



**North Liberty
Planning
Commission
Meeting Information**

Tuesday, April 3, 2018

6:30 PM

City Council Chambers

If you would like additional information, larger-scale maps, or other information before the meeting, please contact Dean Wheatley at 626-5747 or at dwheatley@northlibertyiowa.org

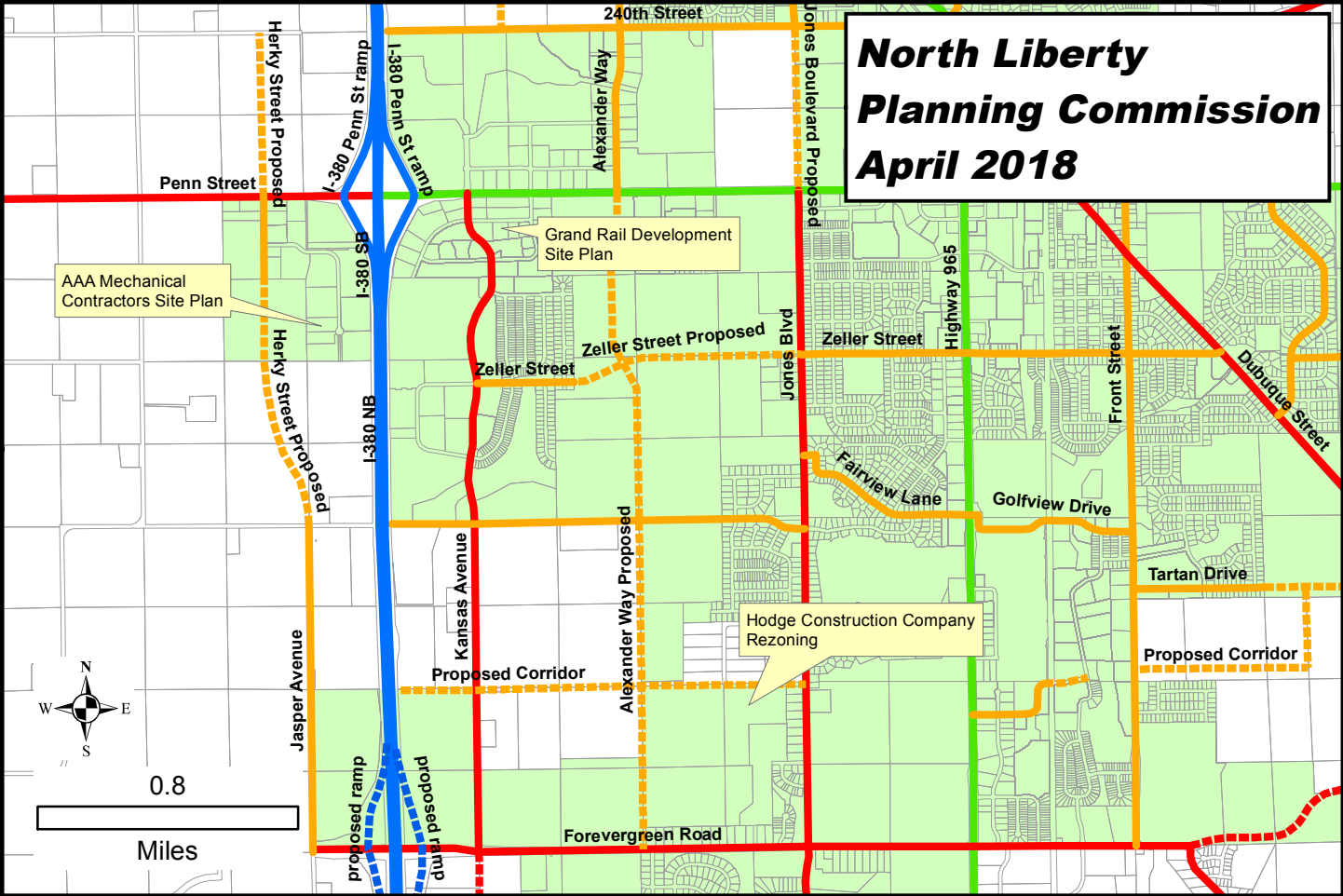


NORTH LIBERTY PLANNING COMMISSION
MEETING NOTICE AND AGENDA
Tuesday, April 3, 2018, 6:30 PM
North Liberty City Council Chambers, 1 Quail Creek Circle

1. **ROLL CALL**
2. **AGENDA APPROVAL**
3. **SITE PLAN:** Request from AAA Mechanical Contractors, Inc. to approve a site plan for a new mechanical contractor building located generally at the southwest corner of the I-380 Industrial Park, near the south end of Stoner Court. (Lot 1 of I-380 Industrial Park Second Addition)
 - a. Staff Presentation
 - b. Applicants Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council
4. **SITE PLAN:** Request from Grand Rail Development Company, Inc to approve a site plan for a mixed-use development on Madison Avenue, one block south of West Penn Street. (Auditor's Parcel 2002058, Liberty's Gate Part 1)
 - a. Staff Presentation
 - b. Applicants Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council
5. **REZONING:** Request from Hodge Construction Company to approve a rezoning of 21.62 acres from ID (Interim Development district) to RS-6 (Residential Single-Family), for property generally located west of Jones Boulevard and north of Forevergreen Road. (Legal: To be platted as Mickelson 2nd Addition)
 - a. Staff Presentation
 - b. Applicants Presentation
 - c. Public Comments
 - d. Questions and Comments

- e. Recommendation to the City Council
- 6. APPROVAL OF PREVIOUS MINUTES**
- 7. OLD BUSINESS**
- 8. NEW BUSINESS**
- 9. ADJOURNMENT**

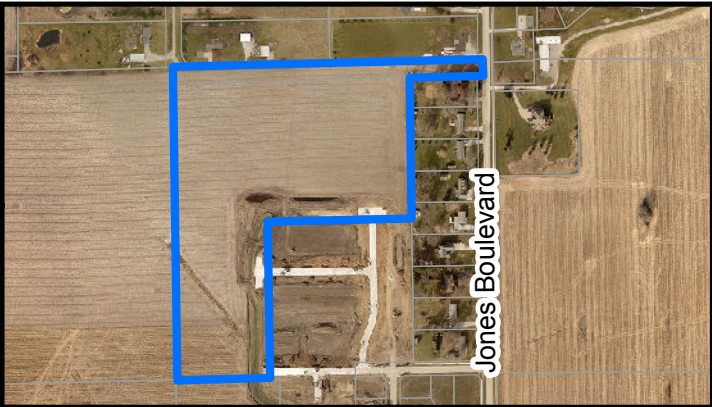
North Liberty Planning Commission April 2018



AAA Mechanical Contractors, Inc Site Plan



Grand Rail Development Company Site Plan



Hodge Construction Company Rezoning

2017 Aerial Photography
No scale



March 27, 2018

Memo

To: North Liberty Planning Commission
From: Dean Wheatley, Planning Director
Subject: Site Plan Approval Request for industrial development at 2755 Stoner Court.
(Lot 1 of I-380 Industrial Park Second Addition)

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Tom Palmer, City Building Official
Scott Peterson, City Attorney
Kevin Trom, City Engineer
Dean Wheatley, Planning Director

This request is to construct a 17,950 square foot construction contractor building at the southwest corner of the I-380 Industrial Park, at the south end of Stoner Court. The I-380 Industrial Park includes a number of both large and small industrial buildings.

The site layout is relatively simple, with a new large building, parking, and loading at the rear. The westerly 104' of the lot is not buildable due to the existence of a large storm water management area. The building proposed is a handsome industrial steel design that meets code requirements and is appropriate for the area.

The plan is recommended for approval.

SITE PLAN

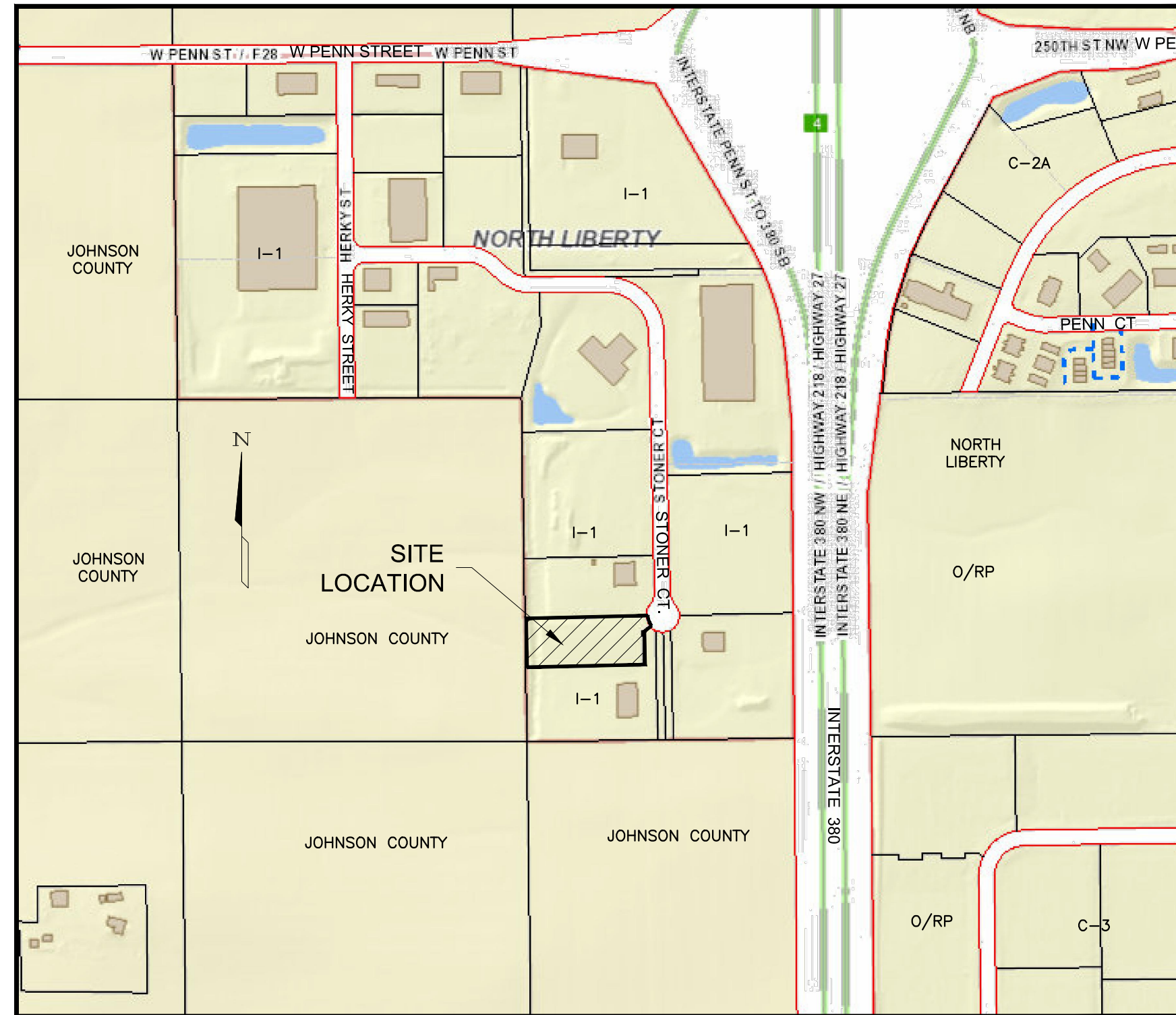
AAA MECHANICAL CONTRACTORS, INC.

LOT 1, I-380 INDUSTRIAL PARK 2ND ADDITION

2755 STONER COURT
CITY OF NORTH LIBERTY, IOWA

LOCATION MAP

UTILITY AND EMERGENCY TELEPHONE NUMBERS	
AGENCY	CONTACT NUMBER
CITY OF NORTH LIBERTY, IOWA	
WATER AND WASTE WATER	(319)626-5700
POLICE DEPARTMENT	
BUSINESS	(319)626-5724
EMERGENCY	911
FIRE DEPARTMENT	
BUSINESS	(319)626-5717
EMERGENCY	911
IOWA ONE CALL (UTILITIES)	(319)292-8989
MIDAMERICAN ENERGY (NAT. GAS)	
BUSINESS	(800)329-6261
EMERGENCY	(800)595-5325
ALLIANT ENERGY (ELECTRIC)	
BUSINESS	(800)255-4268
LINN COUNTY R.E.C. (ELECTRIC)	
BUSINESS	(800)332-5400
SOUTH SLOPE (TELEPHONE, CABLE TV)	
BUSINESS	(319)626-2211
LOCATES	(800)292-8989
MEDIACOM (CABLE TV)	
BUSINESS	(800)332-0245
LOCATES	(800)292-8989



(SCALE: APPROX. 1" = 500')

INDEX OF SHEETS	
NO.	DESCRIPTION
C1	TITLE SHEET
C2	SITE LAYOUT, UTILITY, & LANDSCAPE PLAN
C3	GRADING AND EROSION CONTROL PLAN
C4	PAVING PLAN
C5	GENERAL NOTES, LEGEND & BENCHMARKS
C6	CONSTRUCTION DETAILS

LEGAL DESCRIPTION

LOT 1, I-380 INDUSTRIAL PARK SECOND ADDITION
TO NORTH LIBERTY, JOHNSON COUNTY, IOWA.

OWNER/APPLICANT:
JTI HOLDINGS, LLC
c/o JEFF KOEPEL
PO BOX 805
IOWA CITY, IOWA 52244
PH: 319-351-1843

ENGINEER/CONTACT:
BRAIN ENGINEERING, INC.
1540 MIDLAND COURT NE
CEDAR RAPIDS, IOWA 52402
PH: 294-9424
FAX: 294-1056
EMAIL: daons@brain-eng.com

CONTACT PERSON

Contact Person	Daniel L. Schmidt
Telephone Number	(319) 294-9424
Fax Number	(319) 294-1056
Mailing Address	1540 Midland Court NE
Date Submitted	3/1/2018
Date Revised	3/22/18, 3/27/18

ZONING INFORMATION

EXISTING ZONING & USE

EXISTING ZONING: I-1, INDUSTRIAL DISTRICT
PROPOSED ZONING: NO CHANGE
PROPOSED USE: MECHANICAL CONTRACTOR

I-1 SETBACK REQUIREMENTS

BUILDING SETBACKS:
FRONT YARD - 25 FEET
REAR YARD - 20 FEET
SIDE YARD - 20 FEET

PARKING SETBACKS:
FRONT YARD - 10 FEET
REAR YARD - 5 FEET
SIDE YARD - 5 FEET

SITE AREA CALCULATION:

TOTAL SITE AREA: 87,117 SQ. FEET = 2.00 ACRES
BUILDING AREA: 17,950 SQ. FEET - 20.6%
PAVED AREA: 43,245 SQ. FEET - 49.6%
TOTAL HARD SURFACE: 61,082 SQ. FEET - 70.1%
TOTAL OPEN AREA: 26,035 SQ. FEET - 29.9%

BUILDING INFORMATION:

MECHANICAL CONTRACTOR: AAA MECHANICAL CONTRACTORS, INC.
SINGLE STORY WITH STORAGE MEZZANINE

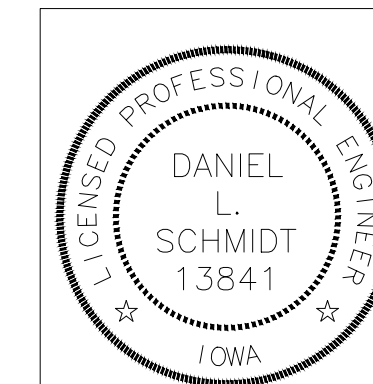
MAIN LEVEL: OFFICE AREA = 5,950 SQ. FT.
WAREHOUSE AREA = 12,000 SQ. FT.
MEZZANINE: 1,502 SQ. FT. (STORAGE)

PARKING REQUIREMENTS

TOTAL PARKING SPACES REQUIRED:
INDUSTRY: 1/500 S.F. GFA = 36 SPACES (17,950 SQ. FT.)

TOTAL PARKING PROVIDED: 38 SPACES

ADA SPACES REQUIRED: 2 INCL. 1 VAN ACCESSIBLE
ADA SPACES PROVIDED: 2 INCL. 1 VAN ACCESSIBLE

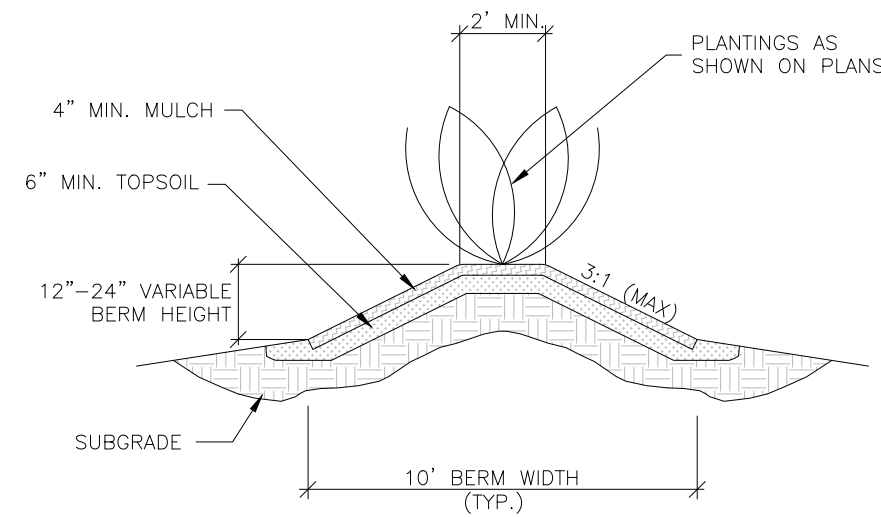


I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

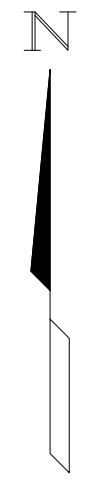
Signed: **Daniel L. Schmidt** Date: **3/27/2018**

Daniel L. Schmidt, P.E.
My License Renewal Date is December 31, 2018
License Number 13841
Pages or sheets covered by this seal: 6

BRAIN ENGINEERING, INC.	CHECK BY:	REVISION DATE:
	DATE:	3/27/2018
	REVIEWED BY:	CITY FILE NO:
	DATE:	Project No:
		529918-10



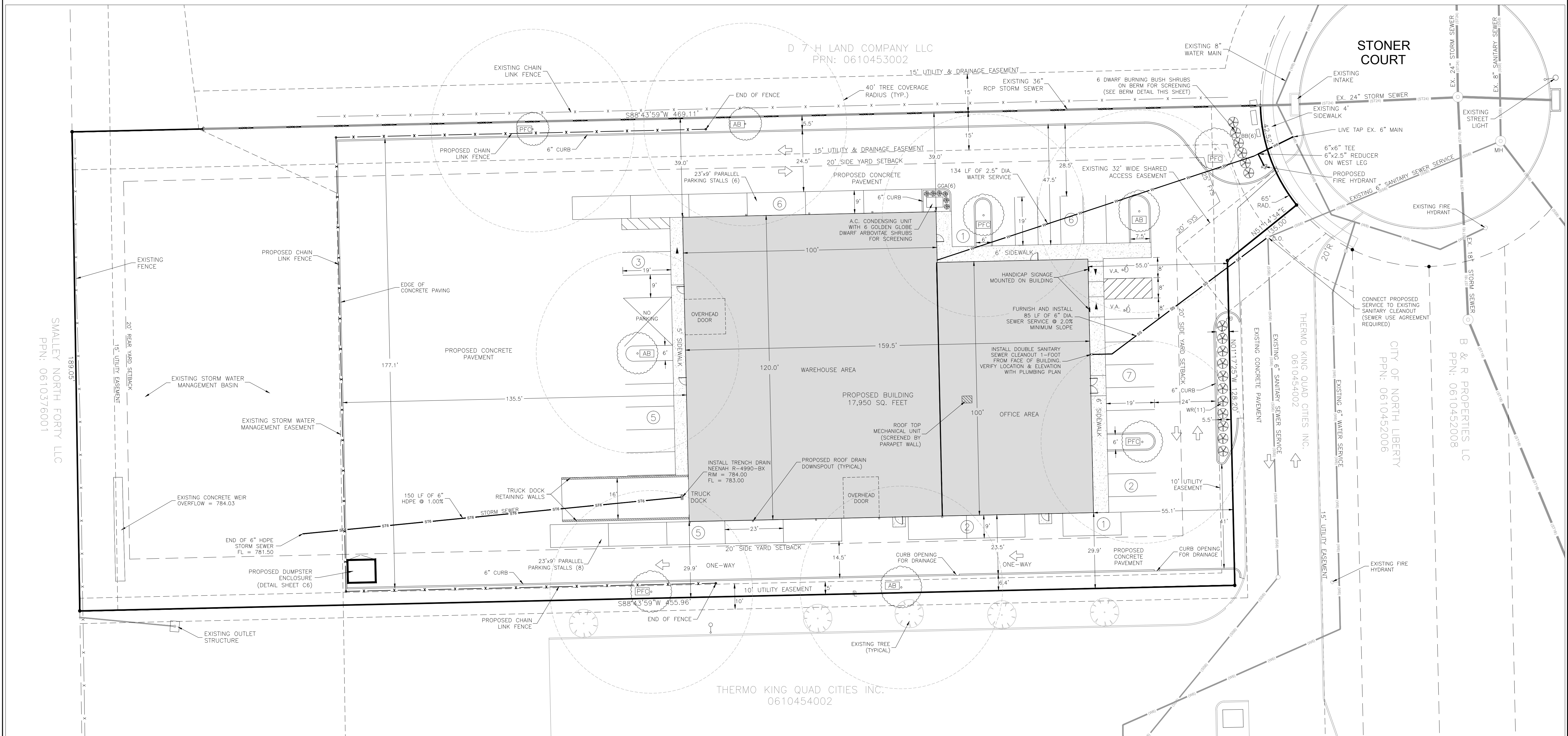
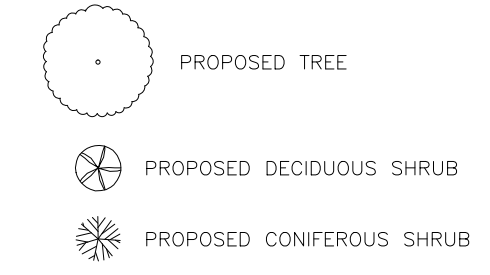
TYPICAL BERM DETAIL
N.T.S.



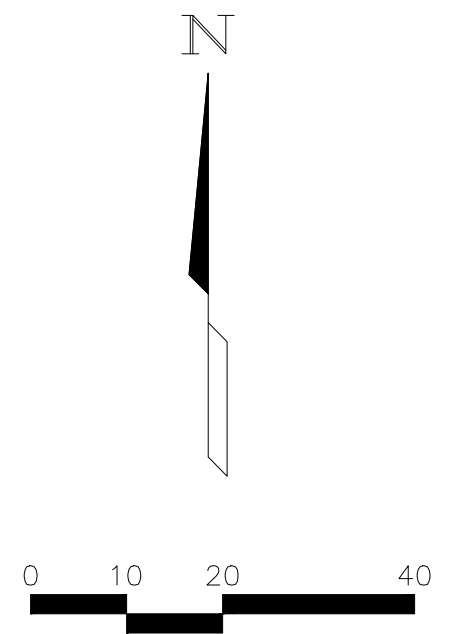
LANDSCAPE SCHEDULE						
QTY	ID	DESCRIPTION	MIN. SIZE	ROOT	SPACING	NOTES
TREES						
4	AB	"AUTUMN BRILLIANCE SERVICEBERRY" AMELANCHIER GRANDIFLORA	1.5" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
5	PFC	"PRAIRIEFIRE CRABAPPLE" MALUS "PRAIRIEFIRE"	1.5" DBH	BB	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
SHRUBS						
6	BB	"DWARF BURNING BUSH" EUONYMUS ALATUS COMPACTUS	3 GAL.	CONTAINER	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
6	GGA	"GOLDEN GLOBE DWARF ARBORVITAE" THUJA OCCIDENTALIS	2 GAL.	CONTAINER	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN
11	WR	"WINE & ROSES WEIGELA" WEIGELA FLORIDA 'ALEXANDRIA'	3 GAL.	CONTAINER	SEE PLAN	NURSERY MATCHED, QUALITY SPECIMEN

TREE REQUIREMENTS:

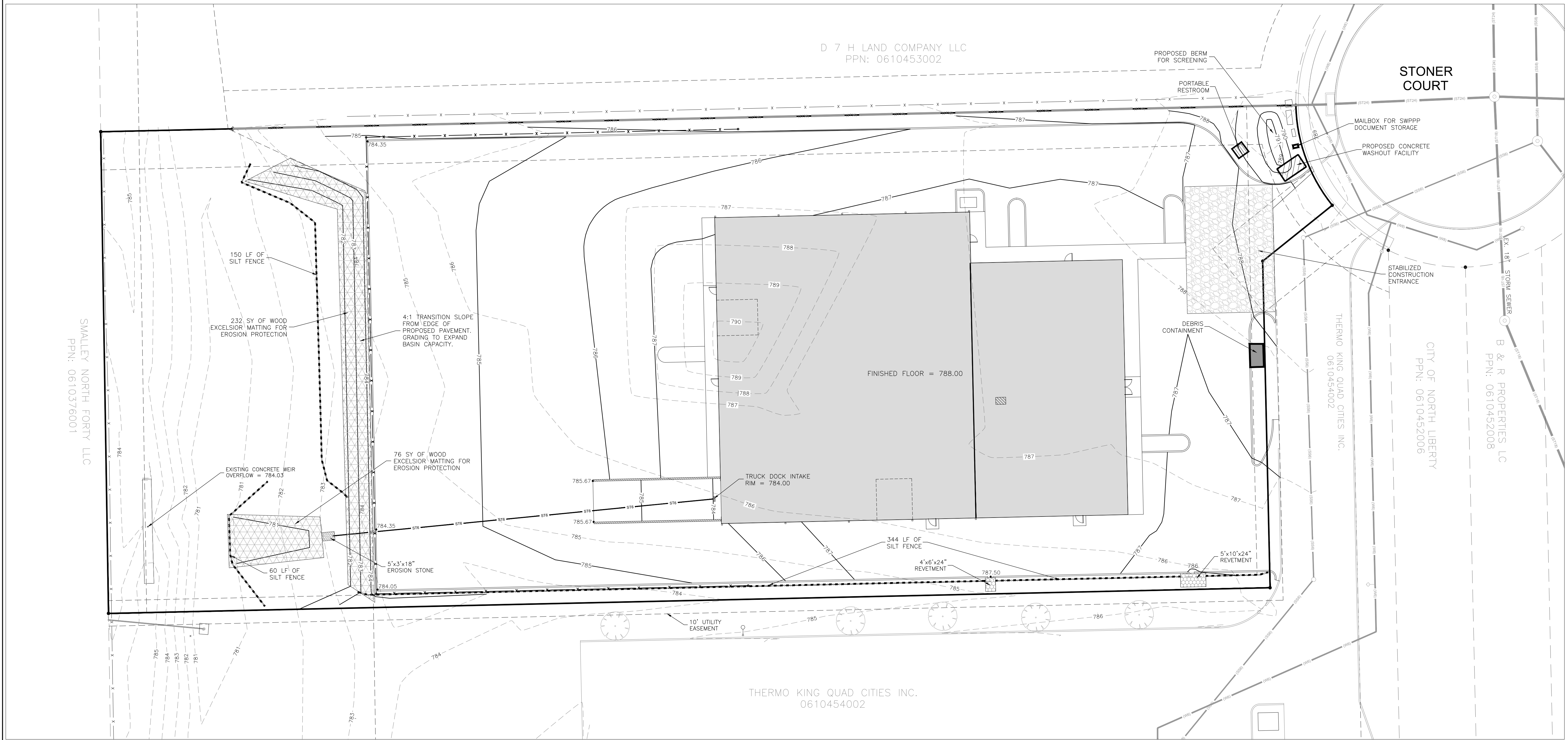
- 1 TREE WITHIN 40' OF EACH PARKING SPACE
- 1 TREE PER 2,000 SF OF BUILDING SPACES
17,950/2,000 = 9 TREES
TREES PROVIDED = 9 TREES



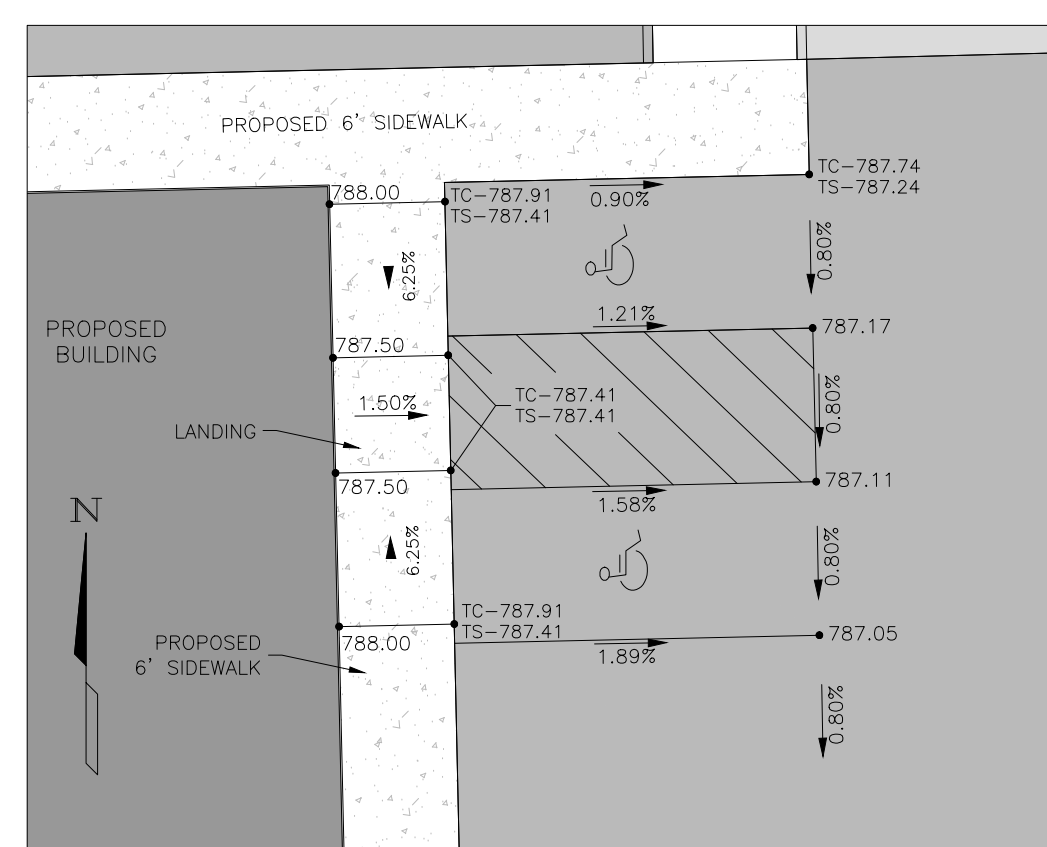
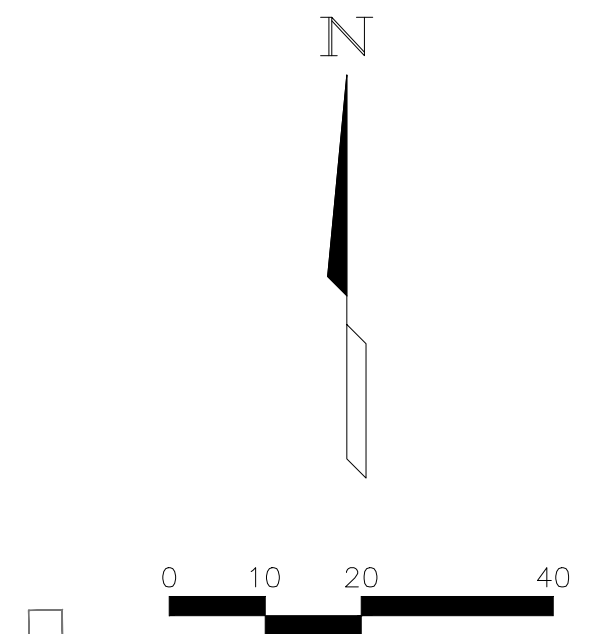
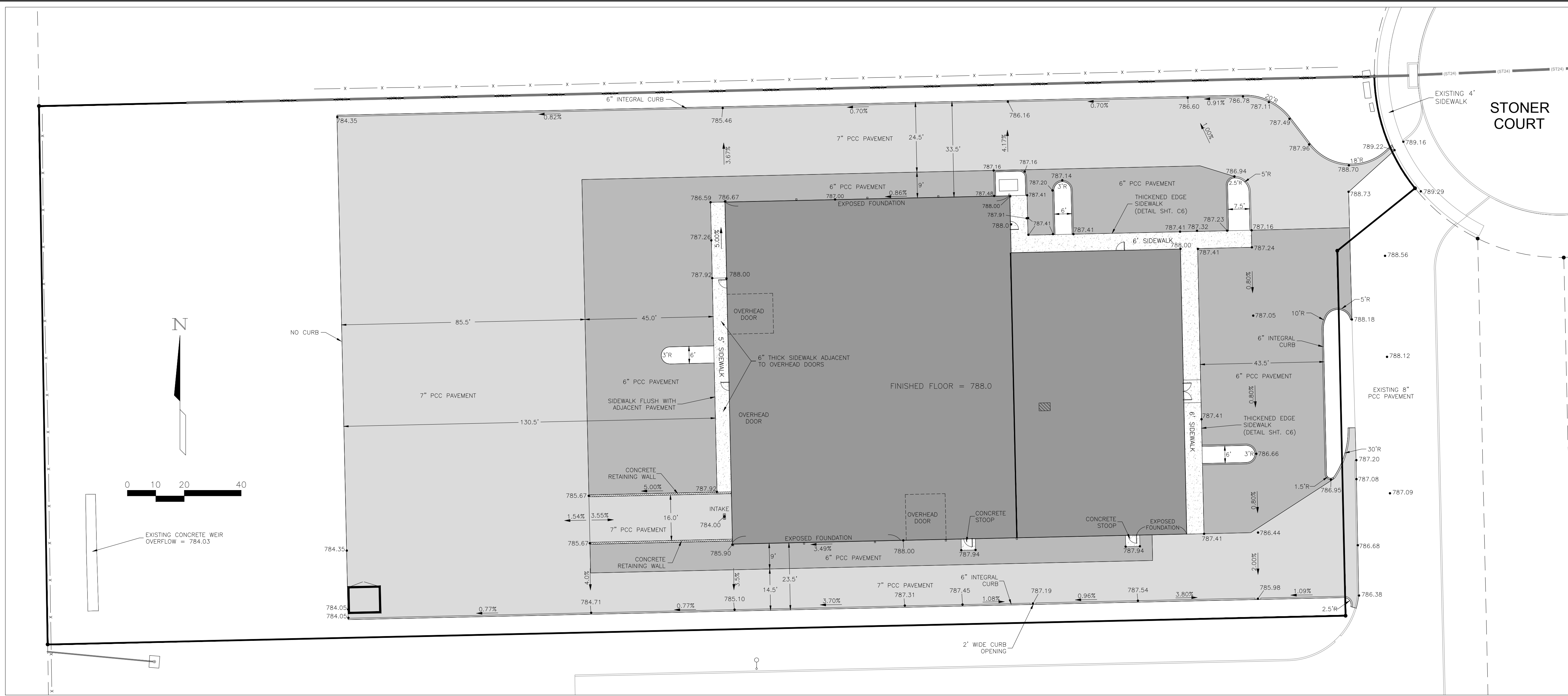
Title: SITE LAYOUT, UTILITY, & LANDSCAPING PLAN
 Page: C2
 of Project No. 529918-10
 Date: 3/27/18
 Scale: 1" = 20'
 No. 1.
 Revision: 2.
 No. 3.
 Drawn: DLS
 Checked:
 Reviewed:
BRAIN
 ENGINEERING, INC.
 AAA MECHANICAL CONTRACTORS, INC.



