIP SHALL BE WRAPPED WITH 8 MIL POLYETHYLENE WRAP IN COMPLIANCE WITH SUDAS 5010.3.05.
- #12 AWG SOLID COPPER TRACER WIRE SHALL BE INSTALLED ALONG ENTIRE LENGTH OF NEW WATER MAIN, IN COMPLIANCE WITH SUDAS SPECIFICATION 5010.3.06 AND FIGURE 5010.102. THIN INSULATION IN YELLOW, ORANGE OR BLUE.
- SANITARY SEWER TRENCHES SHADED ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% STANDARD PROCTOR DENSITY:
 - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED. *REFER TO SUDAS SPECIFICATION 3010.2.01 FOR UNSUITABLE MATERIAL*
- GRANULAR TRENCH BACKFILL SHALL BE CLASS 1 CRUSHED STONE CONFORMING TO SUDAS SPECIFICATION 3010.2.02.A. COMPACT TO 95% STANDARD PROCTOR DENSITY.
- WATER MAINS WITHIN STREET RIGHT OF WAYS OR WITHIN EASEMENTS ADJACENT TO THE STREET RIGHT OF WAYS SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% STANDARD PROCTOR DENSITY:
 - SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
- ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED :
 - TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
 - TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.

THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED, ACCORDING TO SUDAS SPECIFICATION 5010.3.07:
- WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
- WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
- VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
- WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10-FEET OF THE POINT OF CROSSING.
- NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
- WATER MAIN SHADED ON PLAN VIEW, AND ALL WATER SERVICE LINES CROSSING STREETS, SHALL BE INSTALLED PRIOR TO PAVING.
- VIDEO INSPECTION OF ALL SANITARY SEWER MAINS IS REQUIRED PRIOR TO CITY ACCEPTING OWNERSHIP OF THE SYSTEM.
- ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:

PIPE DIAMETER, (INCHES)	TEST PERIOD DURATION (MINUTES)
8	4.0
10	5.0
12	6.0
15	7.0
18	8.5
21	10.0
24	11.5
27	13.0
30	14.0
36	17.0
42	20.0
48	23.0
54	25.5
60	28.5

