



**North Liberty  
Planning  
Commission  
Meeting Information**

**Tuesday, May 1, 2018**

**6:30 PM**

**City Council Chambers**

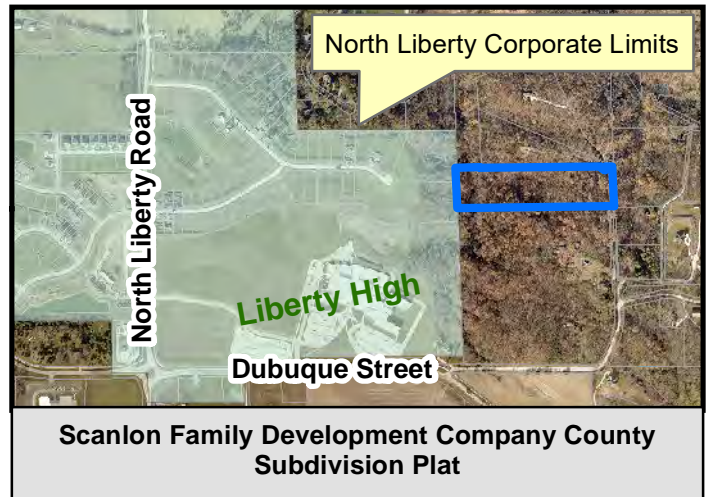
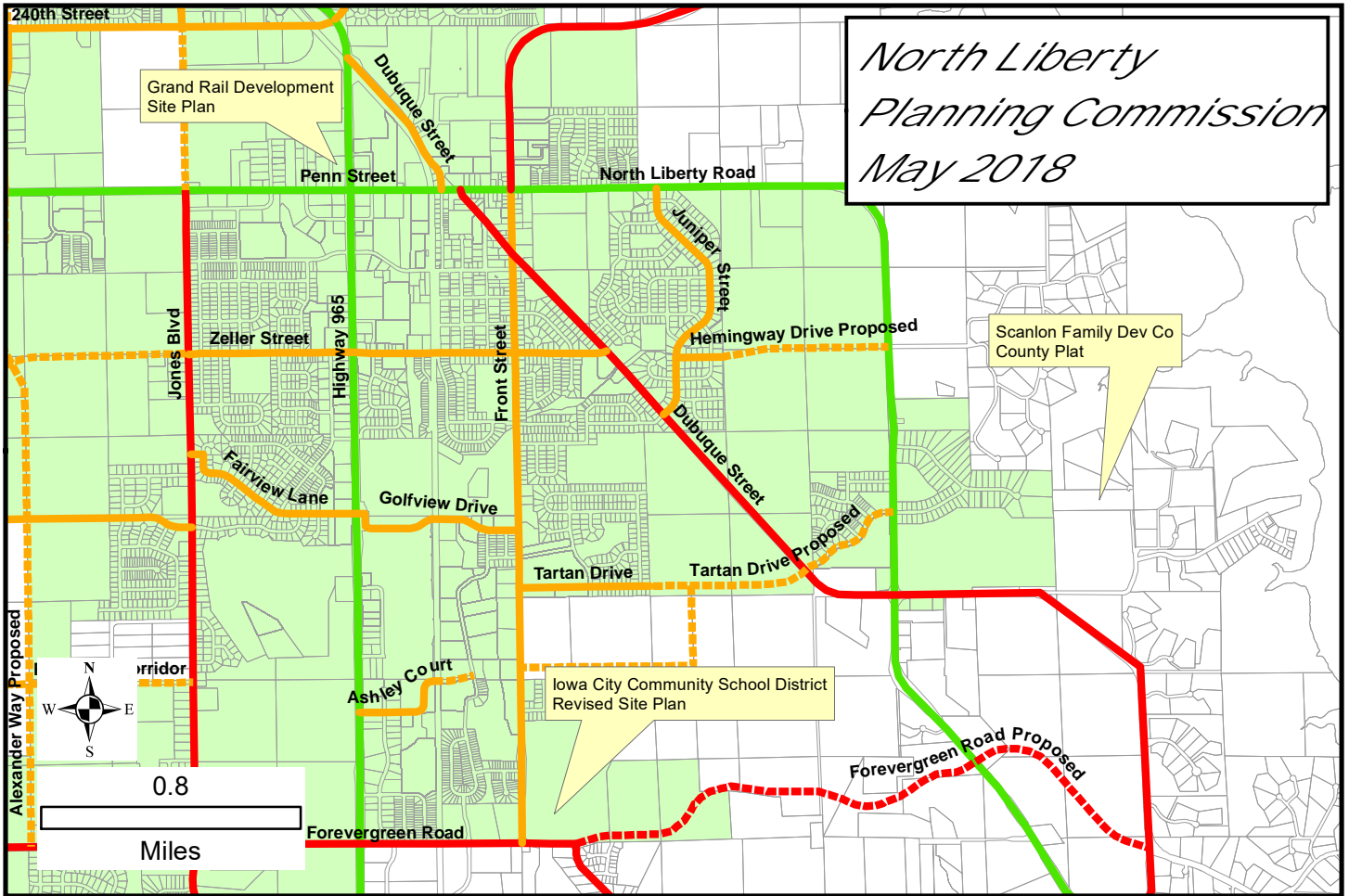
If you would like additional information, larger-scale maps, or other information before the meeting, please contact Dean Wheatley at 626-5747 or at [dwheatley@northlibertyiowa.org](mailto:dwheatley@northlibertyiowa.org)



NORTH LIBERTY PLANNING COMMISSION  
MEETING NOTICE AND AGENDA  
**Tuesday, May 1, 2018, 6:30 PM**  
**North Liberty City Council Chambers, 1 Quail Creek Circle**

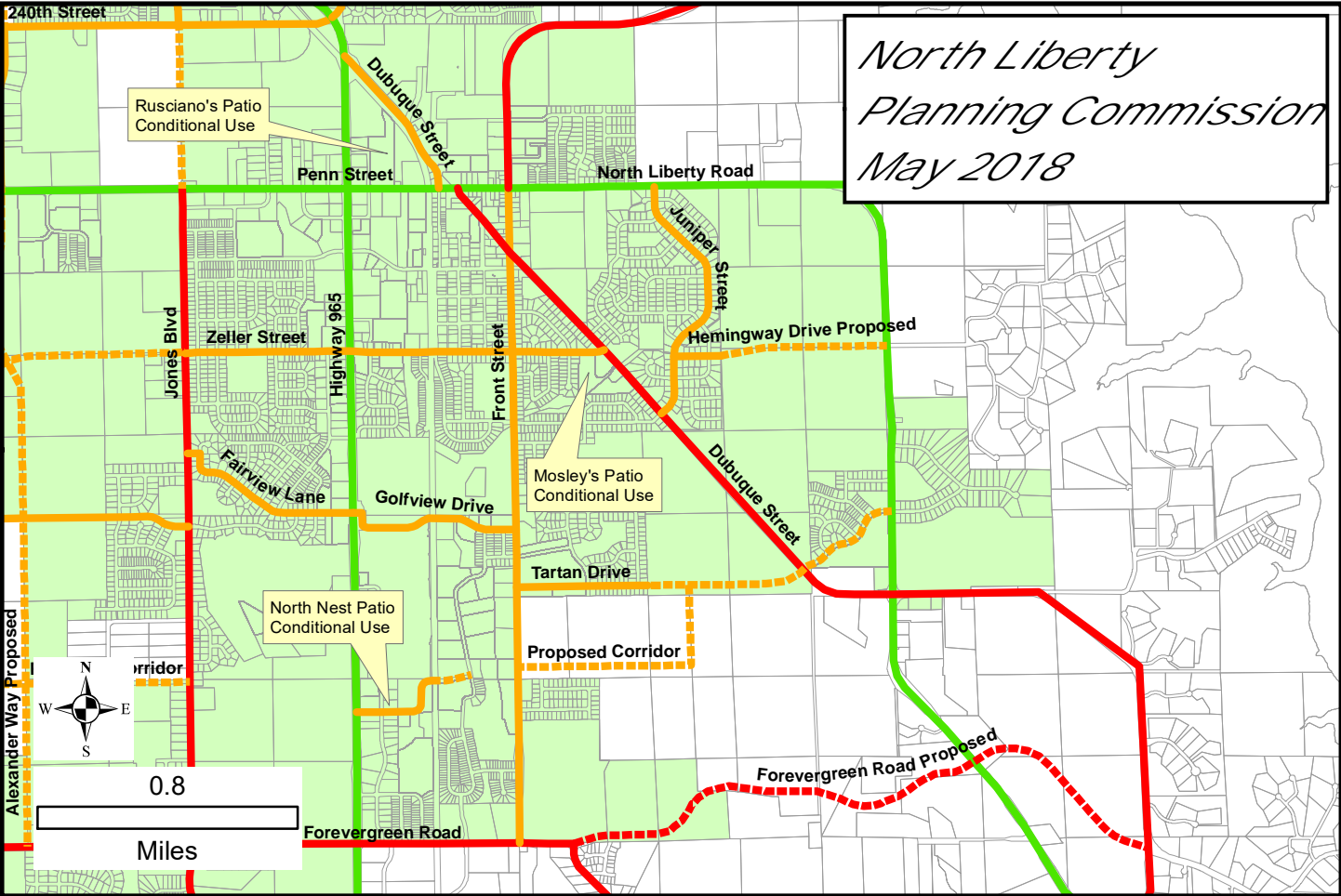
1. **ROLL CALL**
2. **AGENDA APPROVAL**
3. **COUNTY PLAT:** Request from Scanlon Family Development Company to approve a preliminary and final plat for a 2 lot residential subdivision located generally east of Liberty High School, in an area of rural Johnson County not planned for annexation.  
(Proposed Morel Woods Subdivision)
  - a. Staff Presentation
  - b. Applicants Presentation
  - c. Public Comments
  - d. Questions and Comments
  - e. Recommendation to the City Council
4. **SITE PLAN:** Request from Grand Rail Development Company, Inc to approve a site plan for a commercial development on Highway 965 / Ranshaw Way, generally across from McDonalds. (Legal: Inter-City Industrial Park, Part Four, Lot 2)
  - a. Staff Presentation
  - b. Applicants Presentation
  - c. Public Comments
  - d. Questions and Comments
  - e. Recommendation to the City Council
5. **SITE PLAN:** Request from the Iowa City Community School District to approve a revised site plan for North Central Junior High, located at the northeast corner of Front Street and Forevergreen Road. (Legal: North Corridor School Addition, Lot 1)
  - a. Staff Presentation
  - b. Applicants Presentation
  - c. Public Comments
  - d. Questions and Comments

- e. Recommendation to the City Council
- 6. CONDITIONAL USE:** Application for an outside eating conditional use at North Nest restaurant (formerly Vito's), located just east of 965/Ranshaw Way on Jordan Street. (Legal: Lots 1-3 Corridor Commercial Part 1A)
- a. Staff Presentation
  - b. Applicants Presentation
  - c. Public Comments
  - d. Questions and Comments
  - e. Recommendation to the Board of Adjustment
- 7. CONDITIONAL USE:** Application for an outside eating conditional use at Rusciano's restaurant, located at Penn Landing at the northeast corner of Penn Street and 965/Ranshaw Way. (Legal: Lot 1, Grand North Plaza)
- a. Staff Presentation
  - b. Applicants Presentation
  - c. Public Comments
  - d. Questions and Comments
  - e. Recommendation to the Board of Adjustment
- 8. CONDITIONAL USE:** Application for an outside eating conditional use at Mosely's restaurant, located at Beaver Kreek Center at the southwest corner of Zeller Street and Dubuque Street. (Legal: Lot 2, Beaver Kreek Development Addition)
- a. Staff Presentation
  - b. Applicants Presentation
  - c. Public Comments
  - d. Questions and Comments
  - e. Recommendation to the Board of Adjustment
- 9. APPROVAL OF PREVIOUS MINUTES**
- 10. OLD BUSINESS**
- 11. NEW BUSINESS**
- 12. ADJOURNMENT**



2017 Aerial Photography  
No scale

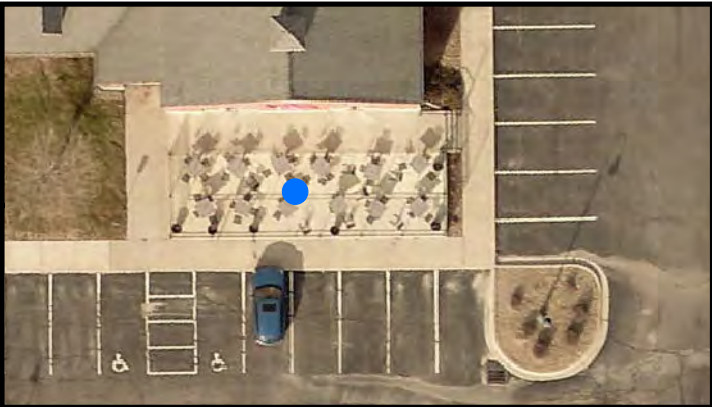
*North Liberty  
Planning Commission  
May 2018*



**Rusciano's Patio Conditional Use**



**Mosley's Patio Conditional Use**



**North Nest Patio Conditional Use**

2017 Aerial Photography  
No scale



April 24, 2018

## Memo

To: North Liberty Planning Commission

From: Dean Wheatley, Planning Director

Subject: Request of Scanlon Family Development Company to approve a preliminary and final plat for a 2 lot residential subdivision located generally east of Liberty High School, in an area of rural Johnson County not planned for annexation.

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator

Tracey Mulcahey, Assistant City Administrator

Tom Palmer, City Building Official

Scott Peterson, City Attorney

Kevin Trom, City Engineer

Dean Wheatley, Planning Director

This request is to create a two lot subdivision in the county beyond the corporate limits on Zackary Lane NE by subdividing an existing lot. Each proposed lot is over 4.5 acres.

The Fringe Area provisions for this area are:

### ***FRINGE AREAS F2 - NEAR-TERM URBAN GROWTH AREA.***

*City near- term growth is anticipated, and unincorporated development is strongly discouraged.*

- *Residential, commercial and industrial land uses are encouraged as recommended and described in the City's Comprehensive Plan.*
- *Rezoning and site plans shall be reviewed by the City, and comments forwarded to the County.*
- *Subdivisions shall be reviewed and approved by the City prior to action by the Board of Supervisors. City subdivision design standards shall apply for streets, storm water management and sidewalks. Water and sanitary sewer facilities shall be constructed upon development. Otherwise, County subdivision standards shall apply. Farmstead splits are exempt from City review.*
- *Annexation shall be voluntary, per State Code, and may include nonconsenting owners if necessary to avoid islands of unincorporated areas or irregular boundaries.*
- *All construction shall be performed in accordance with the County building permitting process if not annexed.*

In this case, the property is outside of the City's ability to provide sanitary sewer services according to the 2011 Sanitary Sewer Service Study, and there are no plans for annexation, and so County subdivision standards apply. Staff recommends approval of the subdivision.

**INDEX LEGEND**  
 Location: PART OF THE S.E.1/4-N.E.1/4 SECTION 17, T80N, R6W  
 Requestor: SCANLON FAMILY DEVELOPMENT CO  
 Proprietor: SCANLON FAMILY DEVELOPMENT CO  
 Surveyor: Ryan R. Remling, P.L.S.  
 Company: HALL & HALL ENGINEERS, INC.  
 1860 BOYSON ROAD  
 HIAWATHA, IOWA 52233  
 1-319-362-9548  
 ryan@halleng.com  
 Return to: Ryan R. Remling

SPACE RESERVED FOR RECORDING PURPOSES

**APPLICANT:**  
 SCANLON FAMILY DEVELOPMENT CO  
 PO BOX 323  
 OKOBOJI IA 51355

**OWNER:**  
 SCANLON FAMILY DEVELOPMENT CO  
 PO BOX 323  
 OKOBOJI IA 51355

**OWNERS ATTORNEY:**  
 ROBERT DOWNER  
 MEARDON, SUEPPEL & DOWNER, P.L.C.  
 122 SOUTH LINN STREET  
 IOWA CITY IA 52240  
 (319) 338-9222

# PRELIMINARY AND FINAL PLAT MOREL WOODS SUBDIVISION JOHNSON COUNTY, IOWA

**SURVEY LEGEND**

- SET 1/2" REBAR W/ YELLOW PLASTIC CAP NO. 18769 UNLESS OTHERWISE NOTED
- FD. 5/8" REBAR W/ RED PLASTIC CAP NO. 16546 UNLESS OTHERWISE NOTED
- ( ) RECORDED AS
- EASEMENT LINE
- == PLAT BOUNDARY
- PLAT LOT LINE
- EXISTING LOT LINE
- SECTION LINE
- QUARTER SECTION LINE

APPROVED BY THE JOHNSON COUNTY, IOWA BOARD OF SUPERVISORS

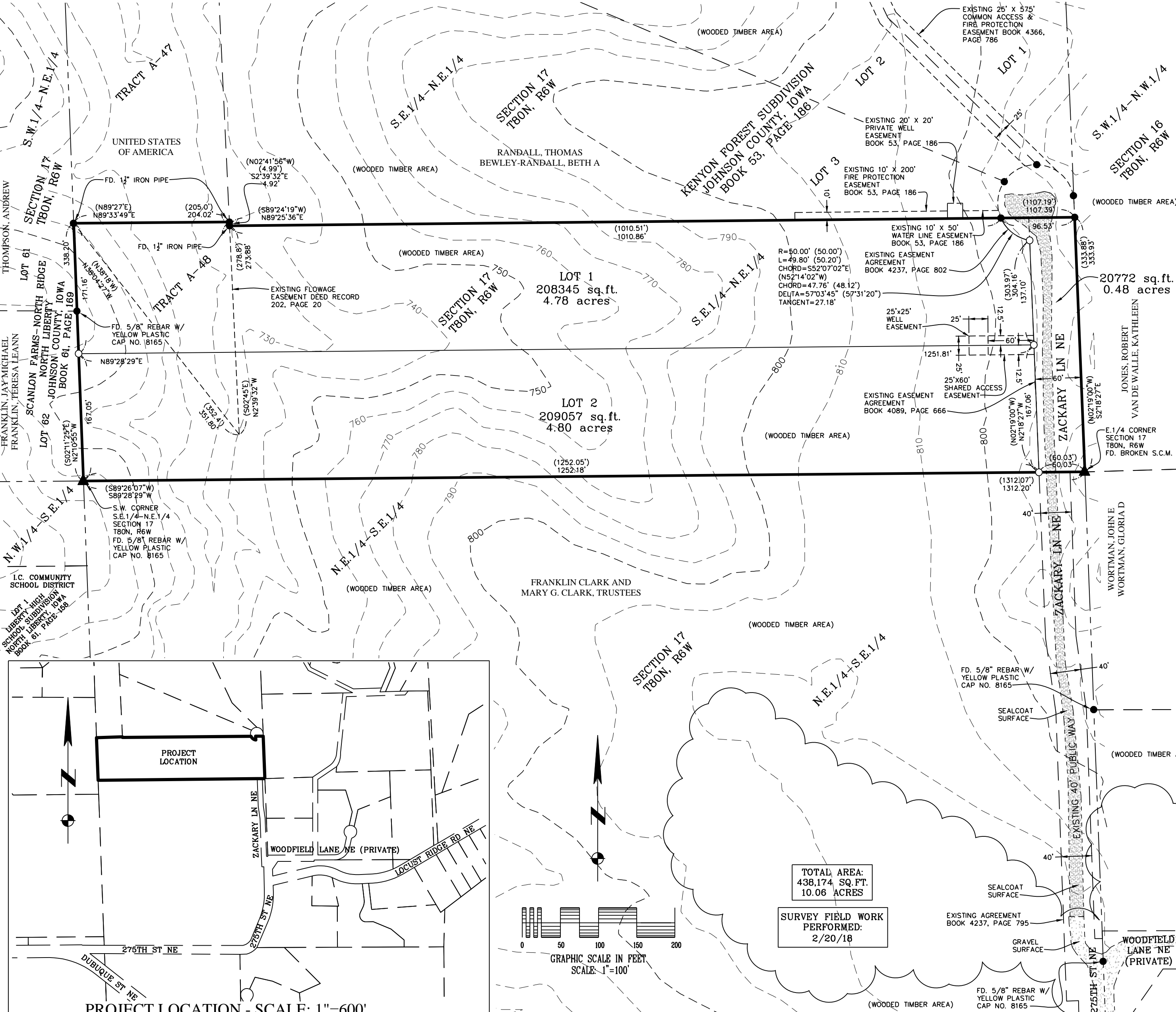
CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE CITY OF NORTH LIBERTY

ADMINISTRATOR \_\_\_\_\_ DATE \_\_\_\_\_

**LEGAL DESCRIPTION:**  
 PART OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 80 NORTH, RANGE 6 WEST OF THE 5TH PRINCIPAL MERIDIAN, JOHNSON COUNTY, IOWA DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 17; THENCE S89°28'29"W 1312.20 FEET ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID NORTHEAST QUARTER TO THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID NORTHEAST QUARTER ALSO BEING THE EAST LINE OF SCANLON FARMS-NORTH RIDGE, NORTH LIBERTY, JOHNSON COUNTY, IOWA AS RECORDED IN BOOK 61, PAGE 169 IN THE OFFICE OF THE JOHNSON COUNTY, IOWA RECORDER; THENCE N2°10'55"W 338.20 FEET ALONG SAID EAST LINE AND THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID NORTHEAST QUARTER TO THE NORTHWEST CORNER OF TRACT A-48 AS RECORD IN DEED BOOK 202, PAGE 20 IN THE OFFICE OF THE JOHNSON COUNTY, IOWA RECORDERS OFFICE; THENCE N89°33'49"E 204.02 FEET ALONG THE NORTH LINE OF SAID TRACT A-48 TO THE NORTHEAST CORNER OF SAID TRACT A-48 ALSO BEING THE WEST LINE OF KENYON FOREST SUBDIVISION, JOHNSON COUNTY, IOWA AS RECORDED IN BOOK 53, PAGE 186 IN THE OFFICE OF THE JOHNSON COUNTY, IOWA RECORDER; THENCE S2°39'32"E 4.92 FEET ALONG SAID WEST LINE AND THE EAST LINE OF SAID TRACT A-48 TO THE SOUTH LINE-PROPORTIONAL NORTH 30 ACRES OF THE SOUTHEAST QUARTER OF SAID NORTHEAST QUARTER AS PLATED WITH SAID KENYON FOREST SUBDIVISION ALSO BEING THE SOUTHWEST CORNER OF SAID KENYON FOREST SUBDIVISION; THENCE N89°25'36"E 1107.39 FEET ALONG SAID SOUTH LINE AND THE SOUTH LINE OF SAID KENYON FOREST SUBDIVISION TO THE SOUTHEAST CORNER OF SAID KENYON FOREST SUBDIVISION ALSO BEING THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID NORTHEAST QUARTER; THENCE S2°18'27"E 333.93 FEET ALONG SAID EAST LINE TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 438,174 SQ.FT., 10.06 ACRES, SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.



Revision	Description

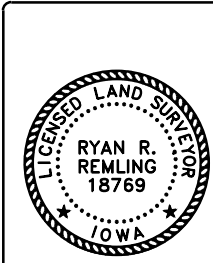
Revision Number	Date

**HALL & HALL ENGINEERS, INC.**  
*Leaders in Land Development Since 1953*  
 1860 BOYSON ROAD, HIAWATHA, IOWA 52233  
 PHONE: (319) 362-9548 FAX: (319) 362-7595  
 CIVIL ENGINEERING & LANDSCAPE ARCHITECTURE  
 LAND SURVEYING & LAND DEVELOPMENT PLANNING  
 www.halleng.com

PRELIMINARY AND FINAL PLAT  
**MOREL WOODS SUBDIVISION**  
 JOHNSON COUNTY, IOWA

Sheet Title: PRELIMINARY AND FINAL PLAT MOREL WOODS SUBDIVISION JOHNSON COUNTY, IOWA

Designed by:	DLK
Drawn by:	DLK
Checked by:	
Date:	2/28/18
Field Book No:	OT102
Scale:	1"=100'
Sheet:	1 of 1
Project Number:	9749-5



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

RYAN R. REMLING, L.S. 18769  
 My license renewal date is December 31, \_\_\_\_\_

Pages or sheets covered by this seal: \_\_\_\_\_

CAD File: I:\Projects\9749-5-Scanlon-Morel Woods Addition\DWG\Plots\9749-5-101-P01-302017.dwg Date Plotted: Mar 06, 2018 - 2:31pm Plotted By: SUSAN-FORNASH



April 24, 2018

## **Memo**

To: North Liberty Planning Commission  
From: Dean Wheatley, Planning Director  
Subject: Site Plan Approval Request  
(Lot 2, Inter-City Industrial Park Part Four)

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator  
Tracey Mulcahey, Assistant City Administrator  
Tom Palmer, City Building Official  
Scott Peterson, City Attorney  
Kevin Trom, City Engineer  
Dean Wheatley, Planning Director

This request is to construct a new multi-tenant commercial facility on the west side of Highway 965 one lot north of its intersection with Penn Street. This is a highly visible location across 965 from the McDonalds restaurant, with no direct access to 965. Pacha Parkway, a private street, might provide an optional or additional access in the future but its alignment is mainly on the lot north of this site and so not available. In these circumstances the developer is proposing the most logical access possible for the site, Meade Drive to the west.

The building is designed to have a very attractive front elevation, with offsets, awnings, feature lighting, and changing materials highlighting the different storefronts. The building has 100% masonry elevations on all sides and well-proportioned windows and doors. In addition, the owner has worked with City staff to enhance the north, south, and west elevations to upgrade first parts of the building customers to the businesses will see.

The site layout and building design are both overall very good for the lot. The landscape plan is minimal but meets ordinance requirements. Pedestrian-scale feature(s) required by the Zoning Ordinance include a sidewalk connection from the Ranshaw Way sidewalk as well as an area identified for outside seating (by others).

Staff recommends approval of the site plan.

**Note:**

Building was reviewed having an automatic fire sprinkler system. If no automatic sprinkler system is provided, additional review will be needed.