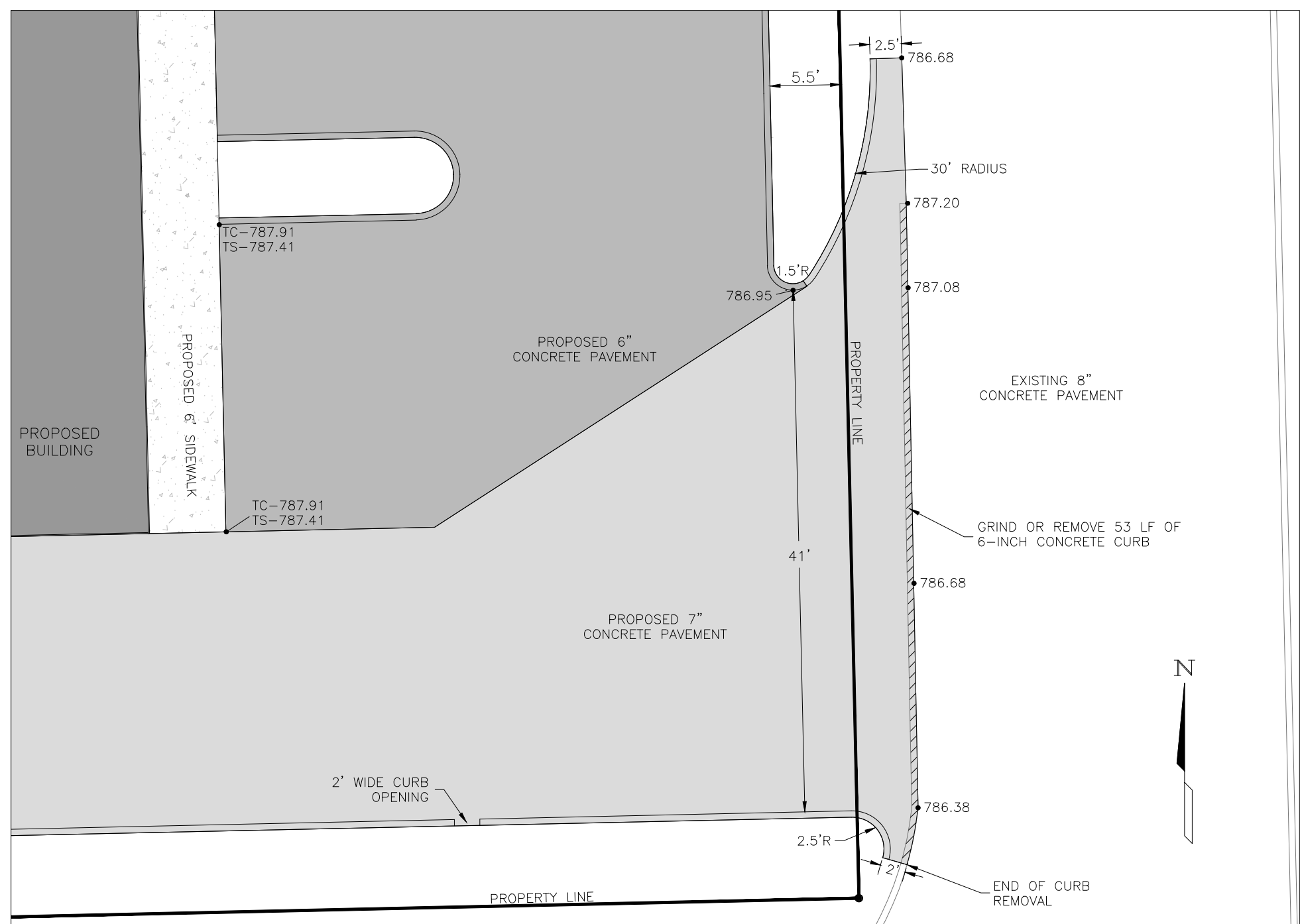
- SURFACE RESTORATION AND SEEDING NOTES:**
1. DISTURBED AREAS NOT PAVED OR HARD SURFACED SHALL RECEIVE A MINIMUM OF 4-INCHES OF TOPSOIL. SCARIFY AREAS TO RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 3 INCHES. REMOVE ALL STONES, WOOD, AND DEBRIS LARGER THAN 2-INCHES FROM AREAS TO RECEIVE TOPSOIL. DO NOT COMPACT TOPSOIL.
 2. ALL DISTURBED AREAS SHALL BE SEED, FERTILIZED, AND MULCHED IN ACCORDANCE WITH THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST EDITION, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 3. TEMPORARY EROSION CONTROL/STABILIZATION SEEDING OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
 4. STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH SECTION 9010 OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST EDITION. SEED MIXTURES SHALL BE PER TABLE 9010.09: TYPE 4 SEED MIXTURE.
 5. PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH SECTION 9010 OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST EDITION. SEED MIXTURE SHALL BE PER TABLE 9010.06: TYPE 1 SEED MIXTURE.
 6. APPLY SEED AT THE RATES INDICATED IN SECTION 9010.
 7. MAINTAIN SEEDED AREAS UNTIL AN ADEQUATE STAND OF GRASS HAS BEEN ESTABLISHED. RESEED ANY AREAS AS NECESSARY DURING MAINTENANCE PERIOD PER PROJECT SPECIFICATIONS.
 8. FOR TEMPORARY AND PERMANENT SEEDING, FERTILIZER SHALL BE APPLIED AT A RATE OF 300 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 6-24-24 FERTILIZER.
 9. ALL SEEDING AREAS SHALL BE MULCHED PER SUDAS SECTION 9010, 2.07.



3.	Drawn:	DLS	3/27/18	Book:	
2.	Checked:			Scale:	1" = 20'
1.	Reviewed:			No.	
				Revision	Date
BRAIN ENGINEERING, INC. AAA MECHANICAL CONTRACTORS, INC.					
GRADING AND EROSION CONTROL PLAN					
Title: C3 Page: 3 of 3 Project No.: 529918-10					



ADA PARKING DETAIL
SCALE: 1" = 10'



SOUTH ENTRANCE DETAIL
SCALE: 1" = 10'

NOTE:
PROPOSED 6-INCH AND 7-INCH PCC PAVEMENT
TO BE PLACED ON 6" MODIFIED SUBBASE.

Project No.	529918-10
Page	C4
Title	PAVING PLAN
Client	AAA MECHANICAL CONTRACTORS, INC.
Drawn	DLS
Checked	
Reviewed	
Date	3/21/18
Scale	1" = 20'
Revision	3.
No.	2.
No.	1.
No.	

GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NORTH LIBERTY REQUIREMENTS AND THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST EDITION, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 2. THE LOCATIONS OF UTILITY MAINS, STRUCTURES, AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM PLANS OF RECORD. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN AND MAY NOT BE SHOWN ON THIS DRAWING.
- 3. NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
- 5. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
- 6. NOTIFY THE APPROPRIATE GOVERNING AUTHORITY 48-72 HOURS PRIOR TO BEGINNING CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY. ALL WORK IN RIGHT-OF-WAY PERMITS SHALL BE OBTAINED PRIOR TO WORK WITHIN THE RIGHT-OF-WAY. THE CITY OF NORTH LIBERTY SHALL BE THE PUBLIC AGENCY RESPONSIBLE FOR INSPECTION DURING CONSTRUCTION OF THE PUBLIC PORTIONS OF THE PROJECT.
- 7. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
- 8. PROVIDE TRAFFIC AND PEDESTRIAN CONTROL MEASURES (SIGNS, BARRICADES, FLAGGERS, ETC.) IN COMPLIANCE WITH PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION AND SUDAS STANDARDS.
- 9. ADJUST ALL VALVES, MANHOLES, CASTINGS, GAS VENTS, ETC., TO MATCH THE NEW SURFACE. ADJUSTMENT SHALL BE COORDINATED WITH THE UTILITY COMPANIES AND THE COST FOR ALL ADJUSTMENTS SHALL BE INCIDENTAL TO THE CONSTRUCTION. AT NO ADDITIONAL COST TO THE OWNER, REPAIR ANY DAMAGE TO SAID STRUCTURES AND APPURTENANCES THAT OCCUR DURING CONSTRUCTION.
- 10. CONTRACTOR SHALL REFER TO BUILDING PLANS FOR BUILDING DIMENSIONS, STOOP SIZES AND LOCATIONS, AND BUILDING UTILITY ENTRANCE LOCATIONS, SIZES, AND ELEVATIONS.
- 11. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.

GRADING NOTES:

- 1. STRIP EXISTING TOPSOIL WITHIN THE PROJECT LIMITS AND AREAS TO RECEIVE FILL. STOCKPILE TOPSOIL ON-SITE FOR RESPREAD ON DISTURBED AREAS NOT TO BE HARD SURFACED.
- 2. TOPSOIL SHALL BE RESPREAD TO A MINIMUM DEPTH OF 4 INCHES IN ALL AREAS OTHER THAN THE BUILDING AND PAVEMENT AREAS.
- 3. PROOFROLL ALL FILL AREAS TO IDENTIFY SOFT OR DISTURBED AREAS IN THE SUBGRADE. ALL UNSUITABLE MATERIAL IDENTIFIED SHALL BE REMOVED AND RECOMPACTED. PROOFROLL WITH 25 TON MINIMUM GROSS VEHICLE WEIGHT.
- 4. REMOVE AND RECOMPACT AREAS OF SUBGRADE WHICH ARE SOFT OR UNSTABLE TO MEET SPECIFIED LIMITS FOR DENSITY AND MOISTURE CONTENT
- 5. SCARIFY EXISTING SUBGRADE TO DEPTH OF 12 INCHES AND RECOMPACT TO 95% STANDARD PROCTOR DENSITY (ASTM D698) PRIOR TO PLACEMENT OF FILL.
- 6. DO NOT PLACE, SPREAD, OR COMPACT ANY FILL MATERIAL DURING UNFAVORABLE WEATHER CONDITIONS AND DO NOT RESUME COMPACTION OPERATIONS UNTIL MOISTURE CONTENT AND DENSITY OF IN-PLACE MATERIAL ARE WITHIN SPECIFIED LIMITS.
- 7. PLACE FILL MATERIAL IN MAXIMUM 9" LIFTS.
- 8. FILLS PLACED BELOW LAWN AREAS SHALL BE COMPACTED TO 90% STANDARD PROCTOR DRY DENSITY (ASTM D698).
- 9. SCARIFY SUBGRADE TO DEPTH OF 3 INCHES WHERE TOPSOIL IS SCHEDULED. SCARIFY AREAS WHERE EQUIPMENT USED FOR HAULING AND SPREADING TOPSOIL HAS COMPACTED SUBSOIL.
- 10. FILL MATERIAL OBTAINED FROM OFF-SITE SOURCES SHALL BE SOIL OR SOIL AND ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OF 6 INCHES IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 2-1/2 INCHES IN GREATEST DIMENSION.
- 11. SCARIFY AND RECOMPACT THE TOP 12" OF SUBGRADE IN ALL CUT AREAS AFTER ROUGH GRADING IS COMPLETED. COMPACT THE ENTIRE PAVING AND BUILDING SUBGRADE TO 95% STANDARD PROCTOR DRY DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR DENSITY (ASTM D698).
- 12. FINISH CONTOURS SHOWN ARE TOP OF PAVEMENT OR TO TOP OF TOPSOIL.
- 13. NO ROCK EXCAVATION IS ANTICIPATED ON THIS PROJECT. SHOULD ROCK BE ENCOUNTERED DURING CONSTRUCTION, NOTIFY THE OWNER'S REPRESENTATIVE.
- 14. FILL PLACED WITHIN THE BUILDING AREA AND IN AREAS TO BE PAVED SHOULD CONSIST OF APPROVED MATERIALS WHICH ARE FREE OF ORGANIC MATTER AND DEBRIS. THE FILL SHOULD BE PLACED AND COMPACTED IN LIFTS OF 9 INCHES OR LESS IN LOOSE THICKNESS. FILL PLACED ABOVE SHALLOW FOOTING BASE ELEVATION FOR FLOOR SLAB SUPPORT IN THE BUILDING AREA AND MORE THAN 12 INCHES BELOW FINISHED SUBGRADE ELEVATION IN AREAS TO BE PAVED SHOULD BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR DENSITY (ASTM D698). THE UPPER 12 INCHES OF SUBGRADE IN AREAS TO BE PAVED AND FILL PLACED BELOW SHALLOW FOOTING BASE ELEVATION IN THE BUILDING AREA SHOULD BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR DENSITY (ASTM D-698).

SITE PREPARATION NOTES:

- 1. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT. DISPOSAL SITES MUST BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND TEMPORARY HAIL ROADS TO PREVENT THE SPREAD OF DUST. OFF-SITE DISPOSAL SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNMENTAL REGULATIONS.
- 2. PROTECT ADJACENT PROPERTY DURING DEMOLITION AND SITE GRADING.
- 3. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
- 4. KEEP ADJACENT PUBLIC AND PRIVATE STREETS FREE FROM SOIL AND DEBRIS GENERATED BY THE PROJECT. CLEAN SOIL AND DEBRIS FROM THE ADJACENT STREETS ON A DAILY BASIS.
- 5. DURING CONSTRUCTION, CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
- 6. REMOVAL OR ABANDONMENT OF PUBLIC UTILITIES SHALL BE FULLY COORDINATED WITH APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- 7. ANY EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) THAT THE CONTRACTOR'S OPERATIONS DAMAGE SHALL BE REPAIRED BY THAT CONTRACTOR AT HIS/HER COST.
- 8. REMOVE ALL DESIGNATED STREETS, DRIVEWAYS, ETC. IN THEIR ENTIRETY. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY (ASTM D698).
- 9. WHERE A SECTION OF PAVEMENT, CURB AND GUTTER, OR SIDEWALK IS CUT OR OTHERWISE DAMAGED BY THE CONTRACTOR, THE ENTIRE SECTION SHALL BE REMOVED AND REPLACED. PAVEMENT, CURBS, GUTTERS, AND SIDEWALKS SHALL BE REMOVED A MINIMUM OF TWO FEET BEYOND THE EDGE OF THE TRENCH CUT AND TO THE NEAREST JOINT.
- 10. SAWCUT EDGES OF PAVEMENT FULL DEPTH PRIOR TO REMOVAL TO PREVENT DAMAGE TO ADJACENT SLABS AND FIXTURES.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING CONCRETE STRUCTURES ON THE SITE AS SHOWN ON THE PLANS. THE REMOVAL INCLUDES DRIVEWAYS, CURB AND GUTTER, SIDEWALK, AND BASEMENT FOUNDATION FOOTINGS, FLOOR AND WALLS. THE REMOVAL ALSO INCLUDES STORM SEWER INTAKES AND PIPE AS SHOWN ON THE PLANS.
- 12. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT TREES AND SHRUBS NOTED ON THE PLANS TO REMAIN IN PROJECT AREA FROM DAMAGE DUE TO CONSTRUCTION ACTIVITY. PROTECTION INCLUDES, BUT IS NOT LIMITED TO, CONSTRUCTION FENCING AROUND THE DRIP LINE OF TREES AND PROHIBITING VEHICLE TRAFFIC WITHIN THE DRIPLINE OF TREES.
- 13. REMOVAL AND DISPOSAL OF EXISTING TREES AND SHRUBS WITHIN CONSTRUCTION LIMITS SHALL BE INCIDENTAL TO THE GRADING PORTION OF THE PROJECT. STUMPS ARE TO BE GROUND TO TWO FEET BELOW FINISHED GRADE.

EROSION CONTROL NOTES:

- 1. THE CONTRACTOR SHALL INCORPORATE ALL EROSION CONTROL FEATURES INTO THE PROJECT PRIOR TO DISTURBING THE SOIL.
- 2. MINIMIZE SOIL EROSION BY MAINTAINING ALL EXISTING VEGETATIVE GROWTH WITHIN THE GRADING LIMITS FOR AS LONG AS PRACTICAL.
- 3. THE CONTRACTOR SHALL COMPLY WITH THE SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES NPDES PERMIT, AND LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT AGAINST EROSION AND DUST POLLUTION ON THIS SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING CONSTRUCTION OR AS A RESULT OF CONSTRUCTION.
- 4. THIS PROJECT REQUIRES THE OBTAINING OF A NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY FOR CONSTRUCTION ACTIVITIES FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR). THE OWNER SHALL OBTAIN THE PERMIT. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE AND FULFILLING ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 INCLUDING THE STORM WATER POLLUTION PREVENTION PLAN.
- 5. ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT SHALL BE KEPT ON SITE AT ALL TIMES AND MUST BE PRESENTED TO THE IOWA DNR UPON REQUEST WHICH INCLUDE THE NOTICE OF INTENT, PROOF OF PUBLICATION, POLLUTION PREVENTION PLAN, PROJECT INSPECTION REPORT, AND OTHER ITEMS. FAILURE TO COMPLY WITH THE DISCHARGE REQUIREMENTS IS IN VIOLATION OF THE CLEAN WATER ACT AND THE CODE OF IOWA.
- 6. THE CONTRACTOR SHALL PROTECT ADJOINING PROPERTY INCLUDING PUBLIC UTILITIES, SANITARY SEWER, STORM DRAINAGE SYSTEMS, AND STREETS FROM ANY DAMAGE RESULTING FROM EARTH MOVING ACTIVITIES OR OTHER DEBRIS FROM PROJECT SITE. REPAIR DAMAGE IMMEDIATELY AT NO ADDITIONAL COST.
- 7. THE CONTRACTOR SHALL PREVENT ACCUMULATION OF EARTH, SILTATION, AND/OR DEBRIS ON ADJOINING PUBLIC OR PRIVATE PROPERTY FROM THE PROJECT SITE. REMOVE ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR PREVENTION.
- 8. THE CONTRACTOR SHALL PROVIDE TEMPORARY AND/OR PERMANENT SEEDING OF AREAS UPON COMPLETION OF GRADING AS SOON AS PRACTICAL. FINAL STABILIZATION MEANS ALL SOIL DISTURBING ACTIVITIES ARE COMPLETE AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% FOR THE AREA HAS BEEN ESTABLISHED OR AN EQUIVALENT STABILIZATION MEASURE.
- 9. IF CONSTRUCTION ACTIVITIES ARE NOT PLANNED TO OCCUR IN A DISTURBED AREA FOR AT LEAST 21 DAYS, THE AREA SHALL BE STABILIZED BY TEMPORARY SEEDING OR MULCHING WITHIN 14 DAYS OF CEASING CONSTRUCTION ACTIVITIES.
- 10. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEANING OF SILT CONTROL DEVICES SHALL BEGIN WHEN THE FEATURES HAVE LOST 50% OF THEIR CAPACITY.
- 11. SILT FENCE SHALL BE INSTALLED AROUND ALL STOCKPILED TOPSOIL.

UTILITY NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NORTH LIBERTY REQUIREMENTS AND THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST EDITION, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 2. VERIFY THE ELEVATION OF POSSIBLE CONFLICTING UTILITIES PRIOR TO CONSTRUCTING PROPOSED WATER MAINS, SANITARY SEWERS, STORM SEWERS, ETC. ANY CONFLICTS MUST IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION.
- 3. SITEWORK UTILITY CONTRACTOR TO EXTEND ALL PIPING TO WITHIN 5 FEET OF BUILDING AND CAP FOR CONNECTION BY BUILDING UTILITY CONTRACTOR UNLESS OTHERWISE INDICATED. COORDINATE ALL INVERT ELEVATIONS AND PIPING LOCATIONS WITH BUILDING PLANS.
- 4. ALL OPEN EXCAVATIONS SHALL BE PROTECTED WITH SAFETY FENCE, BARRIERS OR BARRICADES IN ACCORDANCE WITH OSHA.
- 5. CONTRACTOR SHALL REFER TO BUILDING PLANS FOR UTILITY ENTRANCE LOCATIONS, SIZES, AND ELEVATIONS PRIOR TO BEGINNING UTILITY CONSTRUCTION.
- 6. THE LOCATIONS OF UTILITY MAINS, STRUCTURES, AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM PLANS OF RECORD. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN AND MAY NOT BE SHOWN ON THIS DRAWING.
- 7. NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
- 8. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.

STORM SEWER NOTES:

- 1. HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE CORRUGATED WITH INTEGRALLY FORMED SMOOTH INTERIOR MEETING THE REQUIREMENTS OF SUDAS.
- 2. HDPE STORM SEWER SHALL BE CONSTRUCTED WITH CLASS A BEDDING. HDPE STORM SEWER SHALL BE BACKFILLED WITH GRANULAR AGGREGATE TO A MINIMUM OF 12-INCHES ABOVE THE TOP OF THE PIPE.
- 3. RCP STORM SEWER SHALL BE CLASS III REINFORCED CONCRETE PIPE.
- 4. RCP STORM SEWER SHALL BE CONSTRUCTED WITH CLASS C BEDDING.
- 5. ROOF DRAIN MATERIAL SHALL BE RIGID NON-PERFORATED POLYETHYLENE PIPE. MATERIAL SHALL BE ADVANCED DRAINAGE SYSTEMS, N-12, SMOOTH INTERIOR OR APPROVED EQUIVALENT.
- 6. STORM SEWER LINES SHALL BE A MINIMUM OF 10 FEET FROM WATER LINES RUNNING PARALLEL. AT CROSSINGS, A MINIMUM 18-INCHES OF SEPARATION MUST BE PROVIDED.
- 7. THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN A RECORD DRAWING SET SHOWING LOCATIONS OF ALL ROOF DRAINS AND OTHER PERTINENT INFORMATION REGARDING THE STORM SEWER CONSTRUCTION. THE RECORD DRAWING SET WILL BE PROVIDED TO THE OWNER.

SANITARY SEWER NOTES:

- 1. SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NORTH LIBERTY REQUIREMENTS AND THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST EDITION.
- 2. 6" DIAMETER SANITARY SEWER SERVICE PIPE AND FITTINGS SHALL BE SDR 23.5 POLYVINYL CHLORIDE (PVC).

PAVEMENT GENERAL NOTES:

- 1. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- 2. REMOVE AND REPLACE OR RESTORE ALL STREET SIGNS, PAVEMENT MARKINGS, SIDEWALK LAMPS, SIDEWALKS, STEPS, LANDSCAPE STRUCTURES, CURB AND GUTTER, STREETS, DRIVES, AND ALL OTHER SURFACE STRUCTURES REMOVED OR OTHERWISE DAMAGED DURING THE COURSE OF THE WORK. SIDEWALKS SHALL BE REMOVED AND REPLACE TO NEAREST JOINT BEYOND CONSTRUCTION AREA.
- 3. COMPACT SUBGRADE BENEATH PAVEMENTS IN ACCORDANCE WITH GRADING NOTES.
- 4. GRANULAR SUBBASE FOR PAVEMENTS SHALL MEET THE LIMITS OF GRADATION NO. 14 (MODIFIED SUBBASE) PER IOWA DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4120 AND 4123. SUBSTITUTIONS SHALL BE APPROVED BY THE ENGINEER.
- 5. PROOF-ROLL SUBGRADE WITH A MINIMUM 25 TON G.V.W. TRUCK TO IDENTIFY AREAS OF SOFT OR UNSTABLE SUBGRADE. REMOVE AND REPLACE UNSTABLE AREAS WITH SUITABLE COMPACTED MATERIAL.
- 6. ALL CURB AND GUTTER IS 6-INCH, TYPE I, UNLESS STATED OTHERWISE.

PCC PAVEMENT NOTES:

- 1. PCC PAVING THICKNESS SHALL BE AS NOTED ON THE PLANS AND DETAILS.
- 2. MATERIALS AND CONSTRUCTION FOR PORTLAND CEMENT CONCRETE PAVEMENTS SHALL MEET THE REQUIREMENT OF IOWA DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST REVISION, SECTION 2301. THE PARAGRAPHS FOR MEASUREMENT AND PAYMENT SHALL NOT APPLY.
- 3. MINIMUM 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE USED FOR PAVEMENTS SHALL BE 4000 PSI. CONCRETE SHALL BE C-3 OR C-4 WITH TYPE 1 CEMENT. AIR CONTENT SHALL BE 6-1/2% +/- 1.5%. AIR ENTRAINMENT ADMIXTURES AND WATER REDUCING ADMIXTURES SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4103. DURABILITY FOR PORTLAND CEMENT CONCRETE SHALL BE CLASS 2.
- 4. JOINT SEALER SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4136 FOR HOT POURED JOINT SEALER.
- 5. CURING COMPOUND (WHITE, DARK, OR CLEAR) SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4105. APPLICATION METHOD SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 2301.19.
- 6. FLYASH PER IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4108 MAY BE SUBSTITUTED FOR CEMENT AT THE RATES SPECIFIED IN SECTION 2301.04E AFTER NOTIFICATION AND AUTHORIZATION BY THE OWNER'S REPRESENTATIVE.
- 7. PAVEMENT TIE BARS AND DOWEL BARS SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151. EPOXY COATING, WHEN SPECIFIED, SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151.03B.
- 8. CURBS SHALL BE CAST INTEGRAL WITH THE CONCRETE PAVEMENT UNLESS NOTED OTHERWISE. EDGES SHALL BE ROUNDED BUT NOT ROLLED.
- 9. SIDEWALKS SHALL HAVE A CROSS SLOPE OF NO LESS THAN 1.5% AND NO GREATER THAN 2.0%.
- 10. PCC SIDEWALKS SHALL BE 4 INCHES THICK, EXCEPT AT DRIVEWAYS. THICKNESS OF PCC WALKS AT DRIVEWAYS SHALL MATCH THAT OF THE ADJACENT DRIVEWAY. TRANSVERSE CONSTRUCTION JOINTS SHALL BE AT MAXIMUM CENTERS EQUAL TO WIDTH OF WALK AND NO GREATER THAN 6 FEET FOR WALKS WIDER THAN 5 FEET. LONGITUDINAL CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN SLABS WIDER THAN 8 FEET. PLACE EXPANSION JOINTS WHERE WALK MEETS OTHER WALKS, BACK OF CURBS, FIXTURES, OR OTHER STRUCTURES, AND AT INTERVALS NOT EXCEEDING 50 FEET.
- 11. ONE INCH PREFORMED FOAM EXPANSION JOINT MATERIAL SONOFLEX "1" BY SONOBORN OR APPROVED EQUAL SHALL BE PLACED BETWEEN NEW PAVEMENT CONSTRUCTION AND THE FACES OF BUILDINGS, STOOPS, EXISTING SLABS, AND OTHER FIXTURES, UNLESS NOTED ON THE DRAWINGS. JOINTS AT THESE LOCATIONS SHALL BE SEALED WITH A SELF-LEVELING POLYURETHANE SUCH AS SONOLASTIC SL-1 OR APPROVED EQUAL.
- 12. ALL PCC SHALL BE JOINTED AT 12 FEET O.C. MAXIMUM DISTANCE. JOINTING SHALL BE IN ACCORDANCE WITH CEDAR RAPIDS METROPOLITAN AREA STANDARD DETAILS FOR PUBLIC IMPROVEMENTS NUMBERS 2700-021, 2700-022, AND 2700-023.
- 13. CONSTRUCT 1" EXPANSION JOINTS ON PCC CURBS AT ALL ENDS OF RETURN RADI.