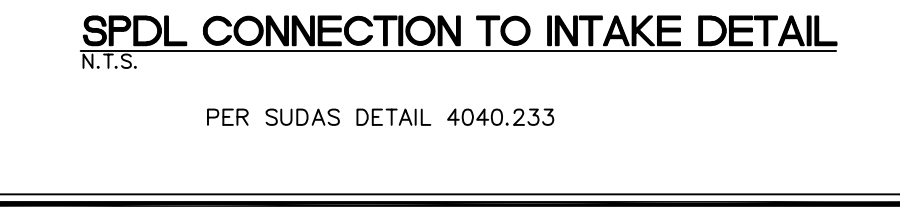
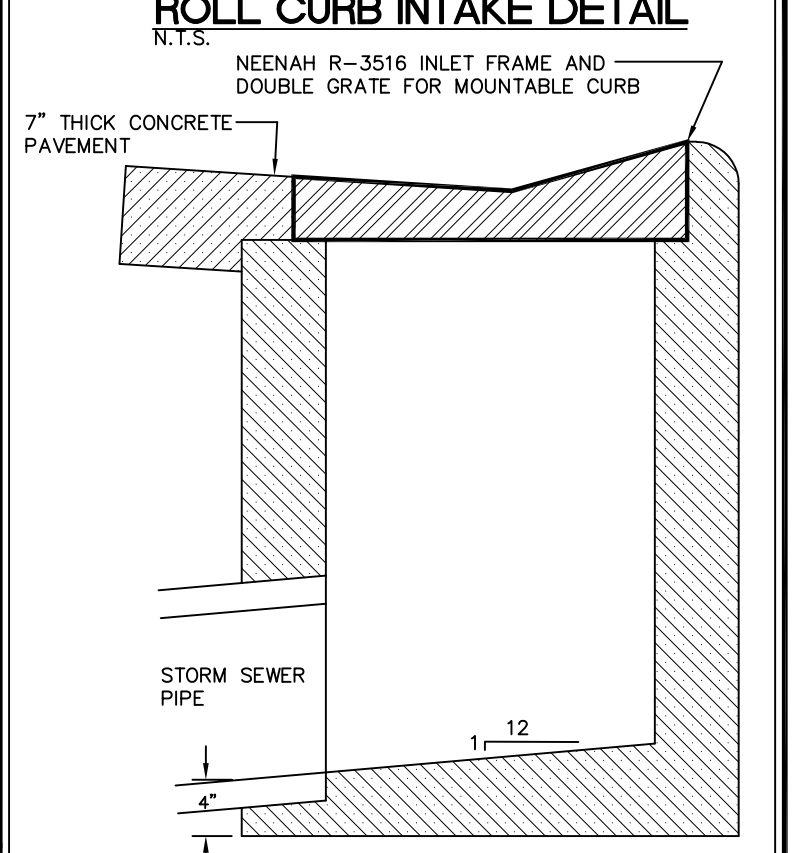
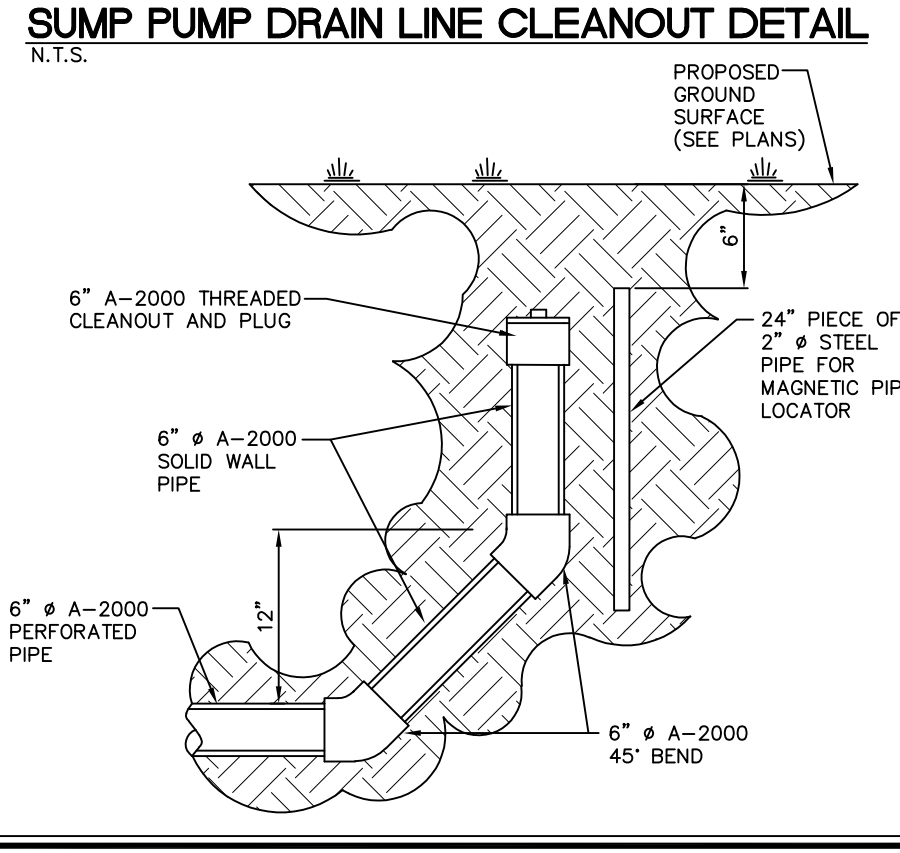
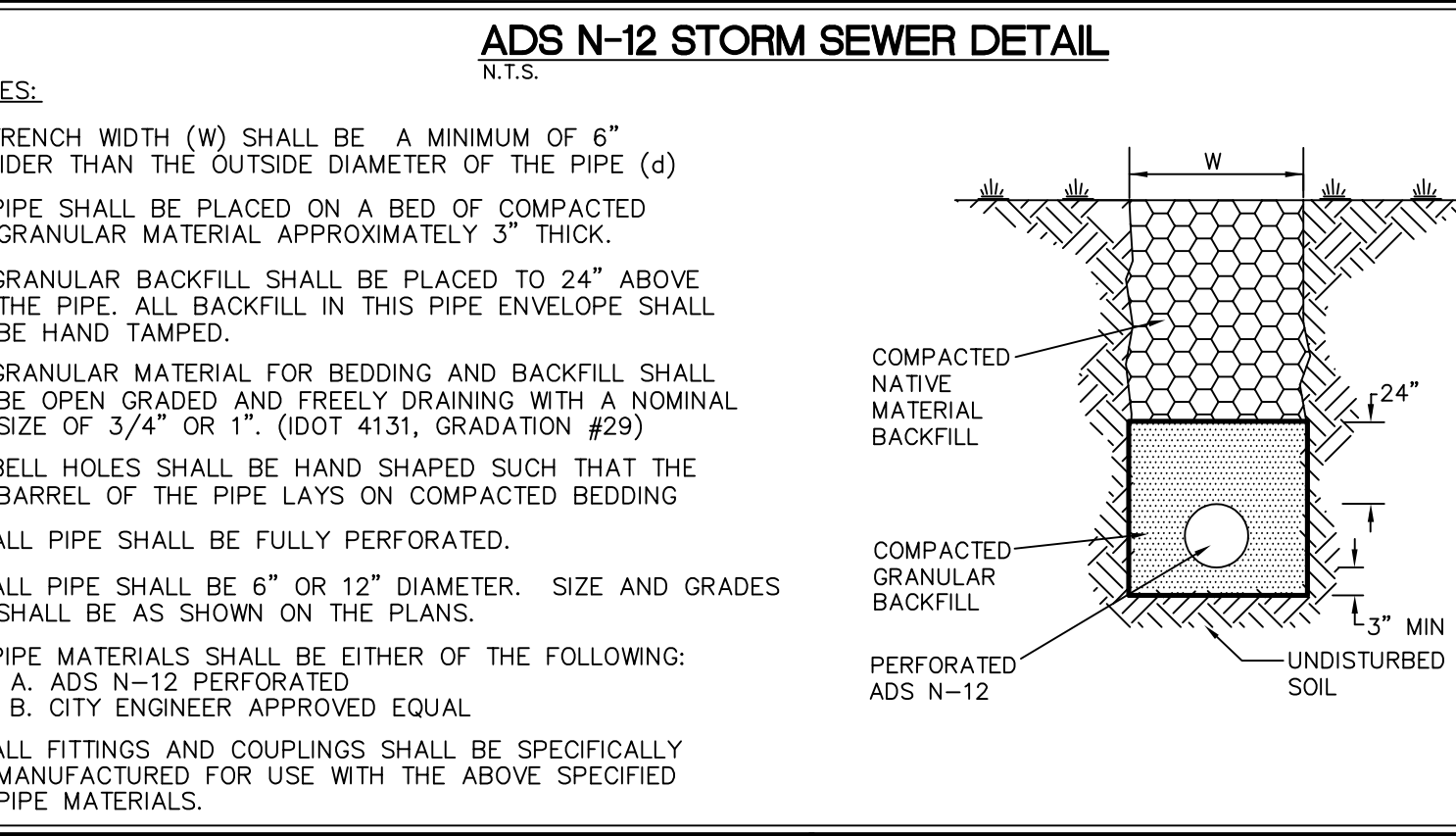
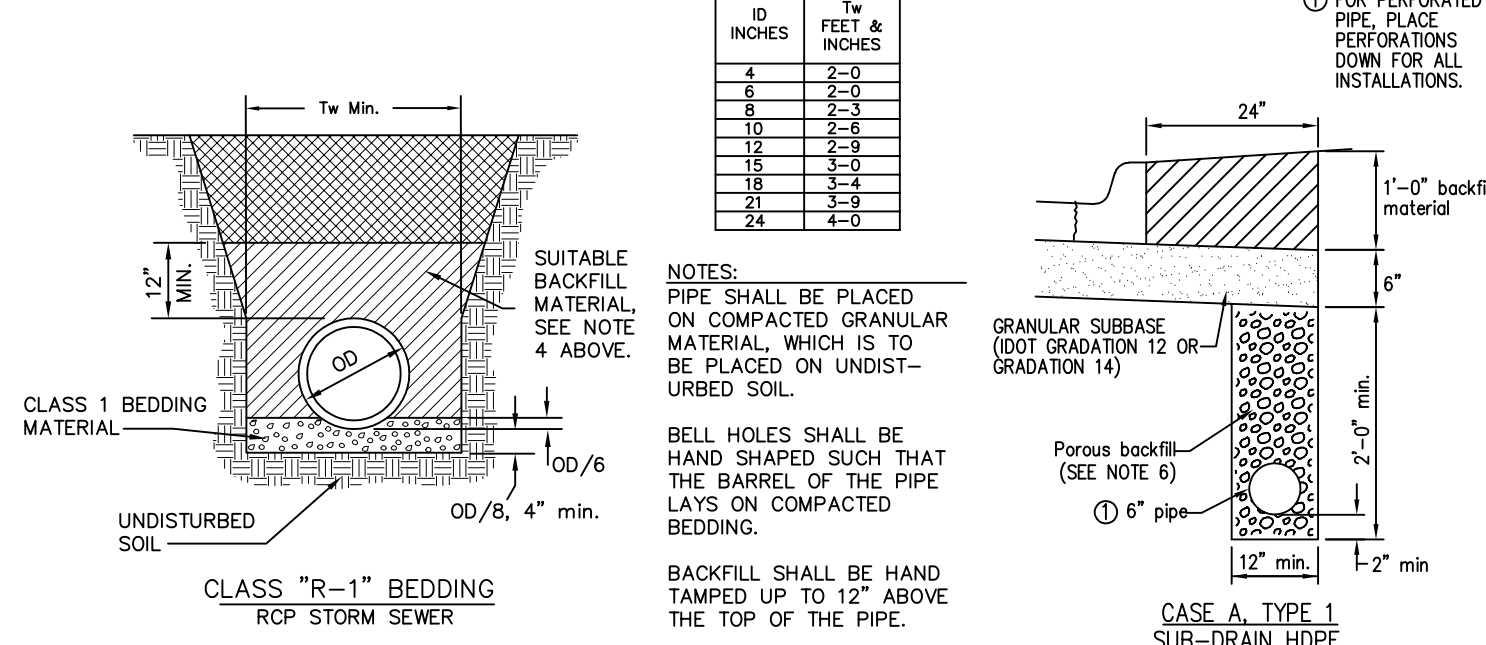
- PERFORM FROM MANHOLE-TO-MANHOLE AFTER BACKFILL, CLEAN AND WET PIPE LINE
 - PLUG ALL INLETS AND OUTLETS TO DETERMINE THE TEST PRESSURE.
 - USE THE TABLE TO THE RIGHT TO RESIST THE TEST DURATION FOR SECTION BEING TESTED. PRESSURE HOLDING TIME IS BASED ON AVERAGE HOLDING PRESSURE OF 3.0 PSI OR DROP FROM 3.5-2.5 PSI.
 - INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 4 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT. PRESSURE IN SEWER SHOULD NOT EXCEED 5.0 PSI.
 - ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
 - WHEN PRESSURE HAS STABILIZED AND IS AT OR ABOVE THE STARTING TEST PRESSURE OF 3.5 PSI, COMMENCE THE TEST. RECORD THE DROP IN PRESSURE