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LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-8282  
www.mmsconsultants.net

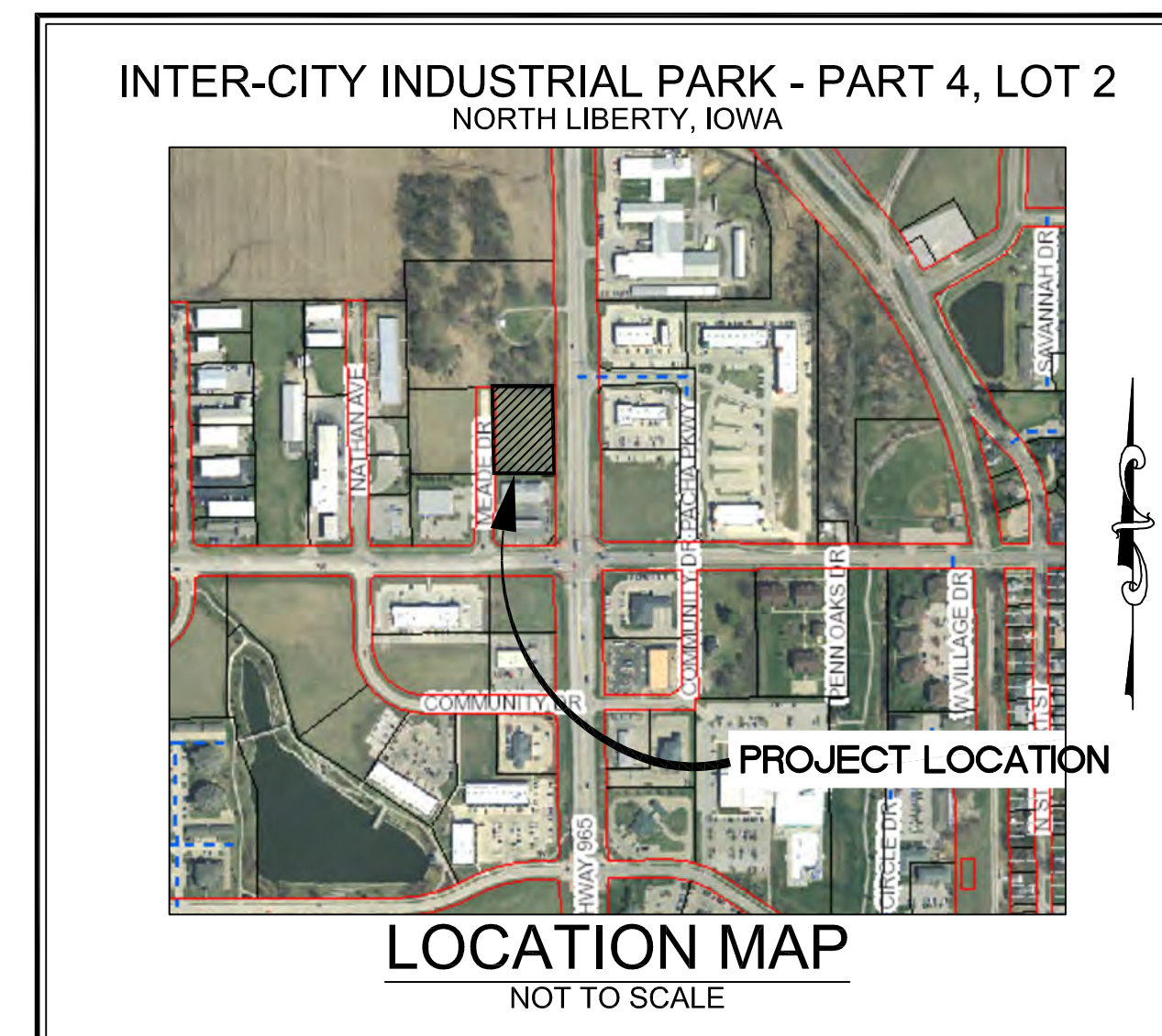
Date	Revision
05/20/15	PER CITY COMMENTS - CBT
06/07/16	REVISED LAYOUT PER CITY - JDM
04/02/18	CITY SUBMITTAL - CAK
04/18/18	CITY COMMENTS - NEC
04/19/18	CITY COMMENTS - NEC

# SITE PLAN INTER-CITY INDUSTRIAL PARK - PART 4, LOT 2 NORTH LIBERTY, IOWA

PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IOWA 52240

OWNER/APPLICANT:  
GRAND RAIL DEVELOPMENT  
723 PACHA PARKWAY  
NORTH LIBERTY, IOWA 52317

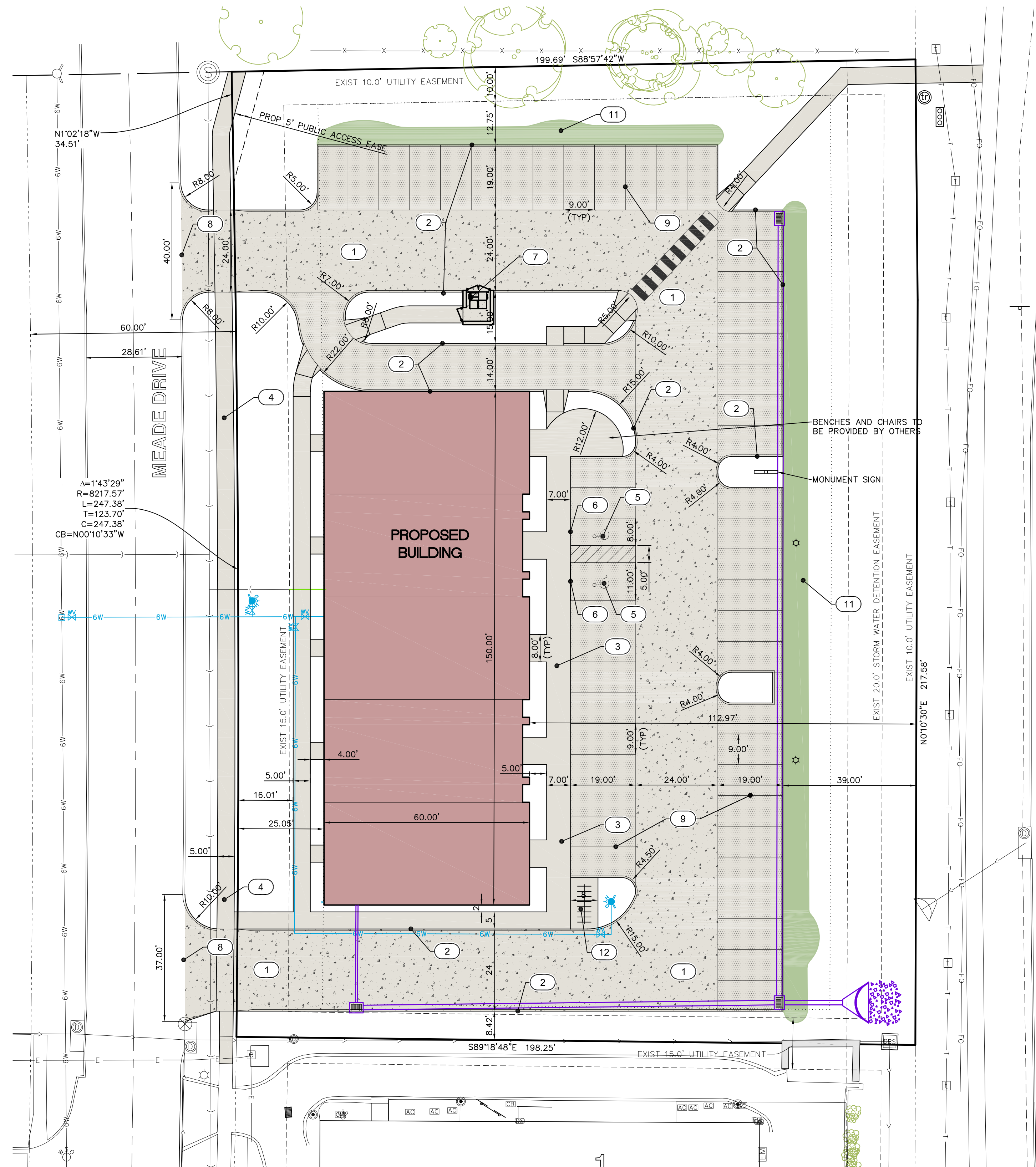
APPLICANT'S ATTORNEY:  
DOUGLAS D. RUPPERT  
122 S. LINN STREET  
IOWA CITY, IOWA 52240



**STANDARD LEGEND AND NOTES**

---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	22-1
---	EXIST.
---	PROP.
---	POWER POLE W/DROP
---	POWER POLE W/TRANS
---	POWER POLE W/LIGHT
---	GUY POLE
---	LIGHT POLE
---	FIRE HYDRANT
---	SANITARY MANHOLE
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	FENCE LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	WATER LINES
---	ELECTRICAL LINES
---	TELEPHONE LINES
---	GAS LINES
---	CONTOUR LINES (1" INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE
---	EXISTING DECIDUOUS TREE & SHRUB
---	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



**KEYNOTES**

NUMBER	KEYNOTE	DETAIL
1	INSTALL DRIVE PER DETAIL (THICKNESS AND MATERIAL AS NOTED)	§
2	INSTALL 6" STANDARD CURB	8/5
3	INSTALL THICKENED EDGE SIDEWALK	7/5
4	INSTALL P.C.C. SIDEWALK PER NORTH LIBERTY MUNICIPAL DESIGN STANDARDS	
5	INSTALL ACCESSIBLE PARKING	
6	INSTALL ACCESSIBLE SIGN	2/5
7	DUMPSTER ENCLOSURE	1/5
8	GRIND EXISTING CURB AND INSTALL TYPE A ENTRANCE PER SUDAS DETAIL 7030.101	
9	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP.)	
10	N/A	
11	UNDULATING LANDSCAPE BERM, SEE SHEET 5	
12	INSTALL BIKE RACK	

**PAVING LEGEND**  
COMPLETE CONTRACTOR IMPROVEMENTS (INCLUDES WORK WITHIN RIGHT OF WAY)

	7" PCC (12,008 SF)
	5" PCC (10,319 SF)
	4" PCC (4,281 SF)

(THESE QUANTITIES INCLUDE ALL SITE IMPROVEMENTS)

**FIRE ACCESS ROADS WILL BE CONSTRUCTED TO SUPPORT 75,000 POUNDS**

**SHEET INDEX**

- 1 SITE LAYOUT AND DIMENSION PLAN
- 2 SITE DEMOLITION PLAN
- 3 SITE GRADING PLAN AND SWPPP
- 4 SITE UTILITY PLAN
- 5 SITE LANDSCAPE PLAN
- 6 GENERAL NOTES AND DETAILS

**LEGAL DESCRIPTION**  
LOT 2 OF INTER-CITY INDUSTRIAL PARK-PART FOUR, NORTH LIBERTY, IOWA, IN ACCORDANCE WITH THE PLAT THEREOF RECORDED IN BOOK 41, AT PAGE 39, OF THE RECORDS OF THE JOHNSON COUNTY RECORDER'S OFFICE. SAID RESULTANT TRACT OF LAND CONTAINS 1.29 ACRES, AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

**APPLICANT**  
GRAND RAIL DEVELOPMENT  
723 PACHA PARKWAY  
NORTH LIBERTY, IOWA 52317

**PARKING REQUIREMENTS:**  
1 SPACE / 200 SF  
7,898 SF (RETAIL) / 200 SF = 40 SPACES  
1 SPACE / 100 SF  
1,000 SF (RESTAURANT) / 100 SF = 10 SPACES  
TOTAL PARKING REQUIRED = 50 SPACES  
TOTAL PARKING PROVIDED = 50 SPACES (2 ACCESSIBLE)

**DEVELOPMENT CHARACTERISTICS**

CURRENT ZONING: C-2-A  
REQUESTED LAND USE: RETAIL/COMMERCIAL SPACE  
LOT AREA: 56,549 SF (1.29 ACRES)

**SETBACK REQUIREMENTS**

REQUIRED	REQUIRED
FRONT YARD	25 FEET
SIDE YARD	10 FEET
REAR YARD	20 FEET

**MINIMUM LOT REQUIREMENTS**

LOT FRONTAGE	35 FEET
LOT WIDTH	35 FEET
MAXIMUM BUILDING HEIGHT	35 FEET OR 2.5 STORIES

**LOT CHARACTERISTICS**

LOT AREA	56,549 SF (100%)(1.29 AC)
BUILDING AREA	8,998 SF (15.8%)
PAVING AREA - PROPOSED	24,656 SF (43.6%)
GREEN SPACE AREA	22,995 SF (40.7%)

**UTILITIES**

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

KELLY J. BECKLER, P.E. Iowa Lic. No. 14624

My license renewal date is December 31, 20\_\_.

Pages or sheets covered by this seal: \_\_\_\_\_

## SITE LAYOUT AND DIMENSION PLAN

## INTER-CITY INDUSTRIAL PARK - PART 4, LOT 2

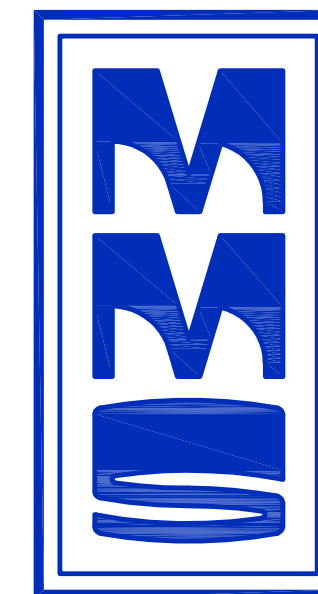
NORTH LIBERTY  
JOHNSON COUNTY  
IOWA

**MMS CONSULTANTS, INC.**

Date: 5/11/15

Designed by: CBT	Field Book No: 1100
Drawn by: CBT	Scale: 1"=20'
Checked by: KJB	Sheet No: 1

IOWA CITY  
1194130 of 6



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

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# SITE PLAN

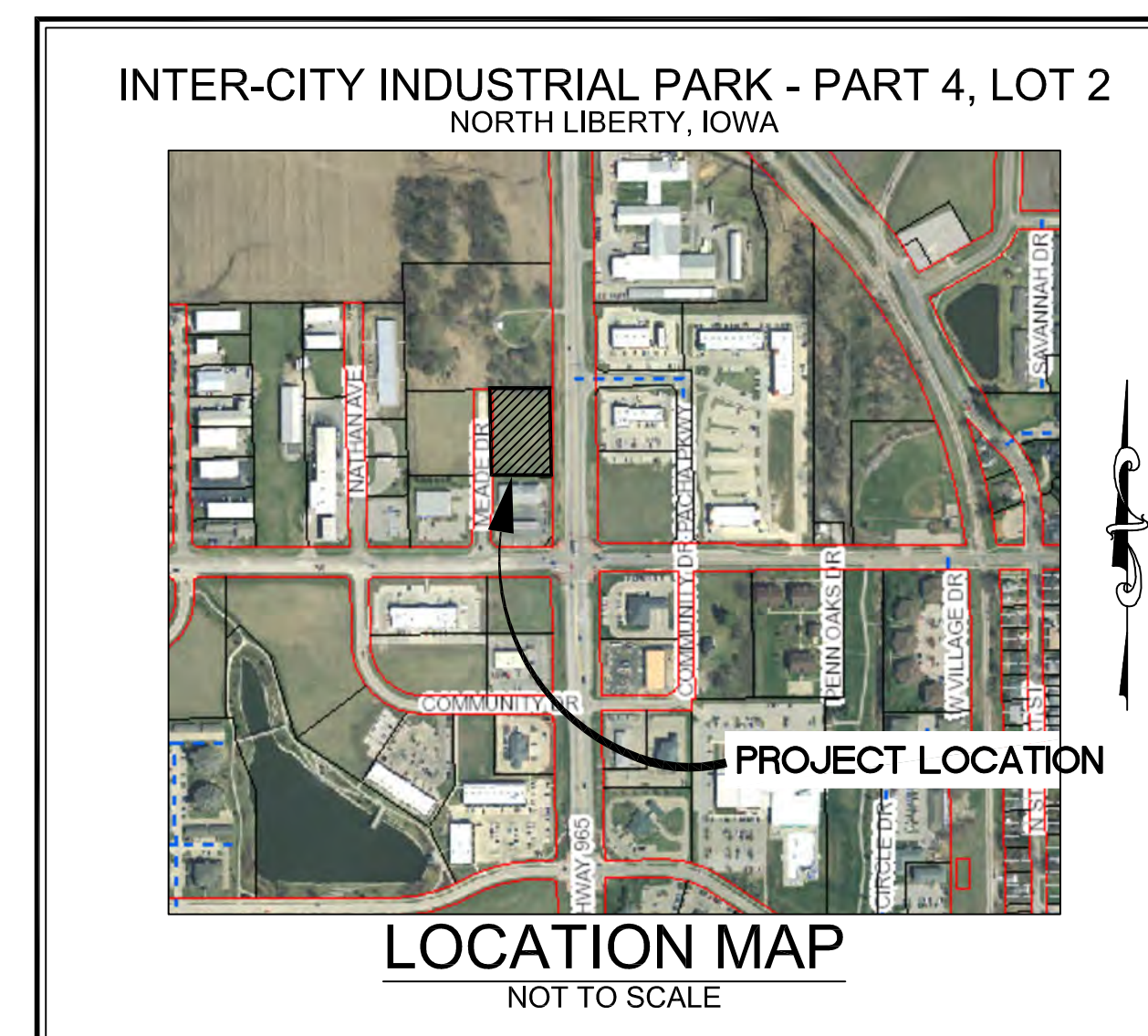
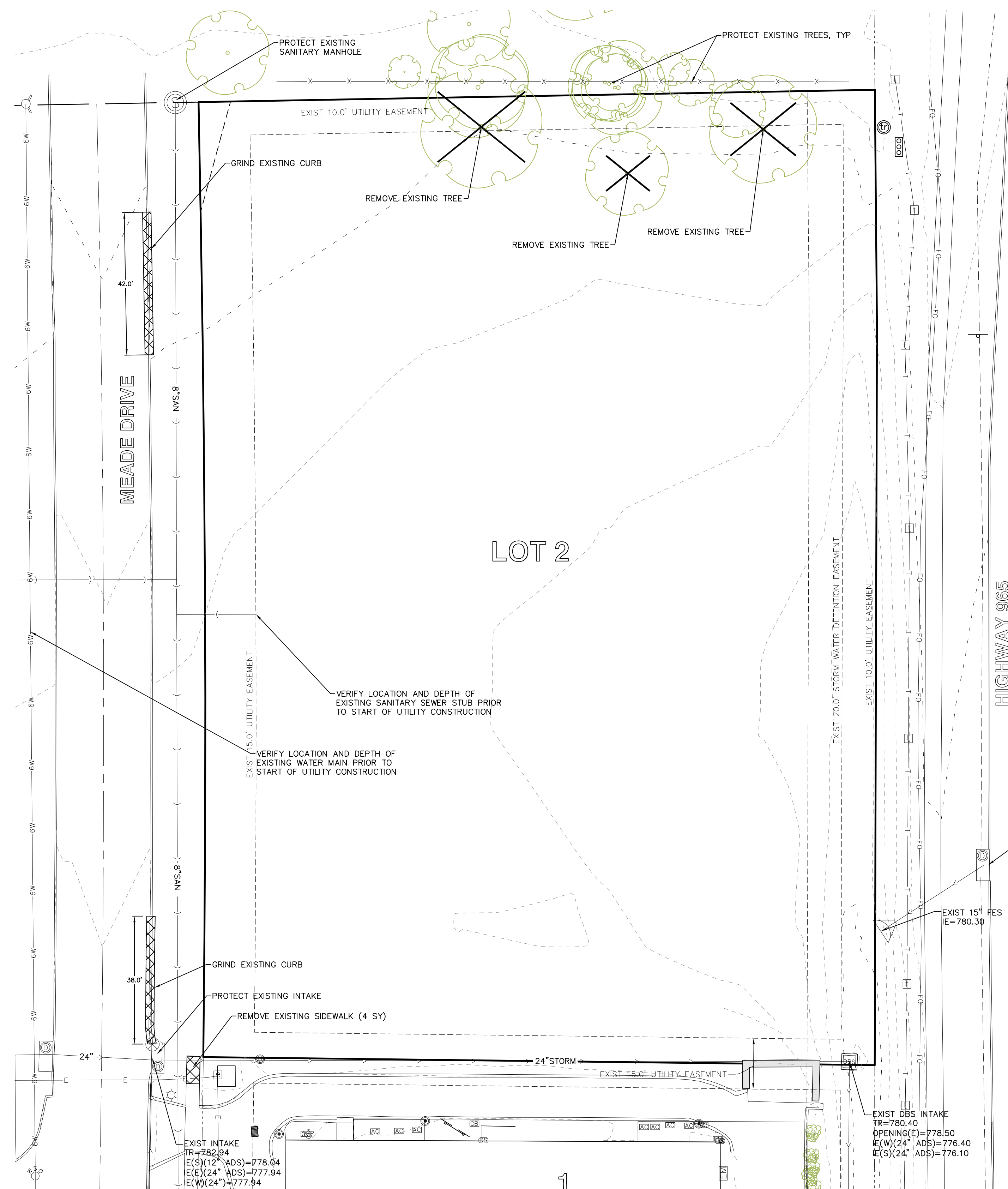
## INTER-CITY INDUSTRIAL PARK - PART 4, LOT 2

### NORTH LIBERTY, IOWA

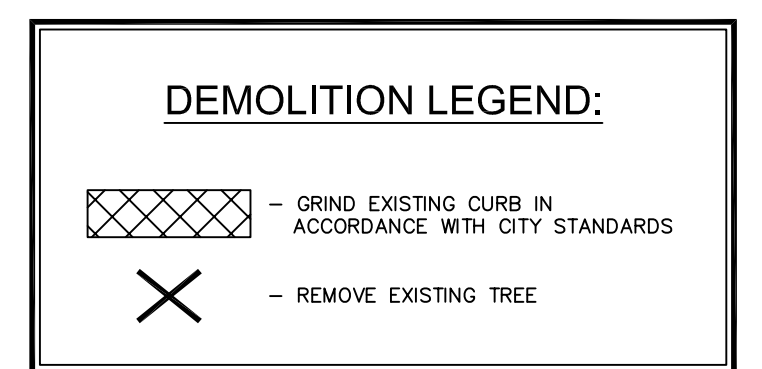
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OWNER/APPLICANT:  
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723 PACHA PARKWAY  
NORTH LIBERTY, IOWA 52317

APPLICANT'S ATTORNEY:  
DOUGLAS D. RUPPERT  
122 S. LINN STREET  
IOWA CITY, IOWA 52240



- DEMOLITION NOTES:**
- COORDINATE ALL DEMOLITION ACTIVITIES WITH OWNER BEFORE COMMENCING ANY DEMOLITION WORK. NO GROUND DISTURBANCE SHALL BE ALLOWED OUTSIDE DISTURBED AREA LIMITS.
  - THE CONTRACTOR SHALL CONTACT ALL UTILITIES AND ARRANGE FOR THEIR LOCATION OF FACILITIES BEFORE BEGINNING DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH ALL PUBLIC UTILITIES FOR DISCONNECTION AND REMOVAL OF THEIR FACILITIES.
  - CLEARING AND REMOVAL OF TREES, BUSHES AND BRUSH SHALL INCLUDE REMOVAL FROM THE SITE OF ALL TRUNKS, BRANCHES, STUMPS AND ROOTS. THE CONTRACTOR SHALL REMOVE ALL STUMPS AND ROOTS.
  - REMOVAL OF FENCES INCLUDES REMOVAL AND DISPOSAL OF ALL FENCE MATERIALS FROM THE PROJECT SITE.
  - ADJACENT STREETS ARE TO BE MAINTAINED CLEAN AS PER CITY OF NORTH LIBERTY REQUIREMENTS.
  - WHEN PEDESTRIAN TRAFFIC FLOW IS INTERRUPTED, CONTRACTOR SHALL INSTALL PROPER SIGNAGE ("SIDEWALK CLOSED AHEAD, USE OTHER SIDE").
  - THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL CONFORMING TO THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" WHEN WORK EXTENDS ONTO THE STREET.



**SHEET INDEX**

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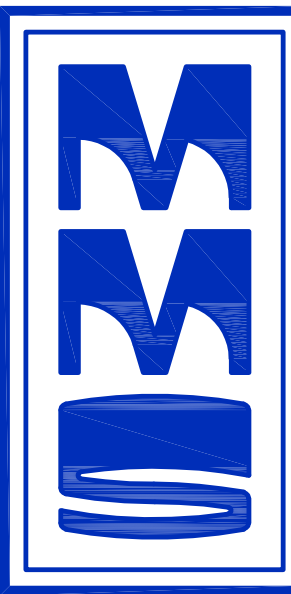
## SITE DEMOLITION PLAN

INTER-CITY INDUSTRIAL PARK - PART 4, LOT 2

NORTH LIBERTY JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

Date:	5/1/15
Designed by:	CBT
Field Book No.:	1100
Drawn by:	CBT
Scale:	1"=20'
Checked by:	KJB
Sheet No.:	2
Project No.:	IOWA CITY 1194130
of:	6



CIVIL ENGINEERS  
LAND PLANNERS  
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LANDSCAPE ARCHITECTS  
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04/19/18	CITY COMMENTS - NEC