PAVEMENT MARKING NOTES:

- 1. PAINT PARKING STRIPING AND SIDEWALK CURBS, TRAFFIC DIRECTION ARROWS, HANDICAP SYMBOLS AND FACE OF LIGHT POLE BASES "TRAFFIC WHITE" WHERE SHOWN ON PLANS.
- 2. PAINT HANDICAP SYMBOLS "TRAFFIC WHITE" PER LOCAL REQUIREMENTS WHERE SHOWN ON PLANS.
- 3. PAVEMENT MARKINGS SHALL BE FAST DRY TRAFFIC LANE MARKING PAINT CONFORMING TO IDOT STANDARD SPECIFICATIONS, LATEST EDITION, SECTION 4183.03. REFLECTORIZED SPHERES FOR TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF IDOT STANDARD SPECIFICATIONS, SECTION 4184.
- 4. PAINTING SHALL NOT BEGIN UNTIL PAVEMENT SURFACE HAS BEEN POWER BROOMED AND HAND SWEEP AS NECESSARY TO REMOVE LOOSE MATERIALS AND DIRT; AND NOT BEFORE ADEQUATE CURING TIME HAS BEEN OBTAINED ON THE PAVEMENT.
- 5. APPLY PAINT AT MANUFACTURER'S RECOMMENDED RATES IN TWO SEPARATE COATS FOR ALL PAVEMENT MARKINGS. ALL STRIPES ARE 4 INCHES WIDE UNLESS OTHERWISE INDICATED. HANDICAP SYMBOLS SHALL CONFORM TO APPLICABLE A.D.A. REGULATIONS.

SURFACE RESTORATION AND SEEDING NOTES:

- 1. DISTURBED AREAS NOT PAVED OR HARD SURFACED SHALL RECEIVE A MINIMUM OF 4-INCHES OF TOPSOIL. SCARIFY AREAS TO RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 3 INCHES. REMOVE ALL STONES, WOOD, AND DEBRIS LARGER THAN 2-INCHES FROM AREAS TO RECEIVE TOPSOIL. DO NOT COMPACT TOPSOIL.
- 2. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED, AND MULCHED IN ACCORDANCE WITH THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST EDITION, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 3. TEMPORARY EROSION CONTROL/STABILIZATION SEEDING OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- 4. STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH SECTION 9010 OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST EDITION. SEED MIXTURES SHALL BE PER TABLE 9010.09: TYPE 4 SEED MIXTURE.
- 5. PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH SECTION 9010 OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST EDITION. SEED MIXTURE SHALL BE PER TABLE 9010.06: TYPE 1 SEED MIXTURE.
- 6. APPLY SEED AT THE RATES INDICATED IN SECTION 9010.
- 7. MAINTAIN SEEDED AREAS UNTIL AN ADEQUATE STAND OF GRASS HAS BEEN ESTABLISHED. RESEED ANY AREAS AS NECESSARY DURING MAINTENANCE PERIOD PER PROJECT SPECIFICATIONS.
- 8. FOR TEMPORARY AND PERMANENT SEEDING, FERTILIZER SHALL BE APPLIED AT A RATE OF 300 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 6-24-24 FERTILIZER.
- 9. ALL SEEDING AREAS SHALL BE MULCHED PER SUDAS SECTION 9010, 2.07.
- 10. EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC.) THAT ARE TO REMAIN AND DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

LEGEND

FIRE HYDRANT	⊕
VALVE OR BLOWOFF	⊗
STREET LIGHT	⊙
UTILITY POLE	⊘
GUY WIRE	—
TRAFFIC SIGN	▲
MANHOLE	⊙
EXISTING STORM SEWER INTAKE	⊠
PROPOSED INTAKE	⊕
TELEPHONE TERMINAL	⊙TEL
CABLE TV TERMINAL	⊙CATV
OVERHEAD ELECTRICAL	--- (OHE) ---
UNDERGROUND ELECTRICAL	—UG EL—
OVERHEAD TELEPHONE	—OH TEL—
UNDERGROUND TELEPHONE	—UG TEL—
GAS LINE	—GAS—
CABLE TV LINE	—CATV—
STORM SEWER w/SIZE	—ST12—
SANITARY SEWER w/SIZE	—SS8—
WATER MAIN w/SIZE	—WB—
FENCE	—F—
RIGHT-OF-WAY	ROW
BACK OF CURB TO BACK OF CURB	B-B
DECIDUOUS TREE	⊗
CONIFEROUS TREE	⊗
SILT FENCE FOR DITCH CHECK	⊕
UTILITY EASEMENT	UE
DRAINAGE EASEMENT	DE
BENCH MARK w/NUMBER	⊕BM 1
CONTROL POINT	⊕
TOP OF SLAB ELEVATION	T/S =

BENCHMARKS:

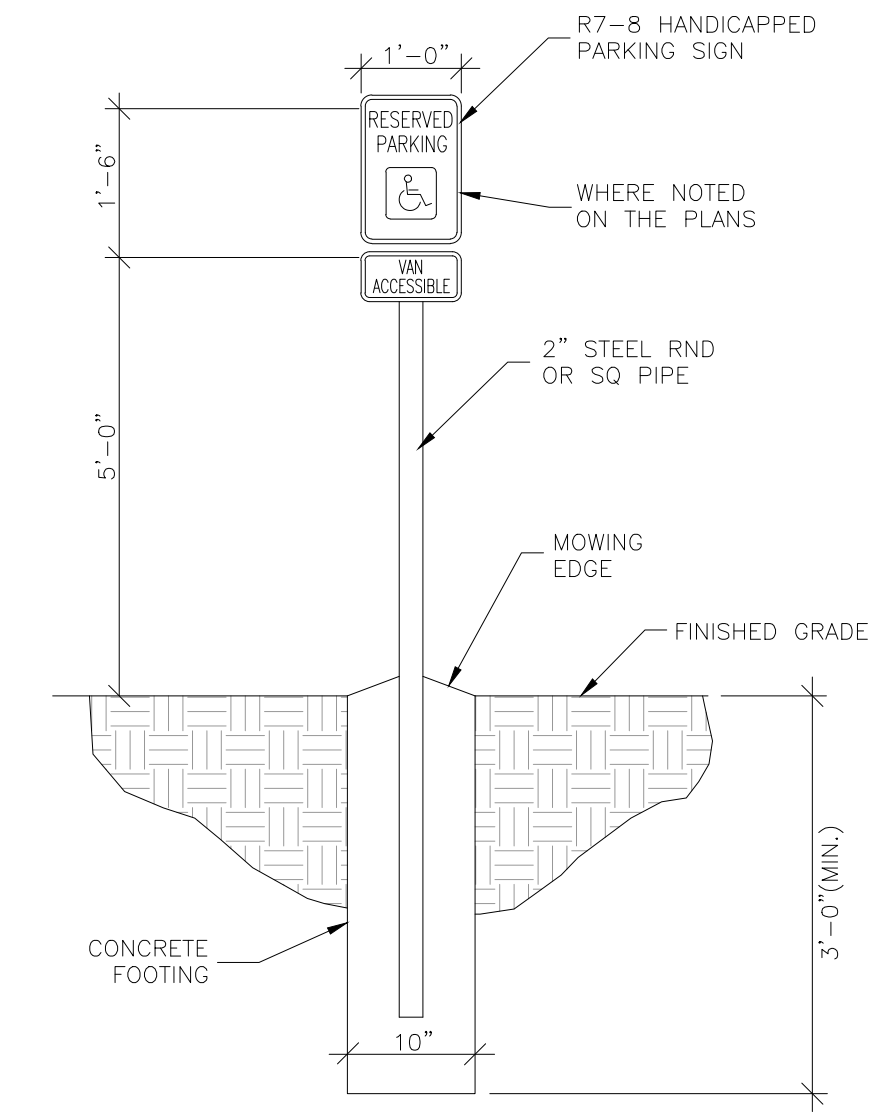
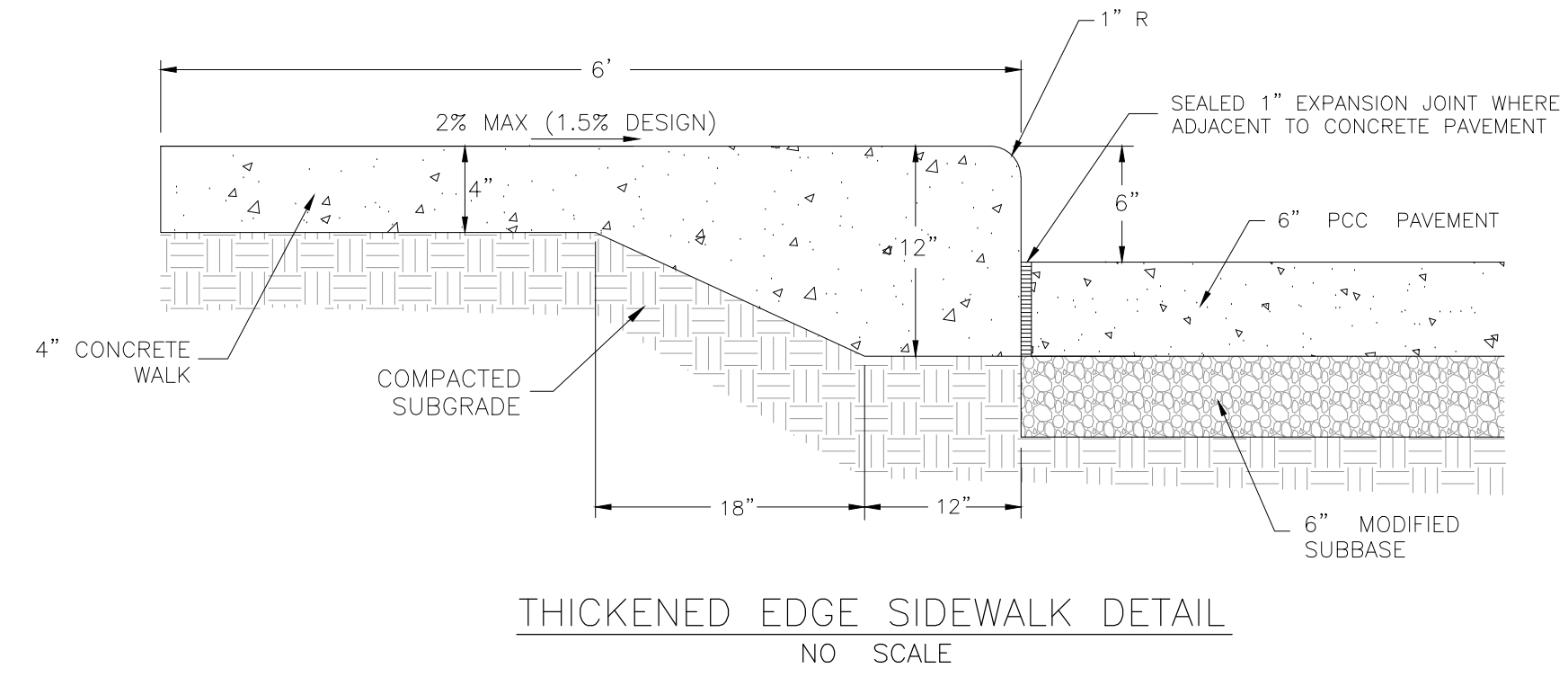
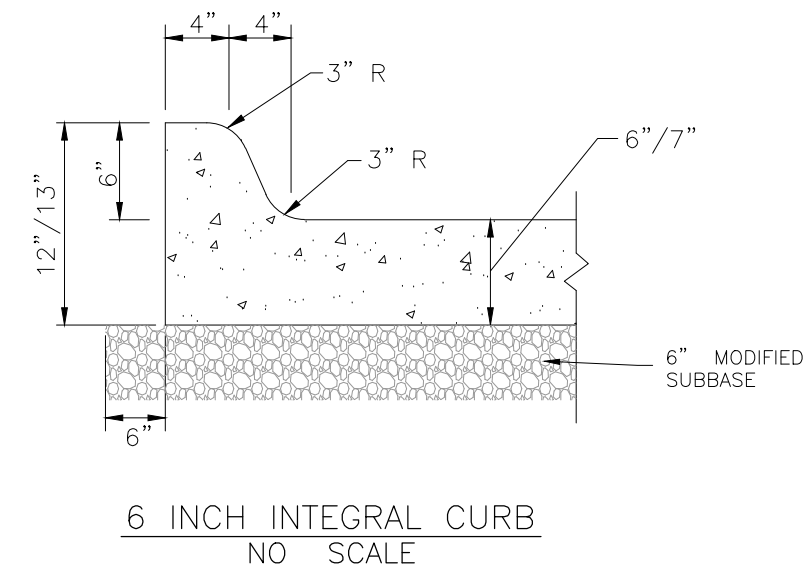
- 1) RIM OF EXISTING STORM SEWER INTAKE ON WEST SIDE OF STONER COURT NORTH OF EXISTING PROPERTY ACCESS DRIVE ELEV. = 788.82
- 2) RIM OF EXISTING SANITARY SEWER MANHOLE IN SE AREA OF EXISTING STONER COURT PAVING ELEV. = 788.72

Drawn: DLS 3/27/18
Checked:
Reviewed:
Scale: NA
Revision: No.

BRIN
ENGINEERING, INC.

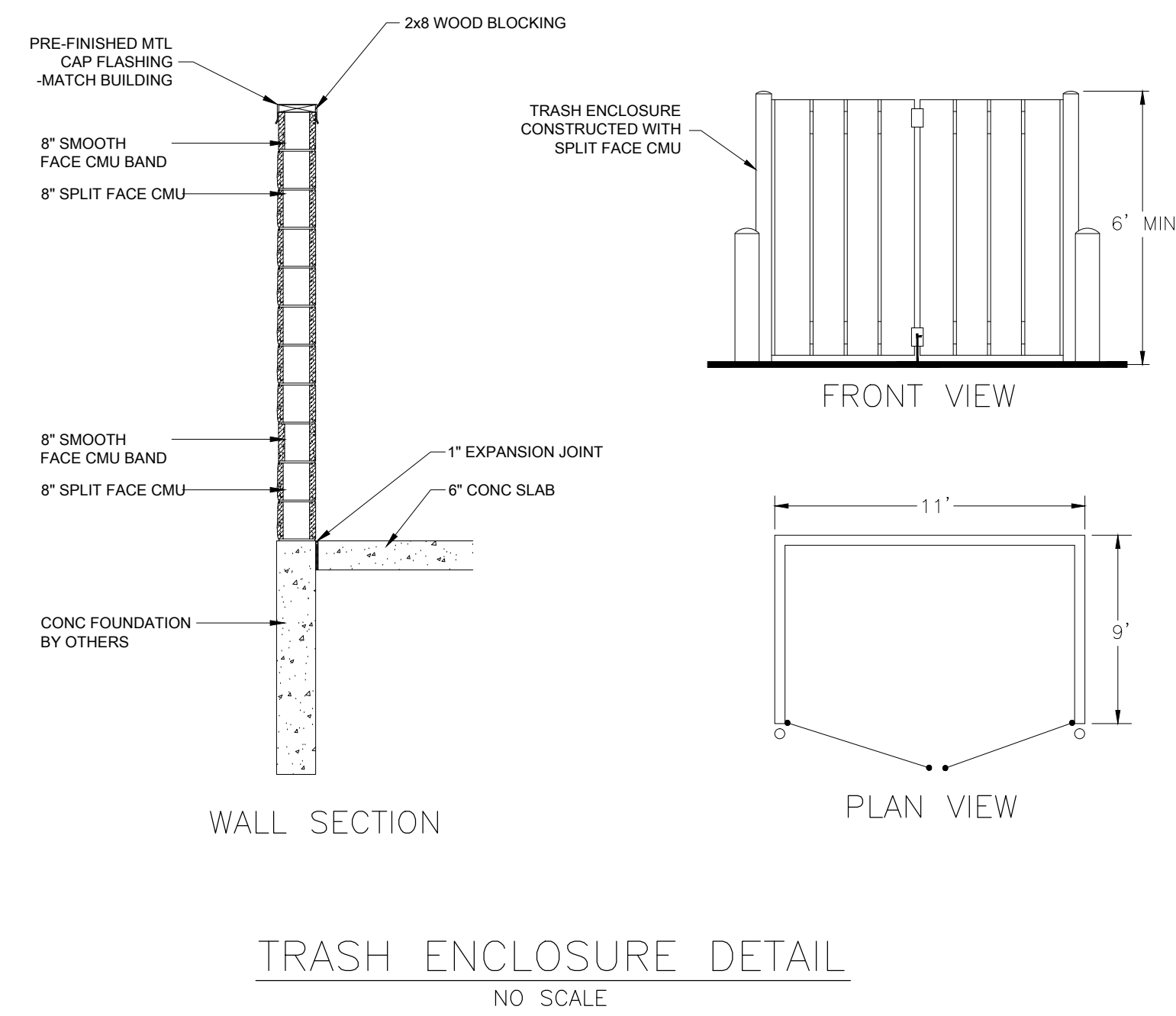
GENERAL NOTES, LEGEND, AND BENCHMARKS
AAA MECHANICAL CONTRACTORS, INC.

Title: Page: C5 of Project No. 529918-10 Date:



NOTE:
INSTALL SIGNS ON BUILDING WHERE REQUIRED.

HANDICAPPED PARKING SIGN
NOT TO SCALE



Drawn:	DLS	Check:		Rev:	1	No.	NA
Checked:		Reviewed:		Scale:	1	No.	NA
Book:	3/21/18	Scale:	1	No.	NA	Revision	Date
BRAIN ENGINEERING, INC.							
CONSTRUCTION DETAILS AAA MECHANICAL CONTRACTORS, INC.							
Title:							
Page:	C6						
of							
Project No.	529918-10						



FRONT VIEW FROM THE SE



AAA MECHANICAL CONTRACTORS INC. NEW FACILITY
EXTERIOR DESIGN CONCEPT



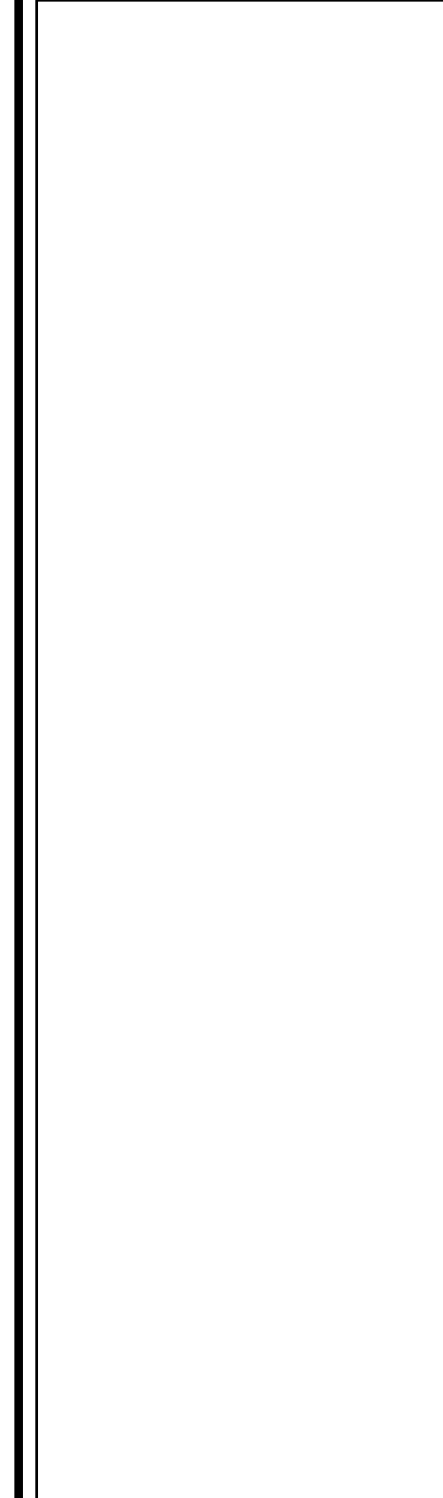
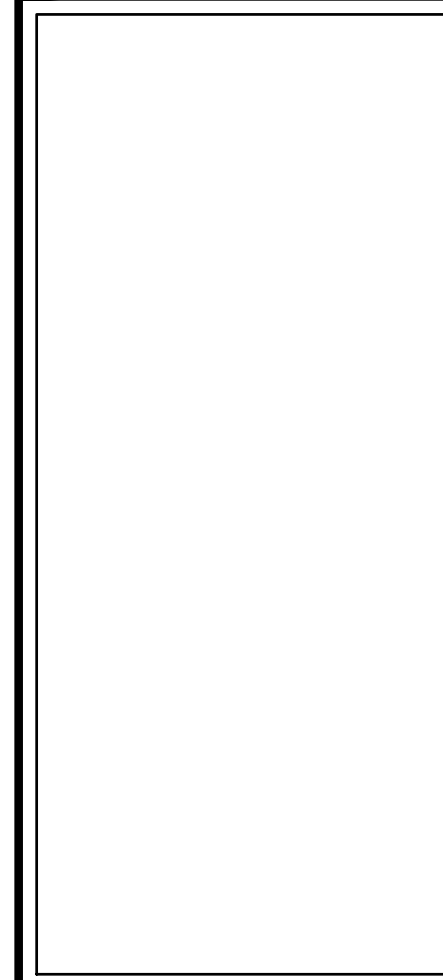


FRONT VIEW FROM THE NE

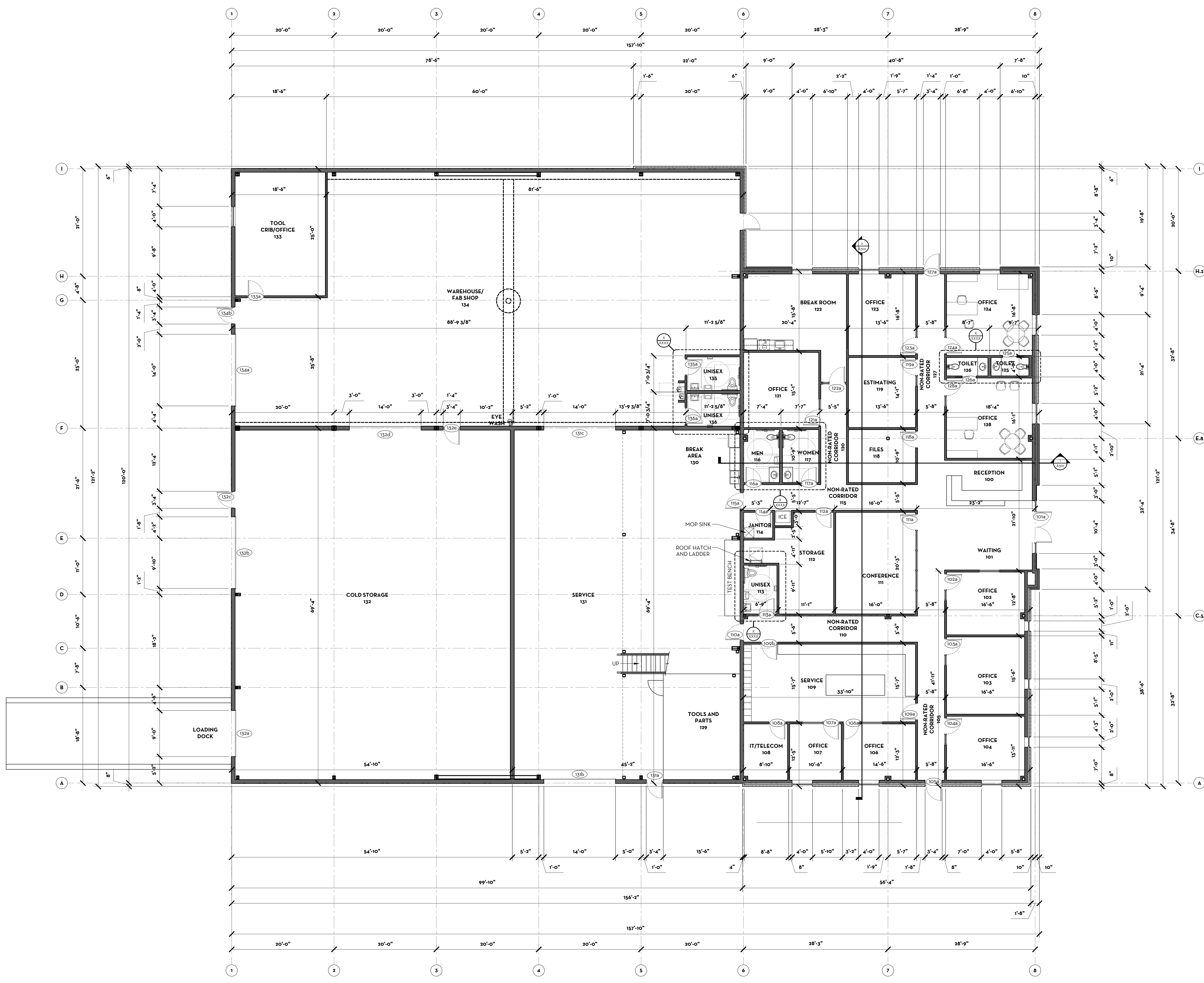


AAA MECHANICAL CONTRACTORS INC. NEW FACILITY
EXTERIOR DESIGN CONCEPT





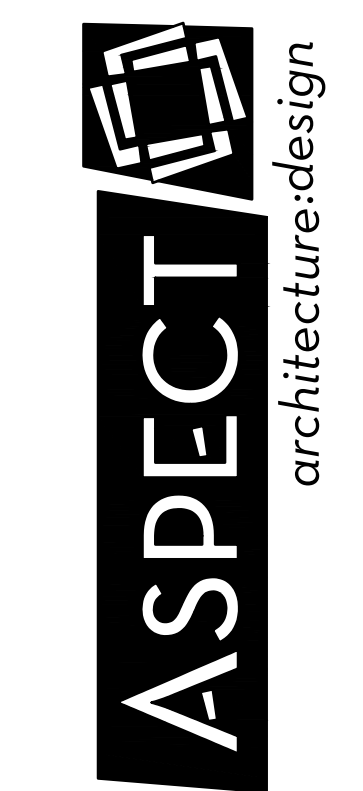
PRELIMINARY
NOT FOR
CONSTRUCTION



1 MAIN LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

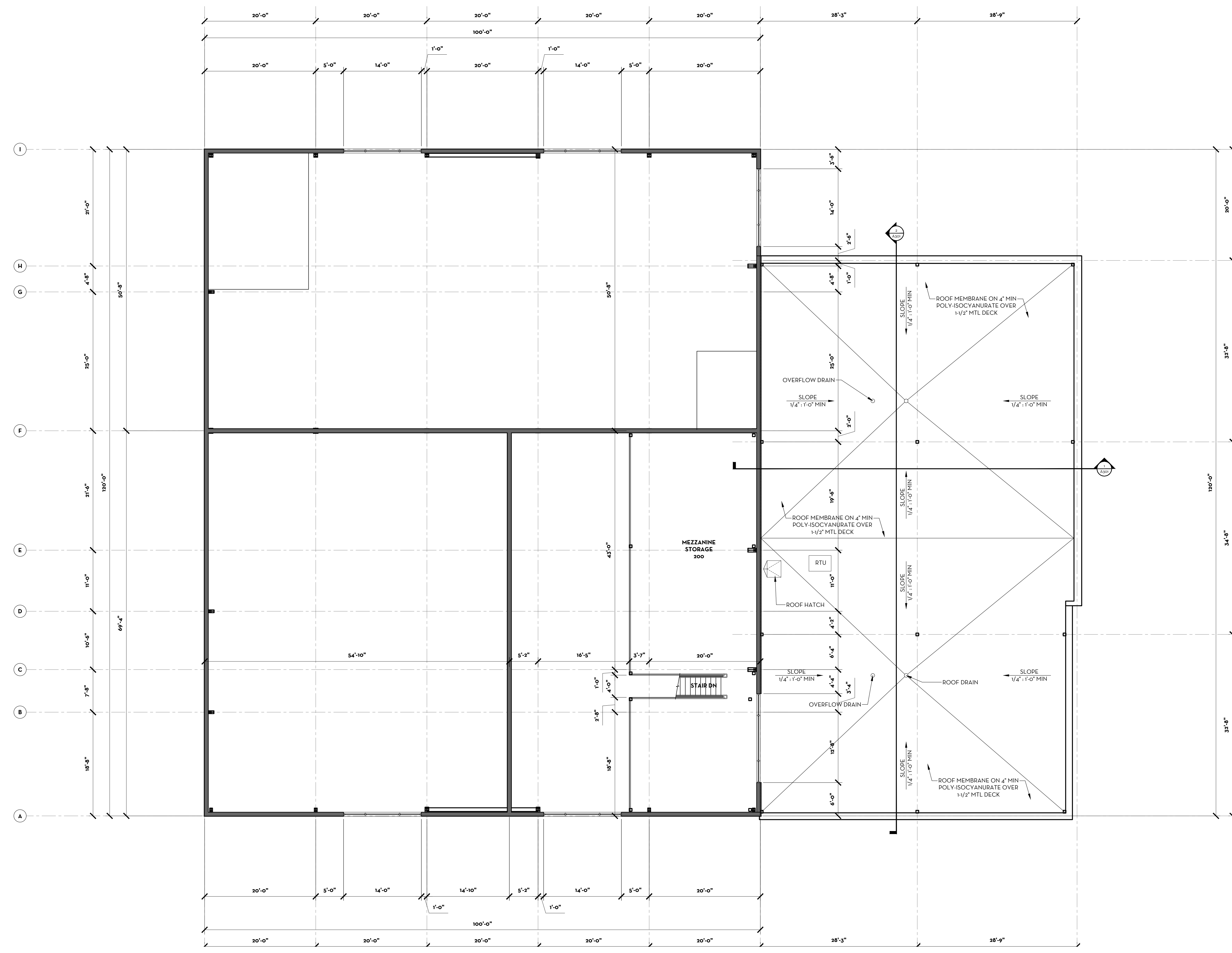
GENERAL NOTES:

BAR IS ONE INCH ON
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DRAWN BY: JDC
APPROVED: SLE
JOB DATE: MARCH 20, 2018
JOB NO: 18006