FOR THE TEST PERIOD. THE TEST MAY BE DISCONTINUED WHEN THE PRESCRIBED TEST TIME HAS BEEN COMPLETED, EVEN THOUGH 1.0 PSI DROP HAS NOT OCCURRED.
 - IF THE GROUNDWATER LEVEL AT THE TIME OF TESTING IS ABOVE THE PIPE INVERT, ADD 0.43 PSI OF AIR PER FOOT OF WATER ABOVE THE INVERT TO TEST AIR PRESSURE RANGE OF 2.5 PSI TO 3.5 PSI STATED ABOVE.
 - IF THE PRESSURE DROP EXCEEDS 1.0 PSI DURING THE TEST PERIOD, THE TEST WILL BE CONSIDERED TO HAVE FAILED. LOCATE AND REPAIR LEAKS, AND REPEAT THE TEST.
 - AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION.
- DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
 - DEFLECTION TEST TO BE CONDUCTED BY PULLING A 9 ARM DEFLECTION MANDREL, COMPLYING WITH APPLICABLE ASTM STANDARDS, THROUGH SEWER BY HAND, IN ACCORDANCE WITH SUDAS SPECIFICATION 4060.1.05.
 - NO PIPE SHALL EXCEED A DEFLECTION OF 5% OF INSIDE PIPE DIAMETER.