# SITE PLAN

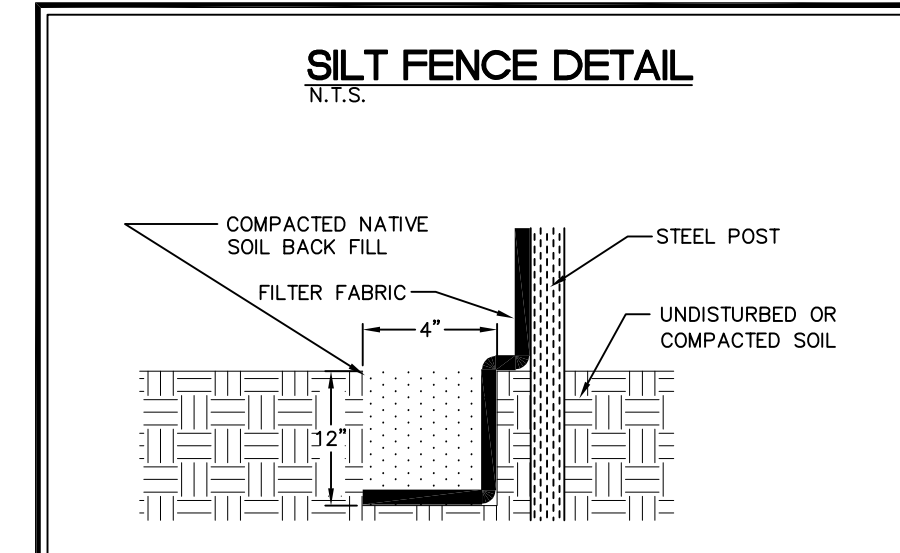
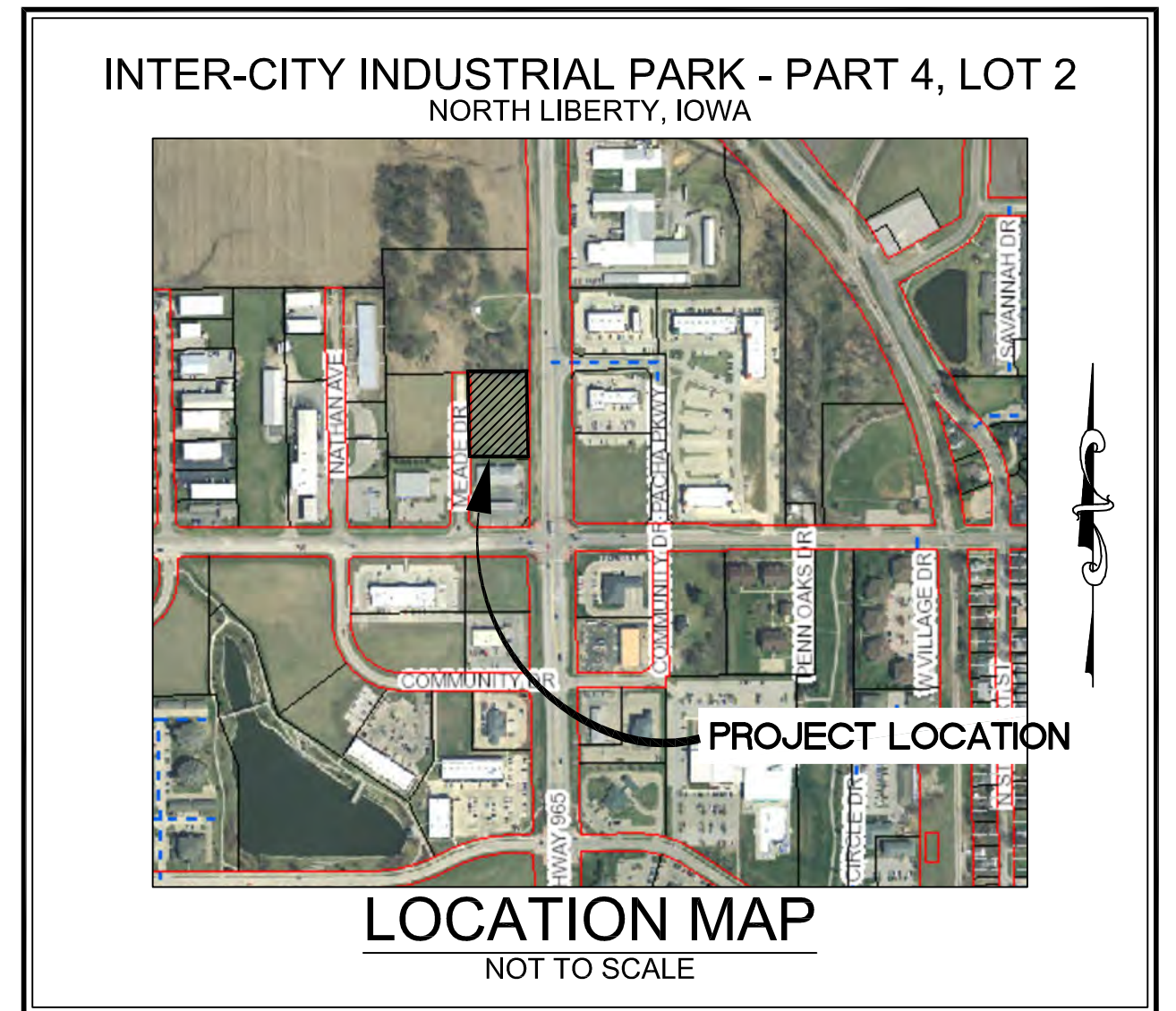
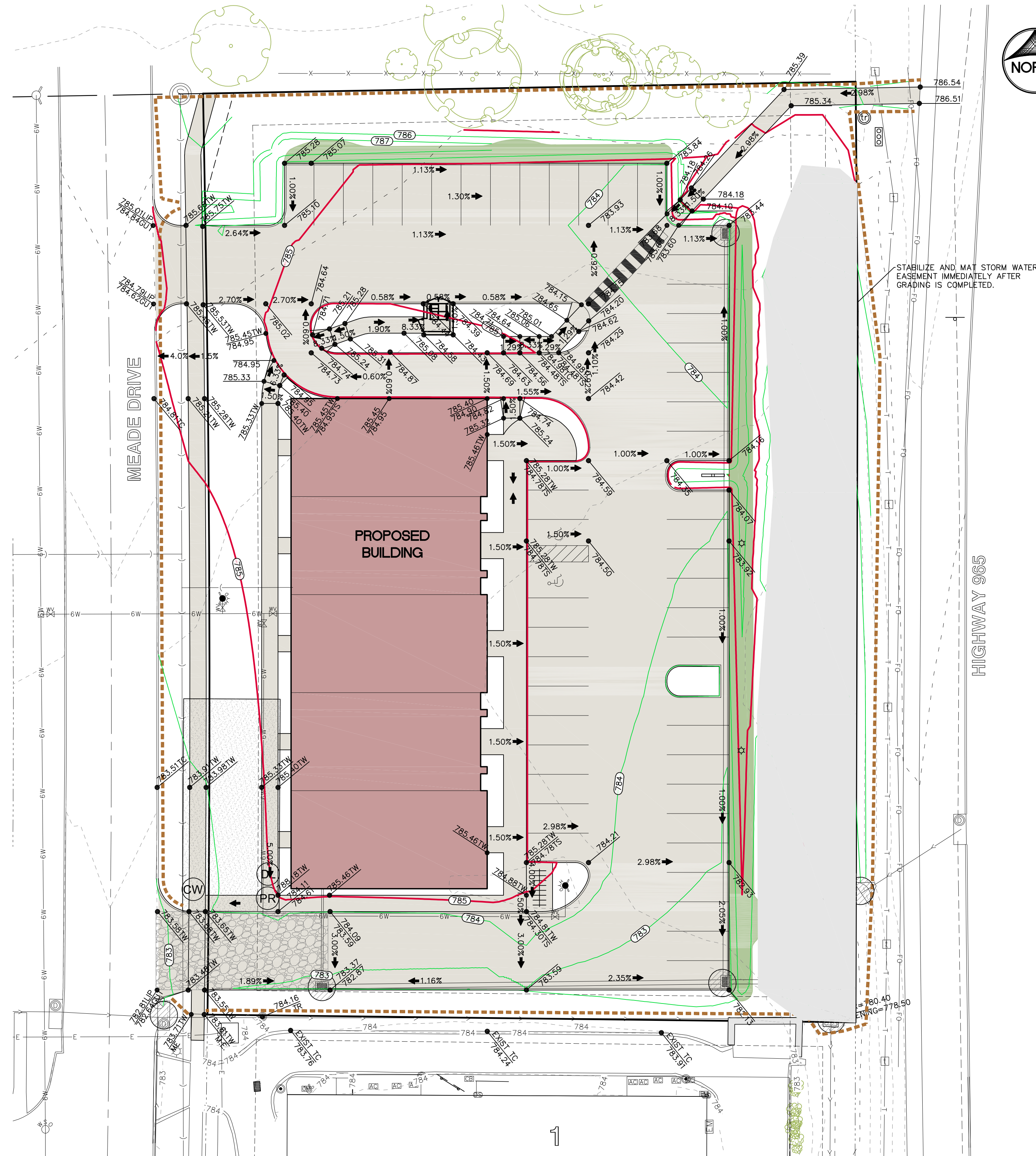
## INTER-CITY INDUSTRIAL PARK - PART 4, LOT 2

### NORTH LIBERTY, IOWA

PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IOWA 52240

OWNER/APPLICANT:  
GRAND RAIL DEVELOPMENT  
723 PACHA PARKWAY  
NORTH LIBERTY, IOWA 52317

APPLICANT'S ATTORNEY:  
DOUGLAS D. RUPPERT  
122 S. LINN STREET  
IOWA CITY, IOWA 52240



- INSTALLATION**
- POSTS SHALL BE EITHER 4" DIAMETER WOOD OR 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
  - SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 4196.01.A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN COMPLETE.
  - THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
  - POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 24".
  - A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS.
  - FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
  - THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

- MAINTENANCE**
- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAIN-FALL EVENT OF 0.5 INCHES OR MORE. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
  - SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
  - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
  - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
  - SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

**EROSION CONTROL LEGEND**

SILT FENCE/FILTER SOCK	PERIMETER SILT FENCE
TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT	TEMPORARY SOIL STOCKPILE AREA
TEMPORARY PARKING AND STORAGE	DIRECTION OF OVERLAND FLOW
CONCRETE TRUCK/EQUIPMENT WASHOUT	DUMPSTER FOR CONSTRUCTION WASTE
PORTABLE RESTROOM	RIP RAP OUTLET PROTECTION
DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)	FILTER SOCK BEHIND CURB AT CURB RAMP
FILTER SOCK INLET PROTECTION	

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

**GRADING AND EROSION CONTROL NOTES**

TOTAL SITE AREA: 1.29 ACRES  
TOTAL AREA TO BE DISTURBED: 1.26 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

**STABILIZATION SEEDING**

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH I.D.O.T. STANDARD SPECIFICATION SECTION 2601.05 STABILIZING CROP SEEDING AND FERTILIZING.

SEED MIXTURES SHALL BE ONE OF THE FOLLOWING:

SPRING - MARCH 1 TO MAY 20	WINTER RYE OR OATS 25 LBS. PER ACRE FESCUE, KENTUCKY 31 OR FAWN ALFALFA (RANGER OR VERNAL)	1 BUSHEL PER ACRE 15 LBS. PER ACRE 15 LBS. PER ACRE 5 LBS. PER ACRE
SUMMER - MAY 21 TO JULY 20	OATS SUDANGRASS (PIPER) FESCUE, KENTUCKY 31 OR FAWN ALFALFA (RANGER OR VERNAL)	1 BUSHEL PER ACRE 35 LBS PER ACRE 15 LBS PER ACRE 5 LBS PER ACRE
FALL - JULY 21 TO SEPTEMBER 30	WINTER RYE FESCUE, KENTUCKY 31 OR FAWN ALFALFA (RANGER OR VERNAL)	2 BUSHEL PER ACRE 15 LBS PER ACRE 5 LBS PER ACRE

\*AFTER AUGUST 31, HAIRY VETCH SHALL BE SUBSTITUTED FOR ALFALFA AT THE RATE OF 10 LBS PER ACRE

FERTILIZER SHALL BE APPLIED AT A RATE OF 450 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13 FERTILIZER.

- GRADING NOTES**
- MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3.5: HORIZONTAL TO 1: VERTICAL.
  - NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
  - WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
  - COMPACTION TO BE 95% STANDARD PROCTOR WHERE > 6:1 SLOPE.
  - ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
  - PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
  - STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
  - SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
  - ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH CITY OF NORTH LIBERTY DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.
  - A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED OVER ALL DISTURBED LANDSCAPE AREAS.

**GRADING LEGEND**

- 0.000.00EX = EXISTING SURFACE
- 0.000.00TS = TOP SLAB
- 0.000.00TW = TOP WALK
- 0.000.00TC = TOP CURB
- 0.000.00TR = TOP RIM

- NOTES:**
- ALL ELEVATIONS ARE TOP OF SLAB UNLESS NOTED OTHERWISE.
  - FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.

**SHEET INDEX**

1 SITE LAYOUT AND DIMENSION PLAN	3
2 SITE DEMOLITION PLAN	4
3 SITE GRADING PLAN AND SWPPP	5
4 SITE UTILITY PLAN	6
5 SITE LANDSCAPE PLAN	7
6 GENERAL NOTES AND DETAILS	8

### SITE GRADING PLAN AND SWPPP

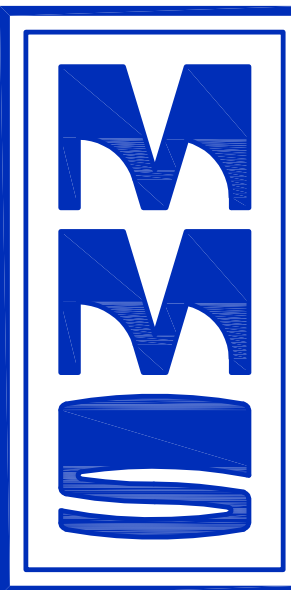
### INTER-CITY INDUSTRIAL PARK - PART 4, LOT 2

NORTH LIBERTY  
JOHNSON COUNTY  
IOWA

**MMS CONSULTANTS, INC.**

Date: 5/11/15

Designed by: CBT	Field Book No: 1100
Drawn by: CBT	Scale: 1"=20'
Checked by: KJB	Sheet No: 3
Project No: IOWA CITY 1194130	of: 6



CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
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www.mmsconsultants.net

Date	Revision
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06/07/16	REVISED LAYOUT PER CITY -JDM
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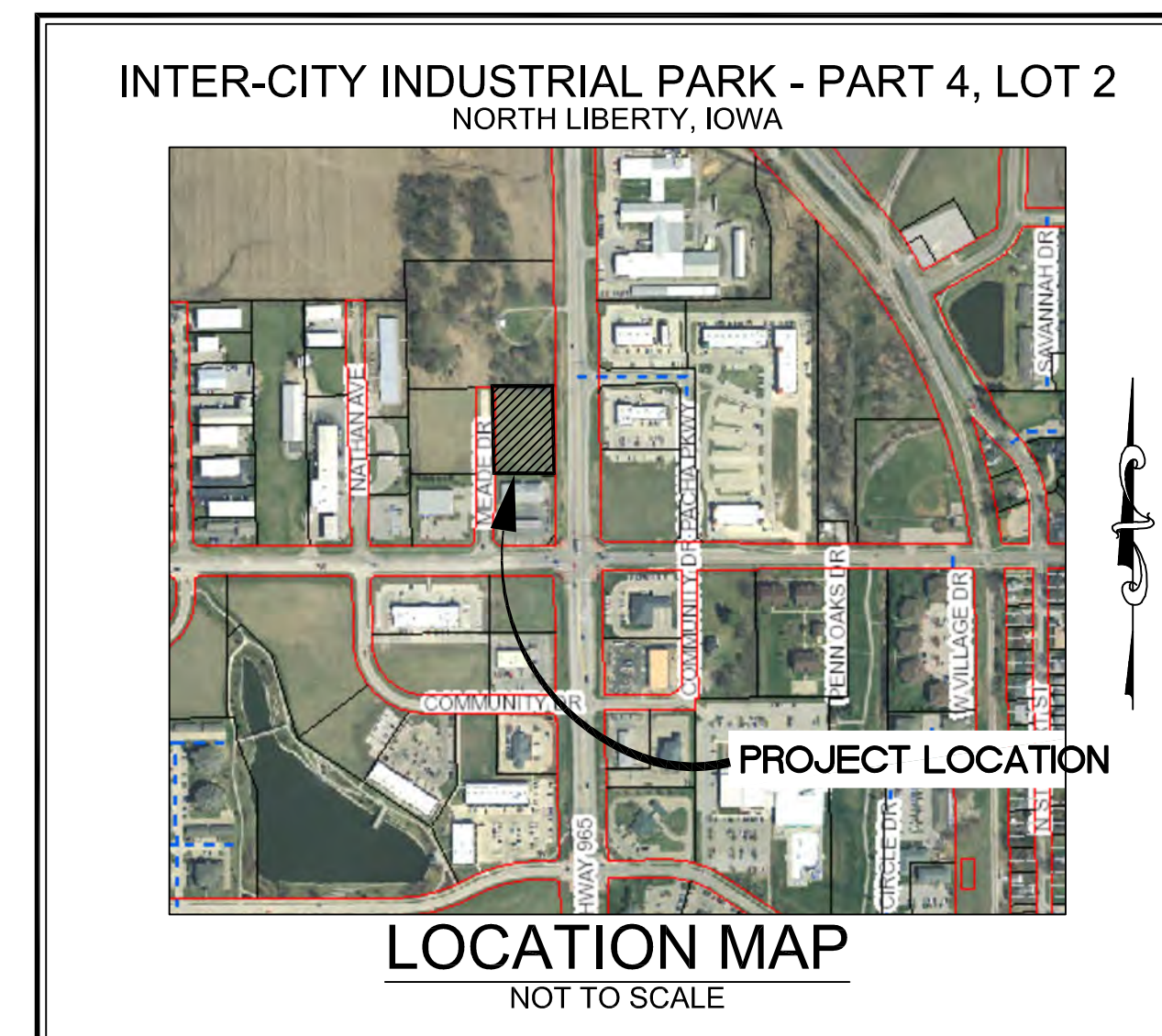
## INTER-CITY INDUSTRIAL PARK - PART 4, LOT 2

### NORTH LIBERTY, IOWA

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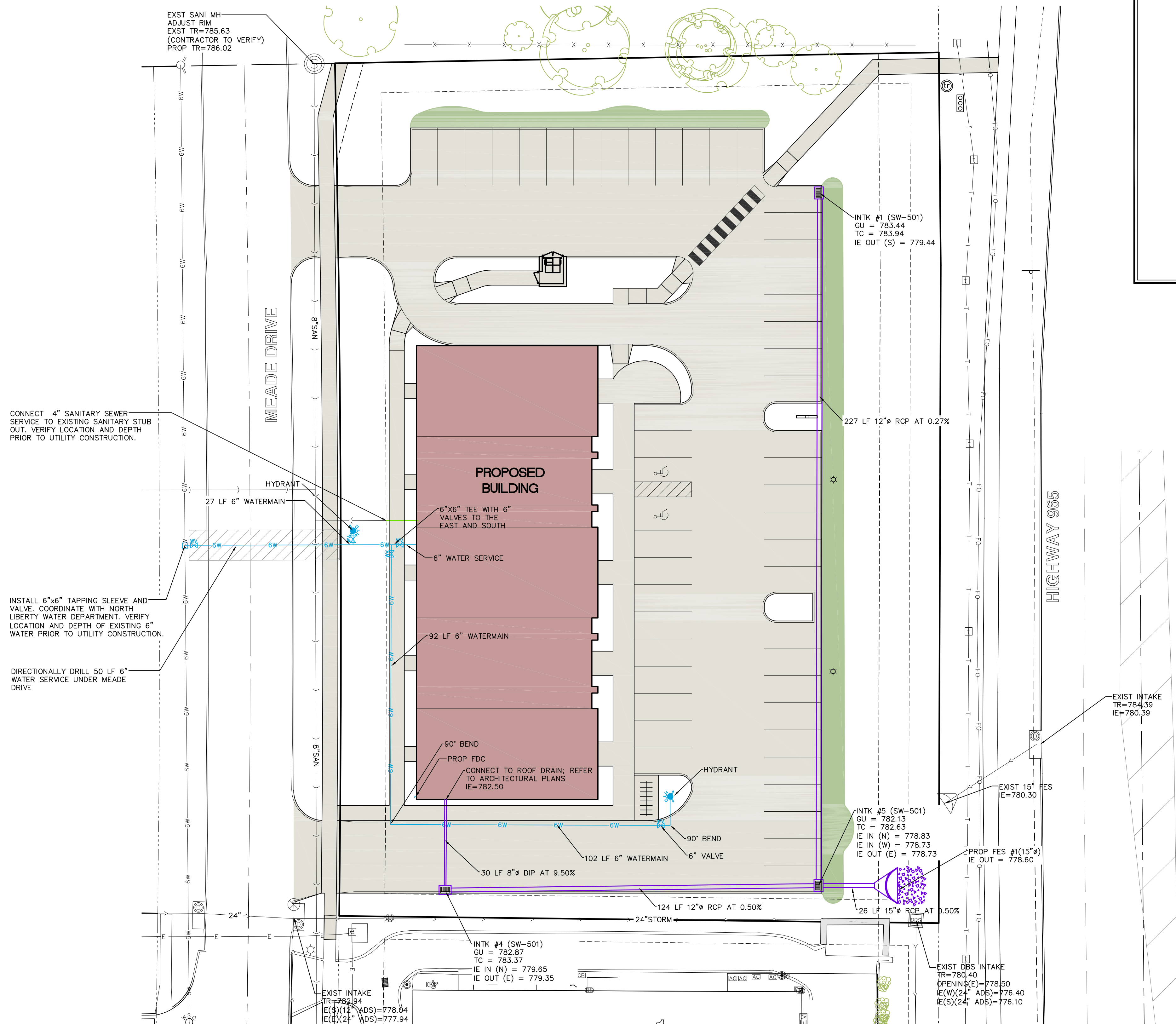
APPLICANT'S ATTORNEY:  
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122 S. LINN STREET  
IOWA CITY, IOWA 52240



**STANDARD LEGEND AND NOTES**

---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	22-1
---	POWER POLE
---	POWER POLE W/DROP
---	POWER POLE W/TRANS
---	POWER POLE W/LIGHT
---	GUY POLE
---	LIGHT POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	FENCE LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	WATER LINES
---	ELECTRICAL LINES
---	TELEPHONE LINES
---	GAS LINES
---	CONTOUR LINES (1' INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE
---	EXISTING DECIDUOUS TREE & SHRUB
---	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



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**SITE UTILITY PLAN**

INTER-CITY INDUSTRIAL PARK - PART 4, LOT 2

NORTH LIBERTY JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

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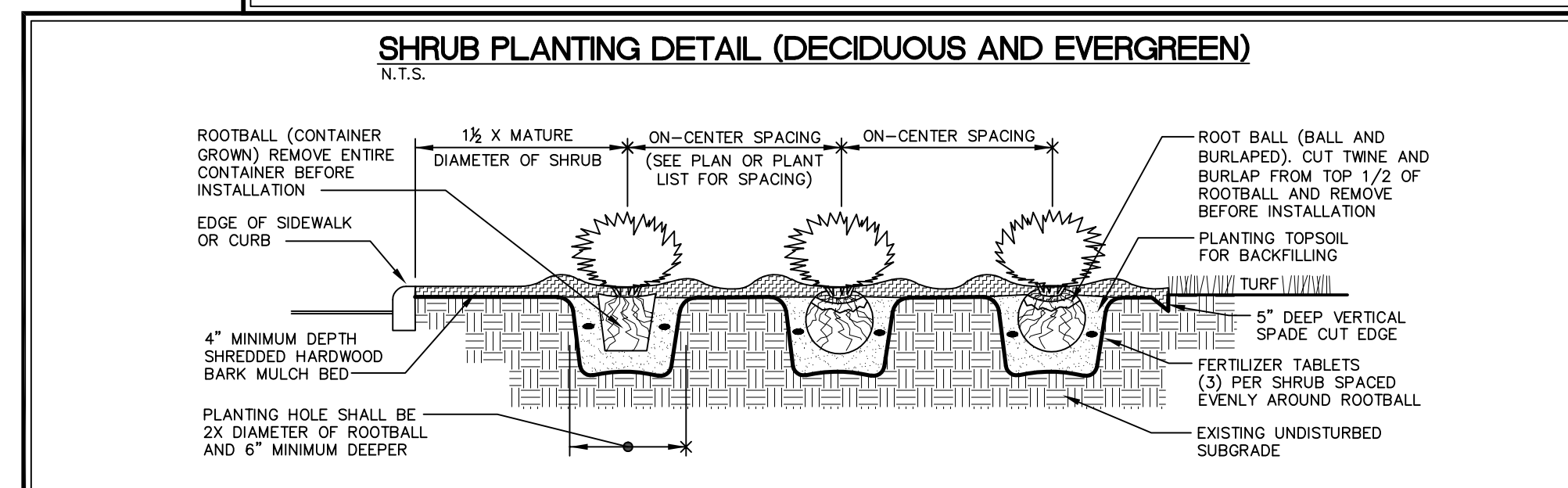
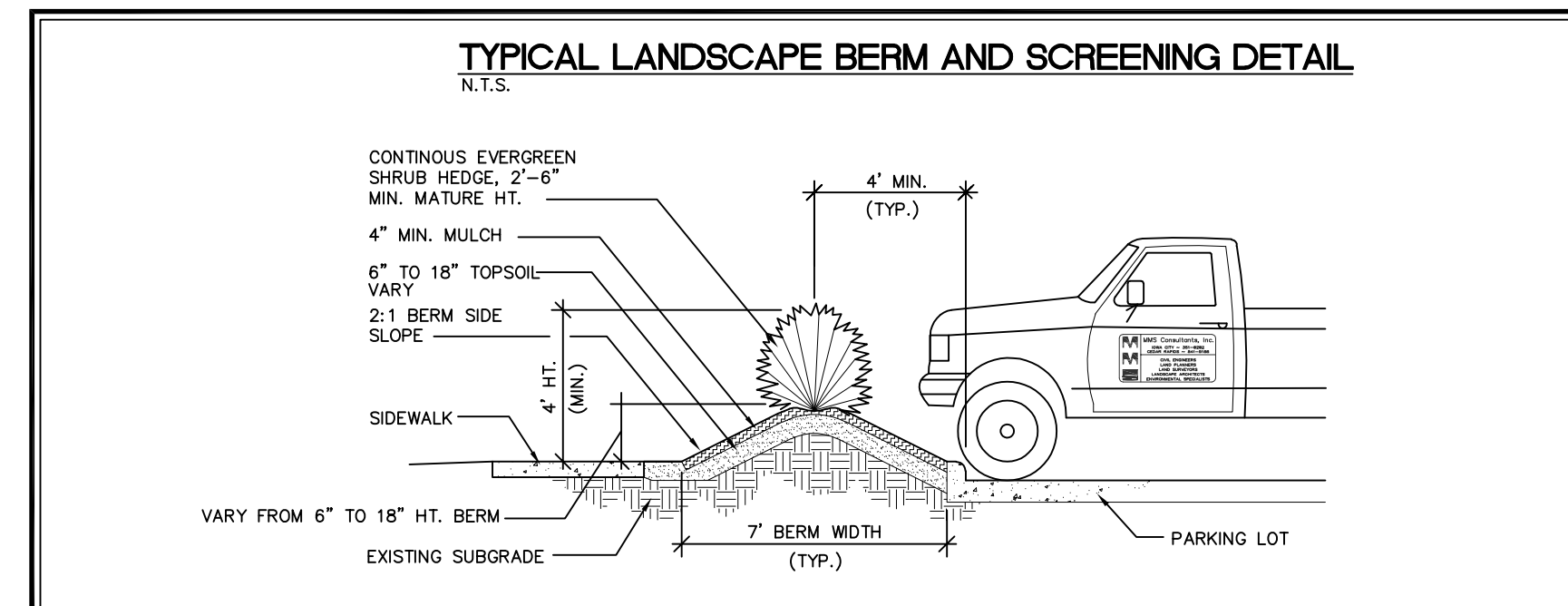
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### NORTH LIBERTY, IOWA