1 MEZZANINE LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

AAA MECHANICAL
2755 STONER CT
NORTH LIBERTY, IOWA
ARCHITECTURAL
MEZZANINE LEVEL FLOOR PLAN

DRAWING
A102

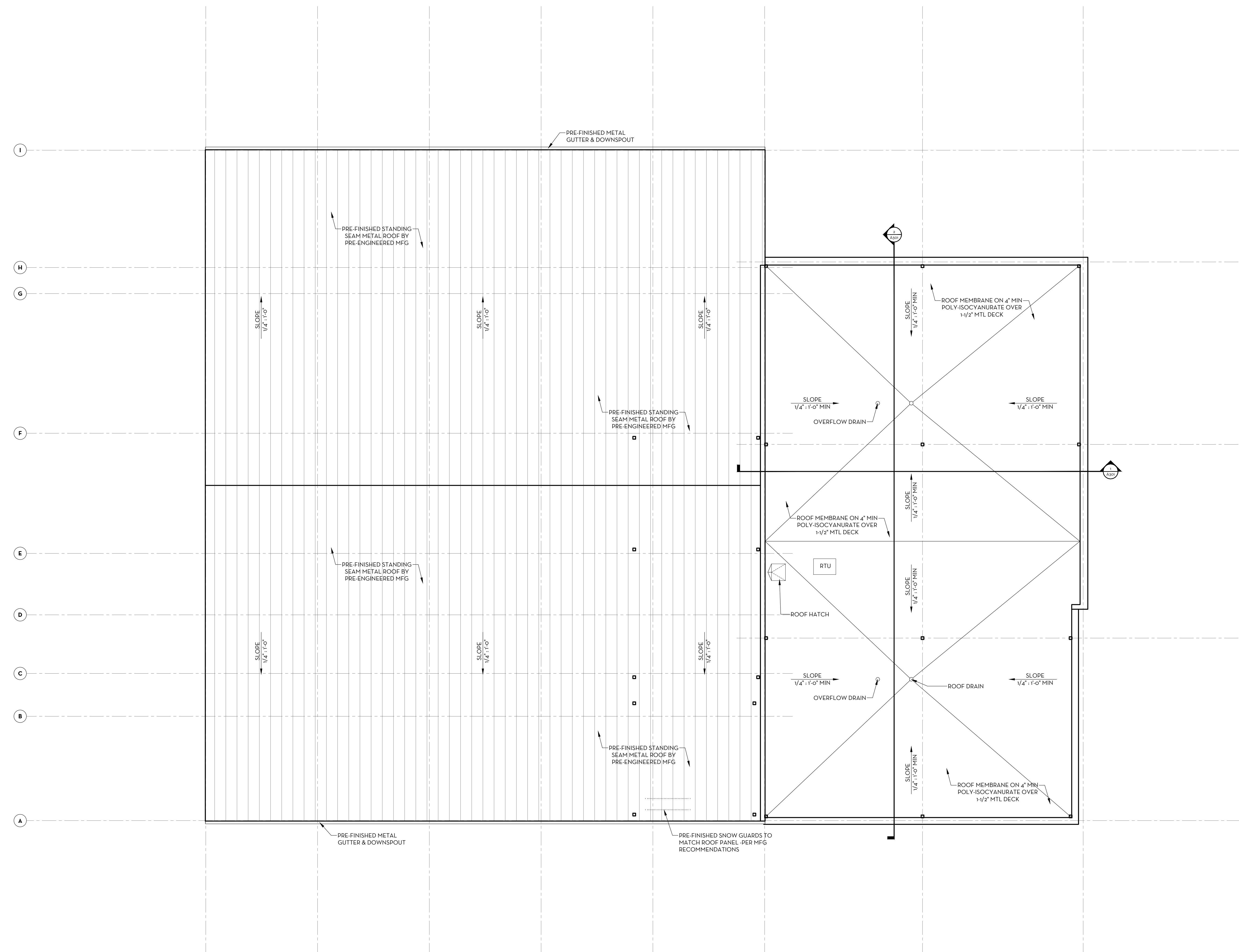
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APPROVED: SLE
JOB DATE: MARCH 20, 2018
JOB NO: 18006



1 ROOF PLAN
SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

AAA MECHANICAL
2755 STONER CT
NORTH LIBERTY, IOWA
ARCHITECTURAL
ROOF PLAN

DRAWING
A103

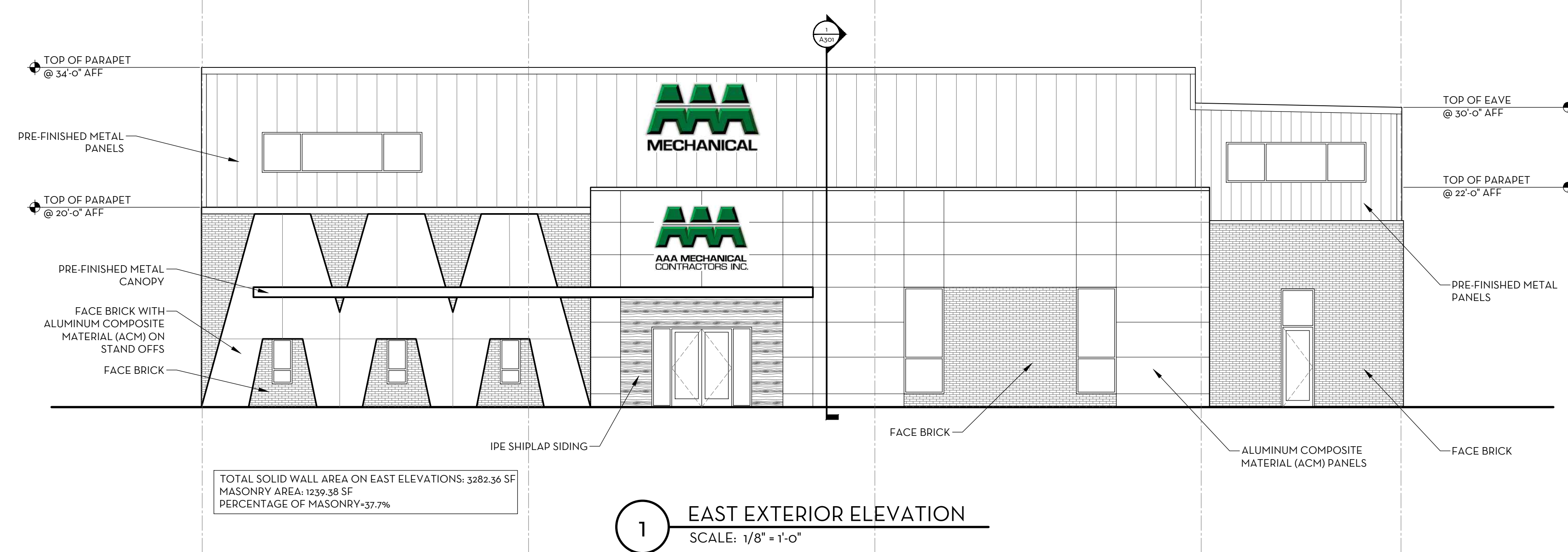
GENERAL NOTES:

BAR IS ONE INCH ON OFFICIAL DRAWINGS
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY



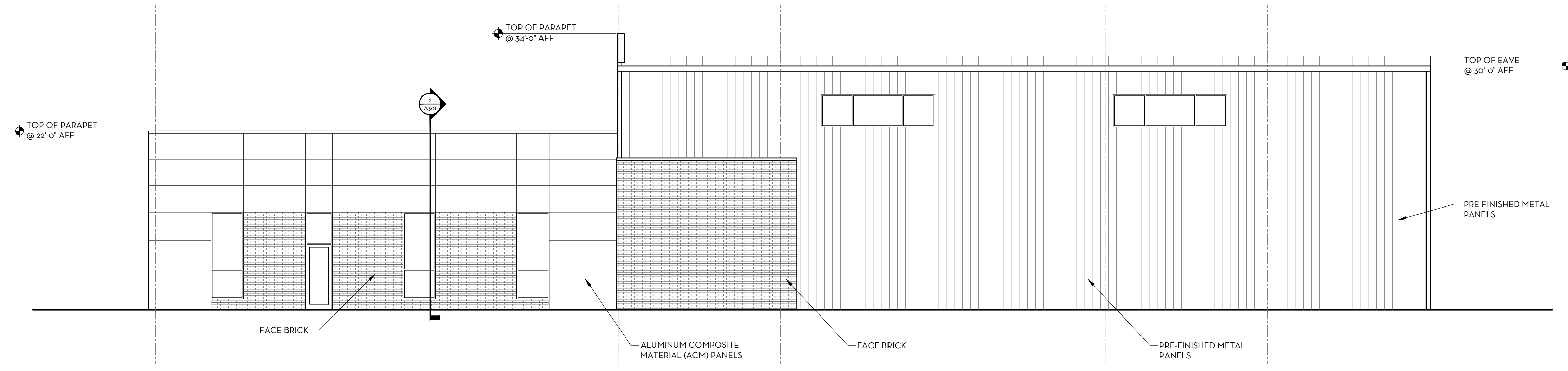
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APPROVED: SLE
JOB DATE: MARCH 20, 2018
JOB NO: 18006

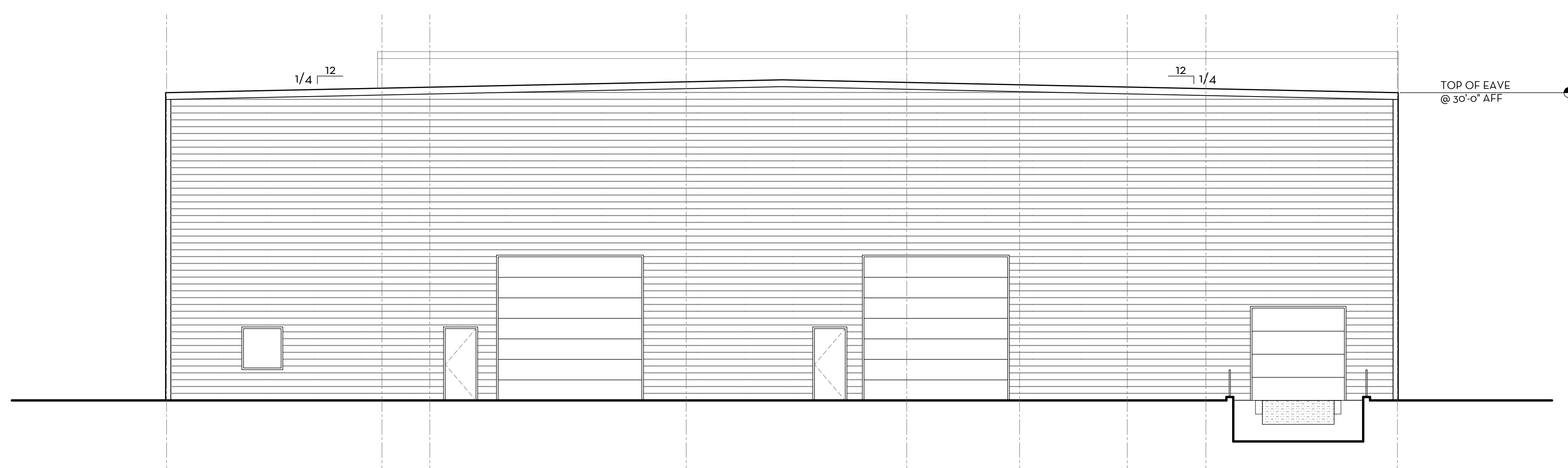


TOTAL SOLID WALL AREA ON EAST ELEVATIONS: 3282.36 SF
MASONRY AREA: 1239.38 SF
PERCENTAGE OF MASONRY: 37.7%

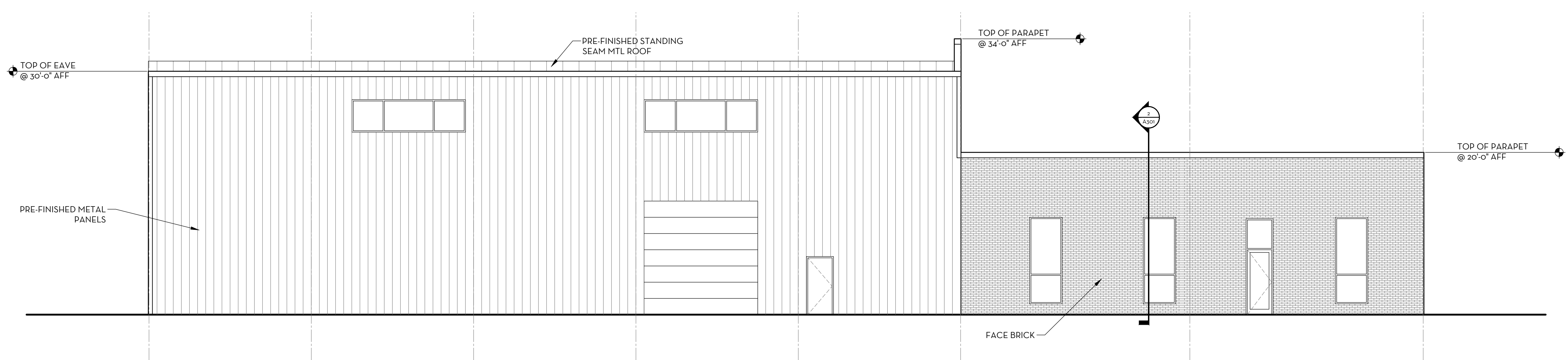
1 EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



4 SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

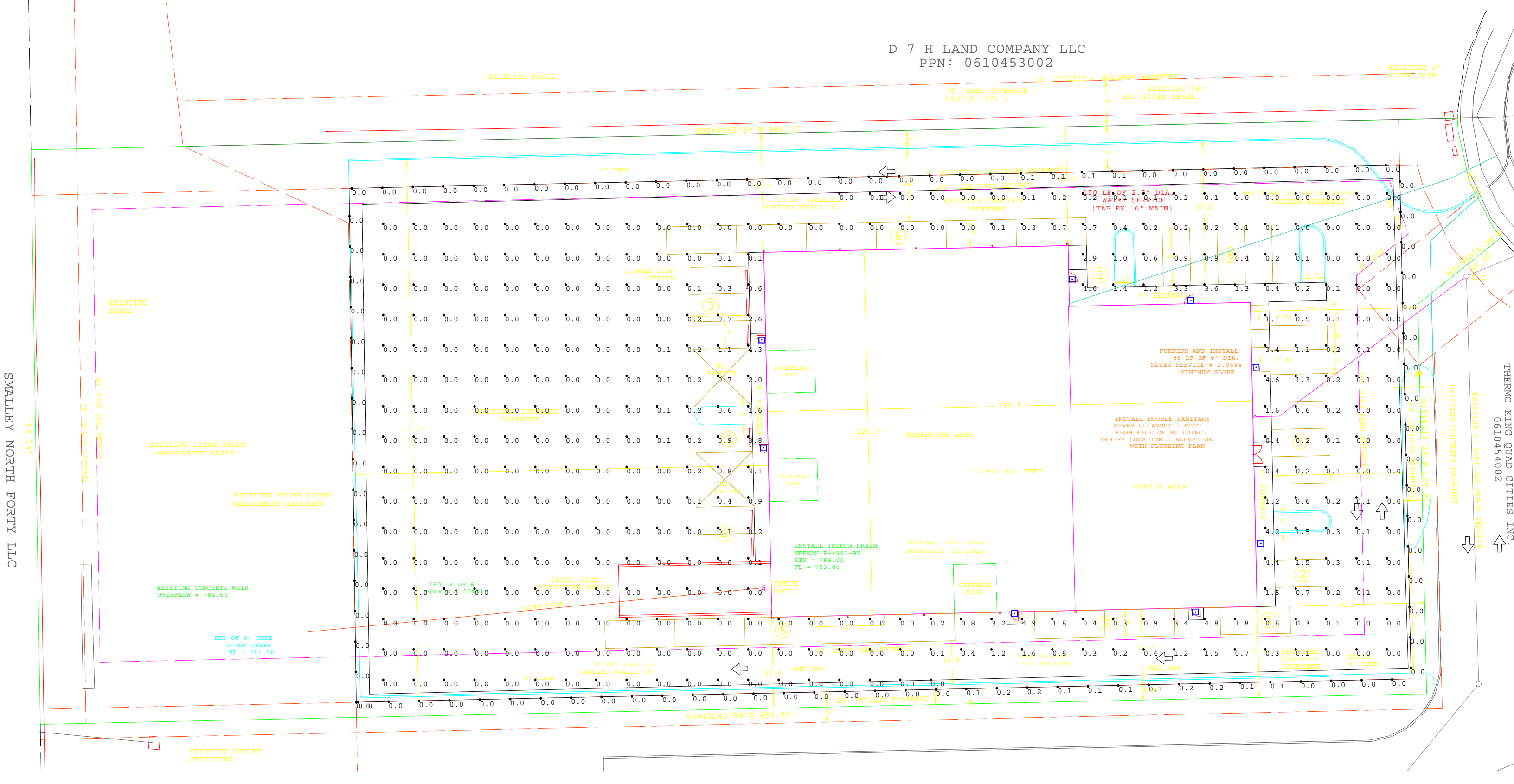
AAA MECHANICAL
2755 STONER CT
NORTH LIBERTY, IOWA
ARCHITECTURAL
EXTERIOR ELEVATIONS

DRAWING
A201

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
LOT	Illuminance	Fc	0.33	4.9	0.0	N.A.	N.A.
PROPERTY	Illuminance	Fc	0.02	0.2	0.0	N.A.	N.A.

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
□	8	W1	SINGLE	N.A.	0.900	Philips PPW30-NW-G1-8

D 7 H LAND COMPANY LLC
PPN: 0610453002



SMALLEY NORTH FORTY LLC
189.05'

THERMO KING QUAD CITIES INC.
0610454002



March 27, 2018

Memo

To: North Liberty Planning Commission
From: Dean Wheatley, Planning Director
Subject: Site Plan Approval Request
(Lot 8 and part of Lot 7, Liberty's Gate Part 1)

Your North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Tom Palmer, City Building Official
Scott Peterson, City Attorney
Kevin Trom, City Engineer
Dean Wheatley, Planning Director

This request is to construct a new mixed-use building at the Liberty's Gate subdivision on Madison Avenue, one block south of West Penn Street. The proposal is for ground floor commercial space with two upper floors of residential units, underground residential tenant parking, and associated open commercial parking.

The site is logically arranged, including mostly building and parking, plus the large existing green space buffer at the rear (south) end of the lot. Pedestrian-scale feature(s) required by the Zoning Ordinance shown on the plan include a picnic area and enhanced lighting bollards at the entrances.

The building design is interesting and substantial, and inclusion of underground parking for residents is a premium feature. The building elevations well-designed with interesting modern architecture, and meet all technical requirements of the Zoning Ordinance.

Staff recommends approval of the site plan.

Notes:

- Based on elevations of fire department access roads to the highest floor level of the buildings, standpipes will most likely be required. 2015 IFC Section 905.3.1; Class III standpipe systems shall be installed throughout buildings where the floor level of the highest story is located more than 30 feet above the lowest level of the fire department vehicle access.
- SWPPP & CSR permits are required.

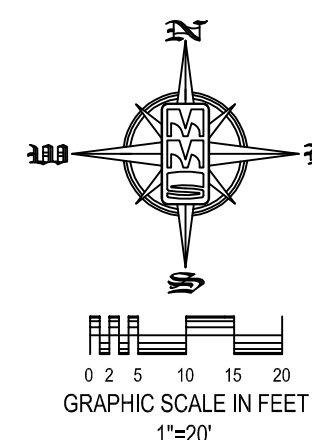
SITE PLAN 560 N. MADISON NORTH LIBERTY, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC.
 1917 S. GILBERT STREET
 IOWA CITY, IA 52240

OWNER: J & K RENTALS LLC
 880 LINDER ROAD NE
 IOWA CITY, IA 52240

APPLICANT/DEVELOPER: GRAND RAIL DEVELOPMENT CO, INC
 745 PACHA PARKWAY
 NORTH LIBERTY, IA 52317

DEVELOPERS: ATTORNEY DOUGLAS D. RUPPERT
 122 S. LINN STREET
 IOWA CITY, IA 52240



STANDARD LEGEND AND NOTES

---	PROPERTY &/OR BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	22-1

⊙	POWER POLE
⊙	POWER POLE W/DROP
⊙	POWER POLE W/TRANS
⊙	POWER POLE W/LIGHT
⊙	GUY POLE
⊙	LIGHT POLE
⊙	SANITARY MANHOLE
⊙	FIRE HYDRANT
⊙	WATER VALVE
⊙	DRAINAGE MANHOLE
⊙	CURB INLET
⊙	FENCE LINE
⊙	EXISTING SANITARY SEWER
⊙	PROPOSED SANITARY SEWER
⊙	EXISTING STORM SEWER
⊙	PROPOSED STORM SEWER
⊙	WATER LINES
⊙	ELECTRICAL LINES
⊙	TELEPHONE LINES
⊙	GAS LINES
⊙	CONTOUR LINES (1' INTERVAL)
⊙	PROPOSED GROUND
⊙	EXISTING TREE LINE
⊙	EXISTING DECIDUOUS TREE & SHRUB
⊙	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

LEGAL DESCRIPTION

AUDITOR'S PARCEL NO. 2002058, TO THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF, IN THE RECORDS OF THE JOHNSON COUNTY RECORDER'S OFFICE, CONTAINING 1.68 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

APPLICANT

GRAND RAIL DEVELOPMENT CO, INC
 745 PACHA PARKWAY
 NORTH LIBERTY, IA 52317

DEVELOPMENT CHARACTERISTICS

CURRENT ZONING: C-1-B
 REQUESTED LAND USE: COMMERCIAL
 LOT AREA: 73,288 SF (1.68 ACRES)

SETBACK REQUIREMENTS

BUILDING SETBACKS:	REQUIRED:
FRONT YARD	25 FEET
SIDE YARD	10 FEET
REAR YARD	20 FEET

PARKING SETBACKS:

FRONT	10 FEET
SIDE	5 FEET
REAR	5 FEET

MINIMUM LOT REQUIREMENTS

LOT FRONTAGE	35 FEET
LOT WIDTH	35 FEET
MAXIMUM BUILDING HEIGHT	45 FEET OR 3 STORIES

LOT CHARACTERISTICS

LOT AREA	73,288 SF (100%)(1.68 AC)
BUILDING AREA - PROPOSED	9,819 SF (13%)
PAVING AREA - PROPOSED	37,492 SF (52%)
GREEN SPACE AREA	25,974 SF (35%)

BUILDING CHARACTERISTICS:

1 - PROPOSED RETAIL/20-UNIT APARTMENT BUILDINGS @ 9,819 SF

PARKING REQUIREMENTS:

PROPOSED RETAIL
 4 PER 200 SF
 9,820 SF / 200 = 50 TOTAL SPACES REQUIRED

PROPOSED MULTI-FAMILY RESIDENTIAL
 2.2 / DU
 20 DU X 2.2 = 44 TOTAL SPACES REQUIRED

TOTAL PARKING REQUIRED (ADA PROVIDED = 5) = 94 SPACES

PROPOSED PARKING LOT SPACES (4 ACCESSIBLE) = 76 SPACES
 PROPOSED PARKING GARAGE SPACES (1 ACCESSIBLE) = 28 SPACES

TOTAL PARKING PROVIDED (ADA PROVIDED = 5) = 104 SPACES

ALL GROUND MOUNTED MECHANICAL UNITS SHALL BE SCREENED WITH LANDSCAPING, (SEE LANDSCAPING PLAN).

SNOW STORAGE FOR THE SITE CAN BE PROVIDED AT THE SOUTH SIDE OF THE SITE.

PAVEMENT LEGEND

	7" PCC 4500 PSI OVER 6" GRANULAR BASE - DESIGNED TO SUPPORT THE SINGLE AXLE WEIGHT OF THE NORTH LIBERTY 75,000 LBS GROSS WEIGHT FIRE TRUCK (22,069 SF)
	5" PCC PARKING OVER 4" GRANULAR BASE (13,382 SF)
	4" PCC SIDEWALK (4,377 SF)

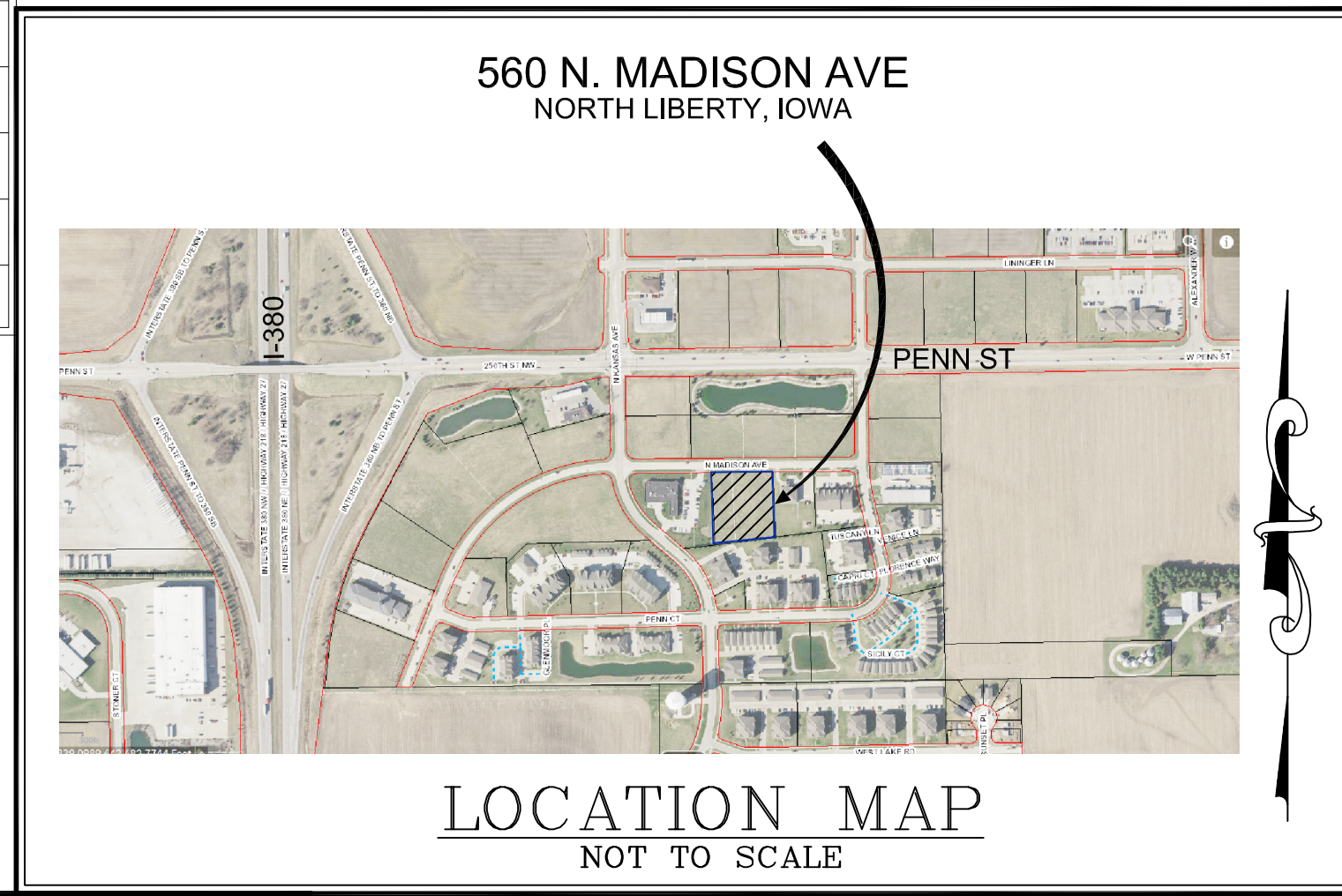
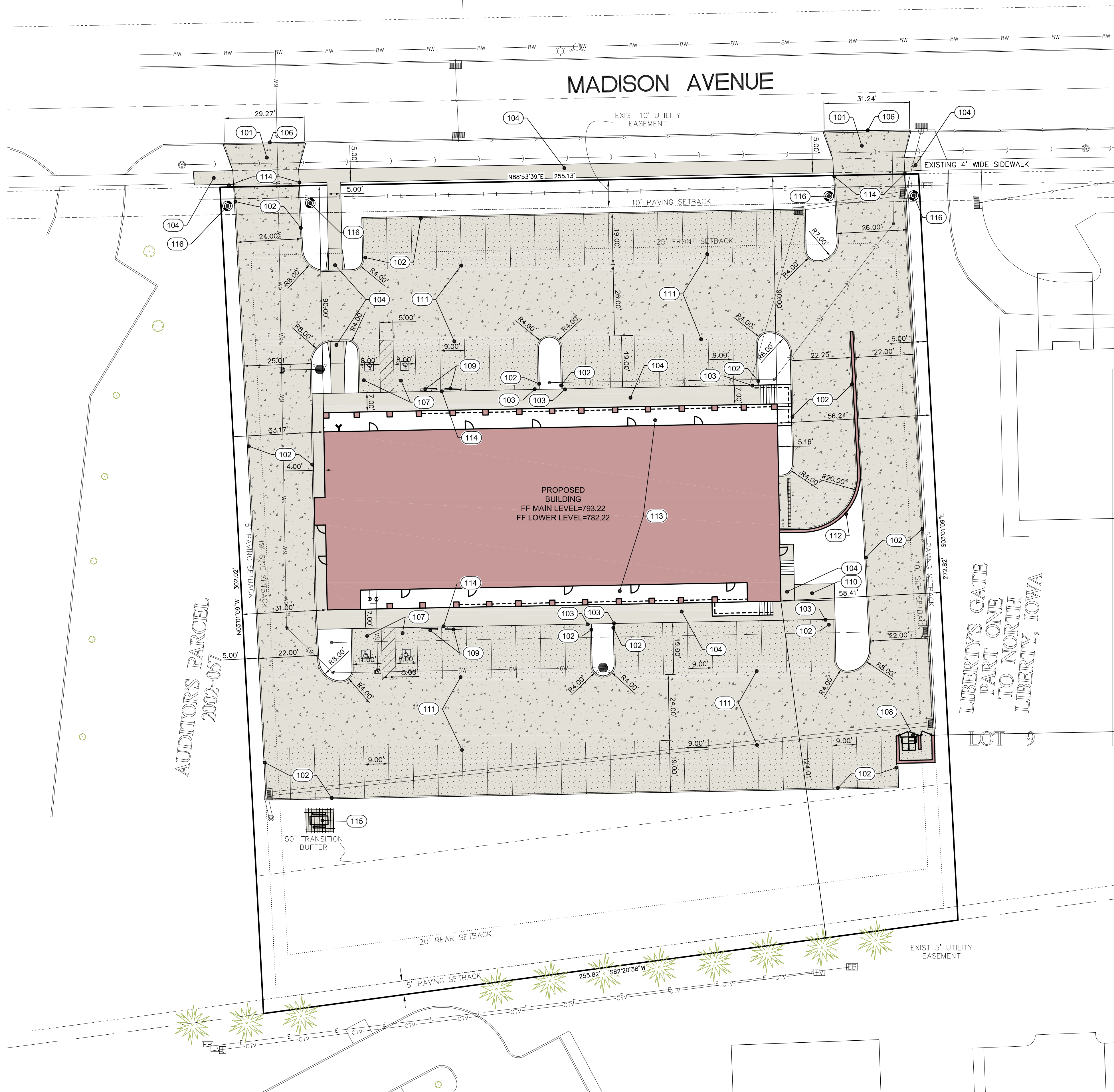
NOTE: THESE QUANTITIES REFLECT THE OVERALL SITE INCLUDING WORK WITHIN THE RIGHT OF WAY

KEYNOTES

NUMBER	KEYNOTE
101	INSTALL DRIVE PER DETAIL (THICKNESS AND MATERIAL AS NOTED)
102	INSTALL 6" STANDARD CURB
103	INSTALL THICKENED EDGE SIDEWALK
104	INSTALL P.C.C. SIDEWALK PER NORTH LIBERTY MUNICIPAL DESIGN STANDARDS
105	INSTALL ADA RAMP PER ADA STANDARDS
106	GRIND EXISTING CURB; INSTALL TYPE "A" CONCRETE DRIVEWAY AND SIDEWALK PER SUDAS DETAIL 7030.101
107	INSTALL ACCESSIBLE PARKING, RAMPS, STRIPING AND SIGNAGE PER DETAILS.
108	DUMPSTER ENCLOSURE
109	CONCRETE PARK STOP PER DETAIL
110	INSTALL BIKE RACK
111	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)
112	RETAINING WALL, BY OTHERS
113	STRUCTURAL SLAB BY OTHERS
114	CURB TRANSITION
115	PERGOLA AND PICNIC TABLE
116	DECORATIVE BOLLARD WITH DOWNWARD CAST LIGHT (TYP QF 4)

SURVEY CONTROL

POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	5018.13	4356.25	798.715 (ASSUMED)	CUT X (MMS NO. 13)
2	5015.90	5170.37	784.413 (ASSUMED)	BENCHMARK AND CONTROL POINT FROM CHURCH SITE (MMS NO. 102)
3	5046.99	4875.92	789.91 (ASSUMED)	ARROW BOLT ON HYDRANT ON NORTH SIDE OF MADISON AVENUE AT CENTER OF LOT (MMS NO. 276)



UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

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 LAND PLANNERS
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Date	Revision
3/29/2018	REVISED PER CITY COMMENTS JEBBTM
3/28/2018	REVISED PER CITY COMMENTS JEBBTM

TITLE SHEET/ OVERALL LAYOUT PLAN

SITE PLAN 560 N. MADISON

NORTH LIBERTY
 JOHNSON COUNTY
 STATE OF IOWA

MMS CONSULTANTS, INC.