WHERE PUBLIC OR PRIVATE UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

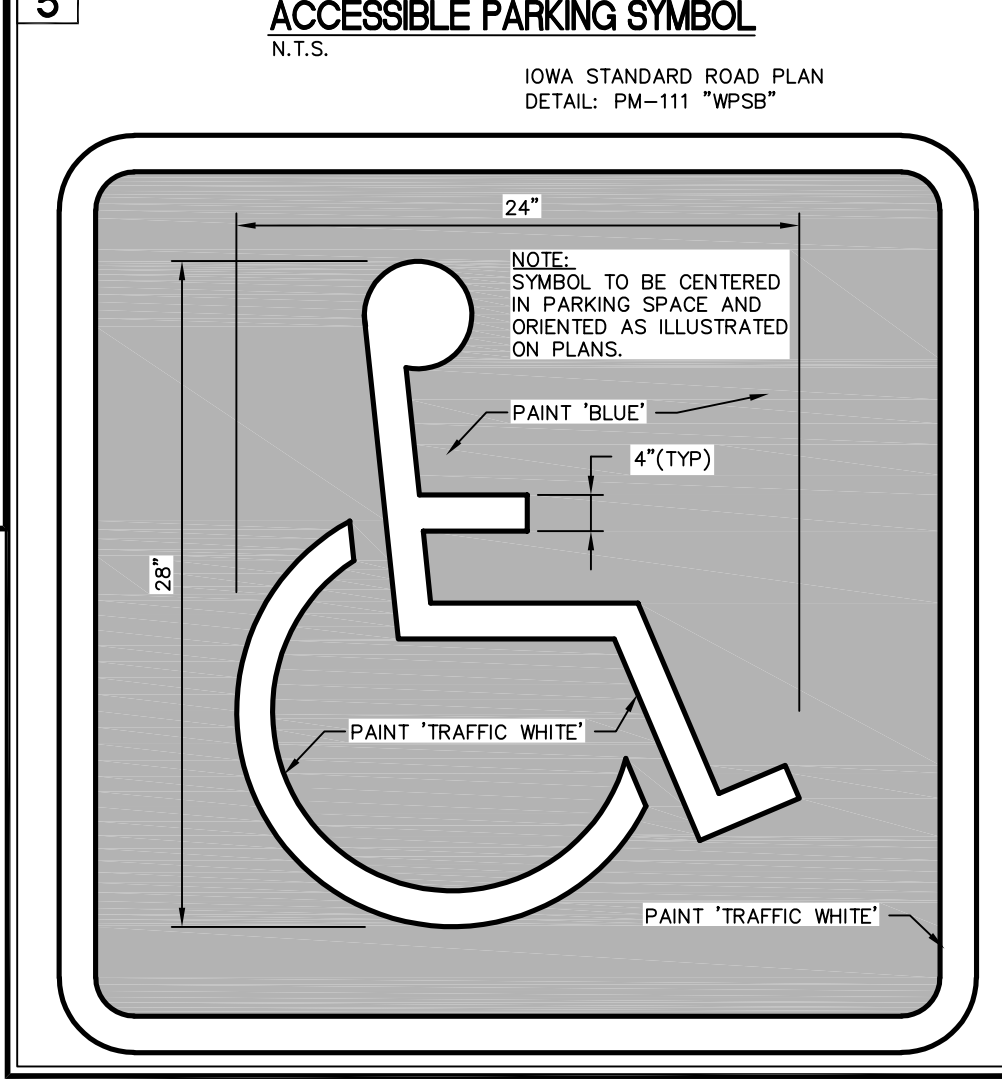
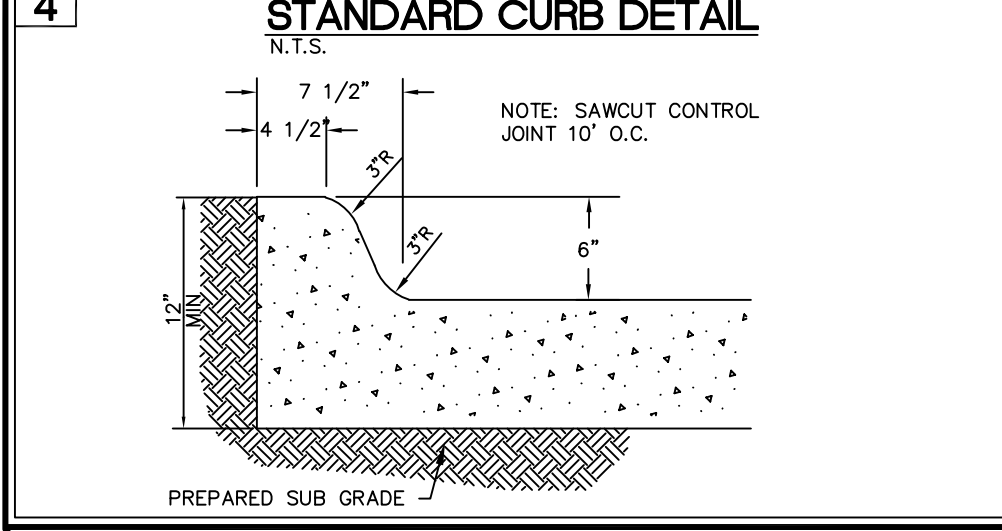
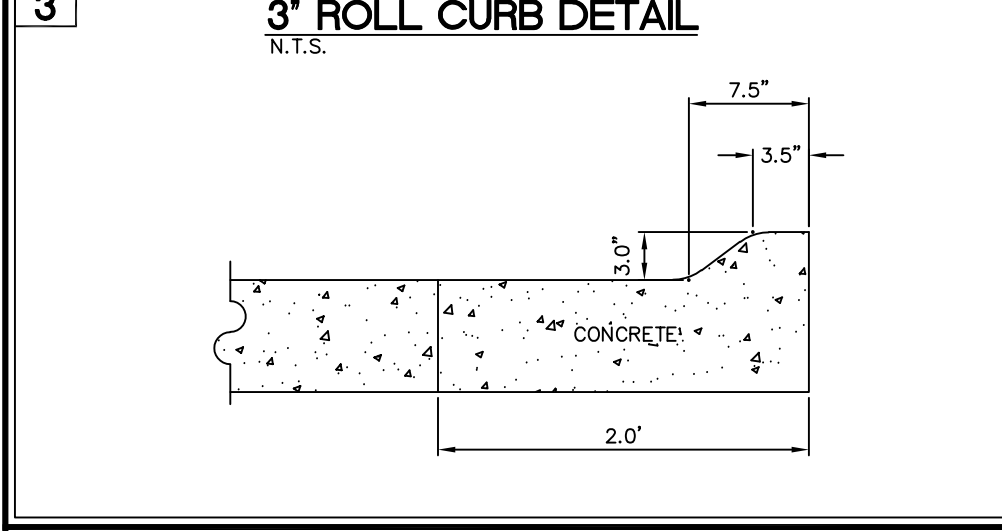