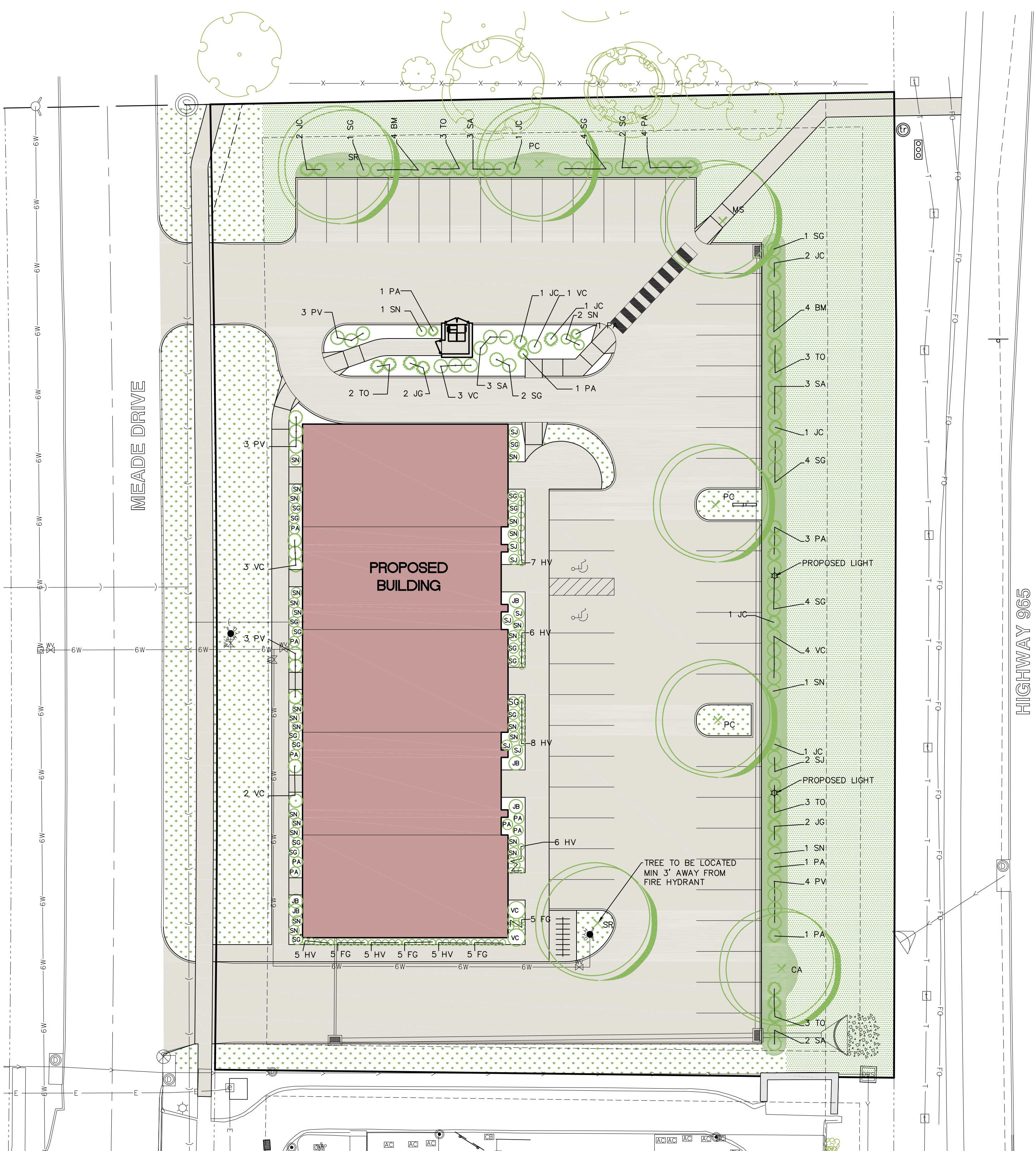
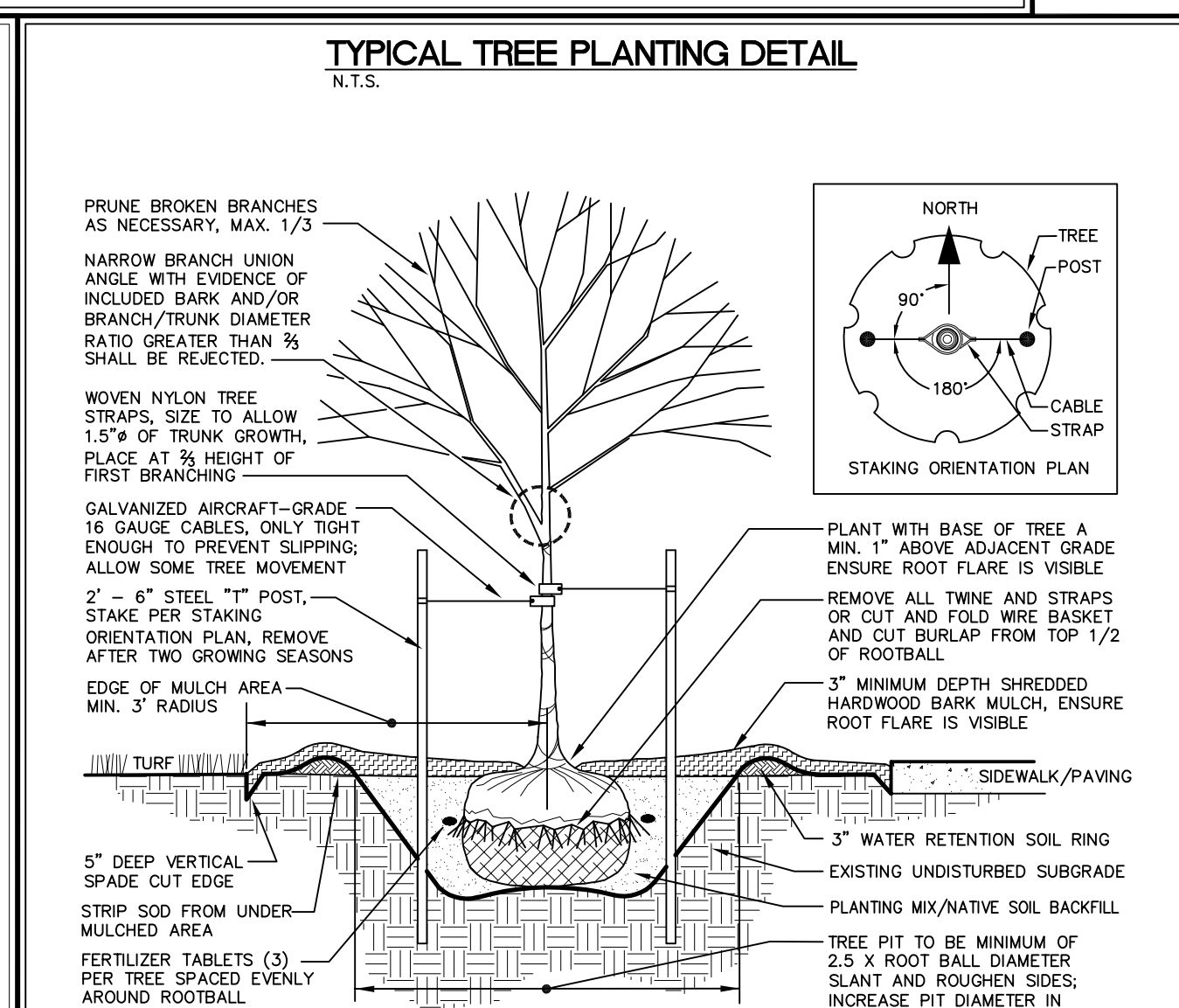
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IOWA CITY, IOWA 52240



- #### LANDSCAPE NOTES:
- 1 - THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES ON SITE PRIOR TO LANDSCAPE INSTALLATION.
  - 2 - PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL IF CONFLICT OCCURS.
  - 3 - KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60 - 1997, OR MOST RECENT ADDITION.
  - 4 - ALL PLANTING BED AREAS SHALL HAVE QUALITY TOPSOIL ADDED (IF NEEDED) BY LANDSCAPE CONTRACTOR TO BRING BED GRADES 2\"/>
  - 5 - FINISH GRADING OF PLANT BED AND SOD AREAS SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
  - 6 - ALL PERIMETER SHRUB AND PERENNIAL PLANTING AREAS SHALL HAVE A MINIMUM 3\"/>
  - 7 - LANDSCAPE EDGING BETWEEN BARK MULCH AND LAWN AREAS SHALL BE A SPADE CUT EDGE. EDGE SHALL BE INSTALLED VERTICAL AND ACCORDING TO DETAILS.
  - 8 - ALL SHRUB AND PERENNIAL PLANTING BEDS AROUND BUILDING SHALL BE MULCHED WITH 1-2\"/>
  - 9 - ALL TREES FREE-STANDING IN LAWN AREAS AND IN PLANTING BEDS SHALL BE WRAPPED WITH A STANDARD MANUFACTURED TREE WRAP AND FASTENED WITH TWINE OR APPROVED METHOD.
  - 10 - ALL TREES FREE-STANDING WITHIN LAWN AREAS SHALL HAVE A MINIMUM 4 FT DIA RING OF DOUBLE SHREDDED HARDWOOD BARK MULCH AT A 3\"/>
  - 11 - ALL LANDSCAPE PLANTINGS AND SOD AREAS SHALL BE THOROUGHLY WATERED UPON INSTALLATION AND A TOTAL OF (3) WATERINGS BEFORE INITIAL ACCEPTANCE. AFTER ACCEPTANCE, SOD SHALL BE MAINTAINED FOR (90) DAYS OR UNTIL ROOTED IN.
  - 12 - LANDSCAPE CONTRACTOR MUST FOLLOW ALL DETAILS PROVIDED DESCRIBING LANDSCAPE CONSTRUCTION TECHNIQUES.
  - 13 - ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.
  - 14 - SOD ALL REMAINING AREAS.



#### PLANT LIST - TREES

QTY	KEY	POTENTIAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
1	CA	CORNUS ALTERNIFOLIA	PASADENA DOGWOOD	18\"/>		

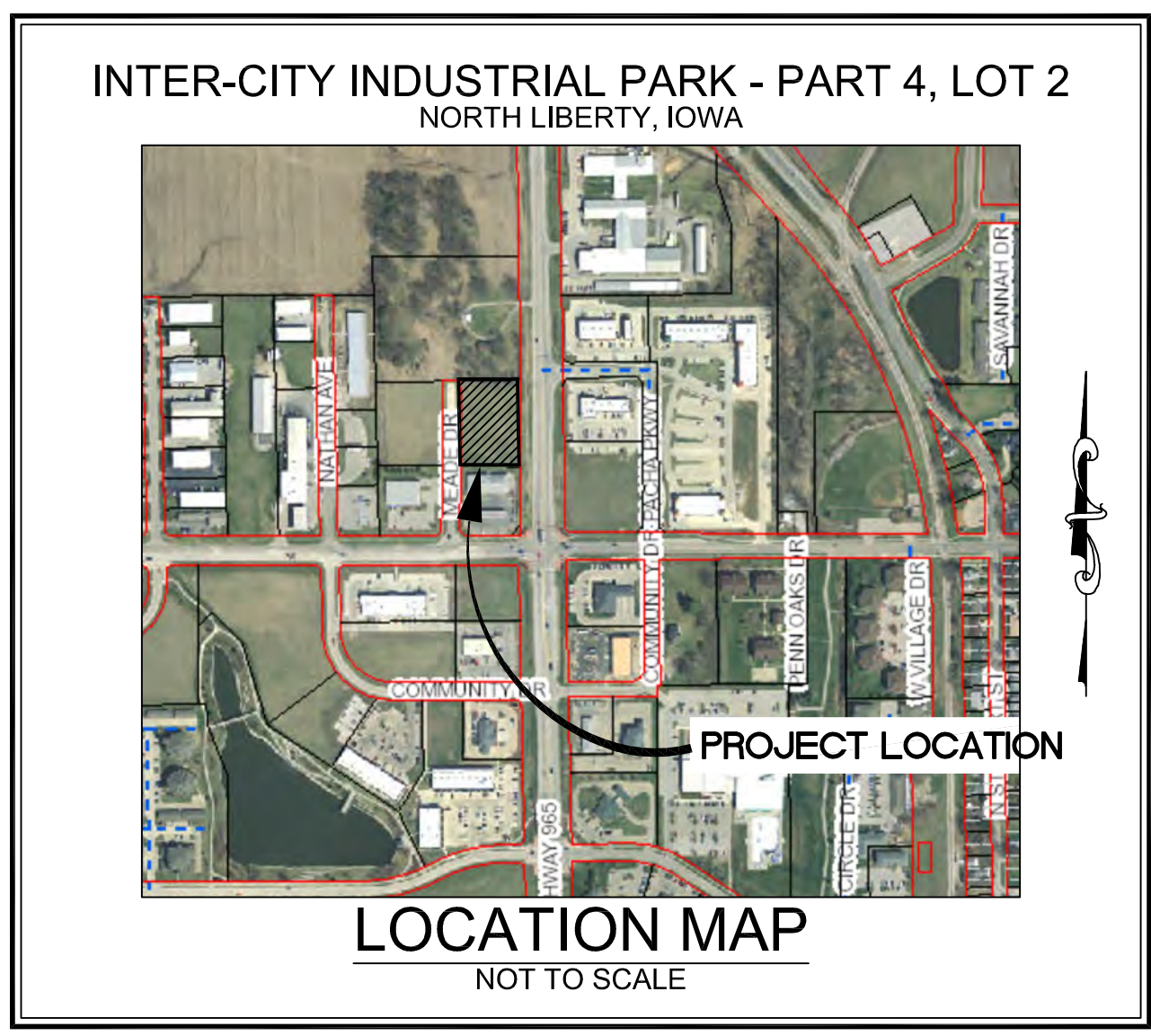
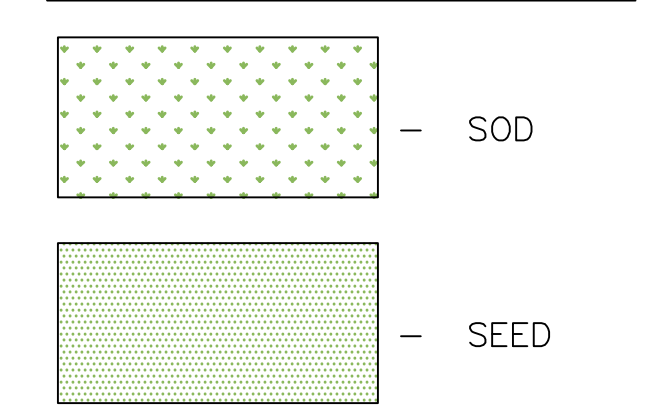
#### PLANT LIST - SHRUBS, PERENNIALS, ORNAMENTAL GRASSES & GROUNDCOVER

QTY	KEY	POTENTIAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
8	BM	BERRBERG THUNDERBOLT RUBY CAROUSEL	RUBY CAROUSEL BERRBERRY	15\"/>		

**TREE REQUIREMENTS:**  
1 TREE WITHIN 40' OF EACH SPACE  
1 TREE / 2,000 SF BUILDING FOOTPRINT  
8,897 @ 1/2,000 SF = 5 TREES  
TOTAL TREES REQUIRED = 5 TREES  
TOTAL TREES PROVIDED = 7 TREES

**NOTE:**  
1. ALL HVAC EQUIPMENT WILL BE LOCATED ON THE ROOF AND SHALL BE SCREENED FROM VIEW.  
2. ALL SEEDED AREAS TO BE STRAW MULCHED TO PROMOTE GERMINATION.

#### LANDSCAPE LEGEND



**SHEET INDEX**

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### SITE LANDSCAPE PLAN

INTER-CITY INDUSTRIAL PARK - PART 4, LOT 2

NORTH LIBERTY JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.  
Date: 5/11/15  
Designed by: CBT Field Book No: 1100  
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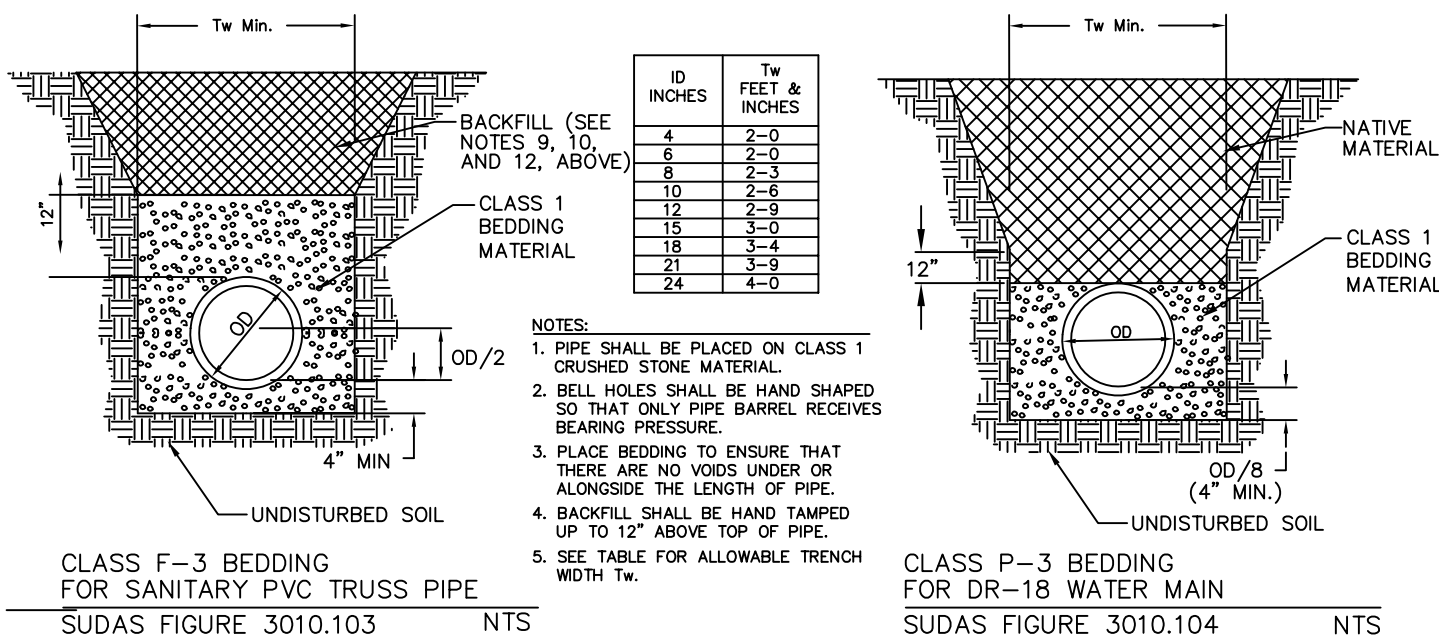
**SANITARY SEWER AND WATER MAIN CONSTRUCTION NOTES**

**\*\*ALL SANITARY SEWER MANHOLE LIDS SHALL HAVE THE WORDS 'SANITARY SEWER' CAST IN THE LID\*\***

- 1) SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, INKS AS PREPARED BY MMS CONSULTANTS, INC. AS WELL AS CONFORM TO THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL AND TO THE CITY OF NORTH LIBERTY STANDARDS AND APPROVED MANUFACTURERS/MODELS.
2) ALL TRENCH EXCAVATIONS SHALL BE COMPLETED IN ACCORDANCE WITH SUDAS SPECIFICATION SECTION 3010.
3) CONTRACTOR SHALL PROVIDE CLASS 1 CRUSHED STONE ENCASMENT BEDDING ACCORDING TO SUDAS SPECIFICATION 3010.2.02.A FOR ALL SANITARY SEWER UNLESS NOTED OTHERWISE IN THE PLANS.
4) SANITARY SEWERS TO BE PVC TRUSS PIPE (SUDAS 4010.2.01.E) UNLESS NOTED OTHERWISE. SANITARY SEWER SERVICE LINES SHALL BE PVC, SDR 23.5 WITH GASKETED JOINTS (SUDAS 4010.2.04.C).
5) CONTRACTOR TO PROVIDE CLOW 'BAND-SEAL' COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS.
6) WATER MAINS SHALL BE DR-18 PVC PIPE, IN COMPLIANCE WITH SUDAS SPECIFICATION SECTION 5010.2.01, UNLESS NOTED OTHERWISE ON THE PLANS.
7) ALL CLASS 52 DIP SHALL BE WRAPPED WITH 8 MIL. POLYETHYLENE WRAP IN COMPLIANCE WITH SUDAS 5010.3.05.
8) #12 AWG SOLID COPPER TRACER WIRE SHALL BE INSTALLED ALONG ENTIRE LENGTH OF NEW WATER MAIN, IN COMPLIANCE WITH SUDAS SPECIFICATION 5010.3.06 AND FIGURE 5010.102. THIN INSULATION IN YELLOW, ORANGE OR BLUE.
9) SANITARY SEWER TRENCHES SHADED ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% STANDARD PROCTOR DENSITY:
A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
\*REFER TO SUDAS SPECIFICATION 3010.2.01 FOR UNSUITABLE MATERIAL\*
10) GRANULAR TRENCH BACKFILL SHALL BE CLASS 1 CRUSHED STONE CONFORMING TO SUDAS SPECIFICATION 3010.2.02.A, COMPACT TO 95% STANDARD PROCTOR DENSITY.
11) WATER MAINS WITHIN STREET RIGHT OF WAYS OR WITHIN EASEMENTS ADJACENT TO THE STREET RIGHT OF WAYS SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% STANDARD PROCTOR DENSITY:
A. SUITABLE EXCAVATED MATERIAL. IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
12) ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
13) ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED:
A. TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
B. TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED, ACCORDING TO SUDAS SPECIFICATION 5010.3.07:
14) WATER MAIN SHALL BE LOCATED 10 FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
15) WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
16) VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
17) WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10- FEET OF THE POINT OF CROSSING.
18) NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
19) WATER MAIN SHADED ON PLAN VIEW, AND ALL WATER SERVICE LINES CROSSING STREETS, SHALL BE INSTALLED PRIOR TO PAVING.
20) VIDEO INSPECTION OF ALL SANITARY SEWER MAINS IS REQUIRED PRIOR TO CITY ACCEPTING OWNERSHIP OF THE SYSTEM.
21) ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:

LOW PRESSURE AIR TESTING (SUDAS 4060.3.04.C) SUDAS TABLE 4060.02: TEST DURATION. Table with columns: PIPE DIAMETER (INCHES), TEST PERIOD DURATION (MINUTES), and TEST DURATION (MINUTES).

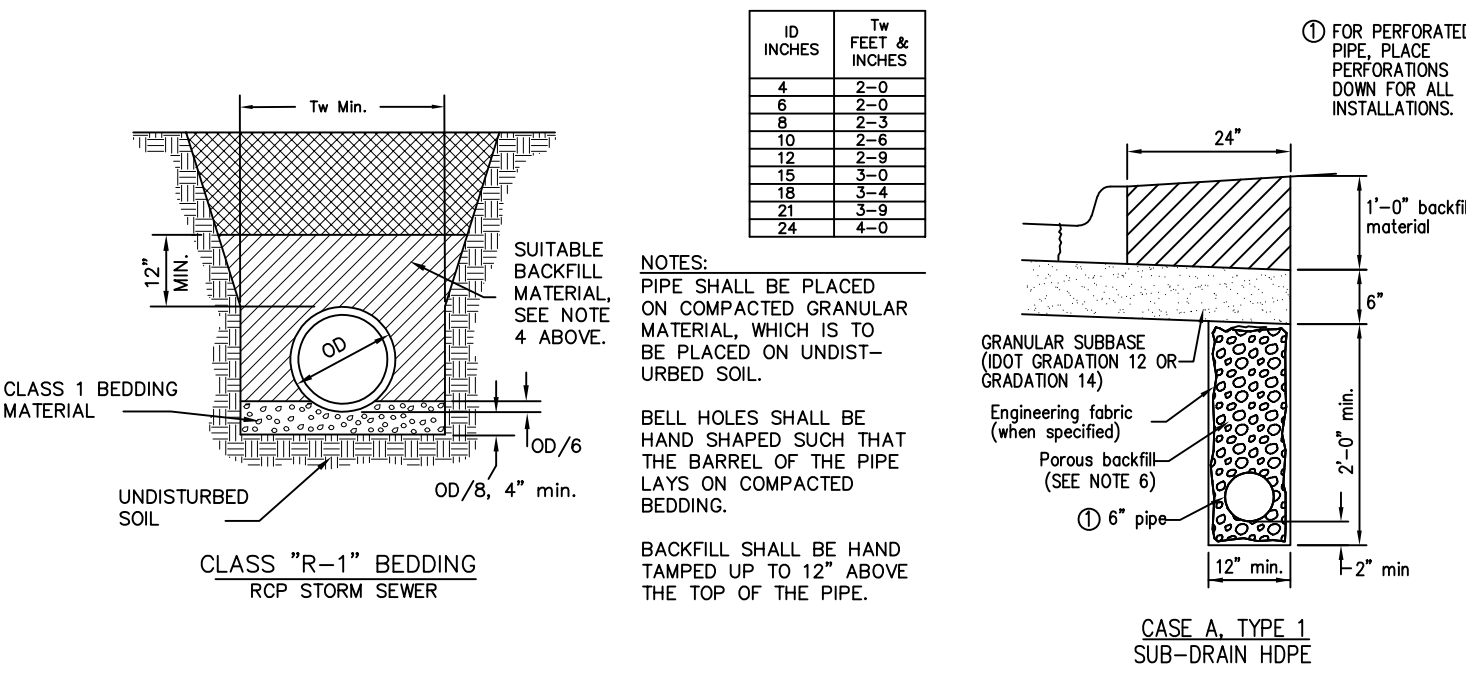
- A. PERFORM FROM MANHOLE-TO-MANHOLE AFTER BACKFILL, CLEAN AND WET PIPE LINE
B. PLUG ALL INLETS AND OUTLETS TO RESIST THE TEST PRESSURE.
C. USE THE TABLE TO THE RIGHT TO DETERMINE THE TEST DURATION FOR SECTION BEING TESTED. PRESSURE HOLDING TIME IS BASED ON AVERAGE HOLDING PRESSURE OF 3.0 PSI OR DROP FROM 3.5-2.5 PSI.
D. INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 4 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT. PRESSURE IN SEWER SHOULD NOT EXCEED 5.0 PSI.
E. ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
F. WHEN PRESSURE HAS STABILIZED AND IS AT OR ABOVE THE STARTING TEST PRESSURE OF 3.5 PSI, COMMENCE THE TEST. RECORD THE DROP IN PRESSURE FOR THE TEST PERIOD. THE TEST MAY BE DISCONTINUED WHEN THE PRESCRIBED TEST TIME HAS BEEN COMPLETED, EVEN THOUGH 1.0 PSI DROP HAS NOT OCCURRED.
G. IF THE GROUNDWATER LEVEL AT THE TIME OF TESTING IS ABOVE THE PIPE INVERT, ADD 0.43 PSI OF AIR PER FOOT OF WATER ABOVE THE INVERT TO TEST AIR PRESSURE RANGE OF 2.5 PSI TO 3.5 PSI STATED ABOVE.
H. IF THE PRESSURE DROP EXCEEDS 1.0 PSI DURING THE TEST PERIOD, THE TEST WILL BE CONSIDERED TO HAVE FAILED. LOCATE AND REPAIR THE LINE, AND RETEST THE LINE.
I. AIR TESTING SHALL BE CONSIDERED INCIDENTAL TO SANITARY SEWER CONSTRUCTION.
22) ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:
A. DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
B. DEFLECTION TEST TO BE CONDUCTED BY PULLING A 9' ARM DEFLECTION MANDREL, COMPLYING WITH APPLICABLE ASTM STANDARDS, THROUGH SEWER BY HAND, IN ACCORDANCE WITH SUDAS SPECIFICATION 4060.3.05.
C. NO PIPE SHALL EXCEED A DEFLECTION OF 5% OF INSIDE PIPE DIAMETER.
23) MANHOLE FRAME AND LID TO BE NEENAH R-1642 SELF SEALING OR APPROVED EQUAL. MANHOLE FRAMES IN PAVING SHALL ALSO BE NON-ROCKING.
24) CONTRACTOR SHALL PROVIDE A 2-YEAR MAINTENANCE BOND WITH THE CITY OF NORTH LIBERTY COVERING DEFECTIVE MATERIALS AND WORKMANSHIP FOR ALL SANITARY SEWER AND WATER SYSTEM IMPROVEMENTS.