Date:	3/1/2017
Designed By:	BTM
Field Book No.:	-
Drawn By:	MAK
Scale:	1"=20'
Checked By:	BTM
Sheet No.:	1
Project No.:	IOWA CITY 1194143



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PERMANENT SEEDING OF URBAN AREAS

SUDAS TYPE 1 PERMANENT LAWN MIXTURE SHALL BE USED FOR PERMANENT SEEDING OF URBAN AREAS, INCLUDING ANY AREAS PREVIOUSLY MAINTAINED AS A LAWN. (SUDAS 9010.2.02). THE APPLICATION RATE SHALL BE AS LISTED BELOW.

TABLE 9010.06: TYPE 1 SEED MIXTURE (1)

COMMON NAME	APPLICATION RATE lb/acre
CREeping RED FESCUE	25
TURF-TYPE PERENNIAL RYEGRASS (2)	20
TURF-TYPE PERENNIAL RYEGRASS (2)	20
KENTUCKY BLUEGRASS CULTIVAR (3)	65
KENTUCKY BLUEGRASS CULTIVAR (3)	65
KENTUCKY BLUEGRASS CULTIVAR (3)	65

(1) A COMMERCIAL MIXTURE MAY BE USED IF IT CONTAINS A HIGH PERCENTAGE OF SIMILAR BLUEGRASSES; IT MAY OR MAY NOT CONTAIN CREeping RED FESCUE.
(2) CHOOSE TWO DIFFERENT CULTIVARS OF TURF-TYPE PERENNIAL RYEGRASS, AT 20 lbs/ACRE EACH.
(3) CHOOSE THREE DIFFERENT CULTIVARS OF KENTUCKY BLUEGRASS, AT 65 lbs/ACRE EACH.

GRADING NOTES

- 1.) MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3.5: HORIZONTAL TO 1: VERTICAL.
- 2.) NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- 3.) WHERE HEIGHT OF FILL IS GREATER THAN 30" AN INTERMEDIATE TERRACE OF AT LEAST 6" WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- 4.) COMPACTION TO BE 90% MODIFIED PROCTOR WHERE > 6:1 SLOPE.
- 5.) ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- 6.) PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- 7.) STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- 8.) SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- 9.) ALL STREET SUBURGES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH CITY OF NORTH LIBERTY DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.

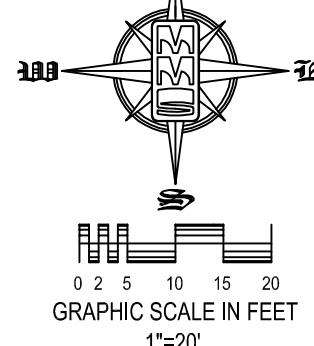
STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

— EXIST 22-1

- PROP
- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
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THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

GRADING TOPSOIL NOTE:
PRIOR TO FINAL SEEDING, ALL GREEN SPACE SHALL BE TILLED TO A MINIMUM DEPTH OF 12" AND COVERED WITH A MINIMUM OF 6" OF TOPSOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR STOCKPILING ADEQUATE TOPSOIL FOR ALL GREEN SPACE.

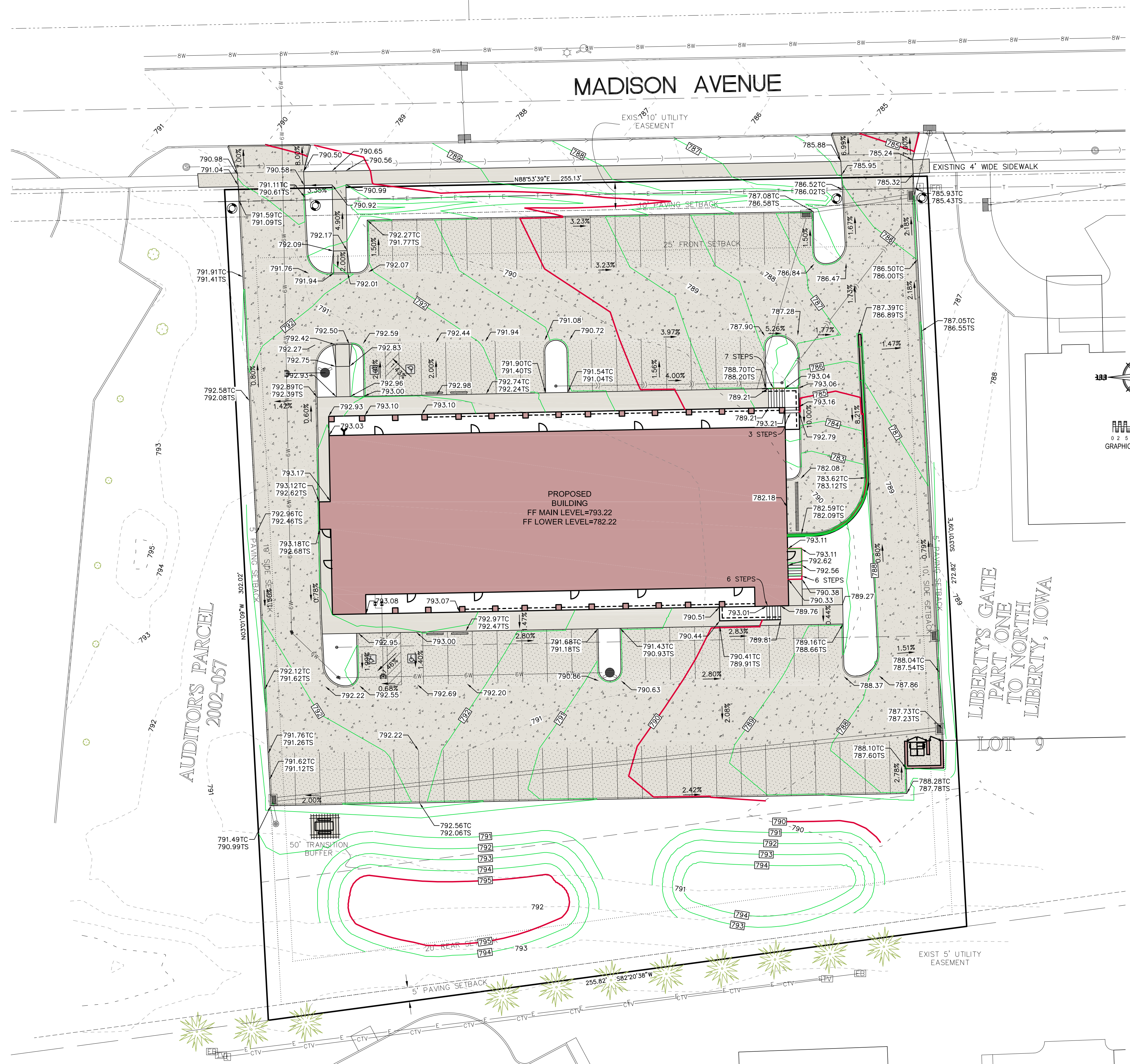
GRADING LEGEND

- 000.00EX = EXISTING SURFACE
- 000.00 = TOP SLAB
- 000.00TW = TOP WALK
- 000.00TC = TOP CURB
- 000.00TR = TOP RIM
- 000.00WB = TOP WALL
- 000.00WT = BOTTOM WALL

NOTES:
1. ALL ELEVATIONS ARE TOP OF SLAB UNLESS NOTED OTHERWISE.
2. FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.

UTILITIES
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GRADING PLAN

SITE PLAN
560 N. MADISON

NORTH LIBERTY
JOHNSON COUNTY
STATE OF IOWA

MMS CONSULTANTS, INC.
Date: 3/1/2017
Designed by: BTM
Drawn by: MAK
Checked by: BTM
Project No: IOWA CITY 1194143

Field Book No: -
Scale: 1"=20'
Sheet No: 2



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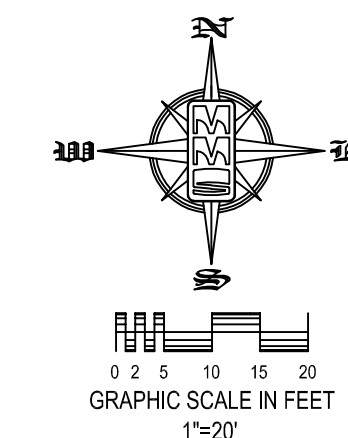
UTILITY PLAN

SITE PLAN 560 N. MADISON

NORTH LIBERTY
JOHNSON COUNTY
STATE OF IOWA

MMS CONSULTANTS, INC.

Date:	3/11/2017
Designed by:	BTM
Drawn by:	MAK
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STANDARD LEGEND AND NOTES

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- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

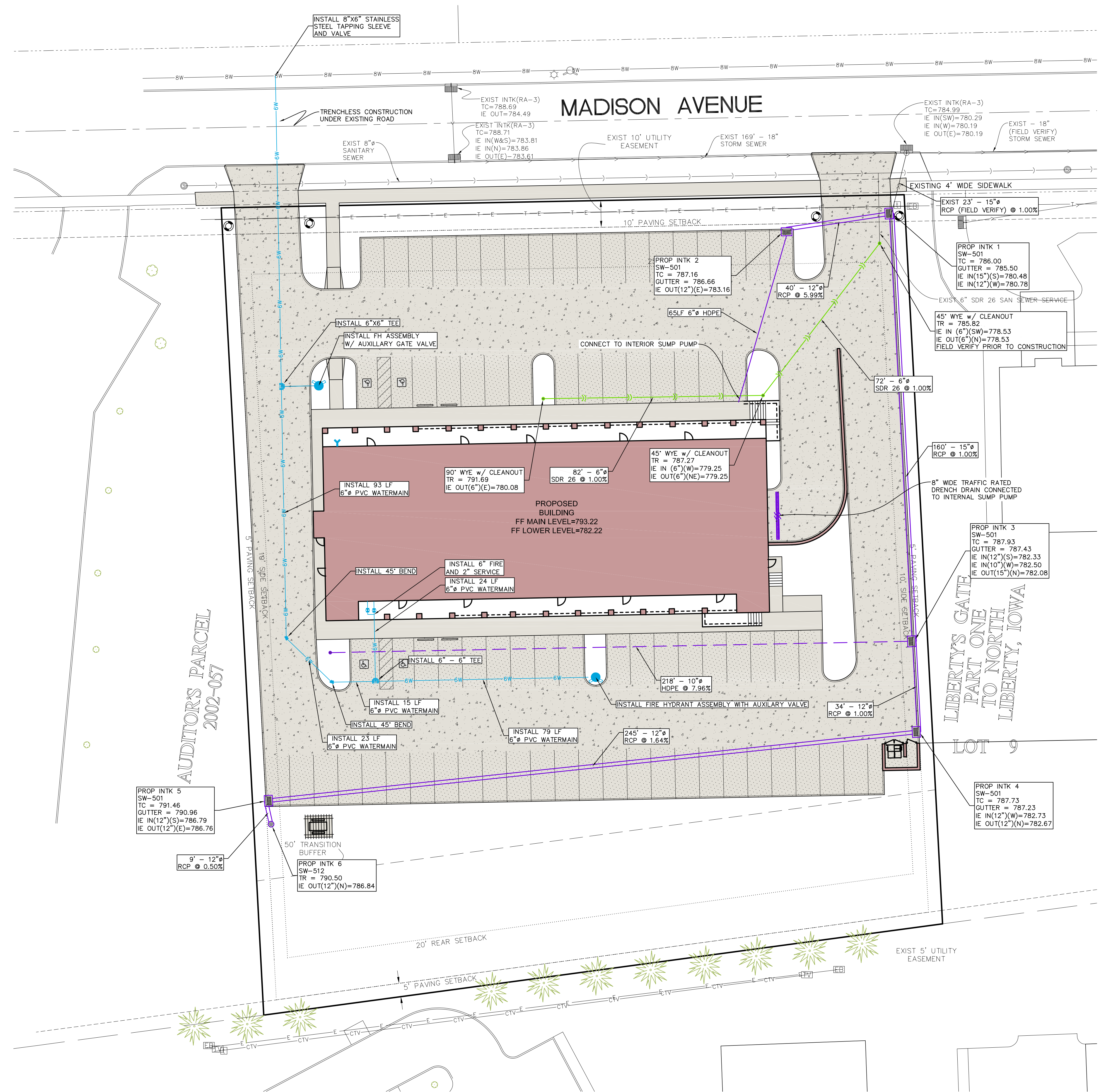
EXIST- (R)
22-1

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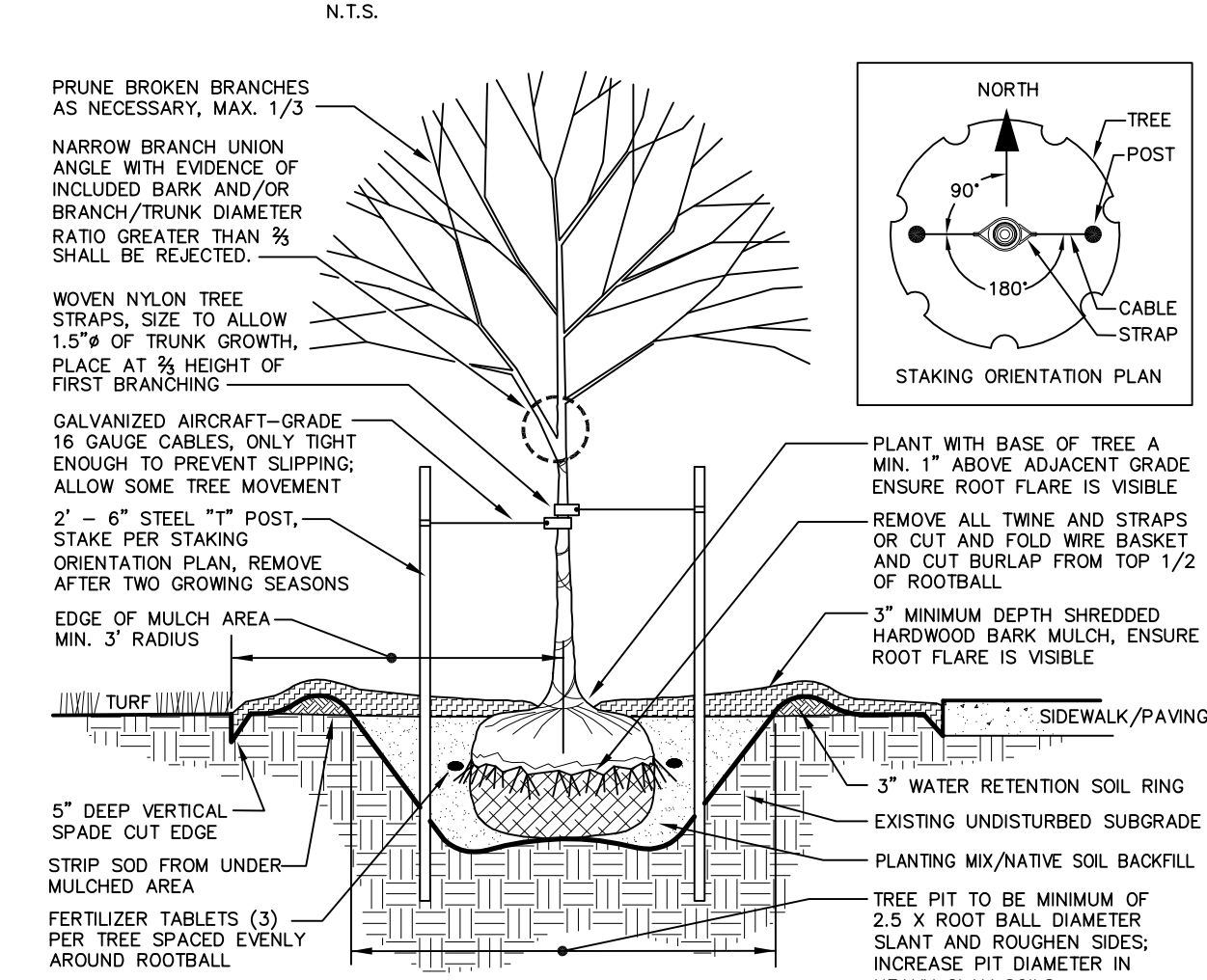
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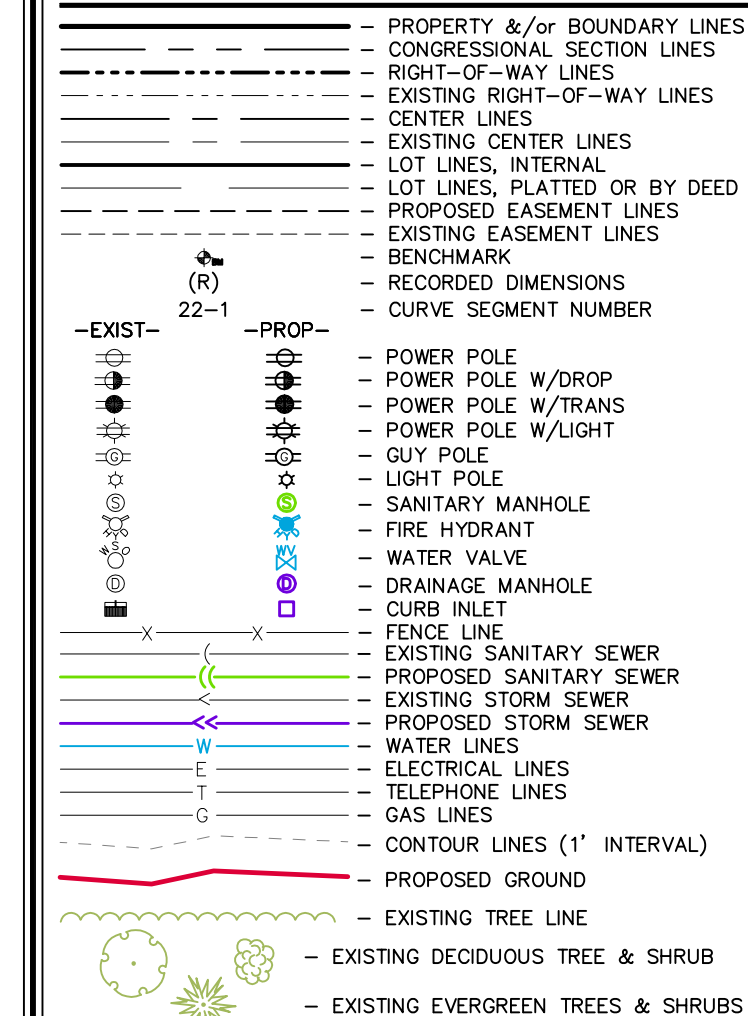
LANDSCAPE NOTES:

- 1 - THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES ON SITE PRIOR TO LANDSCAPE INSTALLATION.
- 2 - PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL IF CONFLICT OCCURS.
- 3 - KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60 - 1930, OR MOST RECENT EDITION.
- 4 - LAYOUT OF PLANT MATERIAL AT SITE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 5 - ALL PLANTING BED AREAS SHALL HAVE QUALITY TOPSOIL ADDED (IF NEEDED) BY LANDSCAPE CONTRACTOR TO BRING BED GRADES 2" - 4" BELOW EXISTING CONCRETE AREAS AND TOP OF DECORATIVE WALLS. (PRIOR TO DODGING, CONTRACTOR IS RECOMMENDED TO VISIT SITE)
- 6 - FINISH GRADING OF PLANT BED AND SOD AREAS SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- 7 - ALL SHRUB AND PERENNIAL PLANTING AREAS SHALL HAVE A MINIMUM 3" DEEP BED OF DOUBLE SHREDDED HARDWOOD DARK MULCH AND AN APPLICATION OF A PRE-EMERGENT (PREENT OR APPROVED EQUAL) FOR WEED CONTROL.
- 8 - LANDSCAPE EDGING BETWEEN DARK MULCH AND LAWN AREAS SHALL BE A SPACE CUT EDGE. EDGE SHALL BE INSTALLED VERTICAL AND ACCORDING TO DETAILS.
- 9 - STAKING SHALL BE REQUIRED ON ALL TREES (EXCEPT MULTI-STEM VARIETIES) STAKE USING (2) OR (3) 1/2" STEEL T POST PLACED OUTSIDE OF ROOTBALL AND ADHERED TO TRUNK OF TREE WITH 1/2" GALV. CABLE AND WOVEN NYLON TREE STRAPS.
- 10 - ALL TREES FREE-STANDING IN LAWN AREAS AND IN PLANTING BEDS SHALL BE WRAPPED WITH A STANDARD MANUFACTURED TREE WRAP AND FASTENED WITH TWINE OR APPROVED METHOD.
- 11 - ALL TREES FREE-STANDING WITHIN LAWN AREAS SHALL HAVE A MINIMUM 4" DIA. RING OF DOUBLE SHREDDED HARDWOOD DARK MULCH AT A 3" INCH DEPTH.
- 12 - ALL LANDSCAPE PLANTINGS AND SOD AREAS SHALL BE THOROUGHLY WATERED UPON INSTALLATION AND A TOTAL OF (3) WATERINGS BEFORE INITIAL ACCEPTANCE. AFTER ACCEPTANCE, SOD SHALL BE MAINTAINED FOR (30) DAYS OR UNTIL ROOTED IN.
- 13 - LANDSCAPE CONTRACTOR MUST FOLLOW ALL DETAILS PROVIDED ON SHEETS DESCRIBING LANDSCAPE CONSTRUCTION TECHNIQUES.
- 14 - ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.
- 15 - SEED ALL REMAINING AREAS WITH DOT URBAN MIX.

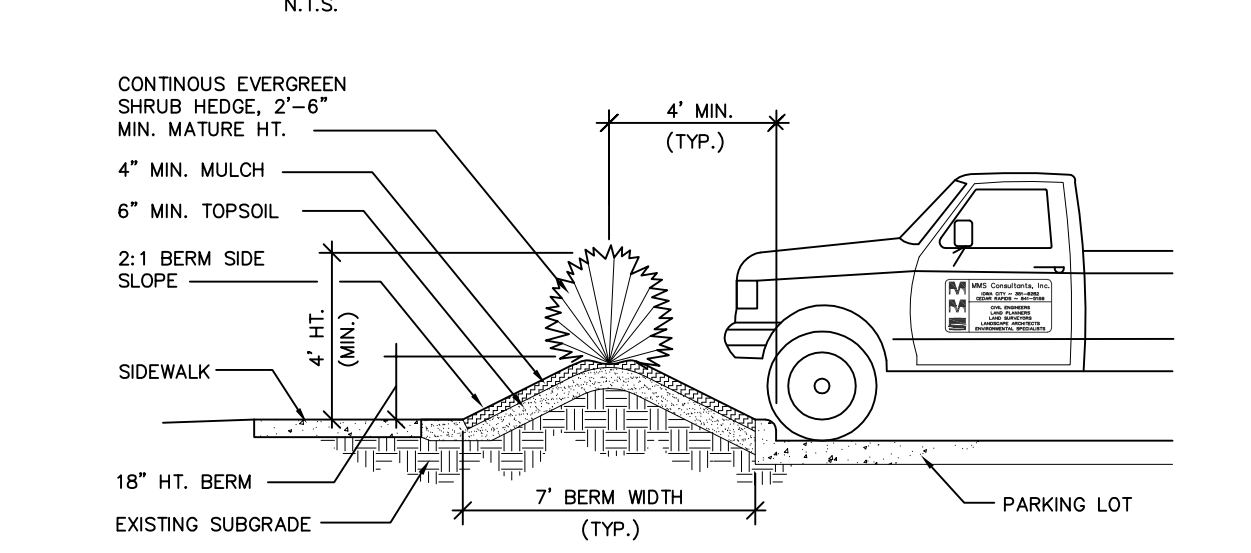
TYPICAL TREE PLANTING DETAIL
N.T.S.



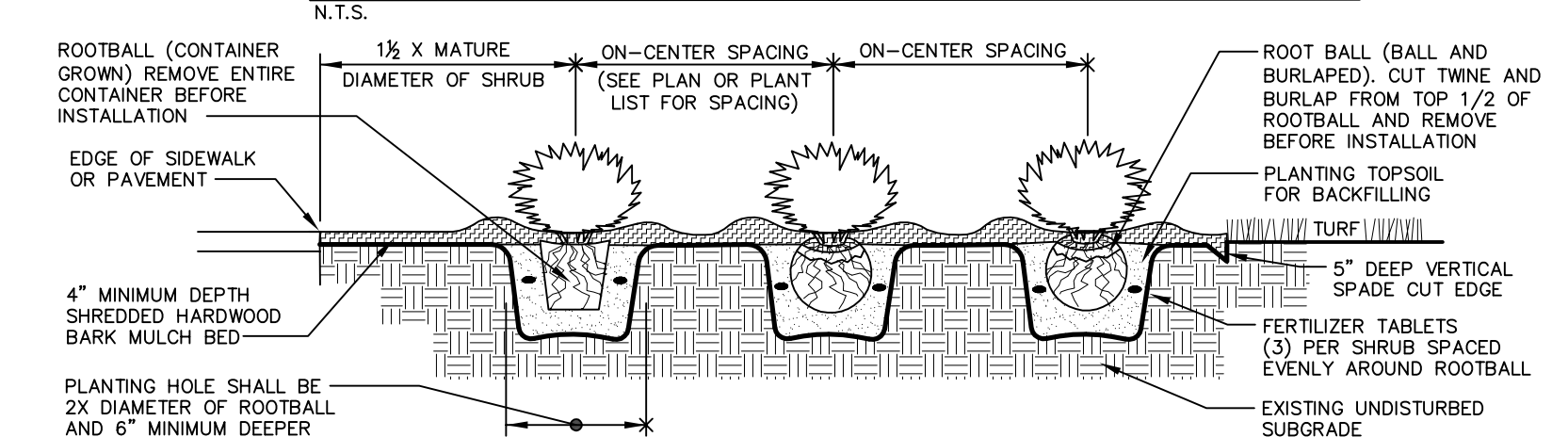
STANDARD LEGEND AND NOTES



TYPICAL HEADLIGHT SCREENING DETAIL
N.T.S.



SHRUB PLANTING DETAIL (DECIDUOUS AND EVERGREEN)
N.T.S.