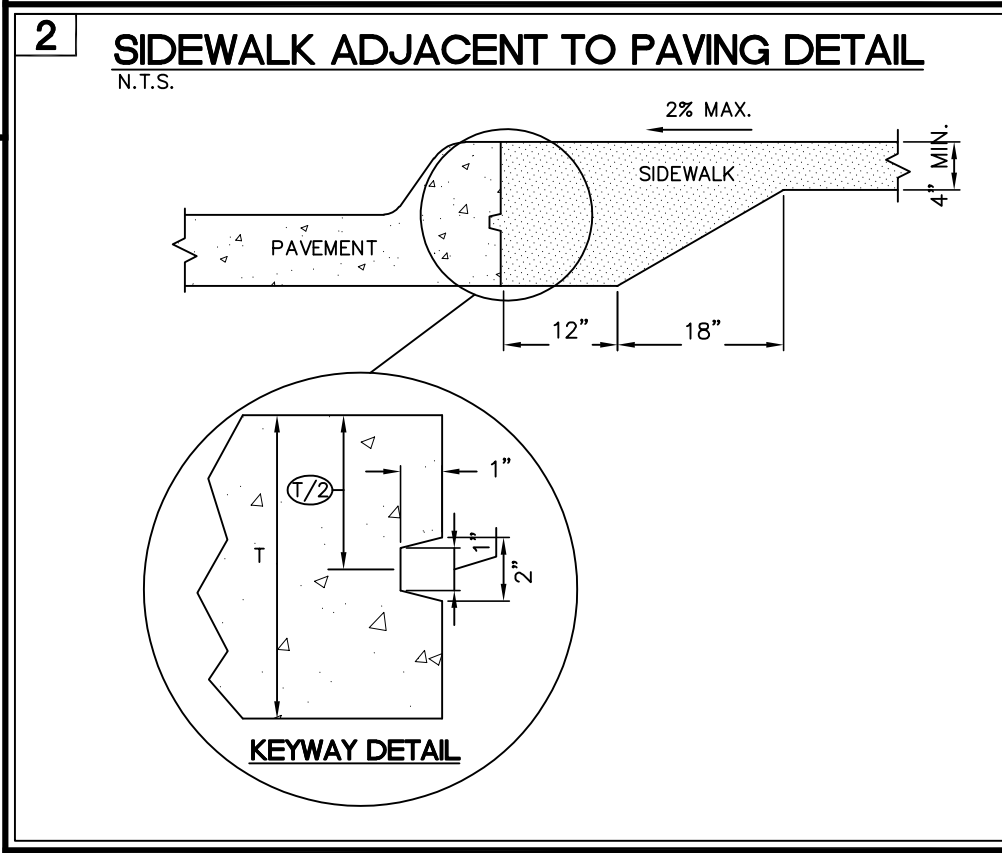
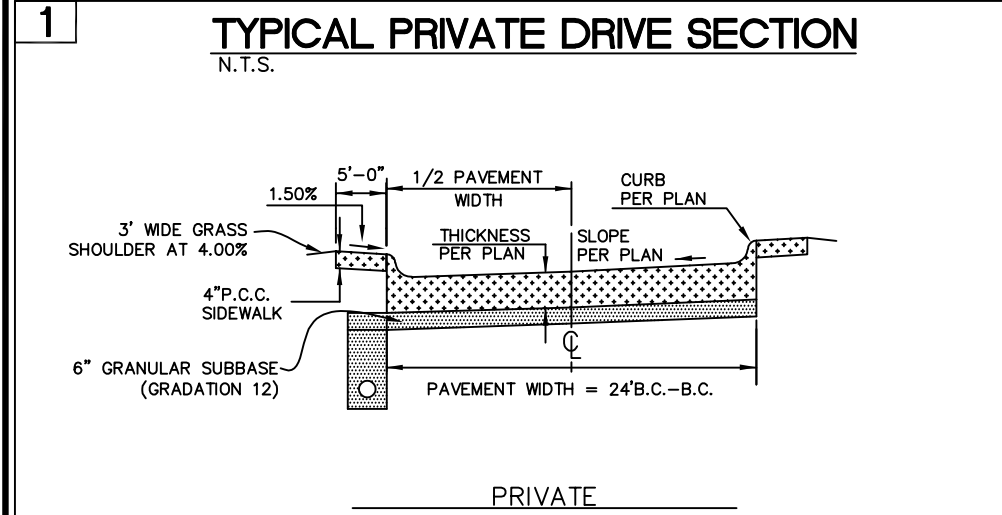
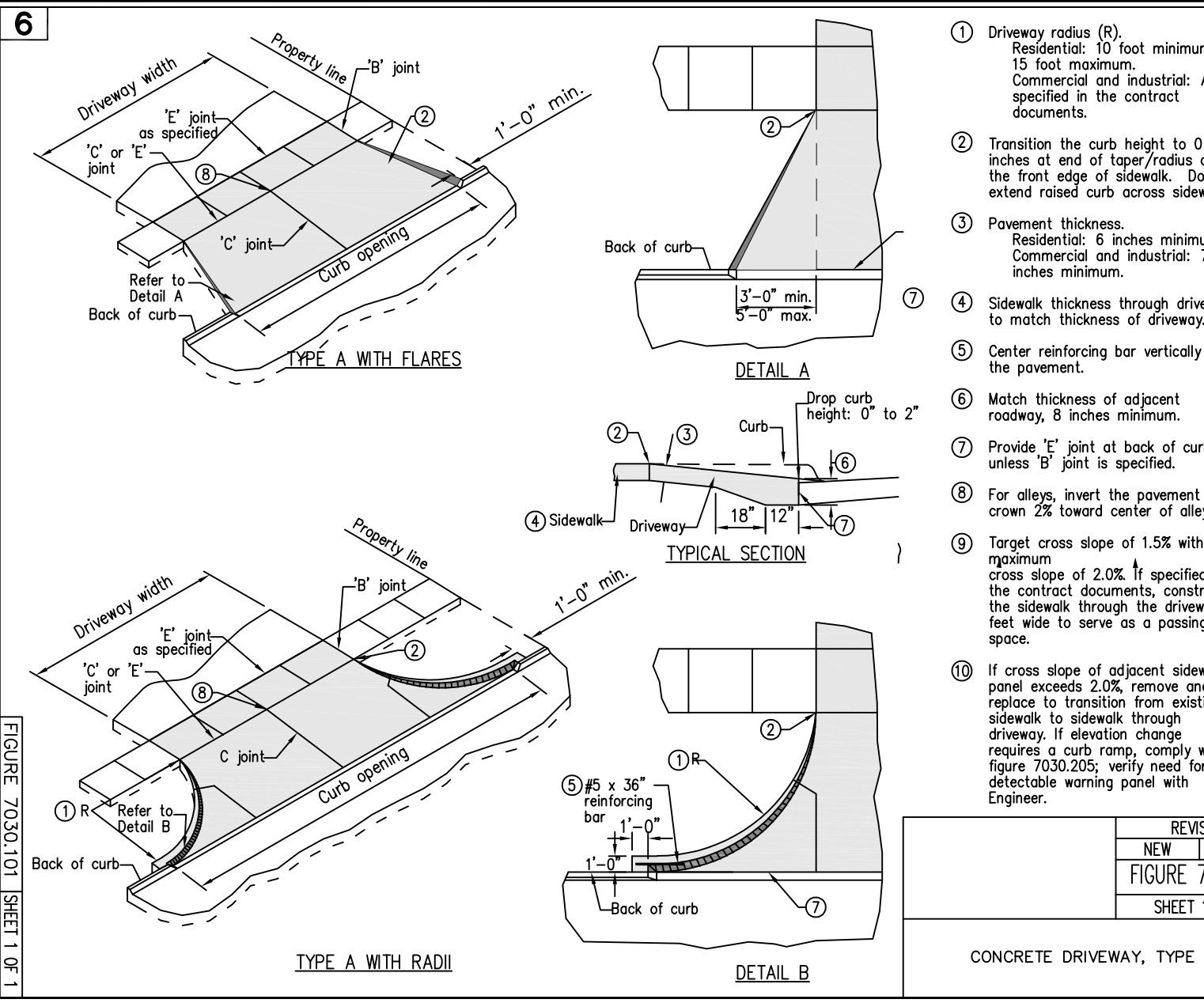
STORM SEWER AND SUB-SURFACE CONSTRUCTION NOTES