WHERE PUBLIC OR PRIVATE UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNING OR THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

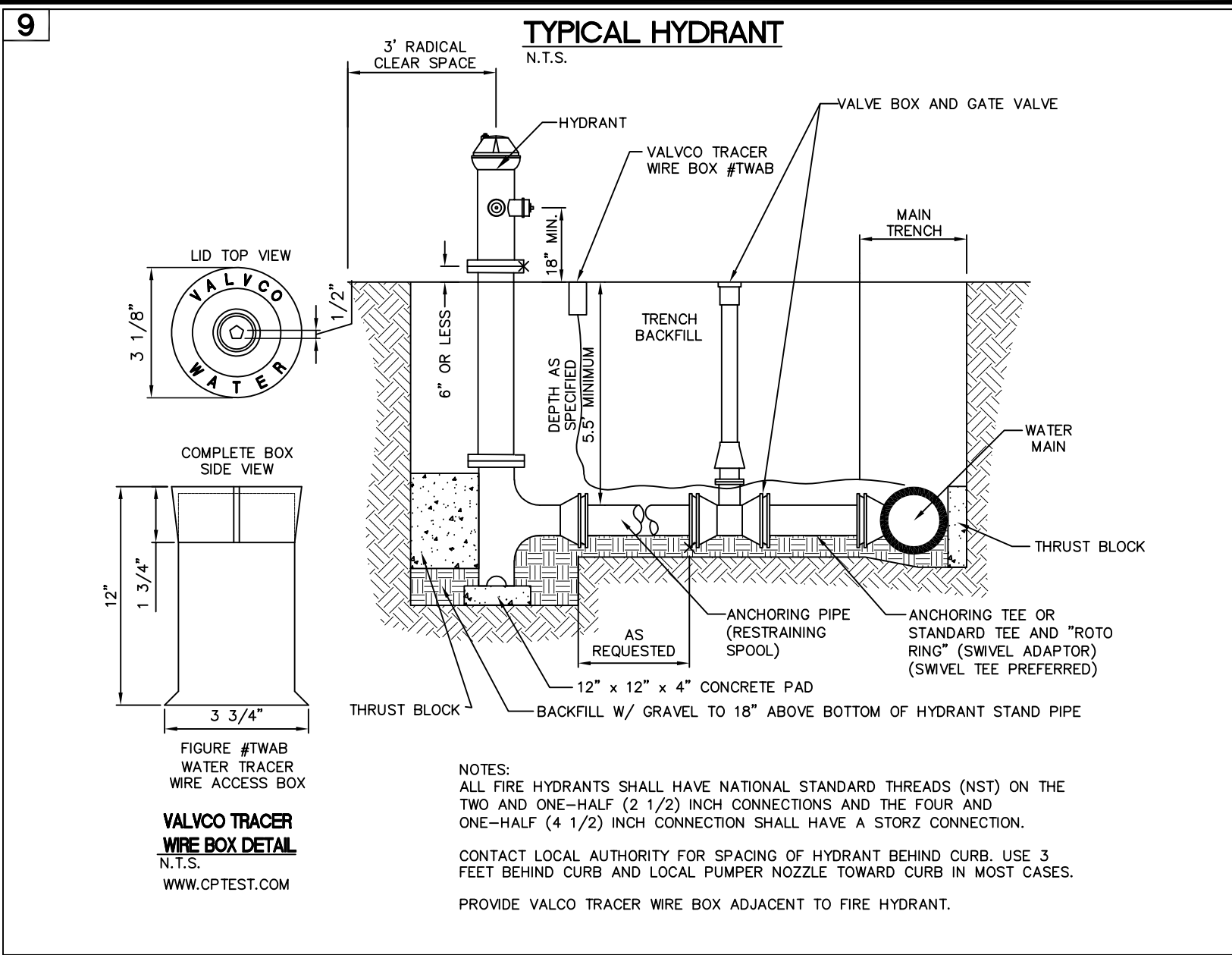
**STORM SEWER AND SUB-SURFACE CONSTRUCTION NOTES**

- 1) ALL STORM SEWER AND SUB-SURFACE CONSTRUCTION SHALL CONFORM TO PLANS AND DETAILS PREPARED FOR THIS PROJECT BY MMS CONSULTANTS, INC., AS WELL AS CONFORM TO THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL. CONSTRUCTION SHALL ALSO CONFORM TO THE CURRENT CITY OF NORTH LIBERTY DESIGN STANDARDS, WHICH SHALL SUPERSEDE PLANS AND DETAILS PROVIDED BY MMS CONSULTANTS.
2) ALL STORM SEWER INTAKE AND MANHOLE LIDS SHALL HAVE THE WORDS "STORM SEWER" CAST INTO THE LID.
3) ALL REINFORCED CONCRETE PIPE STORM SEWER SHALL BE CLASS III UNLESS NOTED OTHERWISE IN THE PLANS.
4) ALL REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO SUDAS SPECIFICATION 4020.2.01.A WITH THE FOLLOWING ADDITIONAL RESTRICTIONS: ALL RCP JOINTS FOR 36" AND SMALLER PIPE SHALL HAVE TONGUE AND GROOVE JOINTS INCORPORATING RUBBER 'O'-RING OR PROFILE GASKETS COMPLYING WITH ASTM C443 OR SHALL BE TONGUE AND GROOVE WITH ALL JOINTS WRAPPED WITH FILTER FABRIC A MINIMUM OF 24" WIDE.
5) RCP PIPE BEDDING SHALL CONFORM TO SUDAS FIGURE 3010.102 CLASS R-1. CLASS 1 BEDDING MATERIAL SHALL BE AS SPECIFIED IN SUDAS SPECIFICATION 3010.2.02.A. TRENCH BACKFILL SHALL BE SUITABLE EXCAVATED MATERIAL AS IDENTIFIED IN SUDAS SPECIFICATION 3010.2.01.A PLACED AND COMPACTED IN ACCORDANCE WITH SECTIONS 3.05, D AND E. THE OWNER MAY ELECT TO TEST TRENCH COMPACTATION AT THEIR OWN EXPENSE.
6) SUB-SURFACE DRAINAGE PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) CONFORMING TO SUDAS SPECIFICATION 4040.2.02.C FOR BOTH PERFORATED TILE AND SOLID WALL PIPE.
7) FOR SUB-SURFACE DRAINAGE IN TURF AREAS HDPE PIPE BEDDING SHALL CONFORM TO SUDAS FIGURE 3010.103 CLASS F-3. BEDDING MATERIAL SHALL BE POROUS BACKFILL MATERIAL AS SPECIFIED IN SUDAS SPECIFICATION 4040.2.04. TRENCH BACKFILL SHALL BE SUITABLE EXCAVATED MATERIAL AS IDENTIFIED IN SUDAS SPECIFICATION 3010.2.01.A PLACED AND COMPACTED IN ACCORDANCE WITH SECTIONS 3.05 D AND E.
8) FOR SUB-SURFACE DRAINAGE UNDER PAVEMENT HDPE PIPE INSTALLATION SHALL CONFORM TO SUDAS FIGURE 4040.2.01, CASE C TYPE 1. BEDDING AND BACKFILL MATERIAL SHALL BE AS SPECIFIED IN SUDAS SPECIFICATION 4040.2.04.
9) AT LOCATIONS WHERE A FLARED END SECTION IS REQUIRED, THE PIPE LENGTHS SHALL BE MEASURED TO THE END OF THE FLARED END. THE FLARED END SECTION AND THE TWO UPSTREAM JOINTS ARE TO INCORPORATE TIED JOINTS.
10) ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE PROPOSED STORM SEWER. NOTIFY ENGINEER OF ALL FIELD TILES ENCOUNTERED.
11) CONTRACTOR SHALL PROVIDE A FIVE-YEAR MAINTENANCE BOND COVERING DEFECTIVE MATERIALS AND WORKMANSHIP FOR ALL STORM SEWER SYSTEM IMPROVEMENTS.

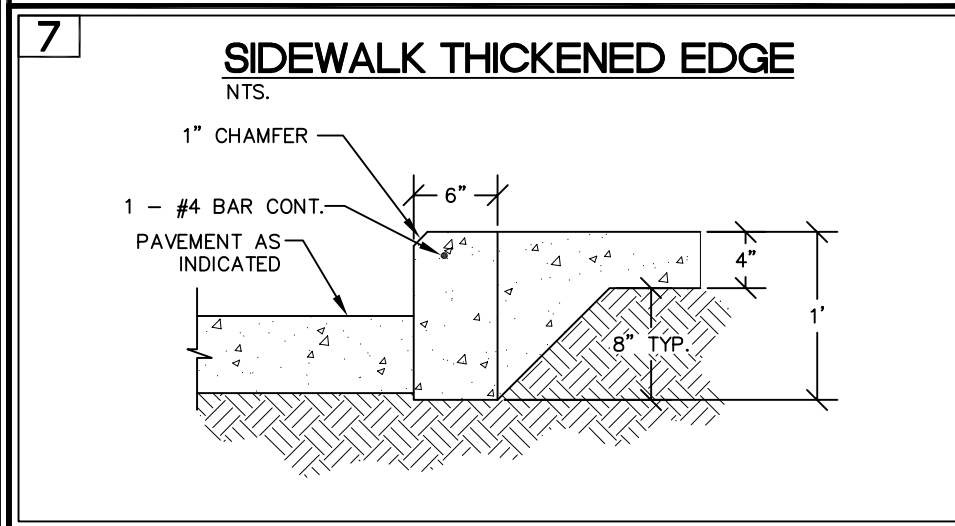
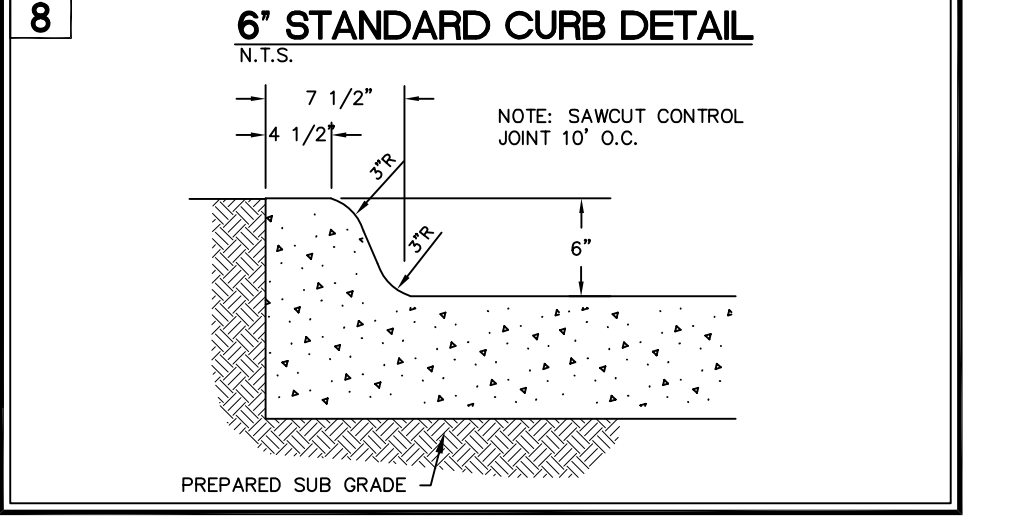
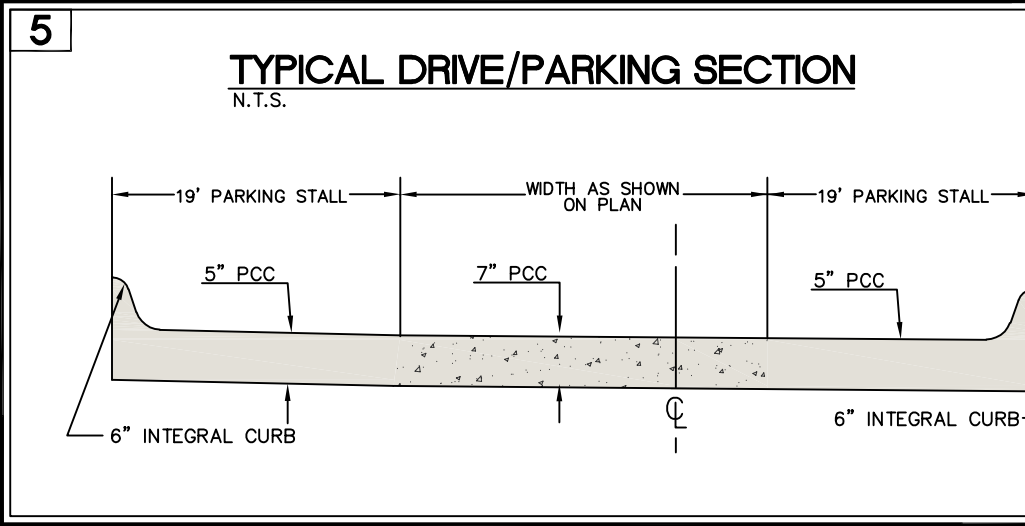
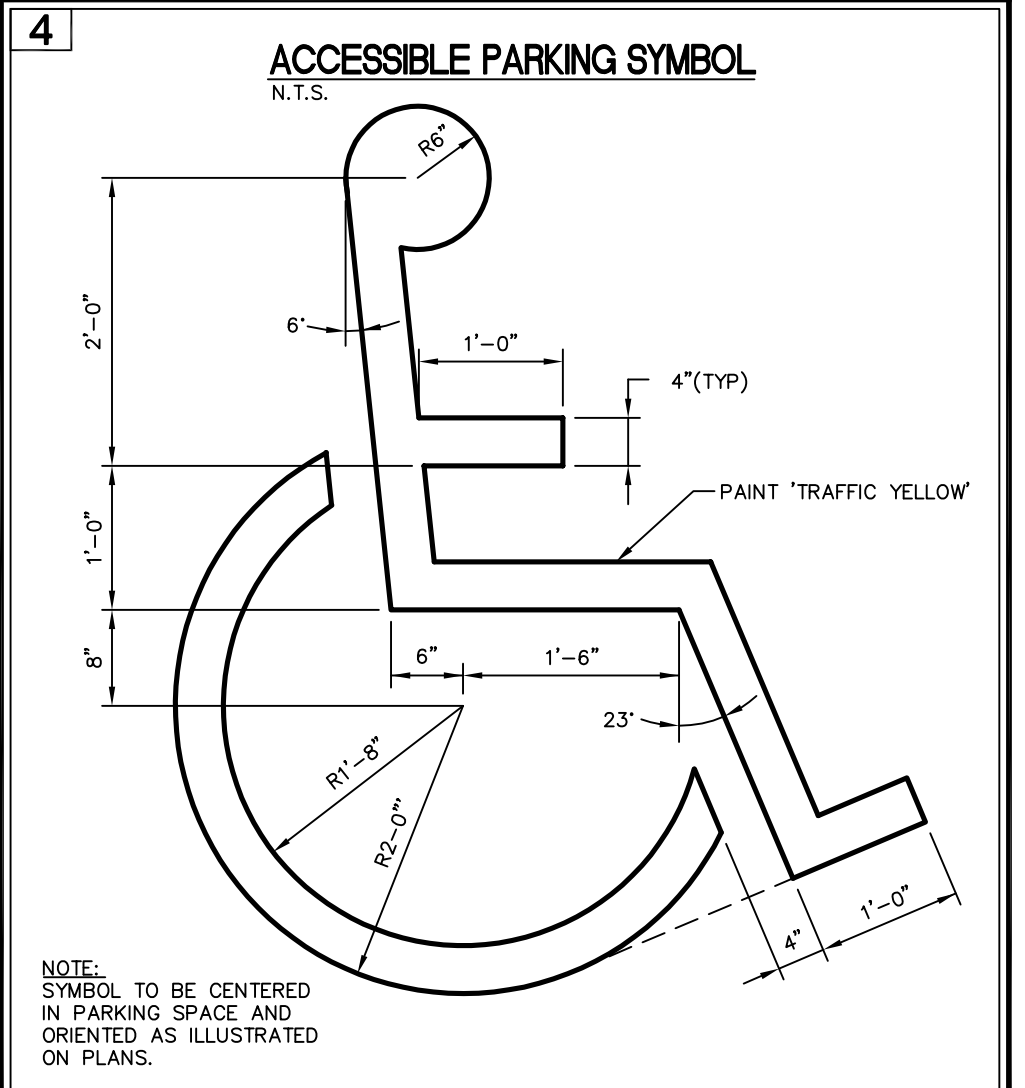
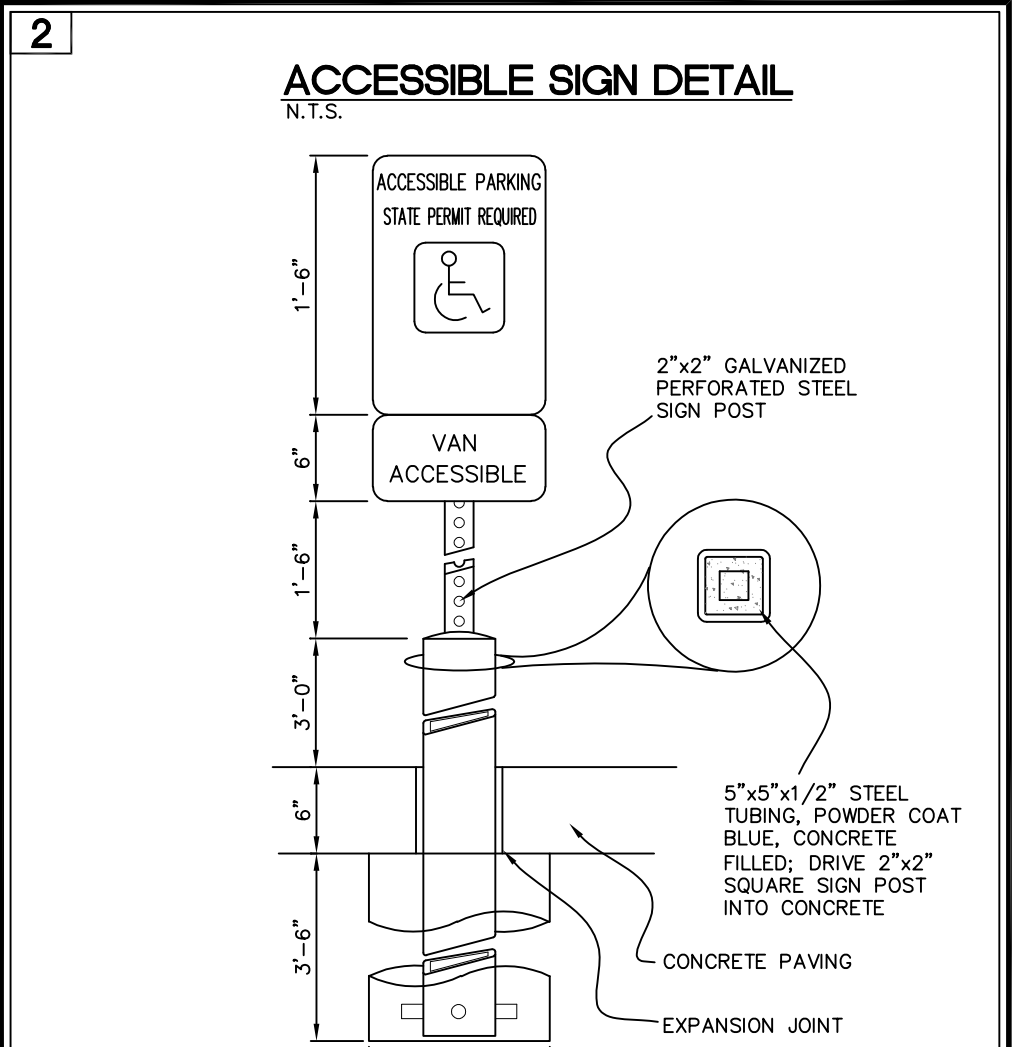
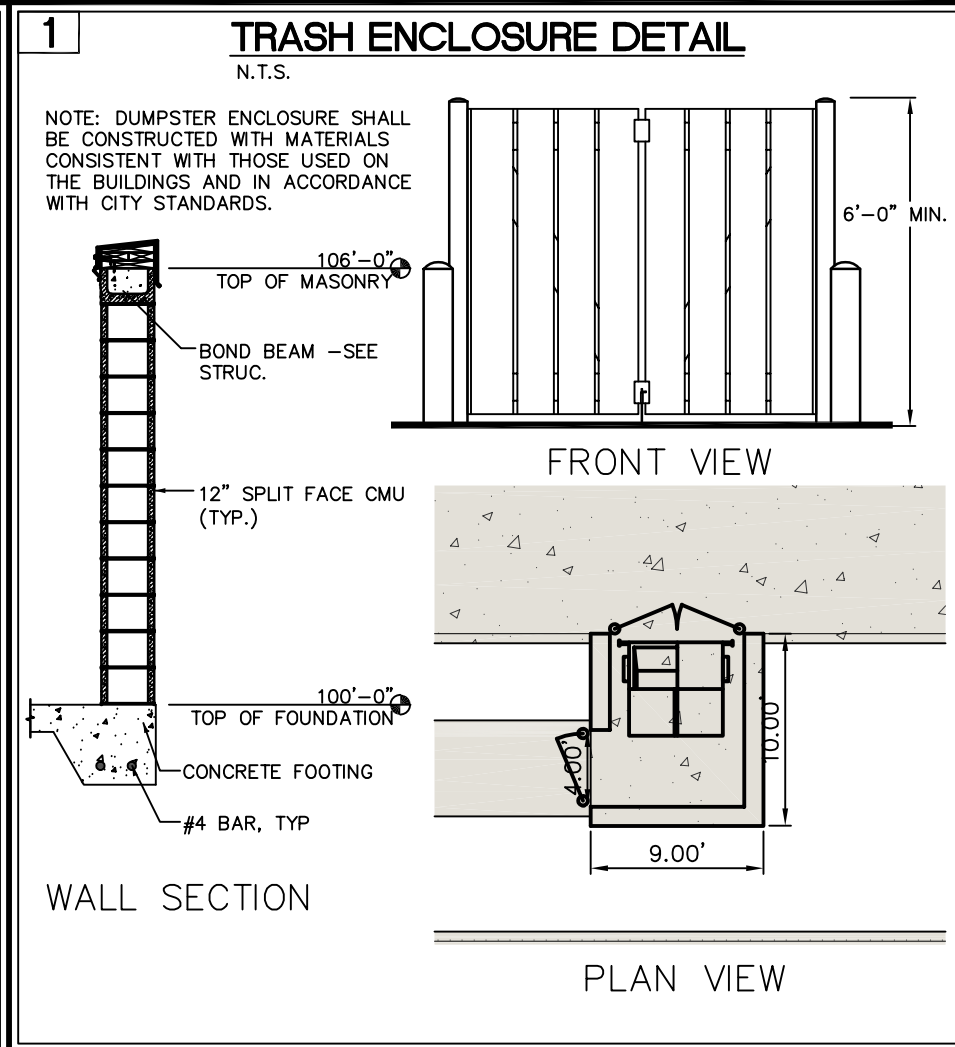


**PAVING CONSTRUCTION NOTES**

- 1. PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
2. I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
3. PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
4. SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
5. ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.



THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-202 AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.
THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52201
(319) 351-8282
www.mmsconsultants.net

Table with columns: Date, Revision, and Description. Includes entries for 05/20/15, 06/07/16, 04/02/18, 04/18/18, and 04/19/18.

**GENERAL NOTES AND DETAILS**

INTER-CITY INDUSTRIAL PARK - PART 4, LOT 2

NORTH LIBERTY COUNTY JOHNSON COUNTY IOWA

**MMS CONSULTANTS, INC.**

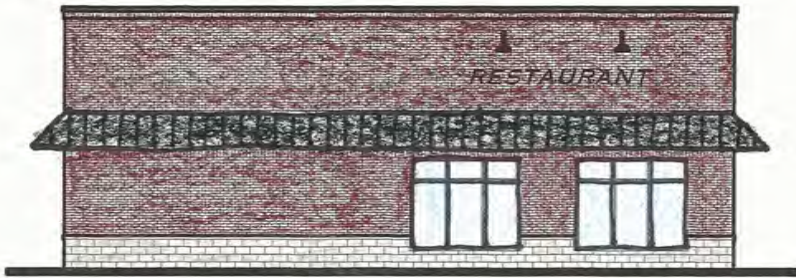
Table with columns: Date, Scale, Project No., and Sheet No. Includes project number 1194130 and sheet number 6.

**SHEET INDEX**

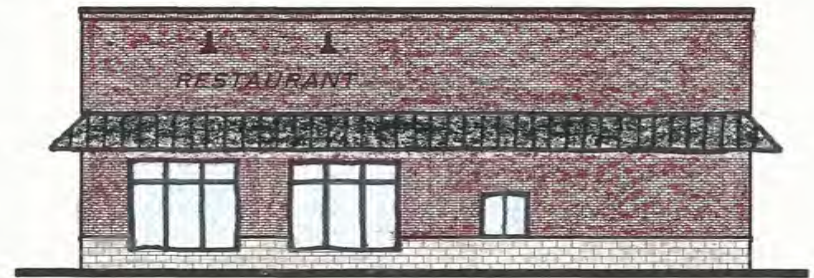
- 1 SITE LAYOUT AND DIMENSION PLAN
2 SITE DEMOLITION PLAN
3 SITE GRADING PLAN AND SWPPP
4 SITE UTILITY PLAN
5 SITE LANDSCAPE PLAN
6 GENERAL NOTES AND DETAILS



FRONT ELEVATION



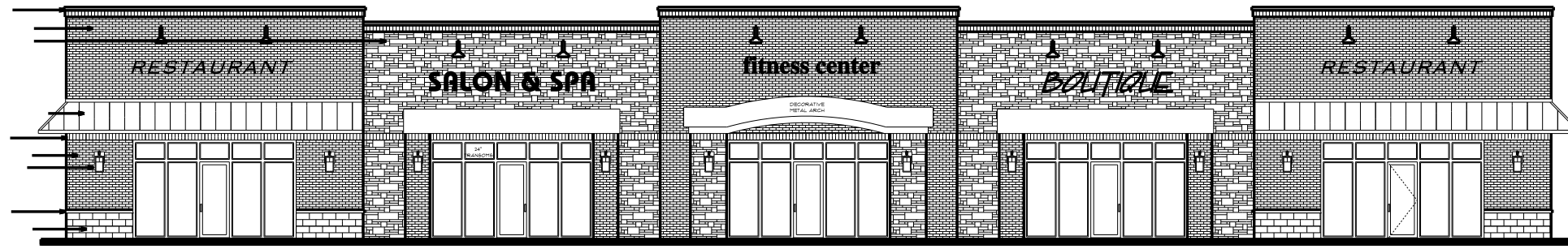
LEFT ELEVATION



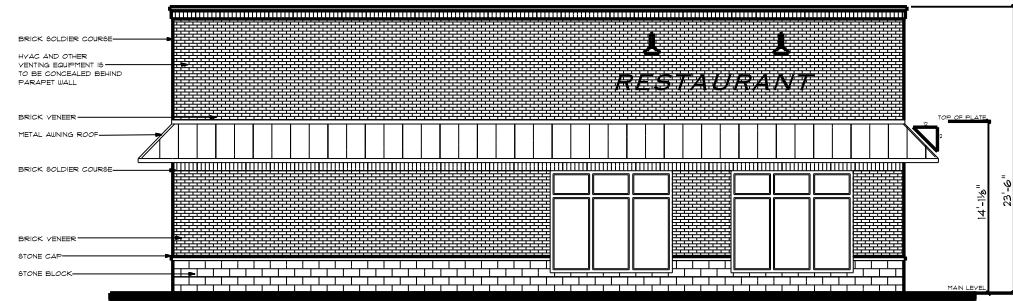
RIGHT ELEVATION



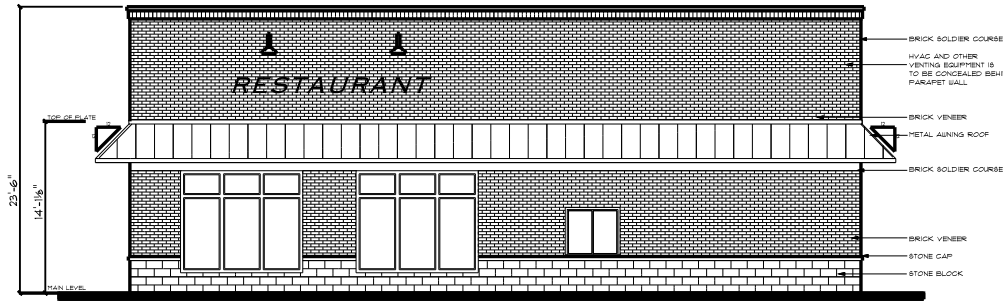
REAR ELEVATION



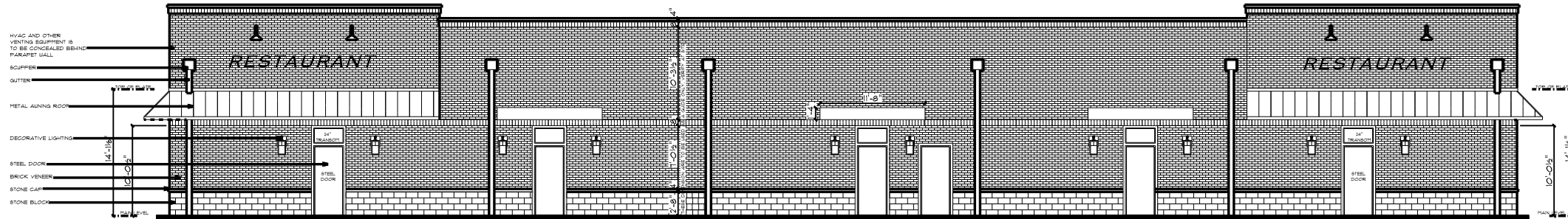
FRONT ELEVATION



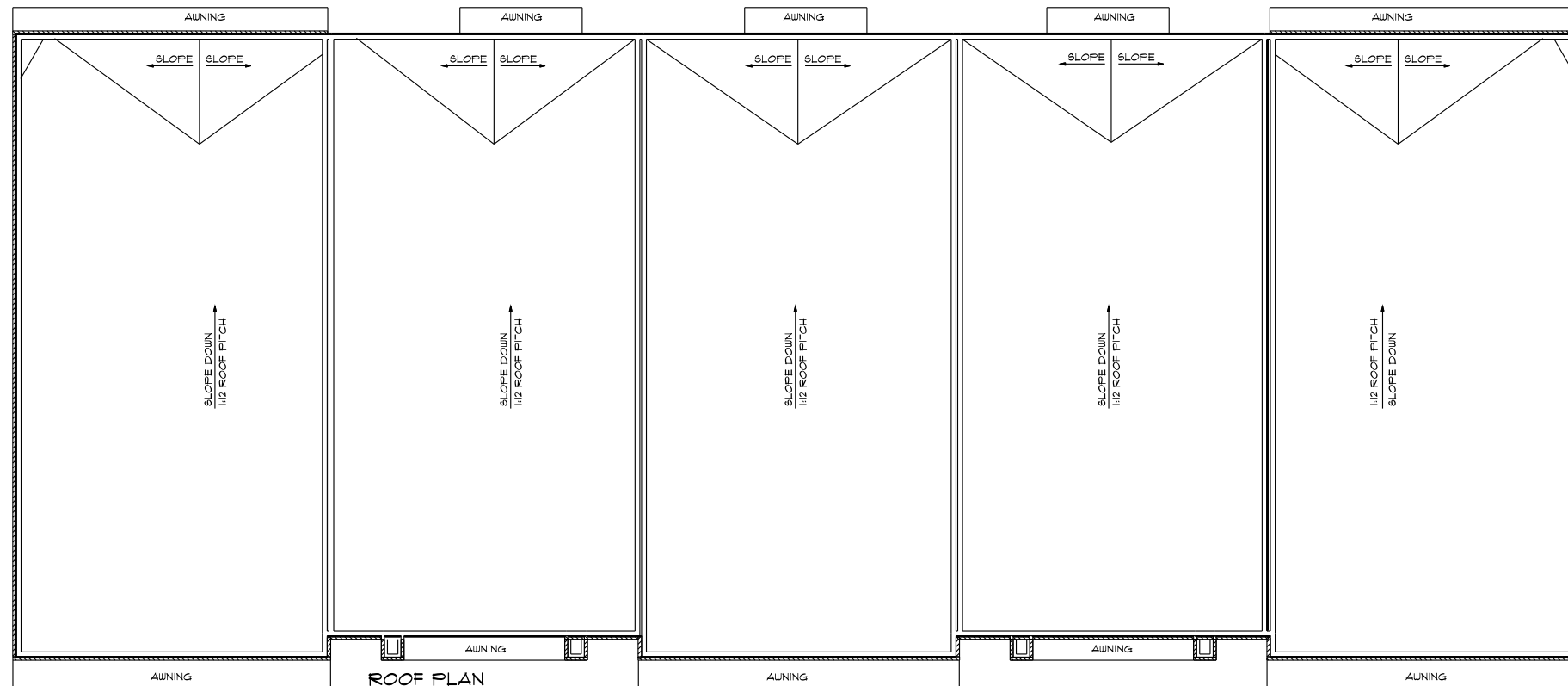
LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



ROOF PLAN

NOTE: VERIFY SIZE, WEIGHT AND LOCATION OF ALL ROOF TOP UNITS PRIOR TO FABRICATION OF ROOF TRUSSES.