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THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

LANDSCAPE REQUIREMENTS

- 1 TREE FOR EVERY 2,000 SF OF BUILDING FOOTPRINT
- 11,968 / 2,000 = 6 TREES
- 1 TREE WITHIN 40' OF EACH PARKING SPACE
- PROVIDED
- PARKING LOT SCREENING FROM PUBLIC RIGHT OF WAY.
- PROVIDED
- TOTAL TREES REQUIRED = 6 TREES
TOTAL TREES PROVIDED = 12 TREES

PLANT LIST - TREES

QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
4	GS	GLEDISIA TRIACANTHOS INTERMIS 'SKYLINE'	SKYLINE THORNTLESS HONEYLOCUST	2" CAL	B & B	60' X 30'
2	LS	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	2" CAL	B & B	50' X 25'
3	PT	POPULUS TREMULOIDES	QUAKING ASPEN	2" CAL	B & B	50' X 25'
3	QR	QUERCUS RUBRA	RED OAK	2" CAL	B & B	10' X 30'

PLANT LIST - SHRUBS, PERENNIALS, ORNAMENTAL GRASSES & GROUND COVER

QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
6	EA	ELVANYMUS ALATUS 'COMPACTUS'	COMPACT WINGED BURNING BUSH	24" HT.	CONT.	5' X 5'
12	TO	THILIA OCCIDENTALIS 'WOODWARDII'	GLOBE ARBORVITAE	15" HT.	CONT.	5' X 5'
20	VC	VIBURNUM TRILOBUM 'COMPACTA'	COMPACT AMERICAN CRANBERRY BUSH VIBURNUM	24" HT.	CONT.	5' X 5'

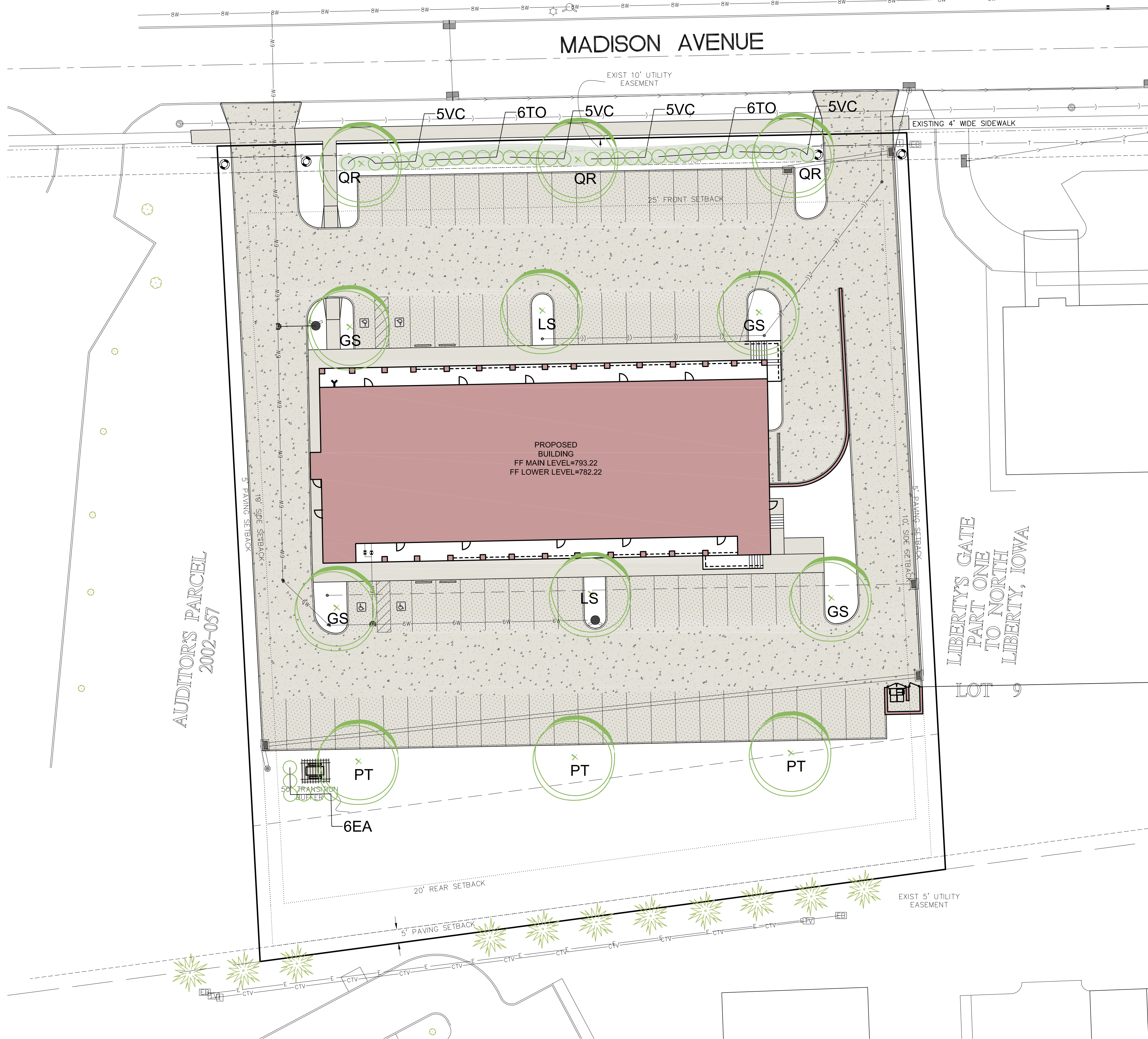
UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

IOWA ONE CALL
800/282-8989

MMS CONSULTANTS, INC.
Date: 3/11/2017
Designed By: BTM
Drawn By: MAK
Checked By: BTM
Project No: IOWA CITY 1194143



LANDSCAPE PLAN

SITE PLAN 560 N. MADISON

NORTH LIBERTY
JOHNSON COUNTY
STATE OF IOWA

MMS CONSULTANTS, INC.
Date: 3/11/2017
Designed By: BTM
Drawn By: MAK
Checked By: BTM
Project No: IOWA CITY 1194143

Field Book No: -
Scale: 1"=20'
Sheet No: 4



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

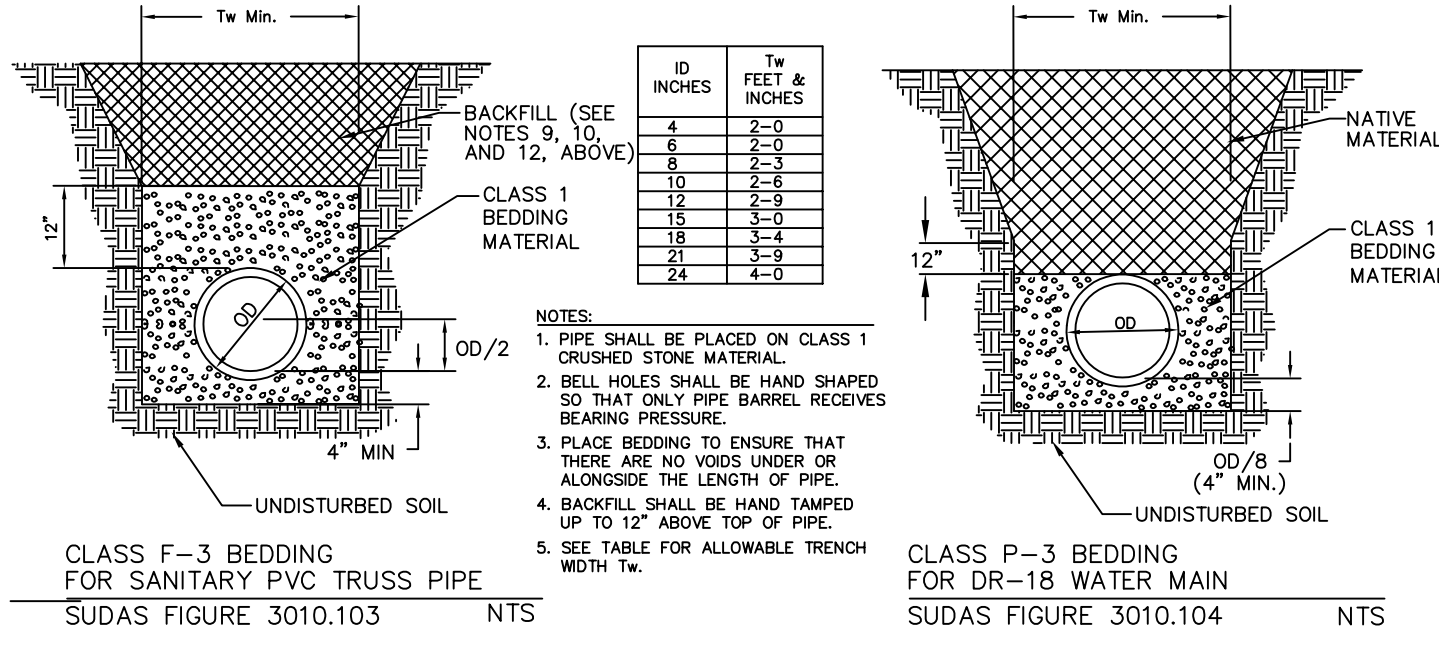
1917 S. GILBERT ST.
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www.mmsconsultants.net

Date	Revision
3/29/2016	REVISED PER CITY COMMENTS JEBBTM
3/26/2016	REVISED PER CITY COMMENTS JEBBTM

SANITARY SEWER AND WATER MAIN CONSTRUCTION NOTES

- *ALL SANITARY SEWER MANHOLE LIDS SHALL HAVE THE WORDS 'SANITARY SEWER' CAST IN THE LID**
 - 1) SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROCTOR SPECIFICATIONS BY MMS CONSULTANTS, INC. CONSTRUCTION SHALL ALSO CONFORM TO THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL, AND TO THE CITY OF NORTH LIBERTY STANDARDS AND APPROVED MANUFACTURERS/MODELS.
 - 2) ALL TRENCH EXCAVATIONS SHALL BE COMPLETED IN ACCORDANCE WITH SUDAS SPECIFICATION SECTION 3010.
 - 3) CONTRACTOR SHALL PROVIDE CLASS 1 CRUSHED STONE ENCASMENT BEDDING ACCORDING TO SUDAS SPECIFICATION 3010.2.02.A FOR ALL SANITARY SEWER UNLESS NOTED OTHERWISE ON THE PLANS.
 - 4) SANITARY SEWERS TO BE PVC TRUSS PIPE (SUDAS 4010.2.01.E) UNLESS NOTED OTHERWISE. SANITARY SEWER SERVICE LINES SHALL BE PVC, SDR 23.5 WITH GASKETED JOINTS (SUDAS 4010.2.04.C).
 - 5) CONTRACTOR TO PROVIDE CLOW "BAND-SEAL" COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
 - 6) WATER MAINS SHALL BE DR-18 PVC PIPE, IN COMPLIANCE WITH SUDAS SPECIFICATION SECTION 5010.2.01, UNLESS NOTED OTHERWISE ON THE PLANS.
 - 7) ALL CLASS 52 DIP SHALL BE WRAPPED WITH 8 MIL. POLYETHYLENE WRAP IN COMPLIANCE WITH SUDAS 5010.3.05.
 - 8) #12 AWG SOLID COPPER TRACER WIRE SHALL BE INSTALLED ALONG ENTIRE LENGTH OF NEW WATER MAIN, IN COMPLIANCE WITH SUDAS SPECIFICATION 5010.3.06 AND FIGURE 5010.102. THIN INSULATION IN YELLOW, ORANGE OR BLUE.
 - 9) SANITARY SEWER TRENCHES SHADED ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% STANDARD PROCTOR DENSITY:
 - A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED. *REFER TO SUDAS SPECIFICATION 3010.2.01 FOR UNSUITABLE MATERIAL*
 - 10) GRANULAR TRENCH BACKFILL SHALL BE CLASS 1 CRUSHED STONE CONFORMING TO SUDAS SPECIFICATION 3010.2.02.A. COMPACT TO 95% STANDARD PROCTOR DENSITY.
 - 11) WATER MAINS WITHIN STREET RIGHT OF WAYS OR WITHIN EASEMENTS ADJACENT TO THE STREET RIGHT OF WAYS SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% STANDARD PROCTOR DENSITY:
 - A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
 - 12) ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
 - 13) ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED:
 - A. TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
 - B. TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
- THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED, ACCORDING TO SUDAS SPECIFICATION 5010.3.07:
- 14) WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
 - 15) WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
 - 16) VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
 - 17) WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10-FOOT OF THE POINT OF CROSSING.
 - 18) NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
 - 19) WATER MAIN SHADED ON PLAN VIEW, AND ALL WATER SERVICE LINES CROSSING STREETS, SHALL BE INSTALLED PRIOR TO PAVING.
 - 20) VIDEO INSPECTION OF ALL SANITARY SEWER MAINS IS REQUIRED PRIOR TO CITY ACCEPTING OWNERSHIP OF THE SYSTEM.
 - 21) ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:

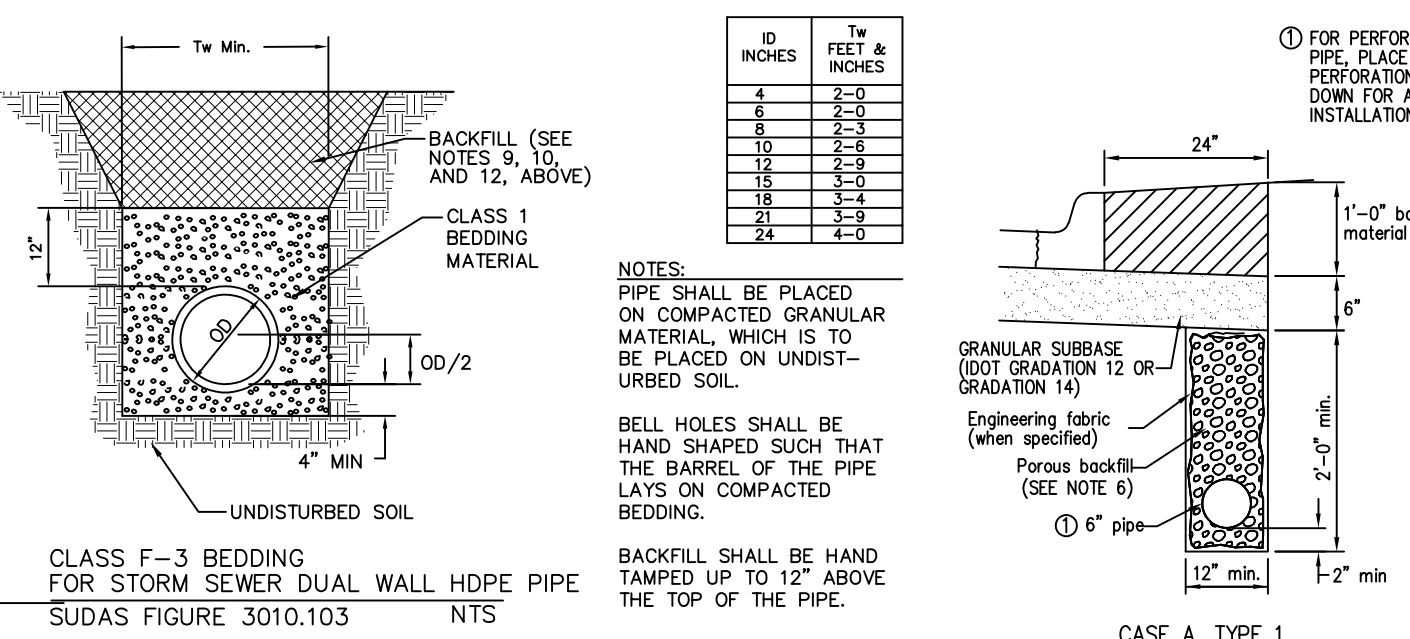
PIPE DIAMETER (INCHES)	TEST PERIOD DURATION (MINUTES)
8	4.0
10	5.0
12	6.0
15	7.0
18	8.5
21	10.0
24	11.5
27	13.0
30	14.0
36	17.0
42	20.0
48	23.0
54	25.5
60	28.5
 - 22) ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:
 - A. DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
 - B. DEFLECTION TEST TO BE CONDUCTED BY PULLING A 9 ARM DEFLECTION MANDREL, COMPLYING WITH APPLICABLE ASTM STANDARDS, THROUGH SEWER BY HAND, IN ACCORDANCE WITH SUDAS SPECIFICATION 4060.3.05.
 - C. NO PIPE SHALL EXCEED A DEFLECTION OF 5% OF INSIDE PIPE DIAMETER.
 - 23) MANHOLE FRAME AND LID TO BE NEENAH R-1642 SELF SEALING OR APPROVED EQUAL. MANHOLE FRAMES IN PAVING SHALL ALSO BE NON-ROCKING.
 - 24) CONTRACTOR SHALL PROVIDE A 2-YEAR MAINTENANCE BOND WITH THE CITY OF NORTH LIBERTY COVERING DEFECTIVE MATERIALS AND WORKMANSHIP FOR ALL SANITARY SEWER AND WATER SYSTEM IMPROVEMENTS.



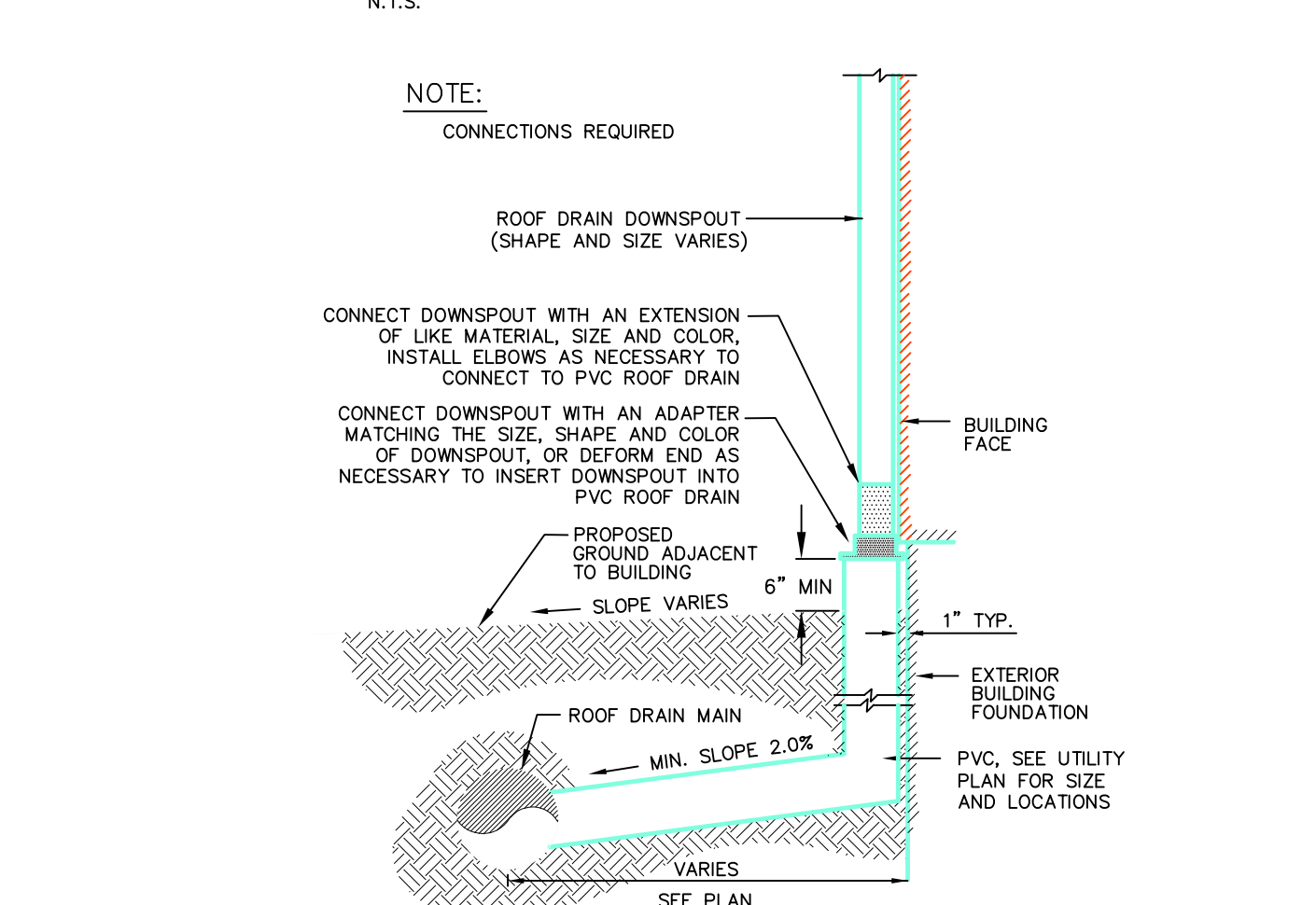
WHERE PUBLIC OR PRIVATE UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN LOCATED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HERON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

STORM SEWER AND SUB-SURFACE CONSTRUCTION NOTES

- 1) ALL STORM SEWER AND SUB-SURFACE CONSTRUCTION SHALL CONFORM TO PLANS AND DETAILS PREPARED FOR THIS PROJECT BY MMS CONSULTANTS, INC. AS WELL AS CONFORM TO THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL. CONSTRUCTION SHALL ALSO CONFORM TO THE CURRENT CITY OF NORTH LIBERTY DESIGN STANDARDS, WHICH SHALL SUPERSEDE PLANS AND DETAILS PREPARED BY MMS CONSULTANTS.
- 2) ALL STORM SEWER INTAKE AND MANHOLE LIDS SHALL HAVE THE WORDS "STORM SEWER" CAST INTO THE LID.
- 3) ALL REINFORCED CONCRETE PIPE STORM SEWER SHALL BE CLASS II UNLESS NOTED OTHERWISE IN THE PLANS.
- 4) ALL REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO SUDAS SPECIFICATION 4020.2.01.A WITH THE FOLLOWING ADDITIONAL RESTRICTIONS: ALL RCP JOINTS FOR 36" AND SMALLER PIPE SHALL HAVE TONGUE AND GROOVE JOINTS INCORPORATING RUBBER "O"-RING OR PROFILE GASKETS COMPLYING WITH ASTM C443 OR SHALL BE TONGUE AND GROOVE WITH ALL JOINTS WRAPPED WITH FILTER FABRIC A MINIMUM OF 24" WIDE.
- 5) RCP PIPE BEDDING SHALL CONFORM TO SUDAS FIGURE 3010.102 CLASS R-1. CLASS 1 BEDDING MATERIAL SHALL BE AS SPECIFIED IN SUDAS SPECIFICATION 3010.2.02.A. TRENCH BACKFILL SHALL BE SUITABLE EXCAVATED MATERIAL AS IDENTIFIED IN SUDAS SPECIFICATION 3010.2.01.A PLACED AND COMPACTED IN ACCORDANCE WITH SECTIONS 3.05, D AND E. THE OWNER MAY ELECT TO TEST TRENCH COMPACTATION AT THEIR OWN EXPENSE.
- 6) SUB-SURFACE DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) CONFORMING TO SUDAS SPECIFICATION 4040.2.02.C FOR BOTH PERFORATED TILE AND SOLID WALL PIPE.
- 7) FOR SUB-SURFACE DRAINAGE IN TURF AREAS HDPE PIPE BEDDING SHALL CONFORM TO SUDAS FIGURE 3010.103 CLASS F-3. BEDDING MATERIAL SHALL BE POROUS BACKFILL MATERIAL AS SPECIFIED IN SUDAS SPECIFICATION 4040.2.04. TRENCH BACKFILL SHALL BE SUITABLE EXCAVATED MATERIAL AS IDENTIFIED IN SUDAS SPECIFICATION 3010.2.01.A PLACED AND COMPACTED IN ACCORDANCE WITH SECTIONS 3.05 D AND E.
- 8) FOR SUB-SURFACE DRAINAGE UNDER PAVEMENT HDPE PIPE INSTALLATION SHALL CONFORM TO SUDAS FIGURE 4040.2.01, CASE C TYPE 1. BEDDING AND BACKFILL MATERIAL SHALL BE AS SPECIFIED IN SUDAS SPECIFICATION 4040.2.04.
- 9) AT LOCATIONS WHERE A FLARED END SECTION IS REQUIRED, THE PIPE LENGTHS SHALL BE MEASURED TO THE END OF THE FLARED END. THE FLARED END SECTION AND THE TWO UPSTREAM JOINTS ARE TO INCORPORATE TIED JOINTS.
- 10) ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE PROPOSED STORM SEWER.
- 11) CONTRACTOR SHALL PROVIDE A FIVE-YEAR MAINTENANCE BOND COVERING DEFECTIVE MATERIALS AND WORKMANSHIP FOR ALL STORM SEWER SYSTEM IMPROVEMENTS.

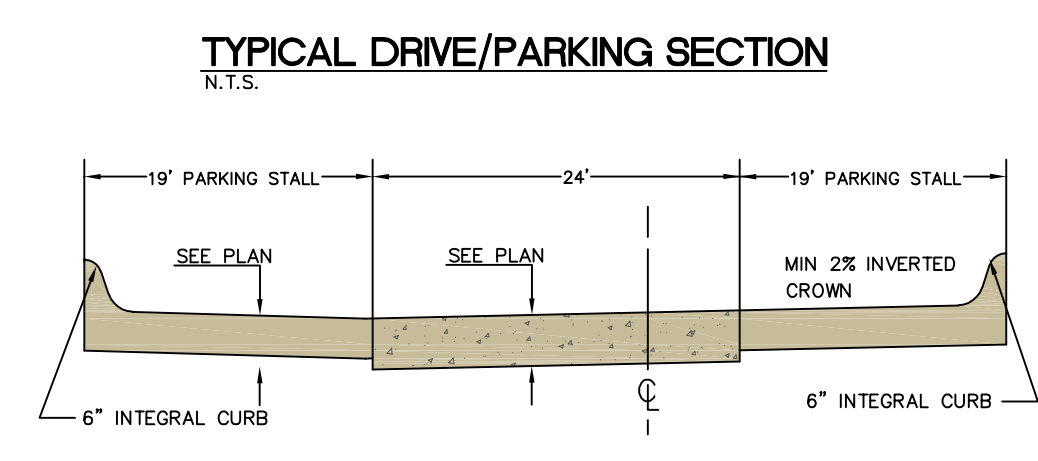


DOWNSPOUT TO ROOF DRAIN SEWER CONNECTION DETAIL

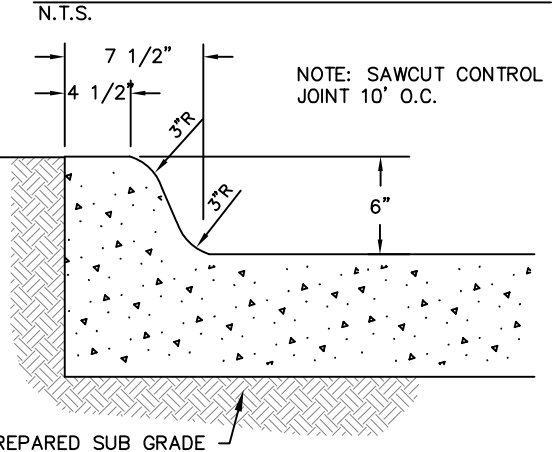


PAVING CONSTRUCTION NOTES

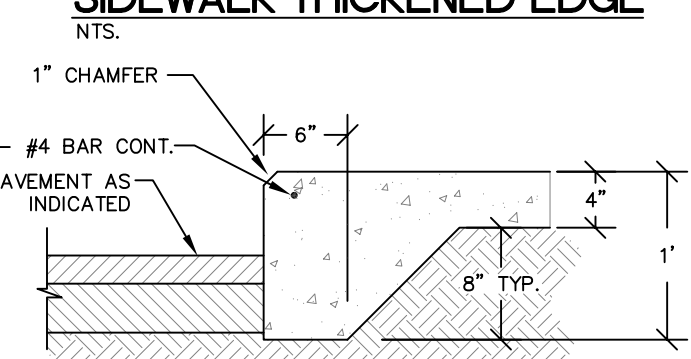
- 1. PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
- 2. I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
- 3. PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PW-101.
- 4. SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
- 5. ALL SAWS PAVEMENT JOINTS SHALL BE SEALED.



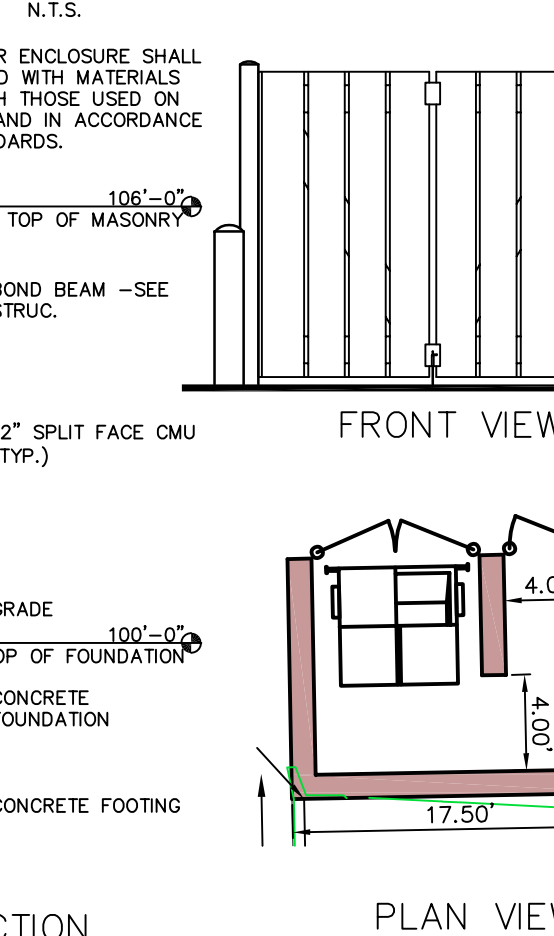
6" STANDARD CURB DETAIL



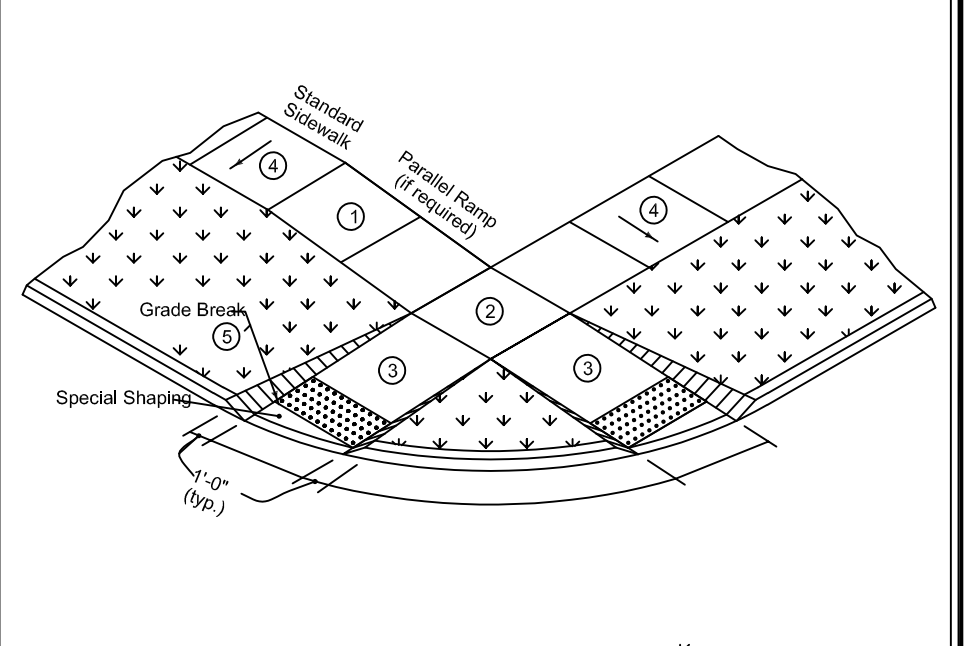
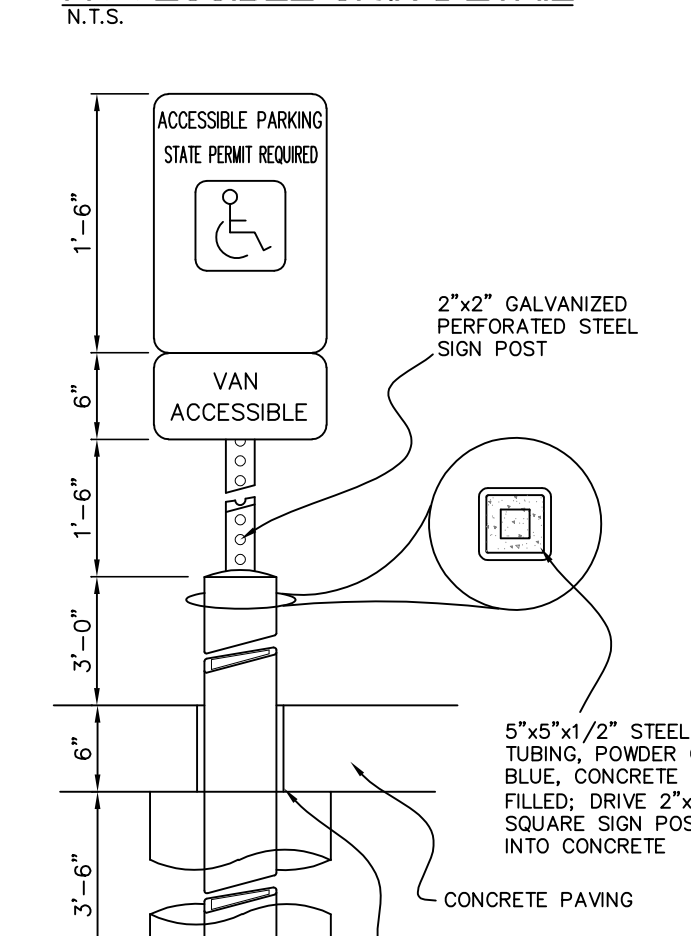
SIDEWALK THICKENED EDGE



TRASH ENCLOSURE DETAIL



ACCESSIBLE SIGN DETAIL

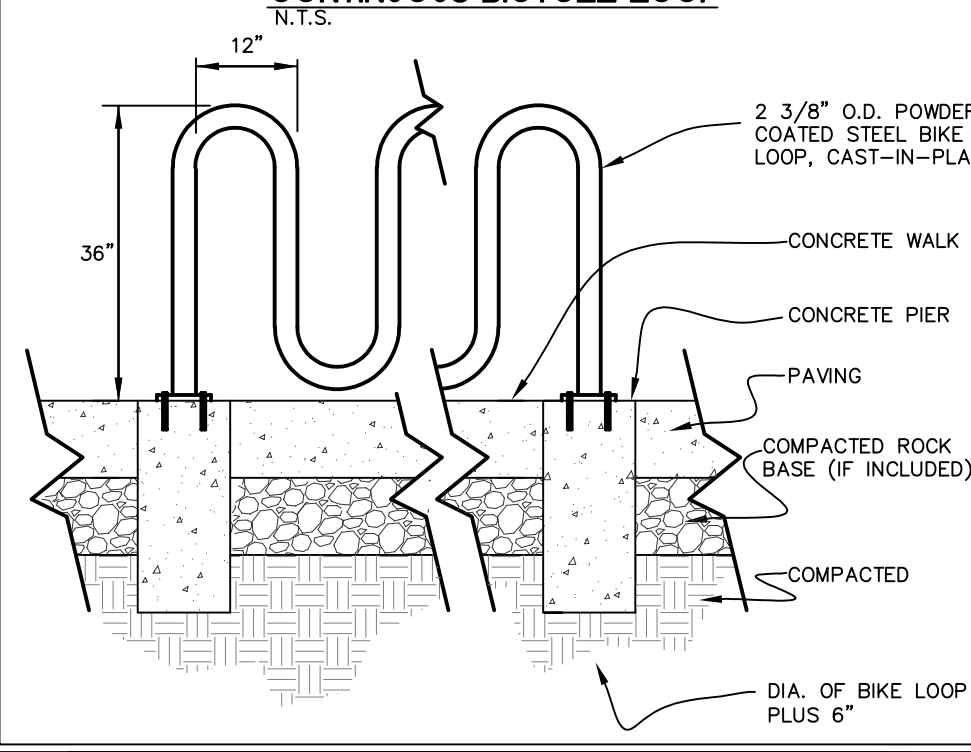


- Parallel Curb Ramp: If normal sidewalk elevation cannot be achieved with the perpendicular ramp between the street and landing due to limited ramp length, provide a parallel ramp to make up the elevation difference between the landing and the standard sidewalk.
- Turning Space: Target slope of 1.5% with maximum slope perpendicular to the travel directions of 2.0%. Minimum 4 feet by 4 feet.
- Perpendicular Curb Ramp: Target running slope of 8.0% with maximum running slope of 8.3%.
- Target cross slope of 1.5% with a maximum cross slope of 2.0%.
- Match pedestrian street crossing cross slope or batter.