- ALL STORM SEWER AND SUB-SURFACE CONSTRUCTION SHALL CONFORM TO PLANS AND DETAILS PREPARED FOR THIS PROJECT BY MMS CONSULTANTS, INC., AS WELL AS CONFORM TO THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL. CONSTRUCTION SHALL ALSO CONFORM TO THE CURRENT CITY OF NORTH LIBERTY DESIGN STANDARDS, WHICH SHALL SUPERSEDE PLANS AND DETAILS PROVIDED BY MMS CONSULTANTS.
- ALL STORM SEWER INTAKE AND MANHOLE LIDS SHALL HAVE THE WORDS "STORM SEWER" CAST INTO THE LID.
- ALL REINFORCED CONCRETE PIPE STORM SEWER SHALL BE CLASS III UNLESS NOTED OTHERWISE IN THE PLANS.
- ALL REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO SUDAS SPECIFICATION 4020.2.01.A WITH THE FOLLOWING ADDITIONAL RESTRICTIONS: ALL RCP JOINTS FOR 36" AND SMALLER PIPE SHALL HAVE TONGUE AND GROOVE JOINTS INCORPORATING TONGUE RUBBER "O"-RING OR PROFILE GASKETS COMPLYING WITH ASTM C443 OR SHALL BE TONGUE AND GROOVE WITH ALL JOINTS WRAPPED WITH FILTER FABRIC A MINIMUM OF 24" WIDE.
- RCP PIPE BEDDING SHALL CONFORM TO SUDAS FIGURE 3010.102 CLASS R-1. CLASS 1 BEDDING MATERIAL SHALL BE AS SPECIFIED IN SUDAS SPECIFICATION 3010.2.02.A. TRENCH BACKFILL SHALL BE SUITABLE EXCAVATED MATERIAL AS IDENTIFIED IN SUDAS SPECIFICATION 3010.2.01.A PLACED AND COMPACTED IN ACCORDANCE WITH SECTIONS 3.05, D AND E. THE OWNER MAY ELECT TO TEST TRENCH COMPACTION AT THEIR OWN EXPENSE.
- SUB-SURFACE DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) CONFORMING TO SUDAS SPECIFICATION 4040.2.02.C FOR BOTH PERFORATED TILE AND SOLID WALL PIPE.
- FOR SUB-SURFACE DRAINAGE IN TURF AREAS HDPE PIPE BEDDING SHALL CONFORM TO SUDAS FIGURE 3010.103 CLASS F-3. BEDDING MATERIAL SHALL BE POROUS BACKFILL MATERIAL AS SPECIFIED IN SUDAS SPECIFICATION 4040.2.04. TRENCH BACKFILL SHALL BE SUITABLE EXCAVATED MATERIAL AS IDENTIFIED IN SUDAS SPECIFICATION 3010.2.01.A PLACED AND COMPACTED IN ACCORDANCE WITH SECTIONS 3.05 D AND E.
- FOR SUB-SURFACE DRAINAGE UNDER PAVEMENT HDPE PIPE INSTALLATION SHALL CONFORM TO SUDAS FIGURE 4040.2.01, CASE C TYPE 1. BEDDING AND BACKFILL MATERIAL SHALL BE AS SPECIFIED IN SUDAS SPECIFICATION 4040.2.04.
- AT LOCATIONS WHERE A FLARED END SECTION IS REQUIRED, THE PIPE LENGTHS SHALL BE MEASURED TO THE END OF THE FLARED END. THE FLARED END SECTION AND THE TWO UPSTREAM JOINTS ARE TO INCORPORATE TIED JOINTS.
- ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE PROPOSED STORM SEWER. NOTIFY ENGINEER OF ALL FIELD TILES ENCOUNTERED.
- CONTRACTOR SHALL PROVIDE A FIVE-YEAR MAINTENANCE BOND COVERING DEFECTIVE MATERIALS AND WORKMANSHIP FOR ALL STORM SEWER SYSTEM IMPROVEMENTS.