PRELIMINARY PLAN ONLY - NOT FOR CONSTRUCTION

REVISIONS

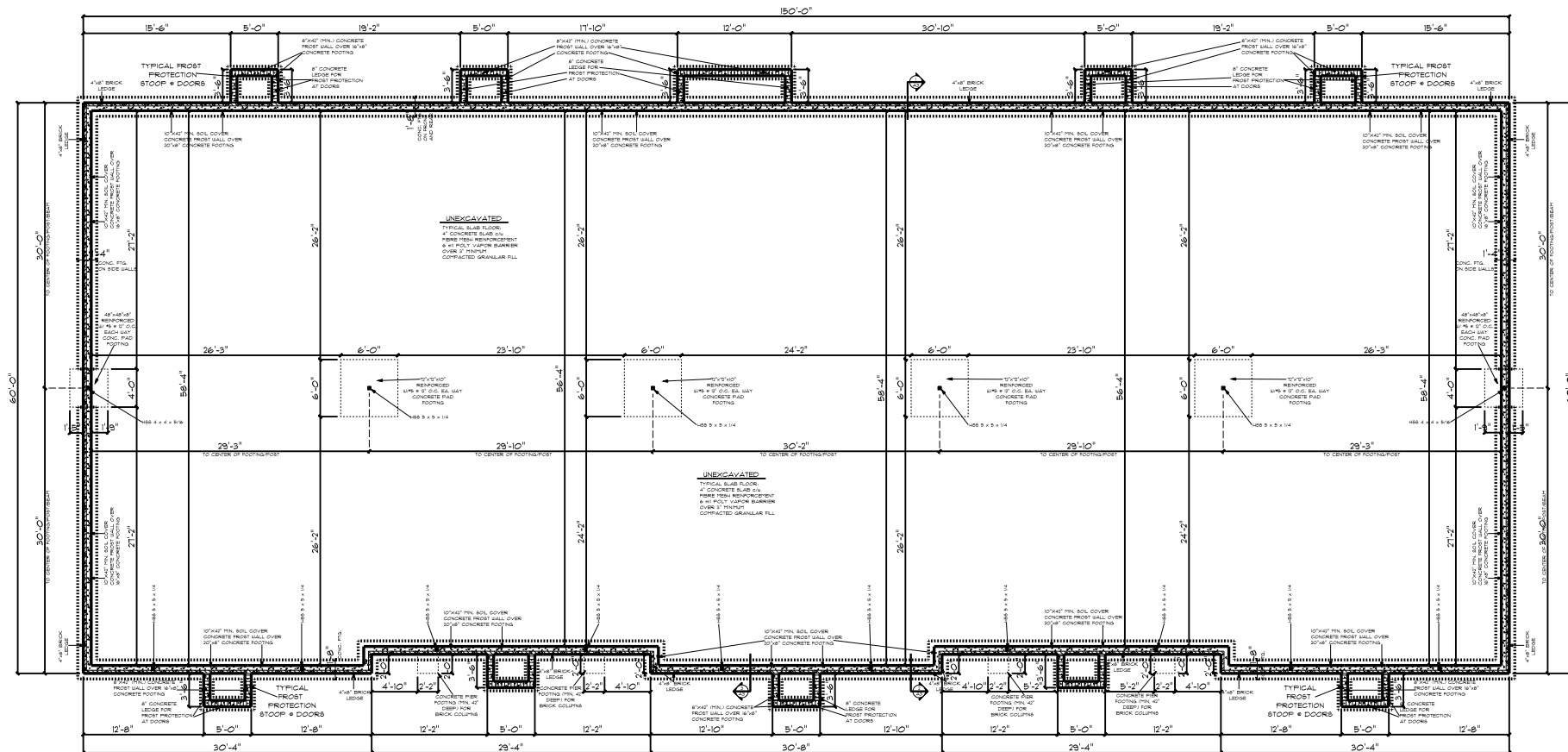
DESIGN ELEMENTS  
 RESIDENTIAL - LIGHT COMMERCIAL DRAFTING  
 LONE TREE • UVA • 52795  
 309-609-4443  
 WWW.DESIGN-ELEMENTS.NET



SCALE: 1/8" = 1'-0"  
 DATE: 06/14/2012  
 DRAWN BY: CDM  
 CHECKED BY: CDM  
 PROJECT NUMBER: 12C1331

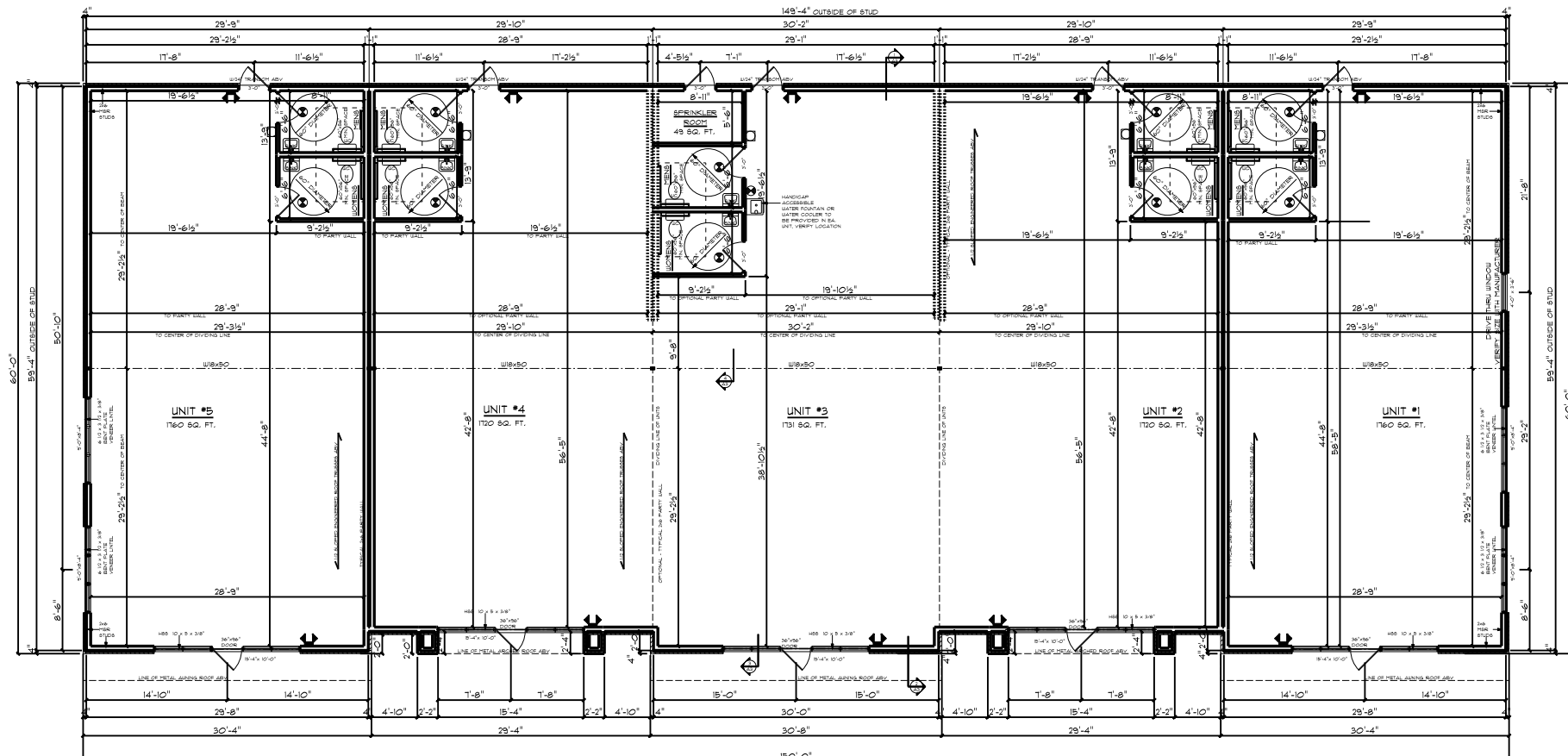
DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT AND BUILDER OF THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR LAWSUITS THAT COULD ARISE DURING OR AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. IN CONCLUSION, ALL STRUCTURAL MEMBERS, DIMENSIONS, AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.





FOUNDATION PLAN

- FOUNDATION NOTES**
- 800 PSF SOIL BEARING PRESSURE ASSUMED FOR FOOTING DESIGN. SELECT STRUCTURAL ENGINEERING RECOMMENDS THIS BE VERIFIED BY A GEOTECHNICAL CONSULTANT
  - 3000 PSI CONCRETE FOR WALLS AND FOOTINGS
  - 4000 PSI CONCRETE FOR FLOOR SLAB
  - #3 @ 18" REBAR
  - DO NOT PLACE ANY FOOTINGS ON DISTURBED SOIL. IF ENCOUNTERED, OVER EXCAVATE AND EXTEND FOOTING DEPTH.
  - FOOTINGS ARE TO MEET LOCAL FROST REQUIREMENTS



MAIN LEVEL FLOOR PLAN  
8740 SQ. FT.

- NOTES**
- 14'-1 1/8" WALL HEIGHT UNLESS NOTED
  - FIXED WINDOWS TO BE USED UNLESS NOTED - VERIFY SIZES
  - ALL DIMENSIONS ARE FRAME TO FRAME
  - ROOF TRUSSES ARE TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE STATE OF CALIFORNIA
  - EXTERIOR WALLS ARE 24" MIN. MACHINE STRESS RATED LUMBER, GRADE: 2400 MIN 6"FP 2.0E NO SUBSTITUTIONS ALLOWED
  - INTERIOR WALLS ARE 2x4 @ 16" O.C.
  - 2x4 FLUJING WALLS AS REQUIRED
  - LOCATION OF ATTIC ACCESS TO BE DETERMINED BY CONTRACTOR
  - ALL EXTERIOR 4" BEARING WALL OPENINGS TO HAVE 2-PLY 2x2 HEADERS UNLESS NOTED OTHERWISE
  - ADD SPRINKLER SYSTEM THROUGHOUT AS REQUIRED
  - FIRE EXTINGUISHERS TO BE PROVIDED IN ALL UNITS
  - EMERGENCY LIGHTS TO BE PLACED A MAX. OF 8'-6" ABV. F.F. OR SELF-TESTING DEVICES WILL BE INSTALLED, MIN 2 PER UNIT
  - EXIT LIGHT TO BE PLACED A MAX. OF 8'-6" ABV. F.F. OR SELF-TESTING DEVICES WILL BE INSTALLED
  - ROOF TRUSS DESIGN LOADS TO PSF TOP CHORD DEAD LOAD TO PSF BOTTOM CHORD DEAD LOAD 30 PSF
  - BRICK VENER LINTELS L 3 1/2 x 3 1/2 x 14" UNLESS NOTED OTHERWISE (BHP LOGS)

**ROOM FINISH SCHEDULE FOR UNITS 1-5**

WALLS:	DRYWALLED AND TAPED
FLOORS:	CEMENT FINISH
CEILING:	DRYWALLED AND TAPED
OCCUPANCY:	TO BE DETERMINED

PRELIMINARY PLAN ONLY NOT FOR CONSTRUCTION

REVISIONS

DESIGN ELEMENTS  
RESIDENTIAL - LIGHT COMMERCIAL DRAFTING  
LONE TELE. - DVA. - 562795  
39-669-4645  
WWW.DESIGNELEMENTS.NET



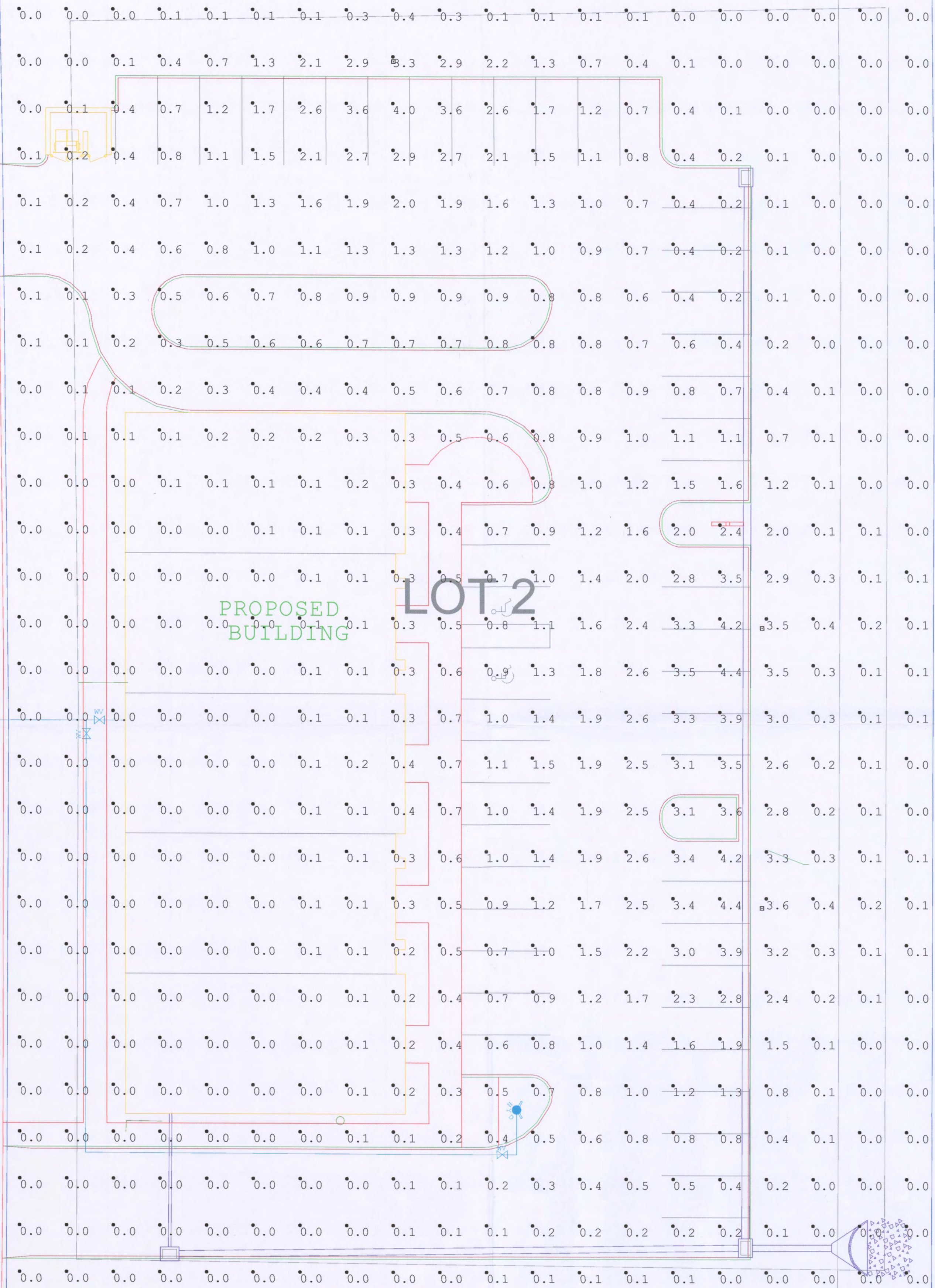
SCALE: 1/4" = 1'-0"  
DATE: 06/14/2012  
DRAWN BY: CDM  
CHECKED BY: CDM  
PROJECT NUMBER: 12C1331

A2

DESIGN ELEMENTS IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD FIRST BE REVIEWED BY A CONSTRUCTION PROFESSIONAL. THE CLIENT OR BUILDER OF THIS PLAN RELEASES DESIGN ELEMENTS FROM ANY CLAIMS OR SUITS THAT COULD ARISE DURING OR AFTER THE CONSTRUCTION OF THIS HOME OR BUILDING. IN CONCLUSION, ALL STRUCTURAL MEMBERS, DIMENSIONS, AND DETAILS MUST BE CAREFULLY REVIEWED BY A STRUCTURAL DESIGN PROFESSIONAL.

MEADE DRIVE

HIGHWAY 965



Luminaire Schedule				
Symbol	Qty	Label	Total Lamp Lumens	LLF Description
☐	3	ECF-S-48L-900-NW-G2-4-RHS	N.A.	0.900 ECF-S-48L-900-NW-G2-4-RHS

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Arg/Min Max/Min
CalcFts_1	Illuminance	Fc	0.83	4.4	0.0	N.A. N.A.



April 24, 2018

## **Memo**

To: North Liberty Planning Commission  
From: Dean Wheatley, Planning Director  
Subject: Revised Site Plan Approval Request  
(Legal: North Corridor School Addition, Lot 1)

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator  
Tracey Mulcahey, Assistant City Administrator  
Tom Palmer, City Building Official  
Scott Peterson, City Attorney  
Kevin Trom, City Engineer  
Dean Wheatley, Planning Director

This is a request from the Iowa City Community School District to approve a revised site plan for the existing North Central Junior High, located at the northeast corner of Front Street and Forevergreen Road. The proposal provides for additional classroom and gymnasium space, as well as additional parking, all identified on the site plan materials.

Traffic issues are an ongoing issue at all of the metro schools, including North Central. School district forecasts show that an additional 248 students may attend North Central when its service area is totally built out, which is likely to take quite a number of years. Unfortunately, site constraints make physical changes for traffic improvements challenging, and none are proposed as part of this site plan, though 28 new parking spaces are planned. In order to better identify the existing and future traffic issues, and to recommend options for improvement, City and School Board staffs have met several times, and ICCSD representatives will attend the meeting to comment. The site is well served by the City's trail and sidewalk systems.

Setbacks exceed the minimum requirements of the district, and storm water management features have been thoughtfully incorporated. The site topography drops substantially to the northeast, toward Muddy Creek, so the additions require quite a lot of grading to create the additional building space needed.

The design of the additions is an attractive modern style with very high masonry content, numerous wall offsets, and roof variety matching the existing building.

Staff recommends approval of the revised site plan.

Note:

The BMP Agreement will need to be developed and submitted together after site plan approval but

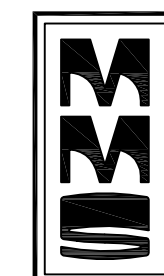
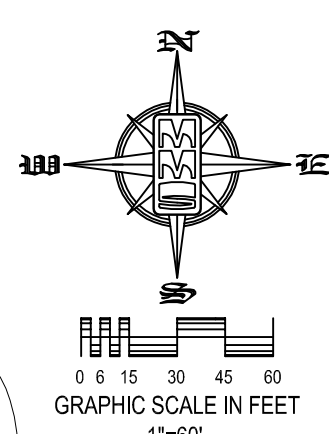
before occupancy is permitted. The BMP (aka SMF) maintenance agreement is required between the Owner and the City for long term maintenance responsibilities of the stormwater management features. The owner is to provide proposed maintenance requirements to the City Engineer in Word format so that the City Attorney can fold them into the standard agreement format.

# SITE PLAN NORTH CENTRAL JUNIOR HIGH SCHOOL NORTH LIBERTY, IOWA

PLAT PREPARED BY:  
MMS CONSULTANTS, INC.  
1917 S. GILBERT STREET  
IOWA CITY, IOWA 52240

OWNER/APPLICANT:  
IOWA CITY COMMUNITY SCHOOL DISTRICT  
1725 NORTH DODGE STREET  
IOWA CITY, IOWA 52245

APPLICANT'S ATTORNEY:  
C. JOSEPH HOLLAND  
123 N. LINN STREET, #300  
IOWA CITY, IA 52245



**MMS CONSULTANTS, INC.**  
Iowa City, Iowa (319) 351-8282  
 ◀ CIVIL ENGINEERS ▶ LAND PLANNERS ◀  
 ◀ LANDSCAPE ARCHITECTS ▶ LAND SURVEYORS ◀  
 ◀ ENVIRONMENTAL SPECIALISTS ▶

MAE: BRILL, WJ; 1800-002  
 DESIGNED AND CHECKED BY: LCN  
 DRAWN BY: TAT  
 FIELD BOOK NUMBER:

PAVEMENT LEGEND	
	7" PCC OVER 6" ROCK BASE (18,000 SF)
	6" PCC SIDEWALK OVER 4" ROCK BASE (3,863 SF)
	6" PCC PARKING OVER 6" ROCK BASE (5,218 SF)
	5" PCC SIDEWALK OVER 4" ROCK BASE (3,182 SF)

SHEET INDEX	
C-120	OVERALL LAYOUT AND DIMENSION PLAN
C-121	DETAILED LAYOUT AND DIMENSION PLAN
C-140	OVERALL GRADING PLAN AND SWPPP
C-141	DETAILED GRADING PLAN
C-160	SITE UTILITY PLAN
C-500	GENERAL NOTES AND DETAILS
CD-100	SITE DEMOLITION PLAN
L-100	SITE LANDSCAPE PLAN

**LEGAL DESCRIPTION**  
 LOT 1 OF NORTH CORRIDOR SCHOOL ADDITION, TO THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF, IN THE RECORDS OF THE JOHNSON COUNTY RECORDER'S OFFICE, CONTAINING 59.84 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

**NOTE:**  
 NO RETRACEMENT OR BOUNDARY SURVEY HAS BEEN PERFORMED AT THIS TIME FOR THIS PROPERTY AND ALL DIMENSIONS TO PROPERTY LINES AND AREAS OF THE PARCEL ARE LABELED AS "AS SHOWN". SINCE THE PARCEL OF LAND THAT IS DESCRIBED IN THE LEGAL LISTED ABOVE, INCLUDES BOTH VAN ALLEN ELEMENTARY SCHOOL AND NORTH CENTRAL JUNIOR HIGH SCHOOL, THE SOUTH LINE OF THE ACCESS EASEMENT FOR ARBIAV AVENUE, RECORDED IN SAID PLAT, IS THE AREA FOR ARBIAV AVENUE HAS BEEN STRIPPED AS A DIVIDING LINE FOR THE PURPOSES OF THE AREA TABULATION LISTED ABOVE. IT IS UNDERSTOOD THAT THE CITY OF NORTH LIBERTY HAS BEEN DESIGNATED OVER TO THE CITY OF NORTH LIBERTY FOR THE PURPOSES OF PUBLIC HIGHWAY RIGHTS-OF-WAY BY "USAGE" AS STREET RIGHTS-OF-WAY. A UNRECORDED ACCESS EASEMENT FOR THE ROUNDABOUT AT THE INTERSECTION OF 12TH AVENUE AND FOREVERGREEN ROAD HAS ALSO BEEN REMOVED FROM THE AREA TABULATION.

**APPLICANT**  
 IOWA CITY COMMUNITY SCHOOL DISTRICT  
 1725 NORTH DODGE STREET  
 IOWA CITY, IOWA 52245

**DEVELOPMENT CHARACTERISTICS**  
 CURRENT ZONING: PUBLIC  
 LOT AREA: 1,692,640 SF (38.9 ACRES) (\*SEE NOTE ABOVE)

**SETBACK REQUIREMENTS**  

BUILDING SETBACKS:	REQUIRED:
FRONT YARD	25 FEET
SIDE YARD	10 FEET
REAR YARD	30 FEET

**PARKING SETBACKS:**  

FRONT	REAR
25 FEET	3 FEET

**LOT CHARACTERISTICS**  
 LOT AREA: 1,692,640 SF (1000)(38.9 AC)  
 BUILDING AREA - EXISTING: 40,606 SF (2.38)  
 BUILDING AREA - PROPOSED: 24,540 SF (1.5%)  
 (TOTAL BUILDING AREA): 74,146 SF (4.4%)  
 PAVING AREA - EXISTING: 113,790 SF (6.7%)  
 PAVING AREA - PROPOSED: 29,558 SF (1.8%)  
 (TOTAL PAVING AREA): 143,338 SF (8.5%)  
 GREEN SPACE AREA: 1,475,154 SF (87.2%)

**BUILDING CHARACTERISTICS:**  
 1 - (AREA A) PROPOSED GYMNASIUM, ADDITIONAL CATERERIA AREA AND FITNESS ROOM AND SECOND STORY MEDIA EXPANSION AREA.  
 2 - (AREA B) PROPOSED TWO STORY ADDITIONAL CLASSROOM AREAS ON THE SOUTHWEST AND SOUTHEAST.