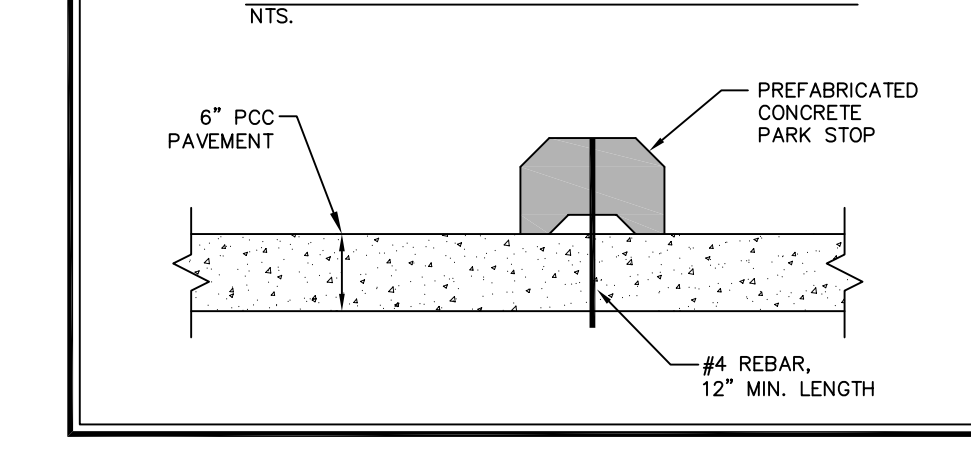
Project No.	Revision
7030.207	

SUDAS Standard Specifications
CURB RAMP FOR CLASS B OR C SIDEWALK

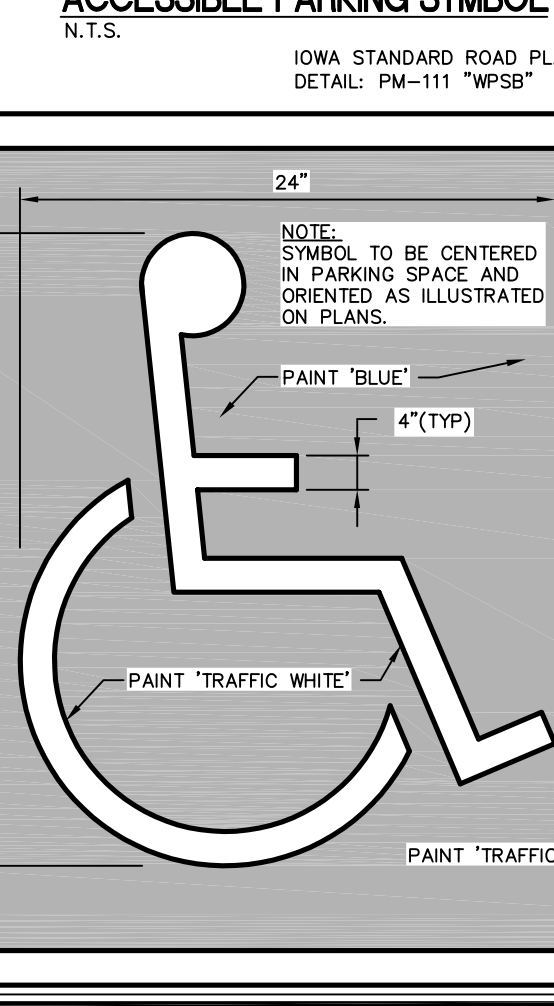
CONTINUOUS BICYCLE LOOP



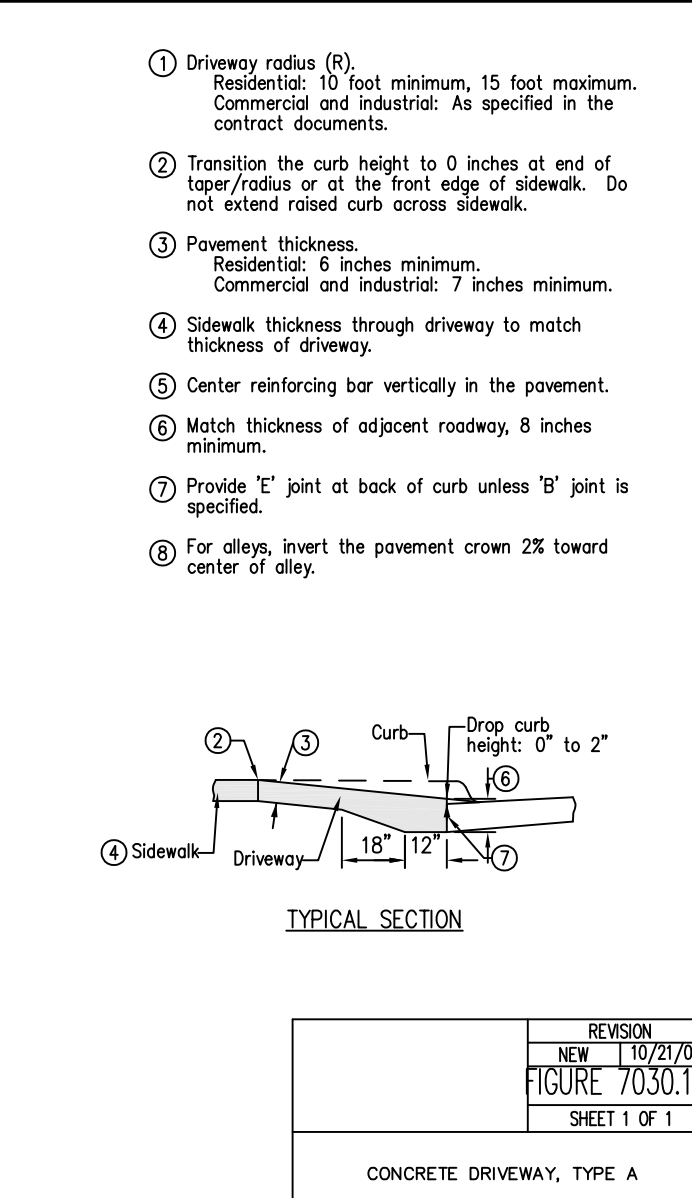
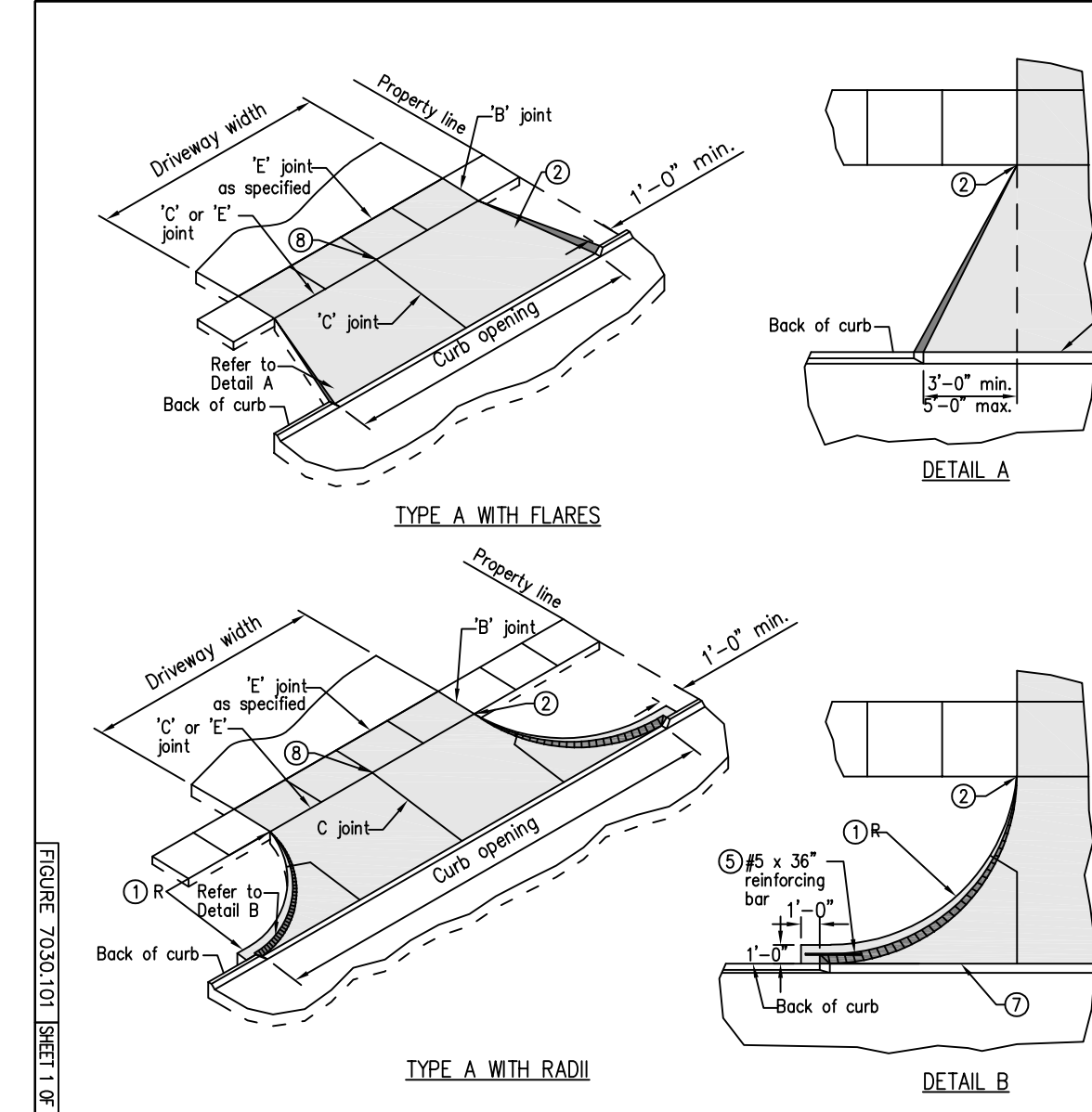
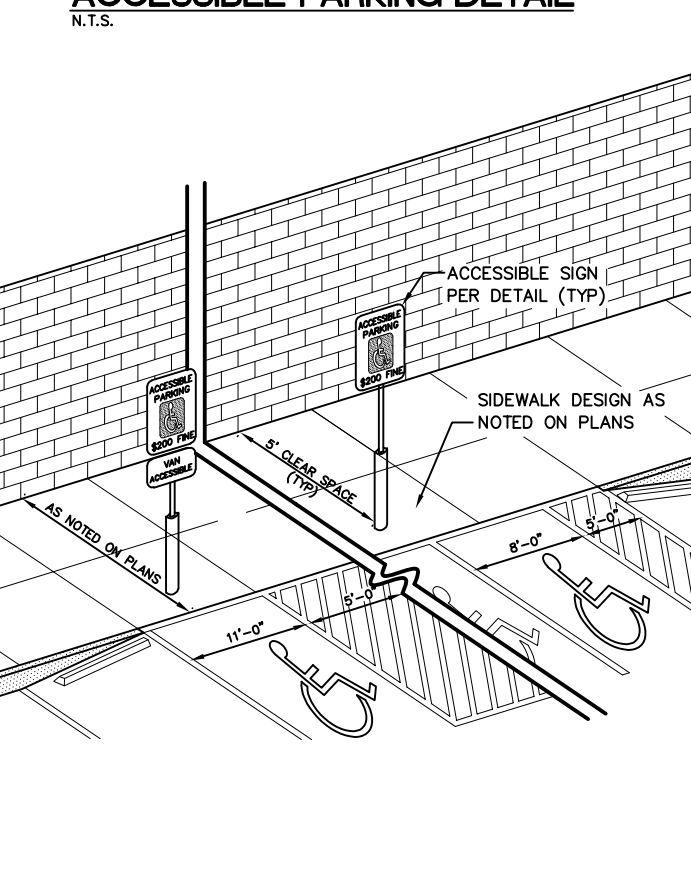
CONCRETE PARK STOP DETAIL



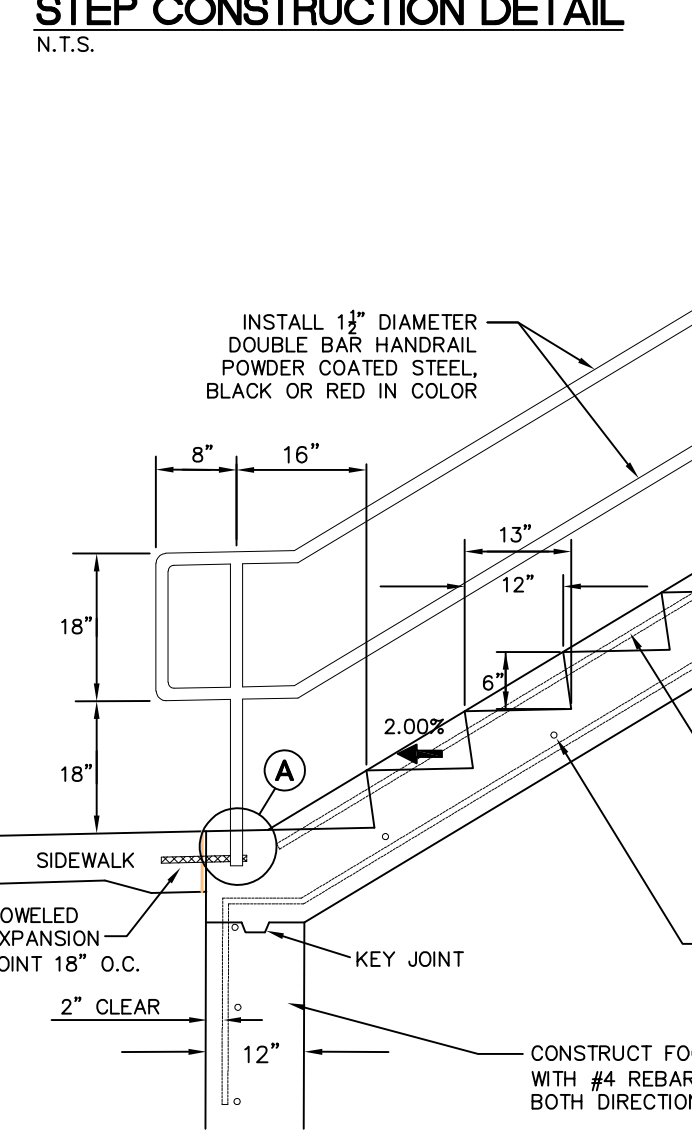
ACCESSIBLE PARKING SYMBOL



ACCESSIBLE PARKING DETAIL



STEP CONSTRUCTION DETAIL



GENERAL NOTES AND DETAILS

SITE PLAN 560 N. MADISON

NORTH LIBERTY JOHNSON COUNTY STATE OF IOWA

MMS CONSULTANTS, INC.

Date: 3/11/2017

Designed by:	BTM	Field Book No.:	-
Drawn by:	MAK	Scale:	AS SHOWN
Checked by:	BTM	Sheet No.:	5

Project No: IOWA CITY 1194143



CIVIL ENGINEERS
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Date	Revision
3/29/2018	REVISED PER CITY COMMENTS JEBBTH
3/28/2018	REVISED PER CITY COMMENTS JEBBTH

EROSION CONTROL PLAN

**SITE PLAN
560 N. MADISON**

NORTH LIBERTY
JOHNSON COUNTY
STATE OF IOWA

MMS CONSULTANTS, INC.

Date:	3/11/2017
Designed by:	BTM
Drawn by:	MAK
Checked by:	BTM
Project No:	IOWA CITY 1194143
Field Book No.:	-
Scale:	1"=20'
Sheet No.:	6

EROSION CONTROL LEGEND

	SILT FENCE		PERIMETER SILT FENCE
	TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT		TEMPORARY SOIL STOCKPILE AREA
	TEMPORARY PARKING AND STORAGE		DIRECTION OF OVERLAND FLOW
	CONCRETE TRUCK/EQUIPMENT WASHOUT		DUMPSTER FOR CONSTRUCTION WASTE
	PORTABLE RESTROOM		RIP RAP OUTLET PROTECTION
	DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)		EROSION CONTROL MEASURES: SODDING OR SEEDING & MULCHING
	INLET PROTECTION: 1. PRIOR TO STREET PAVING: INSTALL FABRIC UNDER INTAKE GRATE. 2. FOLLOWING STREET PAVING AND INSTALLATION OF GRATE: INSTALL FILTER SOCK ON ALL UPSLOPE SIDES WITH BLOCKS SUFFICIENT TO POSITION SOCK AROUND THE PERIMETER OF THE INLET GRATE.		OTHER MEASURE: _____
	FILTER SOCK BEHIND CURB AT CURB RAMP		OTHER MEASURE: _____
			OTHER MEASURE: _____

NOTES:
ALL SLOPES GREATER THAN 4:1 SHALL HAVE MATTING MEETING OR EXCEEDING SC150 APPLIED OVER SEEDED SURFACE.
THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLOCKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

STABILIZATION SEEDING

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH SUDAS SECTION 9010.2.02 SEED MIXTURES AND SEEDING DATES.

COMMON NAME	APPLICATION RATE lb/acre
ANNUAL RYEGRASS	40
OATS*	65
SUMMER - MAY 21 - AUGUST 14	
ANNUAL RYEGRASS	50
OATS*	95
FALL - AUGUST 15 - SEPTEMBER 30	
ANNUAL RYEGRASS	40
GRAIN RYE	65

* ENGINEER MAY DELETE FOR PREVIOUSLY ESTABLISHED URBAN AREAS.

FERTILIZER SHALL BE APPLIED AT A RATE OF 300 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13 FERTILIZER (SUDAS SECTION 9010.2.03 A.2)

GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 1.68 ACRES
TOTAL AREA TO BE DISTURBED: 1.68 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON THIS SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

STANDARD LEGEND AND NOTES

	PROPERTY &/OR BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER

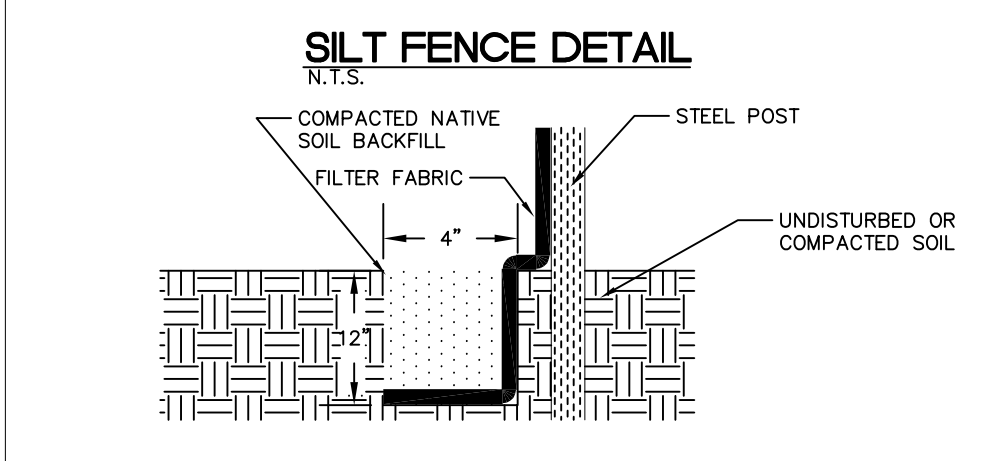
	POWER POLE
	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	GUY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	TELEPHONE LINES
	GAS LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

GRADING TOPSOIL NOTE:
PRIOR TO FINAL SEEDING, ALL GREEN SPACE SHALL BE TILLED TO A MINIMUM DEPTH OF 12" AND COVERED WITH A MINIMUM OF 6" OF TOPSOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR STOCKPILING ADEQUATE TOPSOIL FOR ALL GREEN SPACE.



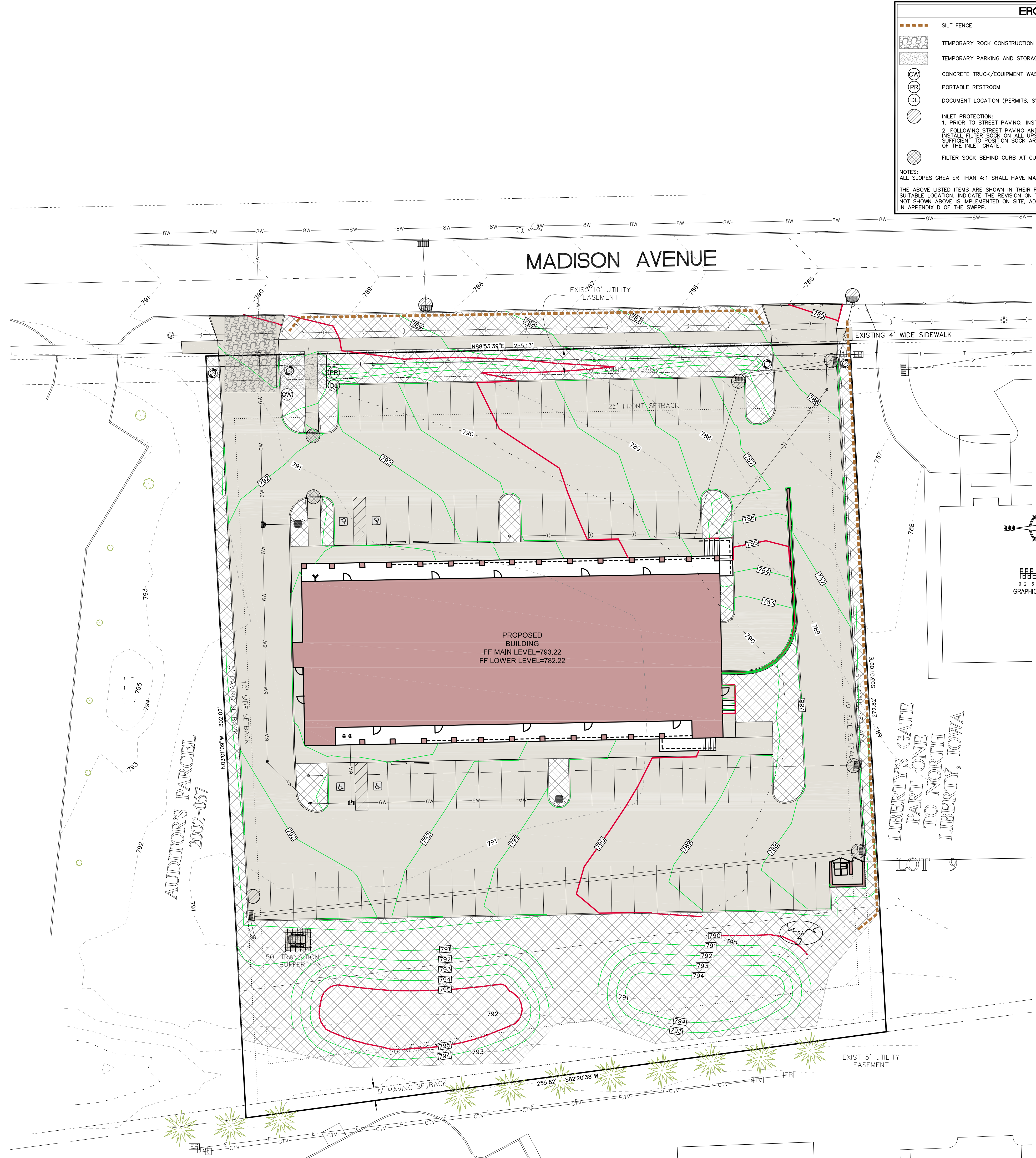
- ### INSTALLATION
- POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
 - SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 4196.01.A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN COMPLETE.
 - THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
 - POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28".
 - A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS.
 - FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
 - THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

- ### MAINTENANCE
- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAIN-FALL EVENT OF 0.5 INCHES OR MORE. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
 - SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
 - SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

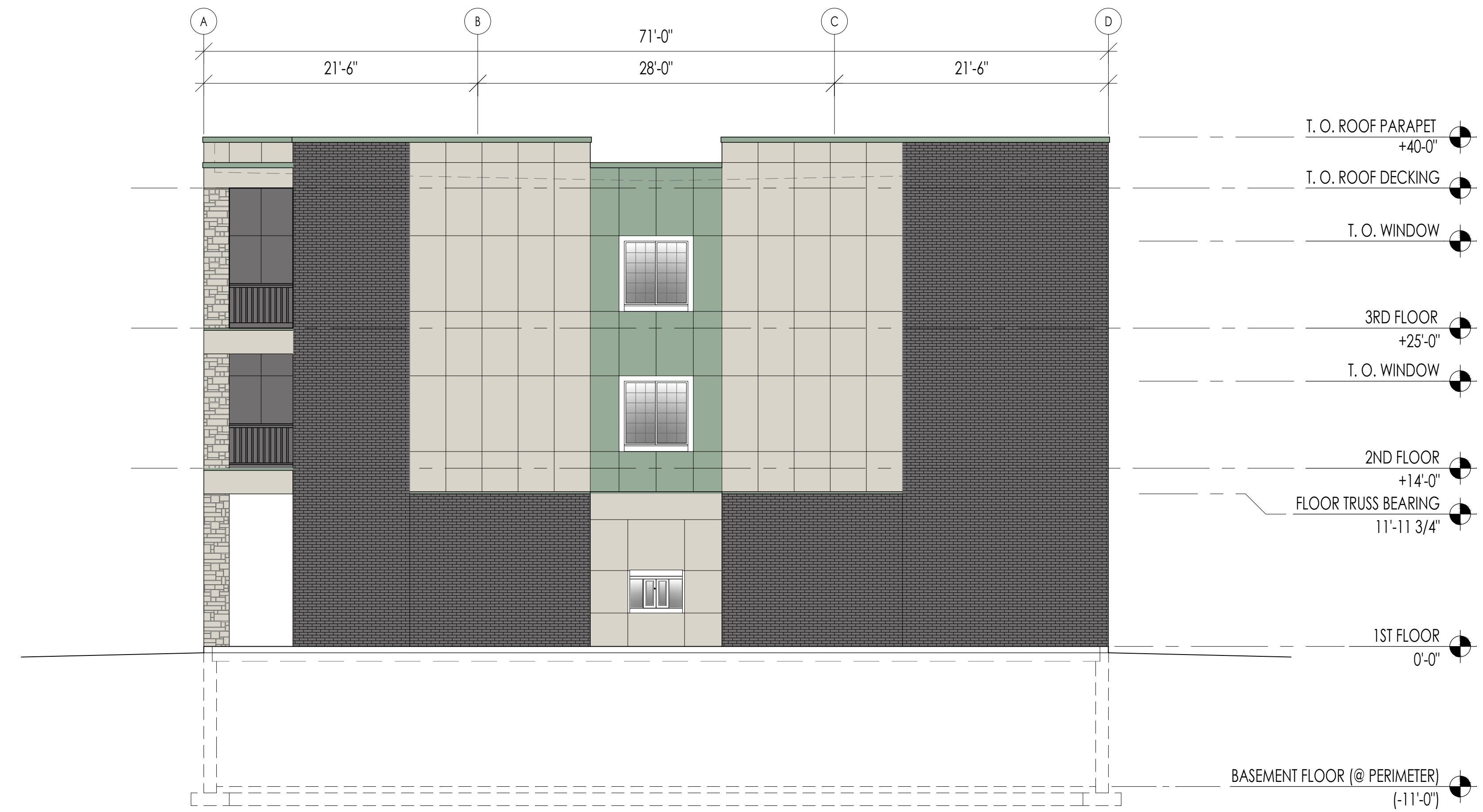
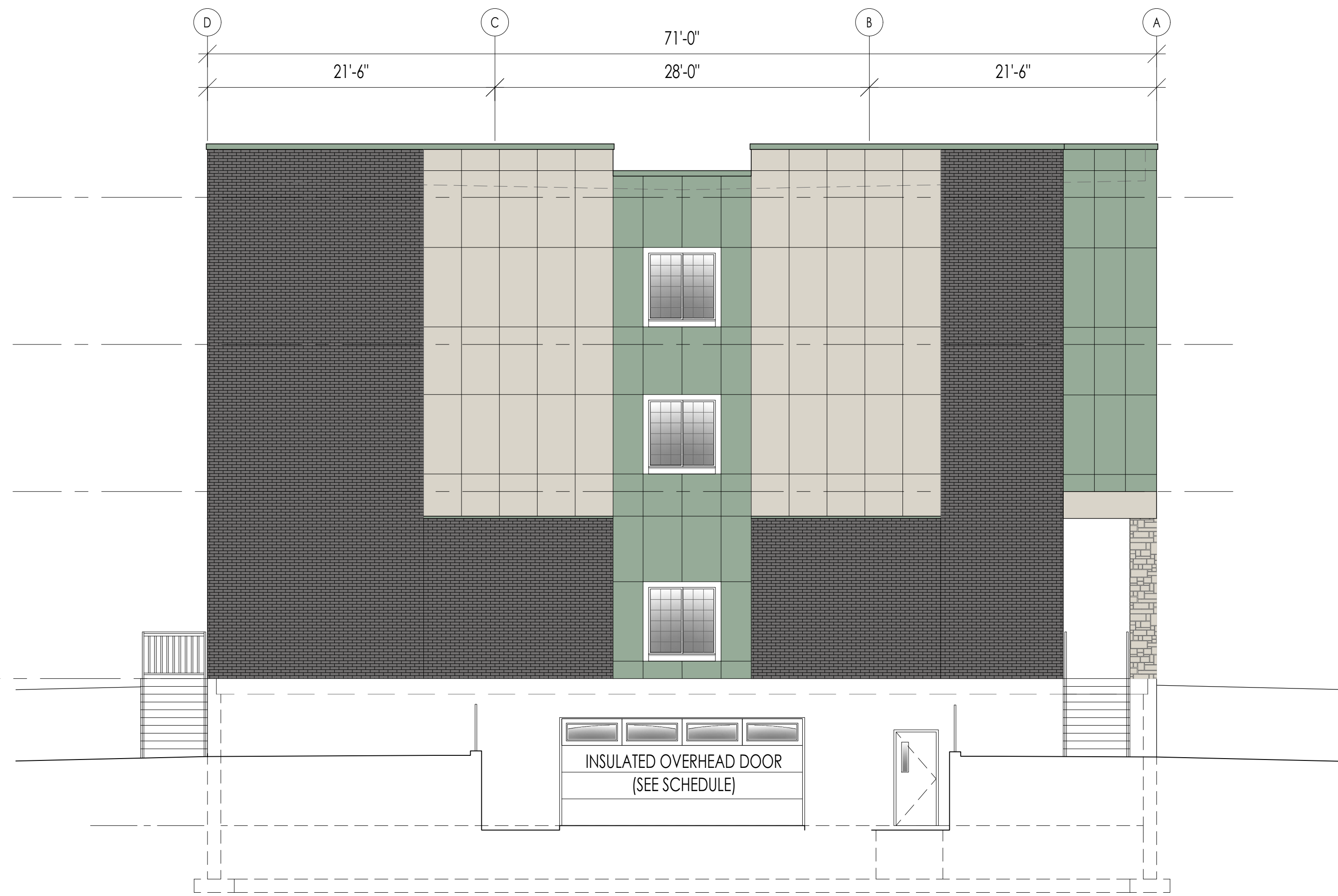