PAVING CONSTRUCTION NOTES

- PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH SUDAS SPECIFICATION SECTION 7010-PCC PAVEMENT
- A MINIMUM 6" THICK GRANULAR SUBBASE OF I.D.O.T. GRADATION 12 OR 14 SHALL BE PROVIDED FOR ALL PUBLIC AND PRIVATE STREETS. SUBBASE SHALL BE IN ACCORDANCE WITH SUDAS SPECIFICATION SECTION 2010.
- PCC MIX SHALL COMPLY WITH I.D.O.T. CLASS C OR CLASS M MEETING THE REQUIREMENTS OF MATERIALS I.M. 529.
- PAVEMENT JOINTS SHALL CONFORM TO SUDAS SPECIFICATION SECTION 7010.3.02, J AND K.
 - INSTALL LONGITUDINAL JOINTS AT THE THIRD POINTS OF THE STREET. INSTALL TRANSVERSE JOINTS AT 15 FOOT MAXIMUM SPACING AND EVENLY SPACED BETWEEN OBJECTS IN THE PAVEMENT AND INTERSECTIONS.
 - WHERE PAIRS OF INTAKES ARE LOCATED DIRECTLY ACROSS FROM EACH OTHER OR SLIGHTLY SKEWED, INSTALL TRANSVERSE JOINTS BETWEEN CORNERS OF THE THROAT INSERTS AND DIRECTLY ABOVE THE CROSSING STORM SEWER PIPE.
- SAW JOINTS TO BE COMPLETED WITHIN 24 HOURS OF THE CONCRETE BEING PLACED.
- CONTRACTOR SHALL PROVIDE A FIVE-YEAR MAINTENANCE BOND COVERING DEFECTIVE MATERIALS AND WORKMANSHIP FOR ALL STREET IMPROVEMENTS.
- NO NEW CONCRETE PAVING SHALL BE OPENED TO VEHICULAR TRAFFIC UNTIL APPROVED BY THE CITY OF NORTH LIBERTY.



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
09-25-17	PER CITY COMMENTS BTM/LLS
09-29-17	PER CITY COMMENTS BTM/LLS

GENERAL NOTES AND DETAILS

LOT 20,
DAHNOVAN
ESTATES

IN THE CITY OF
NORTH LIBERTY,
JOHNSON COUNTY,
IOWA

MMS CONSULTANTS, INC.

Date:	08-22-17
Designed by:	BTM
Field Book No.:	FB 1190, PG 41
Drawn by:	TAV
Scale:	N/A
Checked by:	KJB
Sheet No.:	6
Project No.:	IOWA CITY
	9135-007

- SHEET INDEX
- SITE LAYOUT AND DIMENSION PLAN
 - EROSION CONTROL PLAN AND SWPPP
 - SITE GRADING PLAN
 - SITE UTILITY PLAN
 - SITE LANDSCAPE PLAN
 - GENERAL NOTES AND DETAILS



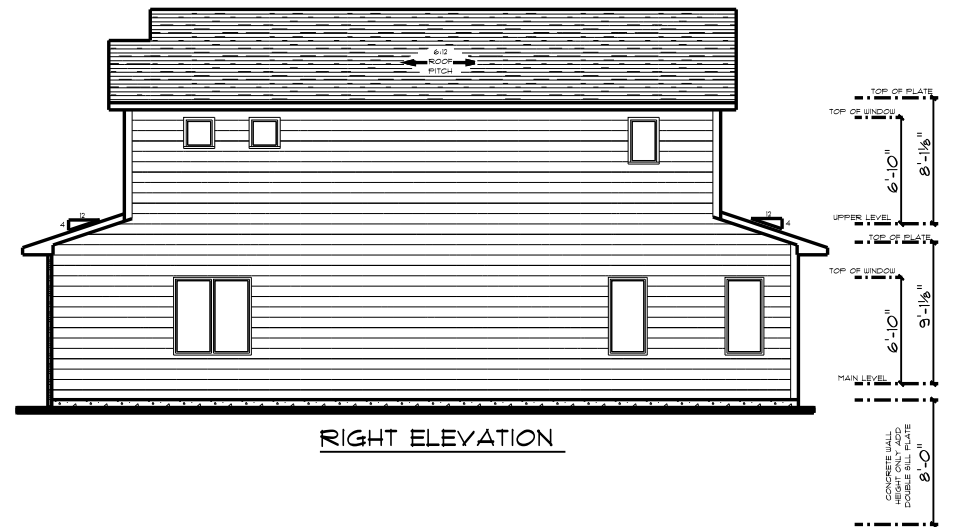
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