**PARKING REQUIREMENTS:**  
 1 SPACE FOR EVERY 3.5 SEATS IN LARGEST ASSEMBLY ROOM (NEW GYM)  
 326/3.5 = 93  
 1 SPACE FOR EACH FACULTY MEMBER 75 MEMBERS = 75 SPACES REQUIRED  
 TOTAL SPACES REQUIRED = 168 SPACES  
 186 SPACES PROVIDED (INCLUDED 7 ACCESSIBLE SPACES)

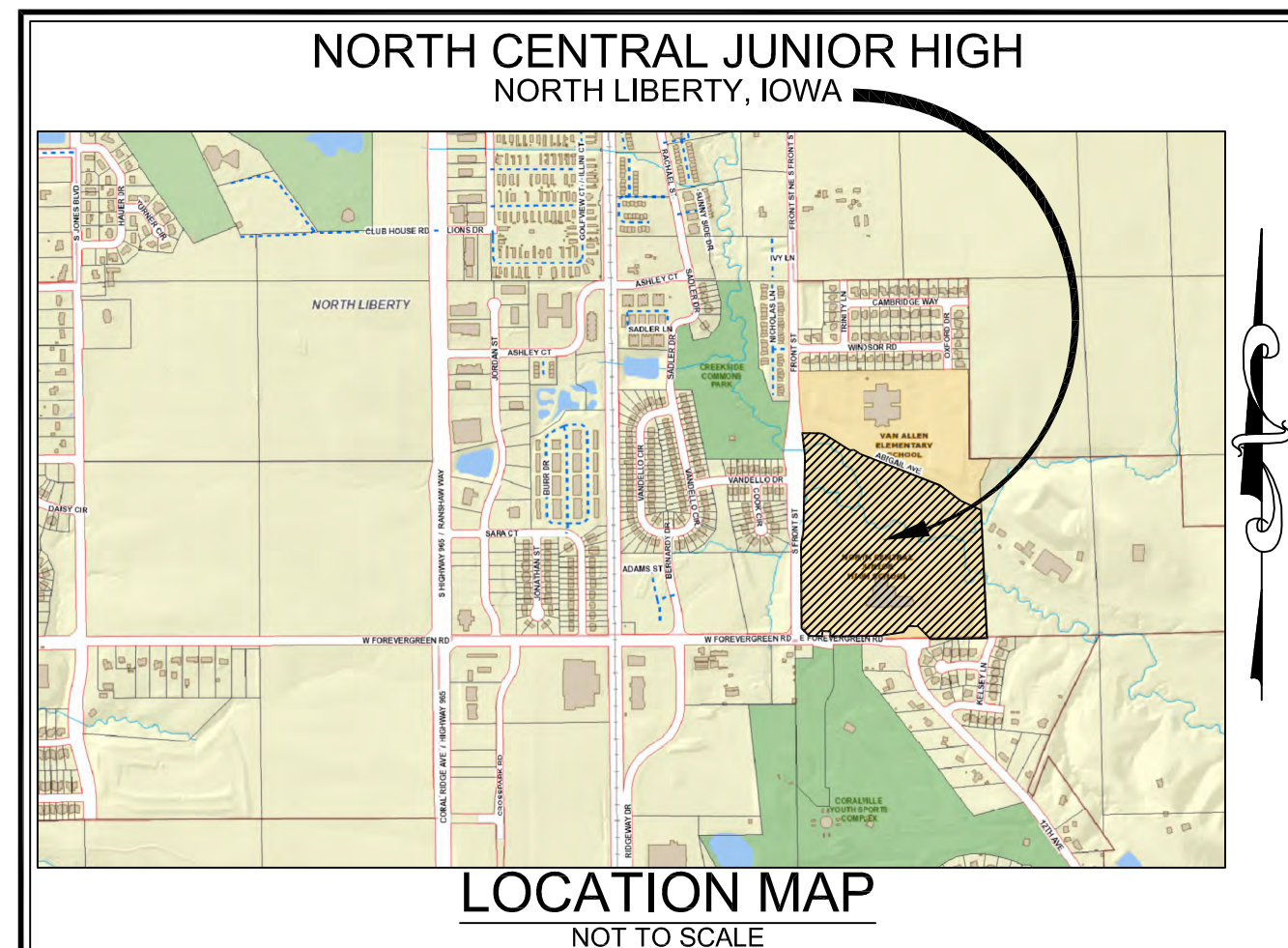
ALL GROUND MOUNTED MECHANICAL UNITS SHALL BE SCREENED WITH LANDSCAPING, (SEE SHEET L-100).  
 ALL PROPOSED EXTERNAL LIGHTING SHALL BE SHARP CUT-OFF DARK SKY COMPLIANT.  
 FIRE LANE SIGNAGE AND PAVEMENT MARKINGS SHALL BE INSTALLED ON FIRE LANE AS DIRECTED BY NUTS.

STANDARD LEGEND AND NOTES	
	PROPERTY &/OR BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	-EXIST- POWER POLE
	-PROP- POWER POLE
	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	GUY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURE INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	ELECTRICAL LINES
	TELEPHONE LINES
	GAS LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

**UTILITIES**  
 THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS IN ADVANCE OF ANY DIGGING OR EXCAVATION.

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I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

**SCOTT B. POTTSORFF**  
 LICENSED PROFESSIONAL ENGINEER  
 IOWA  
 16902

SCOTT B. POTTSORFF, P.E. Iowa Lic. No. 16902  
 Date of Issue: December 31, 2010  
 Expiration Date: December 31, 2020

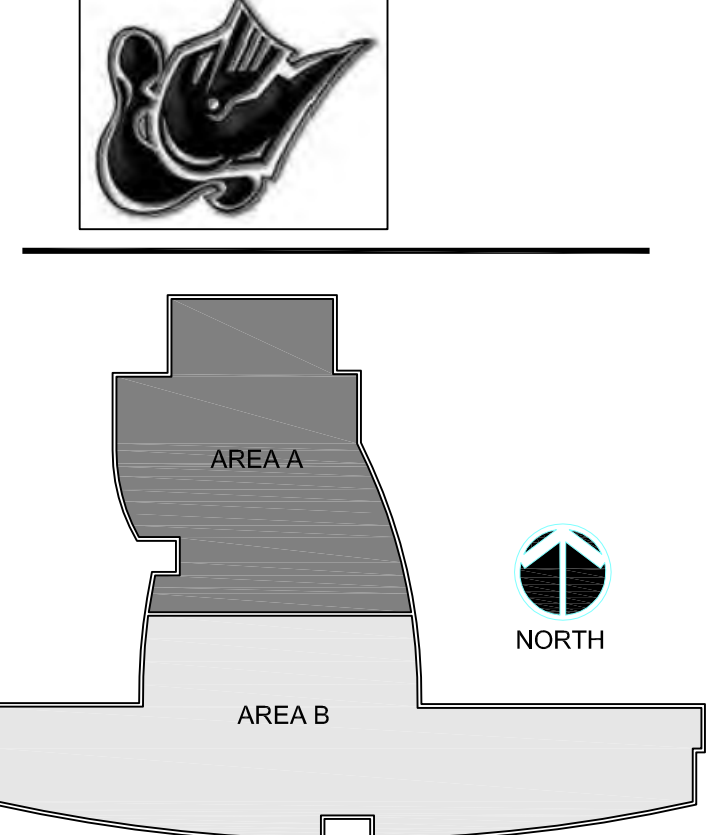
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SEAL



**NORTH CENTRAL JUNIOR HIGH SCHOOL**  
 180 FOREVERGREEN RD.  
 NORTH LIBERTY, IA 52377

**IOWA CITY COMMUNITY SCHOOL DISTRICT**  
 1725 NORTH DODGE ST  
 IOWA CITY, IA 52245



**ISSUANCE**  
 DESIGN DEVELOPMENT  
 03/08/18  
 PRINCIPAL / VB  
 DESIGNER / JO

**REVISIONS**

**NOT FOR CONSTRUCTION**

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 PROJECT NUMBER: **17088**  
**OVERALL LAYOUT AND DIMENSION PLAN**  
**C-120**

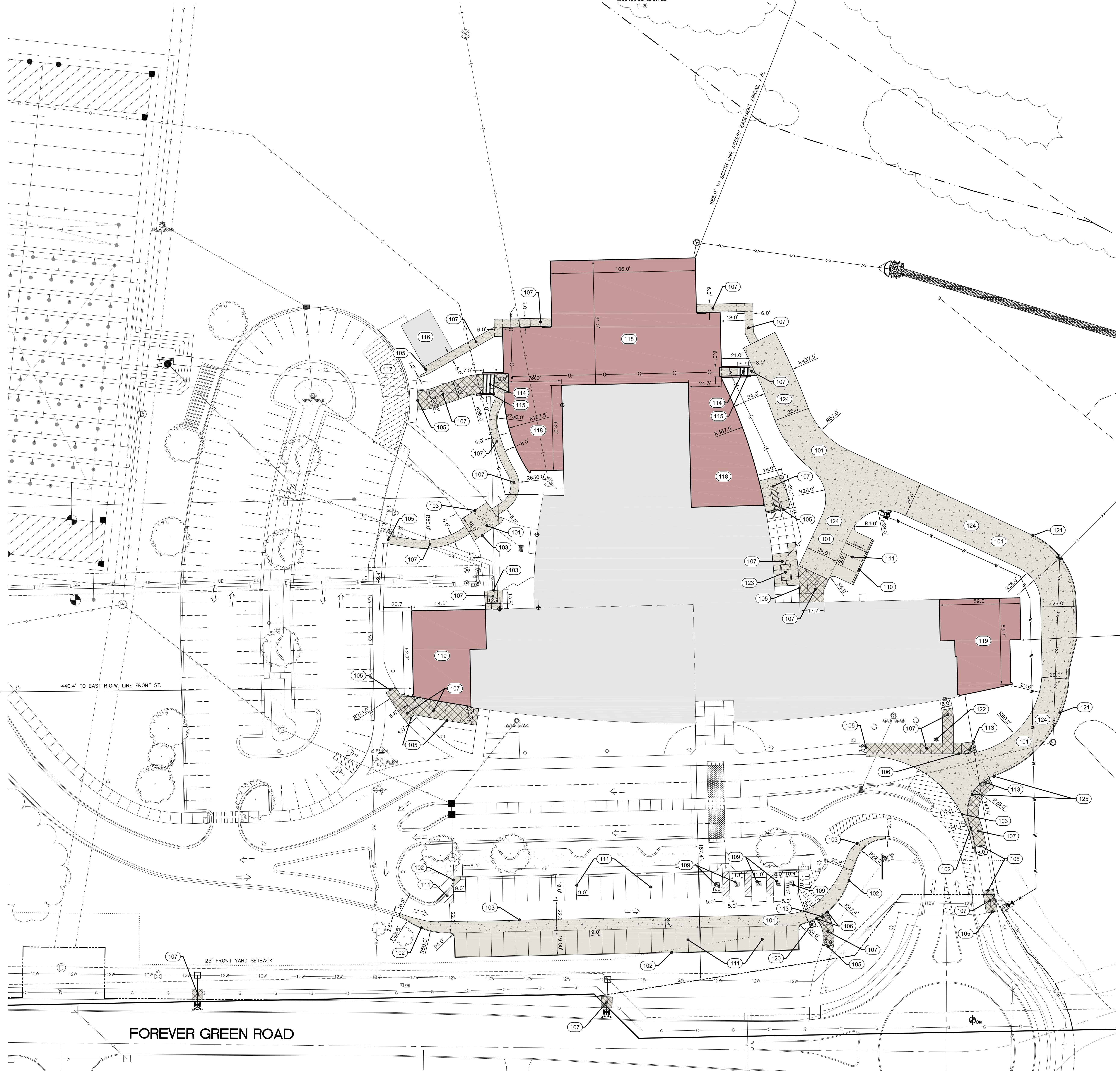
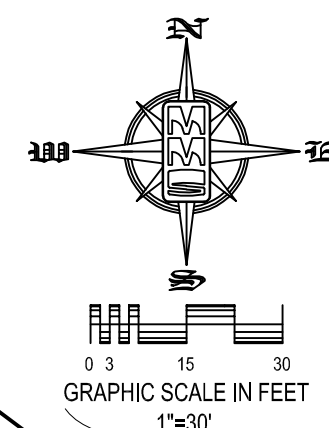
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# SITE PLAN NORTH CENTRAL JUNIOR HIGH SCHOOL NORTH LIBERTY, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC.  
 1917 S. GILBERT STREET  
 IOWA CITY, IOWA 52240

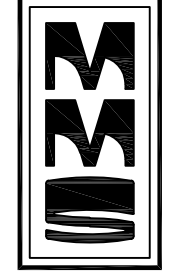
OWNER/APPLICANT: IOWA CITY COMMUNITY SCHOOL DISTRICT  
 1725 NORTH DODGE STREET  
 IOWA CITY, IOWA 52245

APPLICANT'S ATTORNEY: C. JOSEPH HOLLAND  
 123 N. LINN STREET, #300  
 IOWA CITY, IA 52245



PAVEMENT LEGEND	
	7" PCC OVER 6" ROCK BASE. (18,000 SF)
	6" PCC SIDEWALK OVER 4" ROCK BASE. (3,863 SF)
	6" PCC PARKING OVER 6" ROCK BASE. (5,218 SF)
	5" PCC SIDEWALK OVER 4" ROCK BASE. (3,182 SF)

- C-120 OVERALL LAYOUT AND DIMENSION PLAN
- C-121 DETAILED LAYOUT AND DIMENSION PLAN
- C-140 OVERALL GRADING PLAN AND SWPPP
- C-141 DETAILED GRADING PLAN
- C-160 SITE UTILITY PLAN
- C-500 GENERAL NOTES AND DETAILS
- CD-100 SITE DEMOLITION PLAN
- L-100 SITE LANDSCAPE PLAN



**MMS CONSULTANTS, INC.**  
 Iowa City, Iowa (319) 351-8282  
 ◀ CIVIL ENGINEERS ▶ LAND PLANNERS ▶  
 ▶ LANDSCAPE ARCHITECTS ▶ LAND SURVEYORS ▶  
 ▶ ENVIRONMENTAL SPECIALISTS ▶  
MMS PROJ. NO. 2020-002  
 DESIGNED AND CHECKED BY: LCN  
 DRAWN BY: JAW  
 FIELD BOOK NUMBER:

7" PCC PAVING ON 6" ROCK BASE IS DESIGNED TO SUPPORT LOADS OF 75,000 LBS FOR FIRE LANES

NUMBER	KEYNOTE	DETAIL
101	INSTALL DRIVE PER DETAIL (THICKNESS AND MATERIAL AS NOTED)	
102	INSTALL 6" STANDARD CURB	
103	CONNECT TO EXISTING ASPHALT DRIVE @ SAW CUT	
105	CONNECT TO EXISTING CONCRETE WALK	
106	TRANSITION THICKENED EDGE SIDEWALK FROM 6" HIGH TO NO CURB ALONG SIDEWALK CURB RAMP	
107	INSTALL CONCRETE WALK PER DETAIL (WIDTH, THICKNESS AND MATERIAL AS NOTED)	
108	INSTALL ACCESSIBLE PARKING AND RAMPS PER DETAIL	
109	INSTALL ACCESSIBLE PARKING SYMBOL	
110	INSTALL PROTECTIVE CONCRETE STOP BLOCK	
111	INSTALL 4" WIDE PAVEMENT MARKINGS	
112	INSTALL 5" PCC SIDEWALK ON 4" ROCK BASE	
113	INSTALL DETECTABLE WARNING PANELS	
114	INSTALL CONCRETE STEPS	
115	INSTALL RETAINING WALL	
116	EXISTING MAINTENANCE SHED	
117	INSTALL PAVEMENT MARKINGS TO EXTEND EXISTING FIRE LANE AREA	
118	PROPOSED BUILDING ADDITION, DESIGNATED (AREA A)	
119	PROPOSED BUILDING ADDITION, DESIGNATED (AREA B)	
120	RELOCATED MAIL BOX	
121	INSTALL 3" ROLL CURB	
122	RELOCATED LIGHT POLE	
123	INSTALL GREASE TRAP	
124	PROPOSED FIRE LANE. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE INSTALLED ON FIRE LANE AS DIRECTED BY NORTH LIBERTY FIRE DEPARTMENT.	
125	TRANSITION FROM NO CURB TO FULL DEPTH CURB AT CURB RAMP	

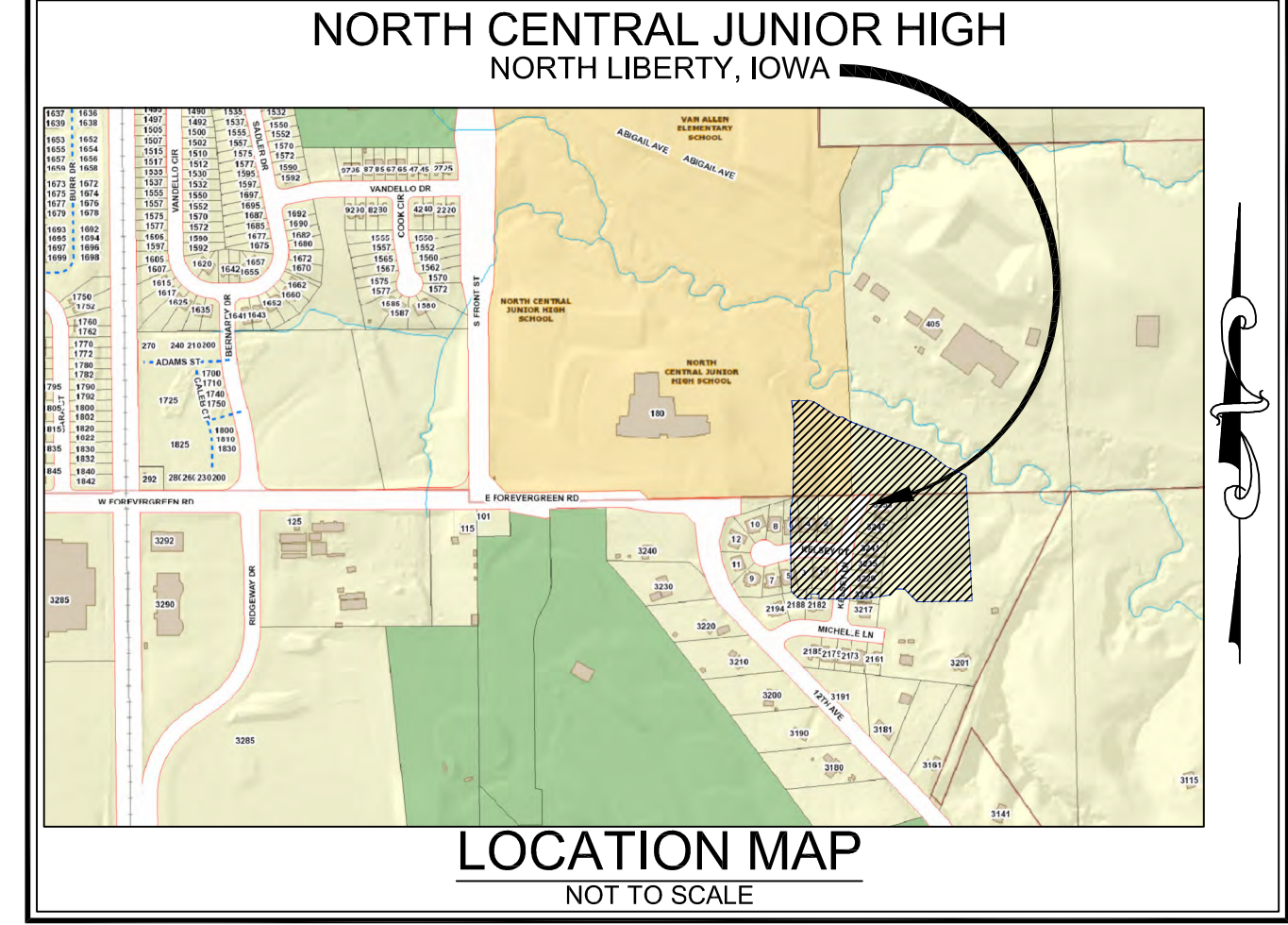
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	POWER POLE W/TRANS
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	GUY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FIRE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
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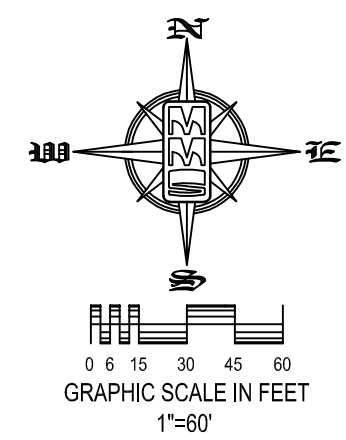
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PROJECT NUMBER  
**17088**

DETAILED LAYOUT AND DIMENSION PLAN

C-121



**GRADING TOPSOIL NOTE:**  
PRIOR TO FINAL SEEDING, ALL GREEN SPACE SHALL BE TILLED TO A MINIMUM DEPTH OF 6" AND COVERED WITH A MINIMUM OF 6" OF TOPSOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR STOCKPILING ADEQUATE TOPSOIL FOR ALL GREEN SPACE.

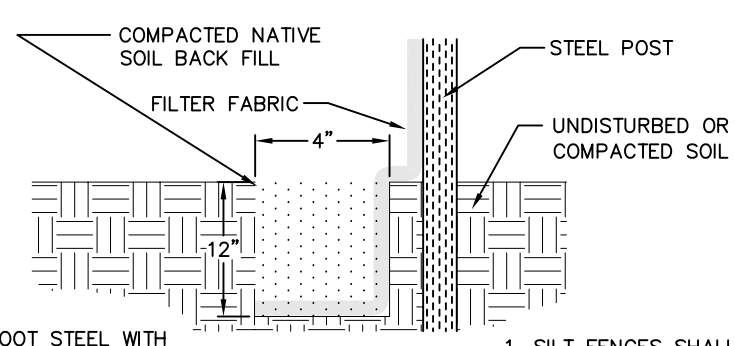
THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W. OF FRONT STREET AND CITY OF CORALVILLE AT ALL TIMES DURING WORK IN PUBLIC R.O.W. OF FOREVERGREEN ROAD.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

**EROSION CONTROL NOTES**

- AREAS OF SLOPE GREATER THAN 1:6 MUST HAVE EROSION CONTROL BLANKETS (E.C.B.). E.C.B. SHALL BE NORTH AMERICAN GREEN (N.A.G.) SC150BN OR APPROVED EQUIVALENT. SEE L-100 FOR DESCRIBED AREAS.
- ALL DISTURBED AREAS MUST RECEIVE TEMPORARY SEEDING AND MULCHING.
- AREAS TO BE SODED SHALL RECEIVE TEMPORARY SEEDING AND MULCHING UNTIL FINAL GRADING AND SODING.
- ALL SEEDING MUST BE COMPLETED AT TIME OF SEEDING PER SUDAS SECTION 9040.216 & 3.21.

**SILT FENCE DETAIL**



- INSTALLATION**
- POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 3 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
  - SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 496.01A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN COMPLETE.
  - THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPliced TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 4" OVERLAP AND SECURELY SEALED.
  - POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28".
  - A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS.
  - FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
  - THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

- MAINTENANCE**
- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAIN-FALL EVENT OF 0.5 INCHES OR MORE. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
  - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
  - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
  - SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

**DEMOLITION NOTES:**

- COORDINATE ALL DEMOLITION ACTIVITIES WITH OWNER BEFORE COMMENCING ANY DEMOLITION WORK.
- THE CONTRACTOR SHALL CONTACT ALL UTILITIES AND ARRANGE FOR THEIR LOCATION OF FACILITIES BEFORE BEGINNING DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH ALL PUBLIC UTILITIES FOR DISCONNECTION AND REMOVAL OF THEIR FACILITIES SERVING STRUCTURE BEING DEMOLISHED.
- CLEARING AND REMOVAL OF TREES, BUSHES AND BRUSH SHALL INCLUDE REMOVAL FROM THE SITE OF ALL TRUNKS, BRANCHES, STUMPS AND ROOTS. THE CONTRACTOR SHALL REMOVE ALL STUMPS AND ROOTS.
- REMOVAL OF BUILDINGS INCLUDES REMOVAL AND DISPOSAL OF ALL BUILDING MATERIALS, FOUNDATIONS, SIDEWALKS AND BELOW SLAB PIPING AND CONDUITS FOR THE BUILDINGS INDICATED ON THIS SHEET.
- ALL EXCAVATIONS FOR REMOVAL OF FOUNDATIONS, UTILITIES AND TRENCH SHALL BE BACKFILLED WITH SUITABLE ON SITE SOIL AND COMPACTED TO 90% STANDARD PROCTOR DENSITY.
- WHERE WORK CAUSES REMOVAL OF PAVEMENT WITHIN EXISTING RIGHTS-OF-WAY, PAVEMENT SHALL BE REPLACED AS SOON AS PRACTICAL.
- REMOVAL OF FENCES INCLUDES REMOVAL AND DISPOSAL OF ALL FENCE MATERIALS FROM THE PROJECT SITE.
- ADJACENT STREETS ARE TO BE MAINTAINED CLEAN AS PER CITY OF NORTH LIBERTY REQUIREMENTS.
- WHEN PEDESTRIAN TRAFFIC FLOW IS INTERRUPTED, CONTRACTOR SHALL INSTALL PROPER SIGNAGE (SIDEWALK CLOSED AHEAD USE OTHER SIDE).
- THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL CONFORMING TO THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" WHEN WORK EXTENDS INTO THE STREET.

**GRADING NOTES**

- MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3:1. VERTICAL TO HORIZONTAL.
- NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- COMPACTION TO BE 95% STANDARD PROCTOR WHERE > 6:1 SLOPE.
- ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.
- ALL STREET SUBGRADE SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.
- PRIOR TO FINAL SEEDING, ALL COMPACTED SOILS SHALL BE TILLED TO A MINIMUM DEPTH OF 12" AND RESEED AT A MINIMUM OF 6" OF TOPSOIL OVER ALL DISTURBED AREAS.
- ALL CONSTRUCTION MUST BE COMPLETED ACCORDING TO THE REQUIREMENTS OF THE CURRENT NPDES PERMIT FOR THE PROJECT.

**STABILIZATION SEEDING**

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH I.D.O.T. STANDARD SPECIFICATION SECTION 2601.03 STABILIZING CROP SEEDING AND FERTILIZER.

SEED MIXTURES SHALL BE ONE OF THE FOLLOWING:

<b>SPRING - MARCH 1 TO MAY 20</b>	2 BUSHEL PER ACRE OAT GRASS RYE RED CLOVER TIMOTHY	25 LBS PER ACRE 5 LBS PER ACRE 5 LBS PER ACRE
<b>SUMMER - MAY 21 TO JULY 20</b>	3 BUSHEL PER ACRE OAT GRASS RYE RED CLOVER TIMOTHY	35 LBS PER ACRE 5 LBS PER ACRE 5 LBS PER ACRE
<b>FALL - JULY 21 TO SEPTEMBER 30</b>	2 BUSHEL PER ACRE OAT GRASS RYE RED CLOVER TIMOTHY	35 LBS PER ACRE 5 LBS PER ACRE 5 LBS PER ACRE

FERTILIZER SHALL BE APPLIED AT A RATE OF 450 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13 FERTILIZER.

INSTALL EROSION CONTROL MATTING ON ALL SLOPES 6:1 OR GREATER. SEED MATTING AREAS AND INSTALL MATTING IMMEDIATELY AFTER FINAL GRADING AND TOPSOIL PLACEMENT.

**EROSION CONTROL LEGEND**

	RIP RAP
	EROSION CONTROL BLANKET

**EROSION CONTROL LEGEND**

	SILT FENCE		PERIMETER SILT FENCE
	TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT		TEMPORARY SOIL STOCKPILE AREA
	TEMPORARY PARKING AND STORAGE		DIRECTION OF OVERLAND FLOW
	CONCRETE TRUCK/EQUIPMENT WASHOUT		DUMPSTER FOR CONSTRUCTION WASTE
	PORTABLE RESTROOM		RIP RAP OUTLET PROTECTION
	DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)		OTHER MEASURE
	INLET PROTECTION: 1. PRIOR TO STREET PAVING: INSTALL FABRIC UNDER INTAKE GRATE. 2. FOLLOWING STREET PAVING AND INSTALLATION OF GRATE: INSTALL FILTER SOCK ON ALL UPSLOPE SIDES WITH BLOCKS SUFFICIENT POSITION SOCK AROUND THE PERIMETER OF THE INLET GRATE.		OTHER MEASURE
	FILTER SOCK BEHIND CURB AT CURB RAMP		OTHER MEASURE

NOTES:  
ALL SLOPES GREATER THAN 4:1 SHALL HAVE MATTING MEETING OR EXCEEDING SC150 APPLIED OVER SEEDED SURFACE.