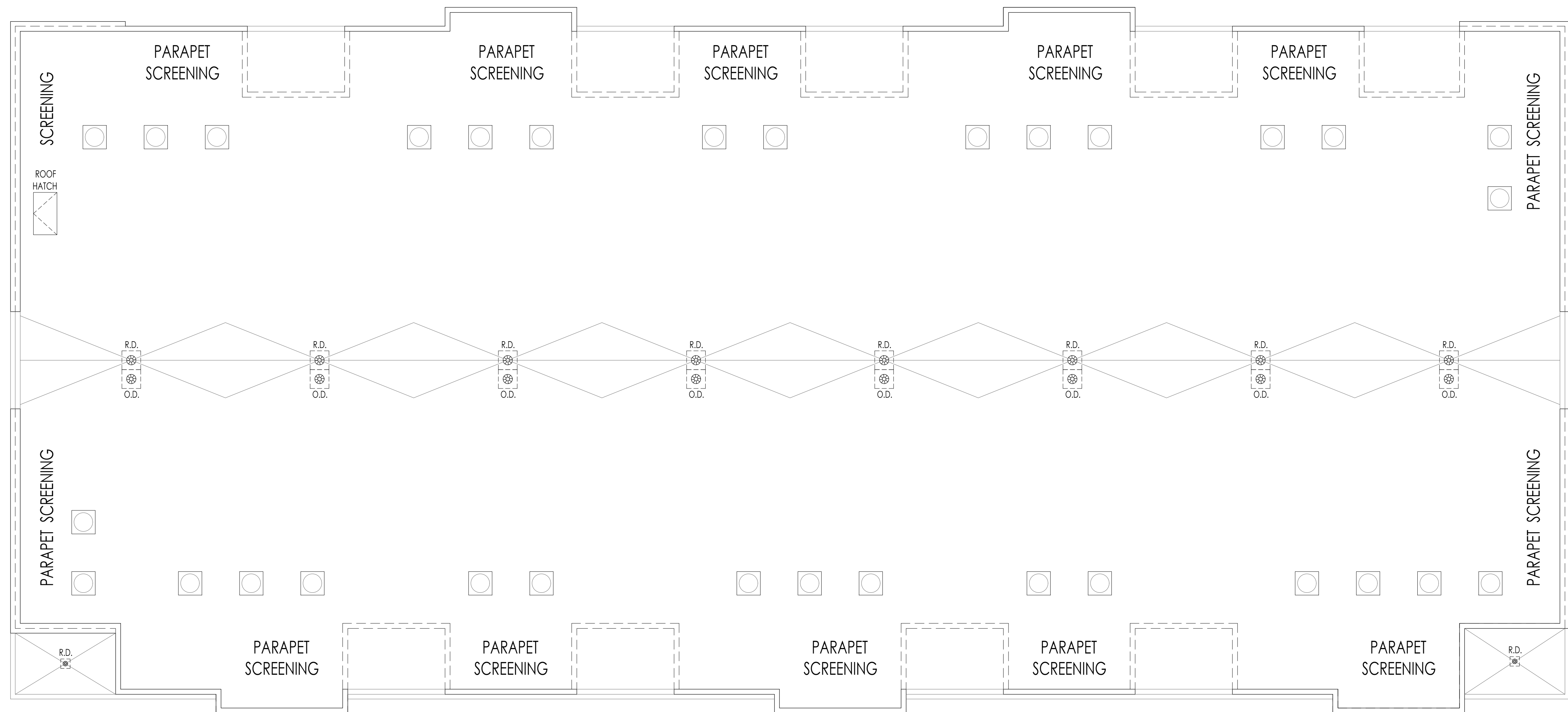
SOUTH ELEVATION (REAR) - 560 N. MADISON, N. LIBERTY, IOWA
 SELECT STRUCTURAL ENGINEERING 2-27-18 GRAND RAIL DEVELOPMENT



NORTH ELEVATION (FRONT) - 560 N. MADISON, N. LIBERTY, IOWA
 SELECT STRUCTURAL ENGINEERING 2-27-18 GRAND RAIL DEVELOPMENT



EAST & WEST ELEVATIONS (SIDE) - 560 N. MADISON, N. LIBERTY, IOWA
 SELECT STRUCTURAL ENGINEERING 2-27-18 GRAND RAIL DEVELOPMENT

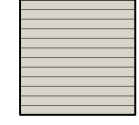
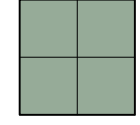
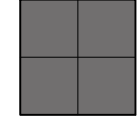

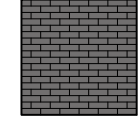
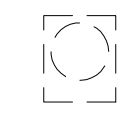


 = PROPOSED MECH. ROOFTOP UNIT

ROOF PLAN - 560 N. MADISON, N. LIBERTY, IOWA
 SELECT STRUCTURAL ENGINEERING 3-30-18 GRAND RAIL DEVELOPMENT



NOTE: MASONRY, WINDOWS/GLASS/DOORS, FASCIA & DECK CALCULATIONS:
 NORTH (FRONT) = 60% SOUTH (REAR) = 70% EAST & WEST (SIDES) = 63%

- 
 LAP
SIDING
- 
 HARDIE
PANEL
- 
 HARDIE
PANEL
- 
 THIN-STONE
VENEER
- 
 VENEER
BRICK
- 
 ROOFTOP
MECH

NORTH ELEVATION (FRONT) - 560 N. MADISON, N. LIBERTY, IOWA

SELECT STRUCTURAL ENGINEERING 3-30-18 GRAND RAIL DEVELOPMENT

BENCHMARK #1

MADISON AVENUE

EXIST 10' UTILITY EASEMENT

EXISTING 4' WIDE SIDEWALK

PROPOSED BUILDING
FF MAIN LEVEL=793.22
FF LOWER LEVEL=782.22

AUDITOR'S PARCEL
2002-057

LIBERTY'S GATE
TO PART ONE
TO NORTH
LIBERTY IOWA

Luminaire Schedule					
Symbol	Qty	Label	Total Lamp Lumens	MLP	Description
☐	4	S_AL150-NW-G1-3-8	N.A.	1,000	AL150-NW-G1-AR-3-8-B2

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	0.40	10.1	0.0	N.A.	N.A.

PHILIPS Stonco

Site & Area

Area light



Project: _____
 Location: _____
 Cat.No: _____
 Type: _____
 Qty: _____
 Notes: _____

The Philips Stonco Area light features energy saving LED technology ideal for pole mounted area lighting applications. The Area light is available with Type 3 and Type 4 distributions in two lumen packages, providing up to 24,300 lumens.

Ordering guide

example: AL-150-NW-G1-AR-3-8-BZ

Luminaire	Wattage	LED Color – Generation	Mounting	Distribution	Voltage	Controls	Finish
AL		NW-G1	AR		8		BZ
AL Area Light	150 150W 200 200W	NW-G1 Neutral White, 4000K, 70 CRI, Generation 1	AR ¹ Arm mounting	3 Type 3 4 Type 4	8 120-277 Volts	-- No motion sensor IMRI ² Motion sensor ²	BZ Bronze

1. Mounts to a square pole. Adapter included for 4" round poles.
2. IMRI is available with AL-200 only.

Housing

Aluminum die-cast housing with attachable arm. Arm has removable cover for ease of wire connection.

IP Rating

LED light engine rated IP66. Driver compartment rated to IP65.

Vibration Resistance

3G vibration rating that conforms to standards set forth by ANSI C136.31. Testing includes vibration to 3G acceleration in all three axes.

Electrical

Driver efficiency (>90% at full load). Available in 120-277V. IP66 compliant driver. RoHS compliant. Surge protector standard. 10KA per ANSI/IEEE C62.41.2.

LED Board and Array

216 or 280 LEDs. Color temperature 4000K, +/- 250K. Minimum CRI of 70. Metal core substrate.

Optical System

Type 3 and 4 distributions available.

LED Thermal Management

The housing design allows the one piece housing to provide excellent thermal management critical to long LED system life.

Infrared Motion Response

Integral IMRI module is a passive infrared (PIR) motion sensor mounted integral on driver enclosure and is available with a sensor lens type to accommodate mounting heights up to 40' and occupancy coverage area up to 2,800 sq.ft (60' in diameter). Motion response for option IMRI is set/operates in the following fashion:

The motion sensor is set to a constant 30% if there is low natural light detected by the integrated photocell and no motion.

When motion is detected by the PIR sensor, the luminaire goes to full power/ light output.

Dimming on low is factory set to 30% with 5 minute default in "full power" prior to dimming back to low. When no motion is detected for 5 minutes, the motion response system reduces the wattage by 70%, to 30% of the normal constant wattage reducing the light level.

Mounting

Standard luminaire arm mounts to square poles. Round pole adapter included with every luminaire designed for 4" OD poles.

Energy Saving Benefits

System efficacy up to 126lm/W with significant energy savings over Pulse Start Metal Halide luminaires.

Listings

UL/cUL listed to the UL 1598 standard, suitable for Wet Locations. Suitable for use in ambient from -30° to 40°C (-22° to 104°F).

All product configurations are DesignLights Consortium® qualified.

Finish

Each luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Standard color is bronze (BZ).

Limited Warranty

Luminaires, LED arrays, and drivers are all covered by a 5-year limited warranty. See philips.com/warranties for details.



Area light LED

AL150/AL200

LED Wattage and Lumen Values

Ordering Codes	Total LEDs	System Current (mA)	Color Temp. (K)	Average System Wattage ¹	Type 3			Type 4		
					Lumen Output ^{1,2}	BUG Rating	Efficacy (LPW)	Lumen Output ^{1,2}	BUG Rating	Efficacy (LPW)
AL150-NW-G1-AR	216	2850	4000K	147	18,585	B3-U0-G3	126	18,324	B3-U0-G3	125
AL200-NW-G1-AR	280	3800	4000K	197	24,382	B4-U0-G4	124	24,109	B3-U0-G3	122

1. Wattage and lumen output may vary by due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V through 277V input. Measured wattage may vary due to variation in input voltage.
2. Lumen values based on photometric tests performed in compliance with IESNA LM-79. Contact outdoorlighting.applications@philips.com for details or additional information.

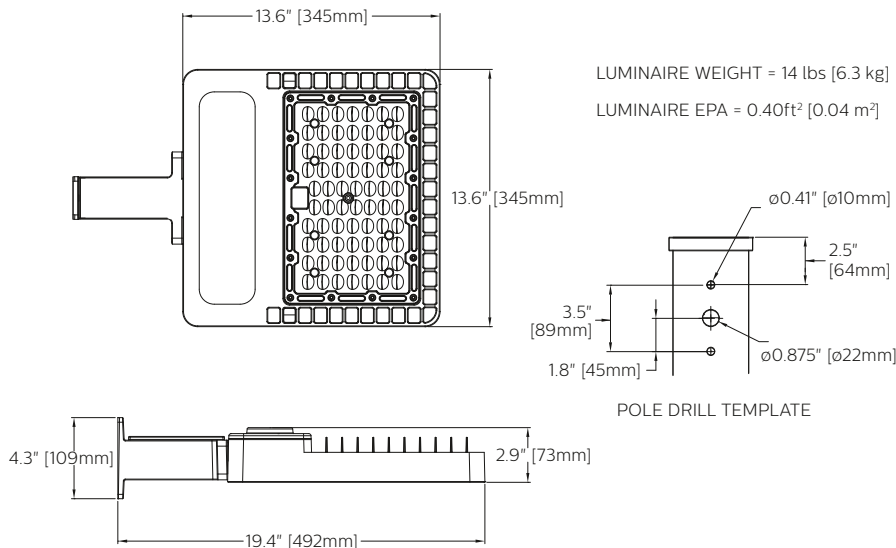
Predicted Lumen Depreciation Data

Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L70 is the predicted time when LED performance depreciates to 70% of initial lumen output. Calculated per IESNA TM21-11. Published L70 hours limited to 6 times actual LED test hours.

Ambient Temperature °C	LED Current	System Current	Calculated L70hrs ^{1,2}	L70 per TM21 ^{2,3}	Lumen Maintenance @ 50,000hrs
25 °C	120mA	2850mA	>68,000	>54,000	77%
25 °C	120mA	3800mA	>68,000	>54,000	77%

1. Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions.
2. L70 is the predicted time when LED performance depreciates to 70% of initial lumen output.
3. Calculated per IESNA TM 21-11. Published L70 hours limited to 6 times actual LED test hours.

Dimensions



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Philips Lighting North America Corporation
200 Franklin Square Drive, Somerset, NJ 08873
Tel. 855-486-2216

Philips Lighting Canada Ltd.
281 Hillmount Rd, Markham, ON, Canada L6C 2S3
Tel. 800-668-9008



March 27, 2018

Memo

To: North Liberty Planning Commission

From: Dean Wheatley, Planning Director

Subject: Request of Hodge Construction Company to approve a rezoning of 21.62 acres from ID (Interim Development district) to RS-6 (Residential Single-Family), for property generally located west of Jones Boulevard and north of Forevergreen Road.

(Legal: To be platted as Mickelson 2nd Addition)

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator

Tracey Mulcahey, Assistant City Administrator

Tom Palmer, City Building Official

Scott Peterson, City Attorney

Kevin Trom, City Engineer

Dean Wheatley, Planning Director

Background and Statistics

This request is to rezone property to permit the development of single-family lots of a size typical to many North Liberty neighborhoods, including Deerfield, Broadmoor, and others. A Good Neighbor meeting was held to allow any interested party an opportunity to comment on this rezoning prior to submission, and five resident households attended. Various concerns were expressed, including storm water management grading issues done with Part One currently under construction, sanitary sewer service along Jones Boulevard, and the extension of planned Noah Street south to Forevergreen Road. As can be seen on the zoning map inset, zoning surrounding and in the vicinity of the site includes ID, RS-4, RS-6, and RD-10, a good mix consistent with other areas of North Liberty and with good planning for a mix of housing type opportunities. Both Jones Boulevard and Forevergreen Road are major arterials in the major street system, but this property is removed from those streets and City planning for this area has been for mainly single-family development.

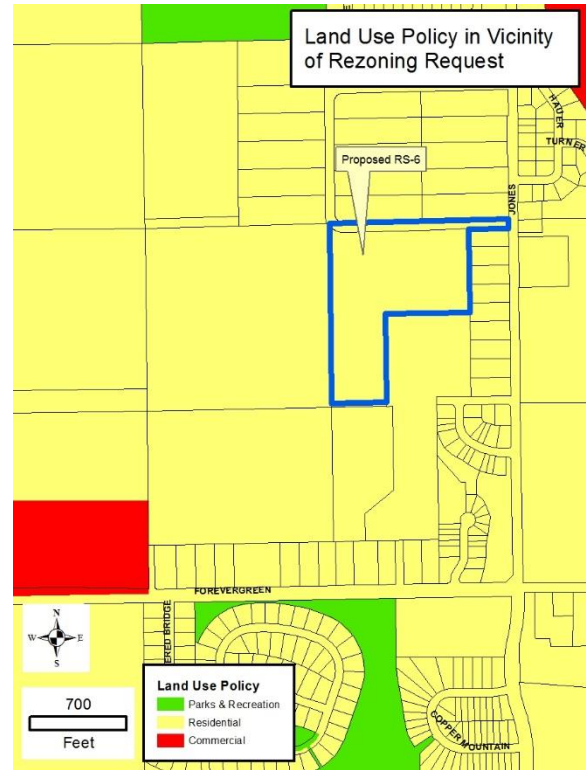
The property is shown as “residential” on the Land Use Plan, and so the request is consistent with that policy. A concept plan has been developed showing how streets are intended to connect to existing surrounding streets.

Existing housing unit counts within North Liberty are approximately:

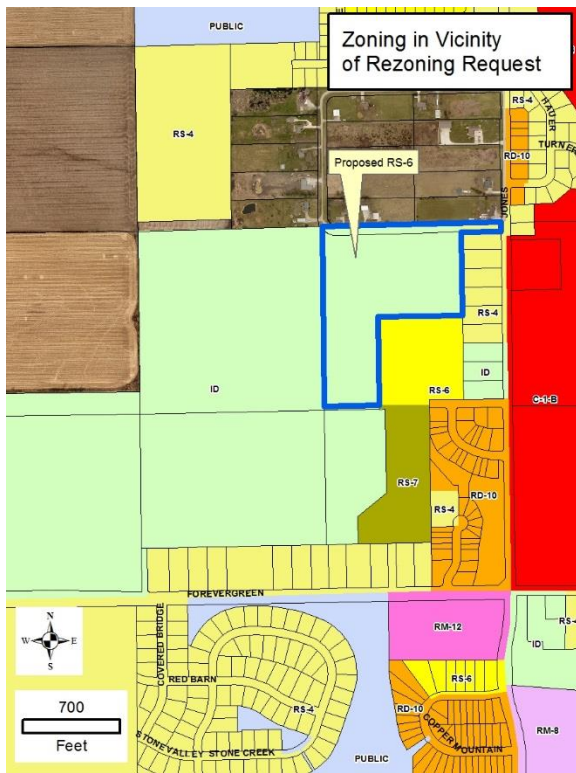
- Single-family: 2,738 (37.6%)
- Multi-family: 2,536 (34.8%)
- Duplex: 1,271 (17.4%)
- Res/Commercial: 213 (3%)
- Mobile Home: 531(7.3%)

Subdivision Ordinance Provisions Affecting This Development

Proposed corner lots should be larger than others, as recommended by the City to provide somewhat larger yards. Storm water management will need to be planned for the site.



Zoning Ordinance Provisions Affecting This Development



None identified.

Staff Comments Regarding the Proposed Zoning

Storm water impacts. Storm water from this site will need to be managed in accordance with City standards as part of the preliminary plat review and infrastructure construction.

Street/Traffic impacts. Both Jones Boulevard and Forevergreen Road are classified as arterial streets. Jones Boulevard was recently upgraded and Forevergreen Road is scheduled to be improved in 2018 and 2019. Both will be adequate to accommodate new traffic resulting from this development.

Land use impacts and adjacent properties. This general area best-suited for urban-scale density, and RS-6 lots satisfy that goal. There are larger lots to the east of this rezoning request, fronting on Jones Boulevard, but those were

platted many years ago before City utilities were available and before high land values and development costs began to dictate smaller urban lots.

Land use and zoning recommendation. In rezoning considerations, *suitability* and *compatibility* are key issues in addition to land use policy. In this case, the site is physically suitable for the development proposed, and single-family development proposed is considered compatible with surrounding uses.

Staff recommends approval of the rezoning request.

ZONING EXHIBIT

AUDITOR'S PARCEL 2017115

NORTH LIBERTY, JOHNSON COUNTY, IOWA

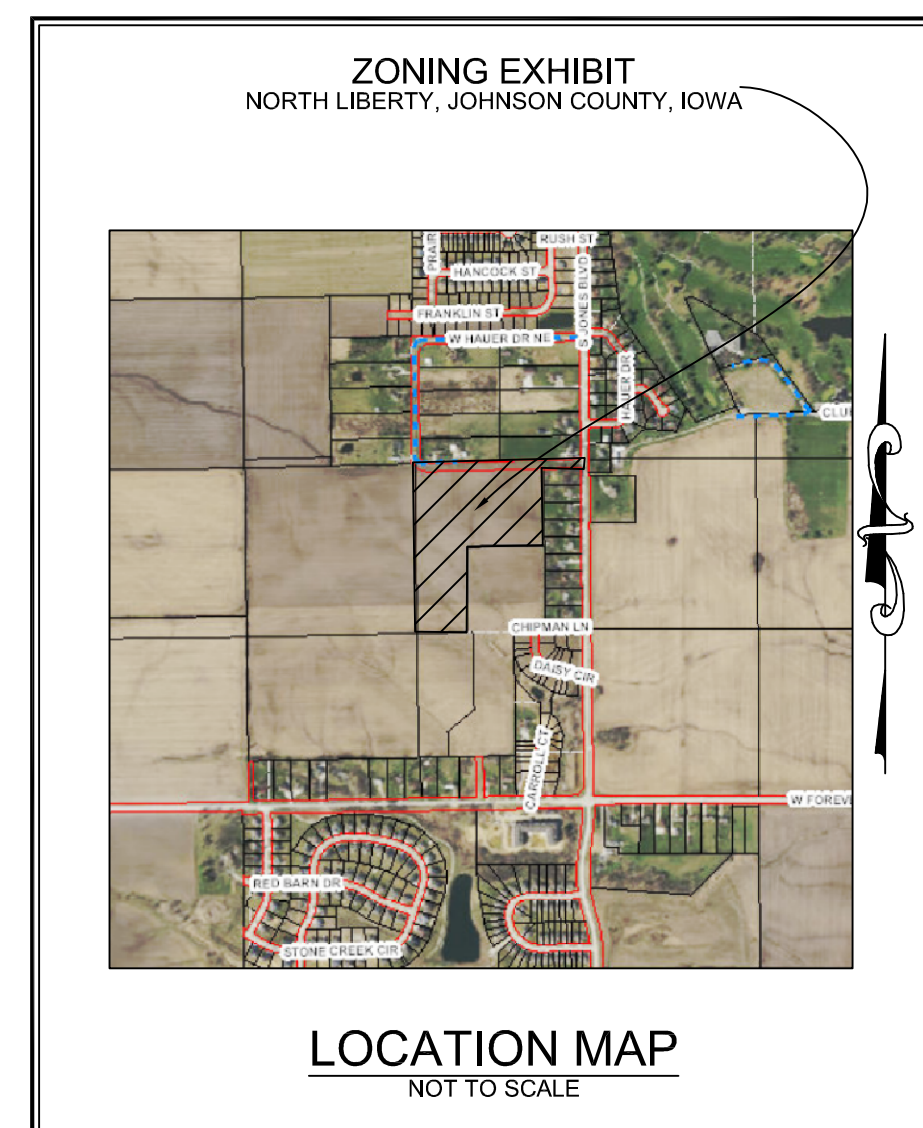
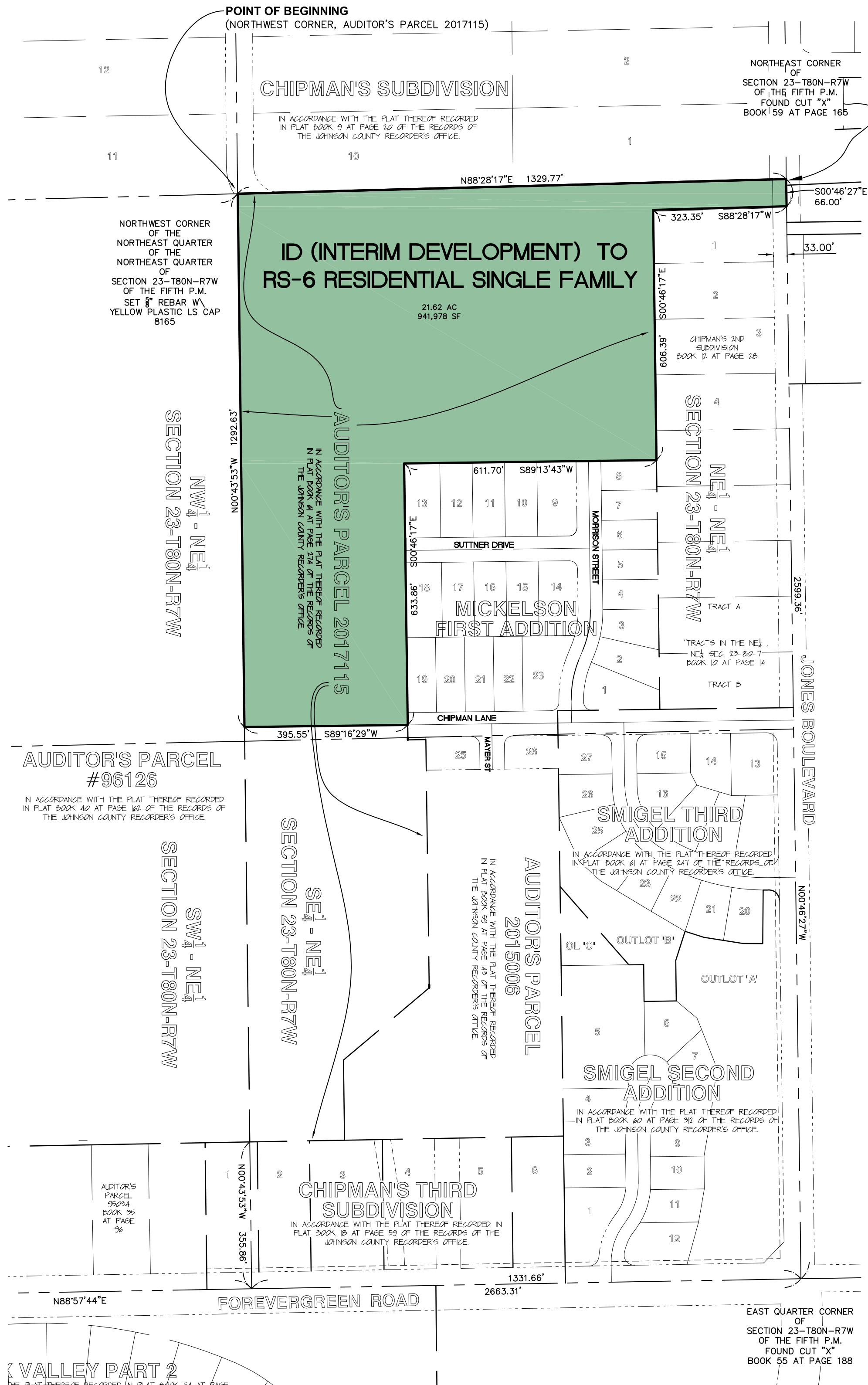
PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/SUBDIVIDER:
HODGE CONSTRUCTION COMPANY
711 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER'S ATTORNEY:
TIMOTHY J. KRUMM
122 S. LINN STREET
IOWA CITY, IA 52240

ZONING PARCEL ID TO RS-6

Beginning at the Northwest Corner of Auditor's Parcel 2017115 in North Liberty, Iowa, in accordance with the Plat thereof Recorded in Plat Book 61 at Page 274 of the Records of the Johnson County Recorder's Office; Thence N88°28'17"E along the North line of said Auditor's Parcel 2017115, a distance of 1,329.77 feet, to the Northeast Corner thereof; Thence S00°46'27"E, along the East line of the Northeast Corner of said Auditor's Parcel, 66.00 feet; Thence S88°28'17"W, along said East line, 323.35 feet; Thence S00°46'17"E, along said East line, 606.39 feet, to the Northeast Corner of Mickelson First Addition, North Liberty, Iowa; Thence S89°13'43"W, along the North line of said Mickelson First Addition, 611.70 feet, to the Northwest Corner thereof; Thence S00°46'17"E along the West line of said Mickelson First Addition, a distance of 633.86 feet; Thence S89°16'29"W, 395.55 feet, to a point on the West line of said Auditor's Parcel; Thence N00°43'53"W along the West line of said Auditor's Parcel, 1,292.63 feet, to the Point of Beginning. Said Zoning Parcel contains 21.62 acres (941,978 square feet), and is subject to easements and restrictions of record.



LEGEND AND NOTES	
	- CONGRESSIONAL CORNER, FOUND
	- CONGRESSIONAL CORNER, REESTABLISHED
	- CONGRESSIONAL CORNER, RECORDED LOCATION
	- PROPERTY CORNER(S), FOUND (as noted)
	- PROPERTY CORNERS SET (5/8" Iron Pin w/ yellow, plastic LS Cap embossed with "MMS")
	- OUT "X"
	- PROPERTY &/or BOUNDARY LINES
	- CONGRESSIONAL SECTION LINES
	- RIGHT-OF-WAY LINES
	- CENTER LINES
	- LOT LINES, INTERNAL
	- LOT LINES, PLATTED OR BY DEED
	- EASEMENT LINES, WIDTH & PURPOSE NOTED
	- EXISTING EASEMENT LINES, PURPOSE NOTED
	- RECORDED DIMENSIONS
	- MEASURED DIMENSIONS
	- CURVE SEGMENT NUMBER
(R)	- RECORD DIMENSIONS
(M)	- MEASURED DIMENSIONS
C22-1	- CURVE SEGMENT NUMBER
UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND HUNDREDTHS	

CIVIL ENGINEERS
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LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision

ZONING EXHIBIT

A PORTION OF
AUDITOR'S PARCEL
2017115
NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date:	02/01/18
Designed by:	PAV
Field Book No.:	
Drawn by:	CAK
Scale:	1"=200'
Checked by:	PAV
Sheet No.:	1
Project No.:	
IOWA CITY	
1296-233	
of:	1



NORTH LIBERTY PLANNING COMMISSION

Minutes

February 6, 2018

City Council Chambers, 1 Quail Creek Circle

Roll Call

Chair Ronda Detlefsen called the February 6, 2018 Planning Commission meeting to order at 6:30 pm. Commissioners present: Ronda Detlefsen, Adam Gebhart, Jason Heisler, Becky Keogh, Kylie Pentecost and Patrick Staber. Absent: Bleil.

Others present: Dean Wheatley, Carter Kurdlre, Mary Byers, Neil Trott, Duane Van Hemert, Evan Runkle and other interested parties.

Agenda Approval

Gebhart moved, seconded by Pentecost, to approve the agenda. The vote was all ayes. Agenda was approved.

Iowa City Community School District Site Plan

Wheatley presented the request from Iowa City Community School District to approve the Site Plan for the new Grant Elementary School. Staff recommended approval.

Applicants Presentation

Duane Van Hemert, Iowa City Community School District, was present on behalf of the applicant and offered to answer questions.

Public Comments

No public comment was offered.

Questions and Comments

There was discussion on traffic issues with the new school during certain times of the day. Staff feels that with the purposed improvement to this area and the site being served with the City's trail and sidewalks systems that there should be good pedestrian and vehicular traffic flow.

Recommendation to the City Council

Staber moved, seconded by Keogh to recommend to the City Council approval of the site plan. The vote was: ayes—Detlefsen, Gebhart, Heisler, Keogh, Pentecost, Staber; nays—none; absent: Bleil. Motion carried.

Lot 8 Golfview Commercial Development Site Plan

Staff Presentation

Wheatley presented the request of Neil Trott for a multi-user building, Staff recommends approval.

Recommendation to the City Council

Staber moved, seconded by Gebhart, to recommend approval of the Site Plan. The vote was: ayes--Pentecost, Staber, Keogh, Detlefsen, Heisler, Gebhart; nays—none; absent: Bleil. Motion carried.

Approval of previous Minutes

Gebhart moved, seconded by Heisler, to approve the Minutes of December 5, 2017 Commission meeting. The vote was all ayes. Minutes were approved.

Old Business

No old business was presented.

New Business

Wheatley reported that there are no new cases for March.

Adjournment

Keogh moved, seconded by Staber, to adjourn the meeting at 7:25 p.m. The vote was all ayes and the meeting was adjourned.

Mary Byers, Deputy City Clerk