PRELIMINARY PLAN ONLY NOT FOR CONSTRUCTION

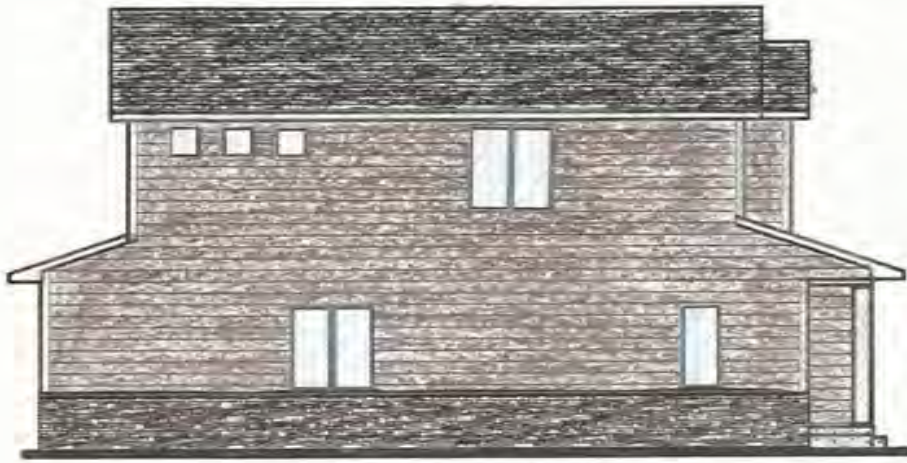
REVISIONS

• DESIGN ELEMENTS®
 REGISTERED ARCHITECTURAL FIRM
 • LANE TELL • 813A • 522955
 89-453-4872
 CLEO@TOWNHOMESBUILDERS.COM

SCALE: 1/8" = 1'-0"
 DATE: 08/17/2007
 DRAWN BY: GJM
 CHECKED BY: GJM
 PROJECT NUMBER: DM 1868

• ΔI •

DESIGN ELEMENTS IS NOT AN ARCHITECT, OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND BUILDER OF THIS PLAN. THE ARCHITECT DESIGN ELEMENTS FROM ANY CLAIMS OR DAMAGES THAT COULD ARISE ARISING OR AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. IN CONSTRUCTION, ALL STRUCTURAL MEMBERS, CONNECTIONS AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.



LEFT ELEVATION

Note: This is a corner building elevation. Corner buildings also include at least two trees on the corner side of buildings.



FRONT ELEVATION

OVERALL FRONT:	283.8 SQ. FT.
FRONT MASONRY:	86 SQ. FT. (30 %)



RIGHT ELEVATION



REAR ELEVATION



American Revolution LED

Series 247L

PRODUCT OVERVIEW



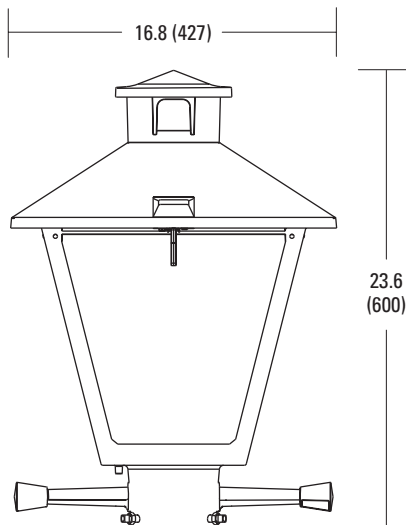
Features:

- Die-cast aluminum housing and hood for long-life performance
- Die-cast trigger latch (TL) and captive thumb screws option available for easy access to internal components
- Optical assembly designed for maximum performance, available in Type II, Type III and Type V
- Hinged hood and captive thumb screws provision afford quick, easy access to electrical and optical area for servicing
- Slipfitter with three set screws allows secure installation to pole sizes 2-3/8" or 3" O.D.
- Surge protection device (standard) exceeds ANSI C62.41 Category C1 criteria (surge tested at 10kV/5kA)
- Complies with ANSI: C136.2, C136.10, C136.15
- CSA listed and suitable for up to 30°C ambient
- Rated L70, LED life greater than 100,000 hours at 25°C
- Replaces up to 150W HPS light source incumbant models
- LED electronic 0V-10V dimmable driver
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

Applications:

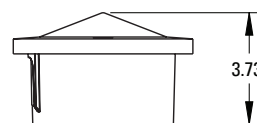
Streetscapes
Walkways
Pathways
Parks

DIMENSIONS

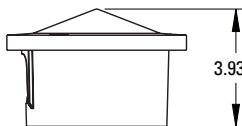


Effective Projected Area (EPA)

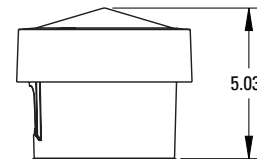
The EPA for the American Revolution Series 247 is 1.6 sq. ft.
P5 or P7 option total height is 24.9 (633).
Approx. Wt. = 36 lbs.



Cupola height
P3 without ROAM
Shown in line diagram



Cupola height
P5/P7 without ROAM



Cupola height
P5/P7 with ROAM

All dimensions are inches (millimeters) unless otherwise noted.



NORTH LIBERTY PLANNING COMMISSION

Minutes

September 5, 2017

North Liberty City Council Chambers, 1 Quail Creek Circle

Roll Call

Chair Ronda Detlefsen called the September 5, 2017 North Liberty Planning Commission meeting to order at 6:30 p.m. Commission members present: Jennifer Bleil, Ronda Detlefsen, Adam Gebhart, Jason Heisler, Kylie Pentecost, Rebecca Keogh, and Patrick Staber.

Others present: Dean Wheatley, Ryan Heiar, Scott Peterson, Megan Benischek, Amanda and John Hruby, Carter Kudrle, Mary Byers and other interested parties.

Agenda Approval

Bleil moved, seconded by Gebhart to approve the agenda. The vote was all ayes. The agenda was approved.

J&A Tap Revised Site Plan

Staff Presentation

Wheatley presented the request from John Hruby to approve a revised site plan for J&A Tap located on North Dubuque Street north of Front Street.

Applicants Presentation

No presentation was given

Public Comments

No public comments were offered.

Questions and Comments

Hruby took questions from the Commission.

Recommendation to the City Council

Bleil moved, seconded by Pentecost, to recommend approval to the City Council of the revised site plan. The vote was: ayes--Bleil, Detlefsen, Gebhard, Heisler, Pentecost, Keogh, Staber. Motion carried.

Approval of previous minutes

Gebhard moved, seconded by Heisler, to approve the minutes of August 15, 2017. The vote was: ayes—Bleil, Detlefsen, Gebhard, Heisler, Pentecost, Keogh, Staber. Motion carried.

Old Business

Wheatley reported that the Tin Roost has opened.

New Business

Wheatley reported there are two cases for the next meeting.

Adjournment

Staber moved, seconded by Keogh, to adjourn the meeting at 6:45 p.m. The vote was all ayes. The meeting was adjourned.

Mary Byers, Deputy City Clerk