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, INDICATE THE REVISION ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

**VEGETATION PLAN LEGEND**

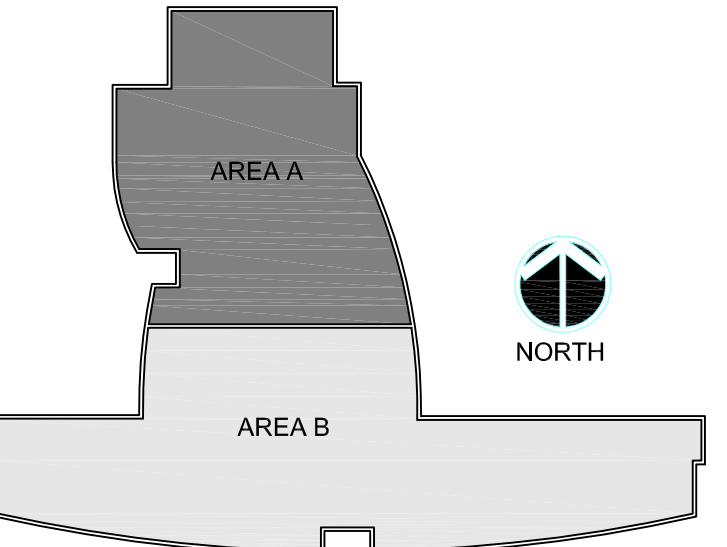
	SOD AREAS
	SEED AND STRAW MULCH AREAS
	EROSION CONTROL BLANKET AREAS

C-120	OVERALL LAYOUT AND DIMENSION PLAN
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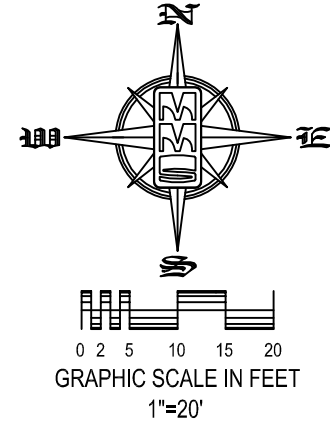
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OVERALL GRADING PLAN AND SWPPP

**C-140**

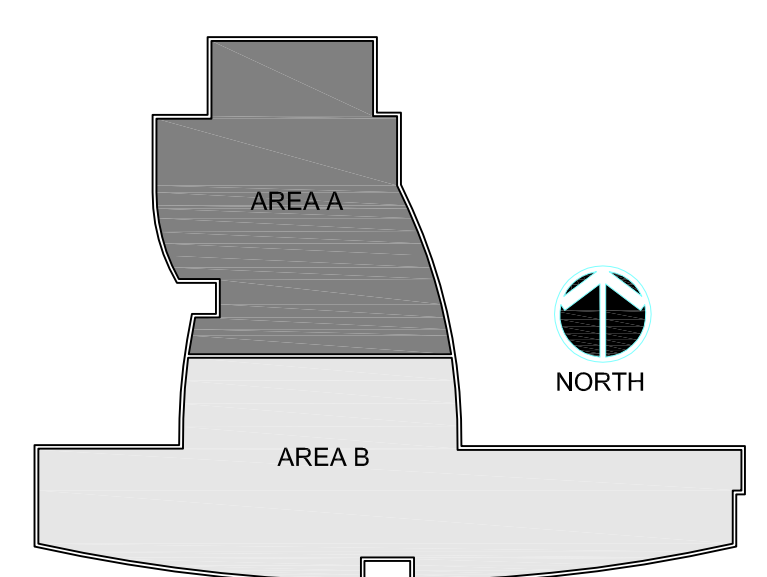


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 IOWA CITY, IA 52245



ISSUANCE

**DESIGN DEVELOPMENT**  
 03/08/18

PRINCIPAL: VB  
 DESIGNER: JO

REVISIONS

**NOT FOR CONSTRUCTION**

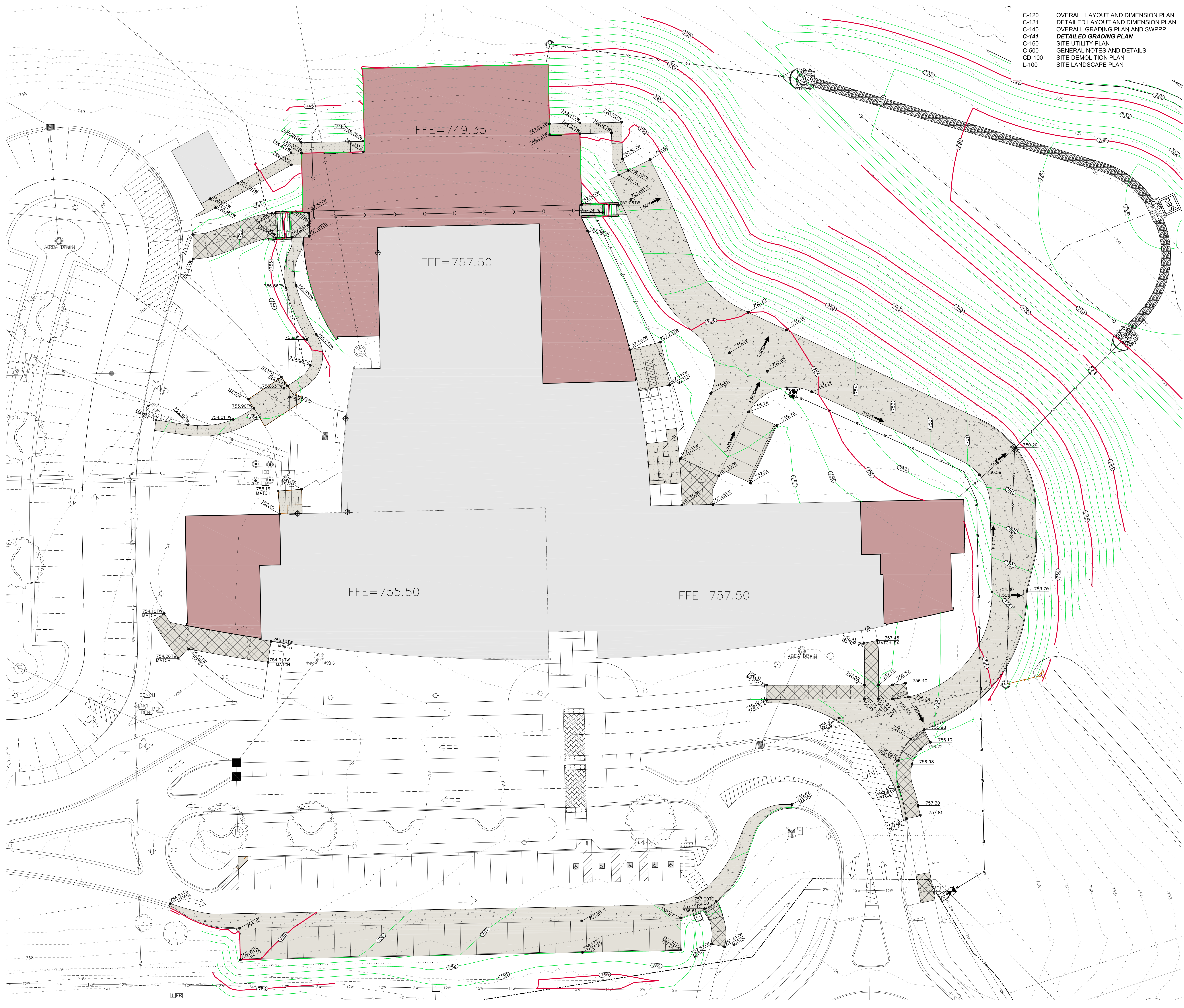
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PROJECT NUMBER  
**17088**

DETAILED GRADING PLAN

**C-141**



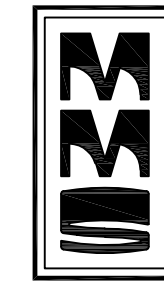
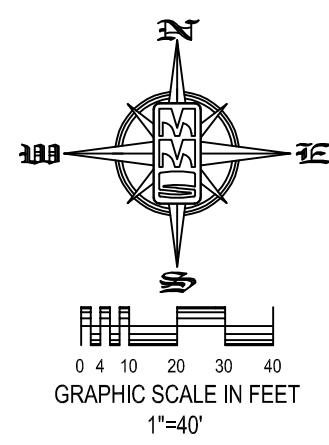


# SITE PLAN NORTH CENTRAL JUNIOR HIGH SCHOOL NORTH LIBERTY, IOWA

**PLAT PREPARED BY:** MMS CONSULTANTS, INC.  
 1917 S. OILBERT STREET  
 IOWA CITY, IOWA 52240

**OWNER/APPLICANT:** IOWA CITY COMMUNITY SCHOOL DISTRICT  
 1725 NORTH DODGE STREET  
 IOWA CITY, IOWA 52245

**APPLICANTS ATTORNEY:** C. JOSEPH HOLLAND  
 123 N. LINN STREET, #300  
 IOWA CITY, IA 52245



**MMS CONSULTANTS, INC.**  
 Iowa City, Iowa (319) 351-8282  
 ◀ CIVIL ENGINEERS ▶ LAND PLANNERS ▶  
 ◀ LANDSCAPE ARCHITECTS ▶ LAND SURVEYORS ▶  
 ◀ ENVIRONMENTAL SPECIALISTS ▶  
M.S. BRILL, INC. 1900-002  
 DESIGNED AND CHECKED BY: LCN  
 DRAWN BY: TAT  
 FIELD BOOK NUMBER:

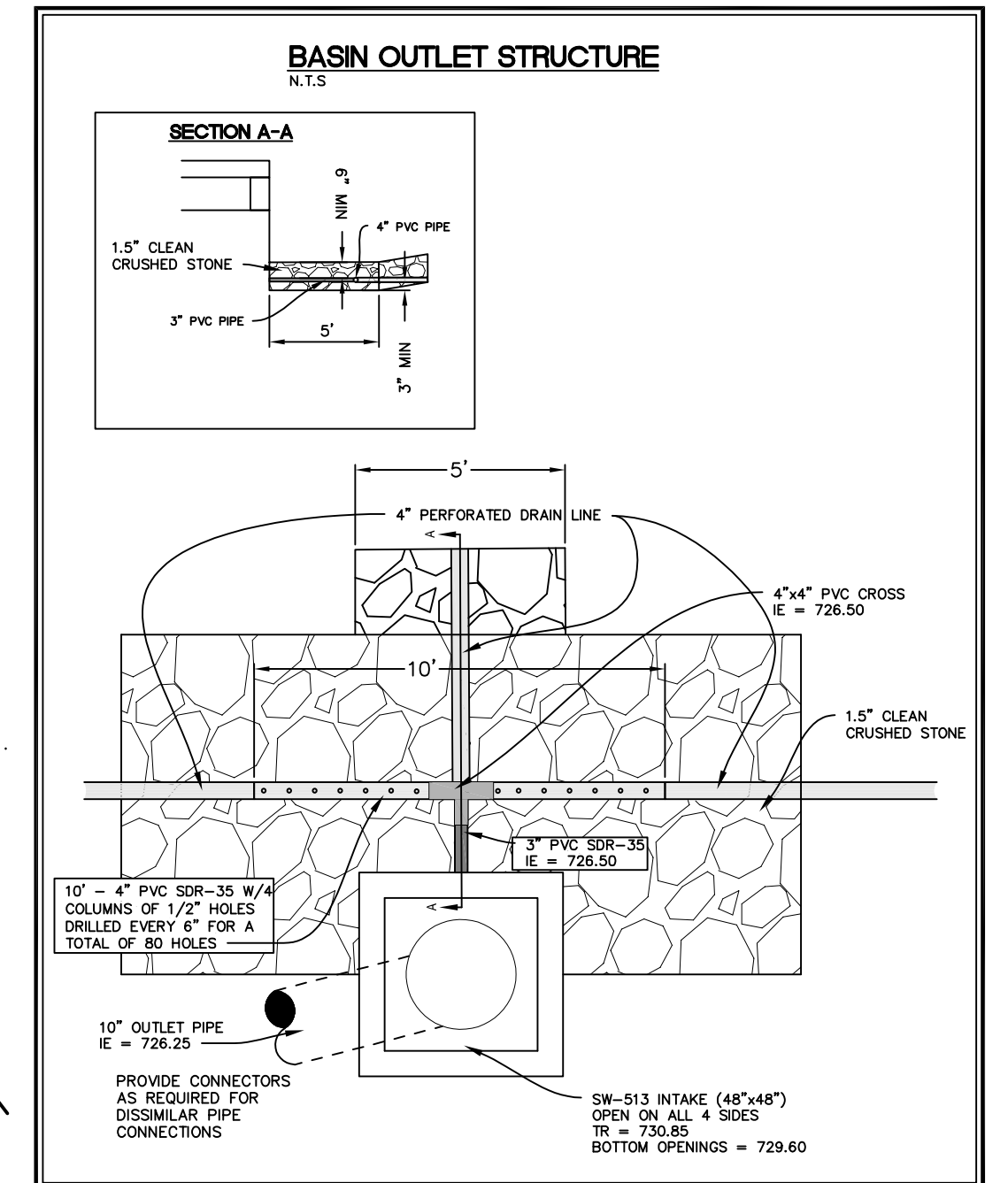
**SHEET INDEX**

C-120	OVERALL LAYOUT AND DIMENSION PLAN
C-121	OVERALL LAYOUT AND DIMENSION PLAN
C-140	OVERALL GRADING PLAN AND SWPPP
C-141	DETAILED GRADING PLAN
C-160	<b>SITE UTILITY PLAN</b>
C-500	GENERAL NOTES AND DETAILS
CD-100	SITE DEMOLITION PLAN
L-100	SITE LANDSCAPE PLAN

**UTILITY COMPANY CONTACTS**

SERVICE	SUPPLIER	PHONE NO.
TELEPHONE & CABLE TV	SOUTH SLOPE COOPERATIVE ATTN: BRIAN FRIESE	319-227-7111
TELEPHONE & CABLE TV	MEDIACOM IOWA CITY ATTN: TIM EAGEN	888-847-4757
ELECTRICITY	LINN COUNTY REC ATTN: JORNA NUNEMAKER	319-377-1587
NATURAL GAS	MIDAMERICAN ENERGY ATTN: CARSON HEMPHILL	319-341-4461
WATER & SEWER	CITY OF NORTH LIBERTY ATTN: TOM PALMER	319-626-5736
WATER	CITY OF CORALVILLE WATER ATTN: KEVIN CALLAHAN	319-351-1830
SEWER	CITY OF CORALVILLE WASTEWATER	319-530-6224
ON SITE	IOWA CITY COMMUNITY SCHOOL DISTRICT PHYSICAL PLANT	319-688-1020
COMM	UNITE PRIVATE NETWORKS, LLC ATTN: JOE KILZER	816-425-3556

NOTE: THE CONTACTS LISTED WERE PROVIDED BY IOWA ONE CALL SERVICE.



**STANDARD LEGEND AND NOTES**

---	PROPERTY 1/2" BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	EXISTING RIGHT-OF-WAY LINES
---	EXISTING CENTER LINES
---	LOT LINES, PLATTED OR BY DEED
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	PROPOSED
---	POWER POLE W/DROP
---	POWER POLE W/TRANS
---	POWER POLE W/LIGHT
---	GUY POLE
---	LIGHT POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	EXISTING SANITARY SEWER
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---	EXISTING STORM SEWER
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---	TELEPHONE LINES
---	GAS LINES
---	CONTOUR LINES (1' INTERVAL)
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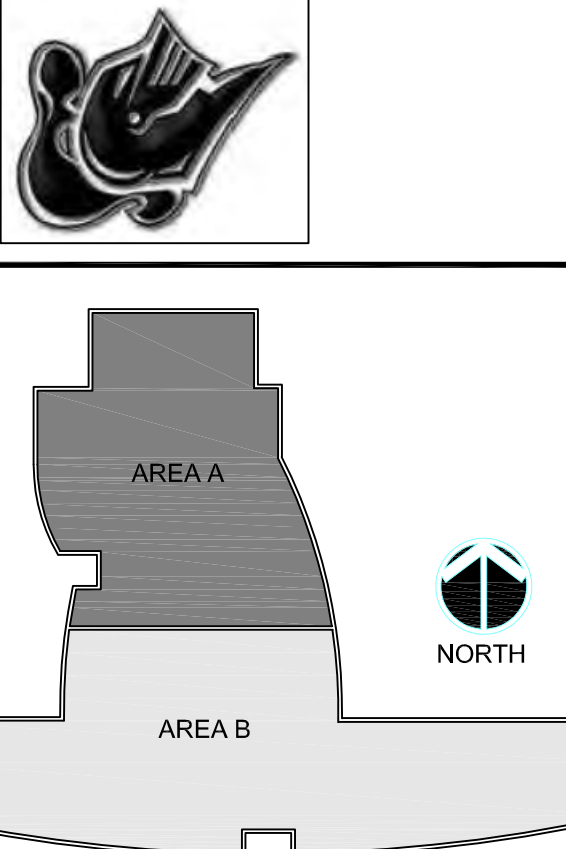
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**IOWA ONE CALL**  
 800/292-8999



**NORTH CENTRAL JUNIOR HIGH SCHOOL**  
 180 FOREVERGREEN RD  
 NORTH LIBERTY, IA 52317

**IOWA CITY COMMUNITY SCHOOL DISTRICT**  
 1725 NORTH DODGE ST  
 IOWA CITY, IA 52245



**ISSUANCE**  
**DESIGN DEVELOPMENT**  
 03/08/18  
 PRINCIPAL / V.B.  
 DESIGNER / J.O.

**REVISIONS**

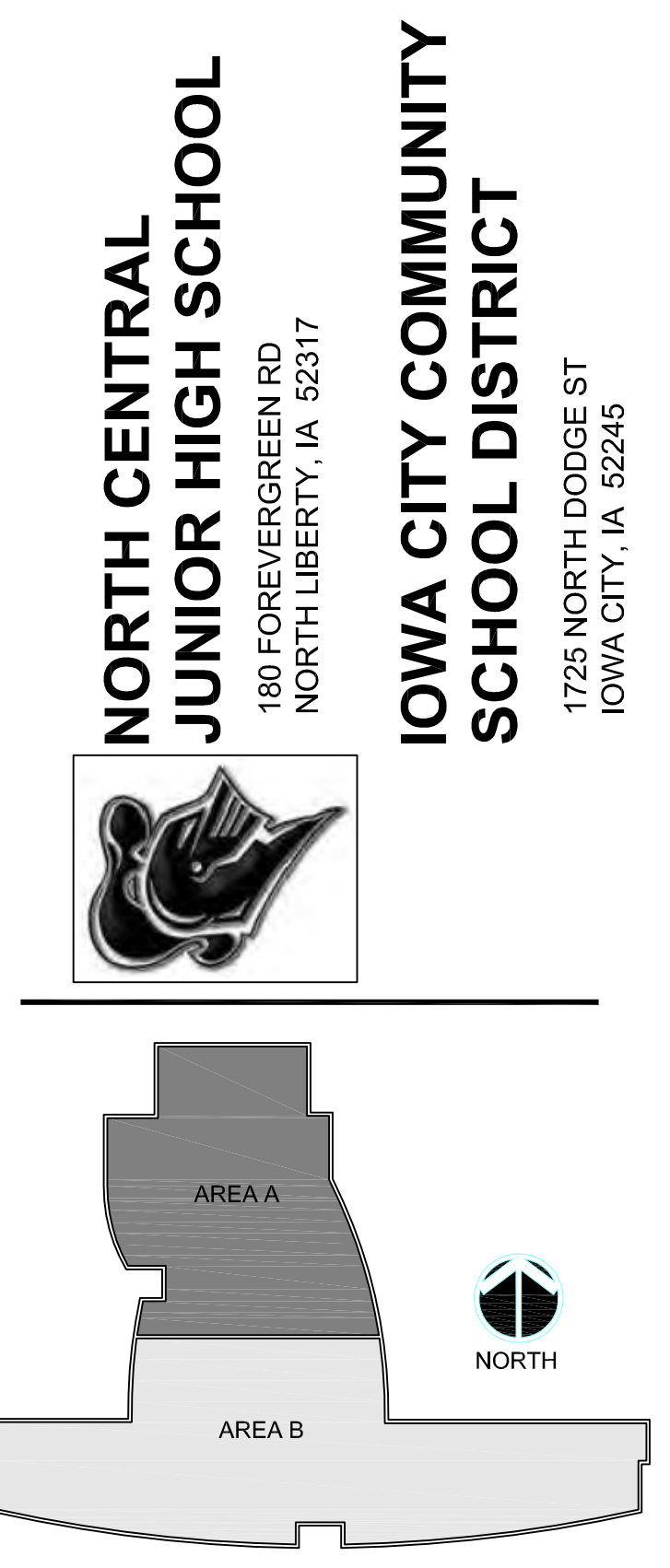
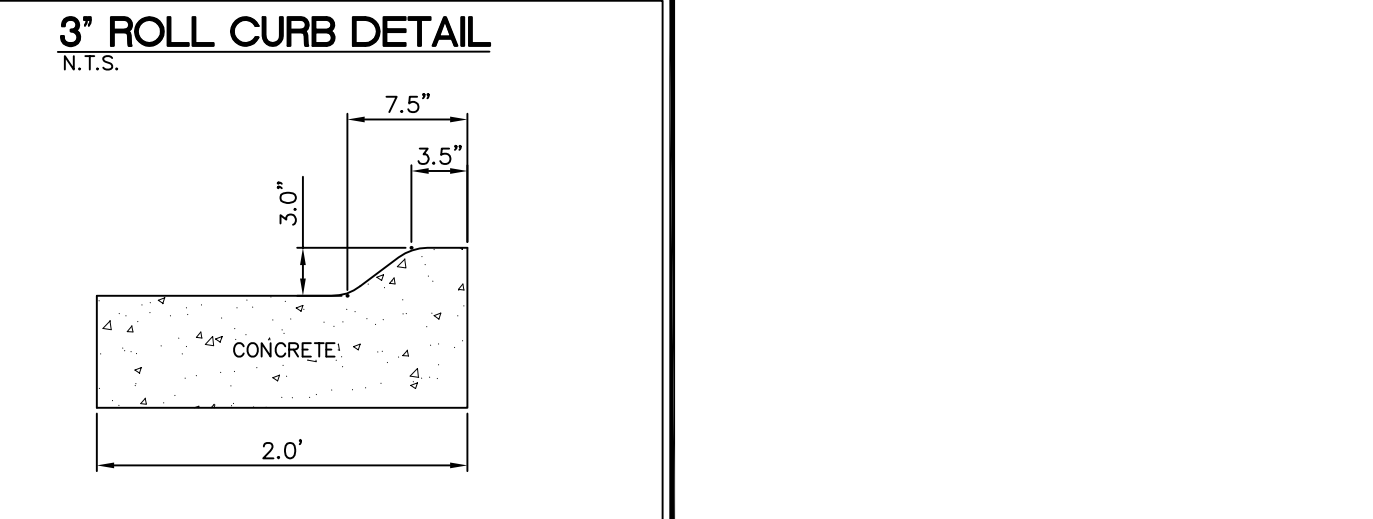
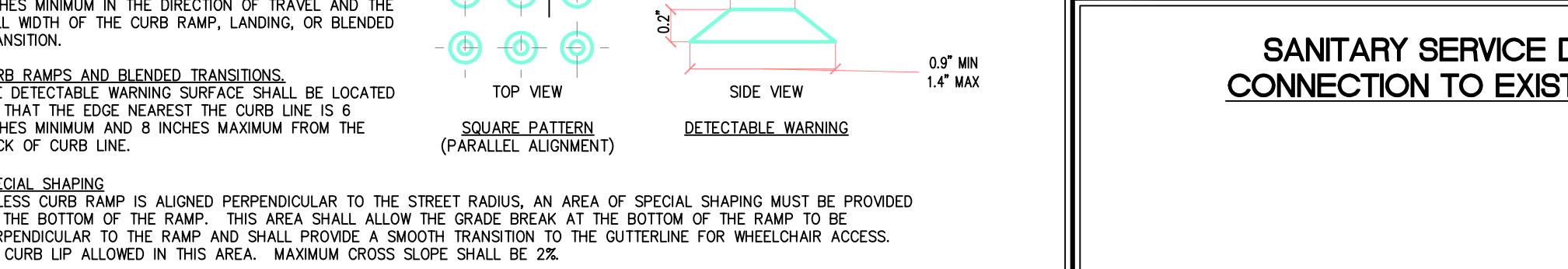
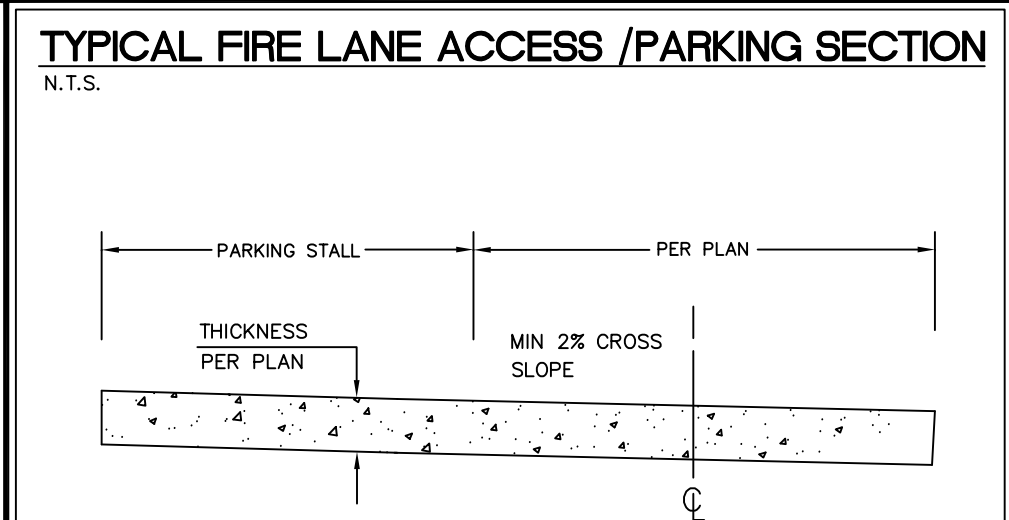
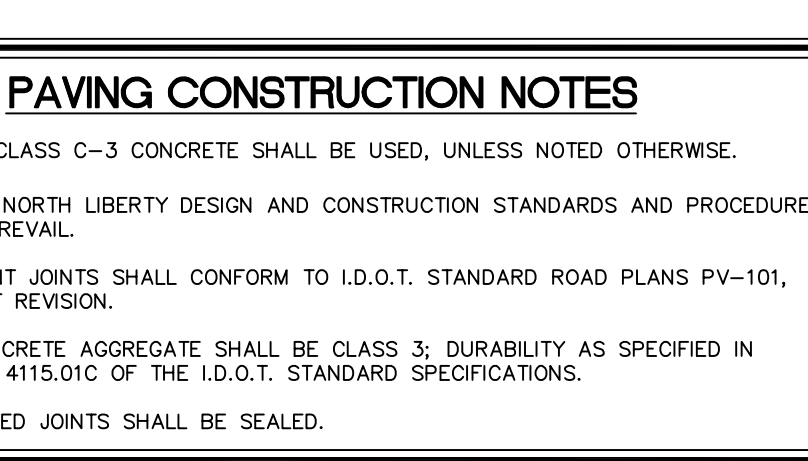
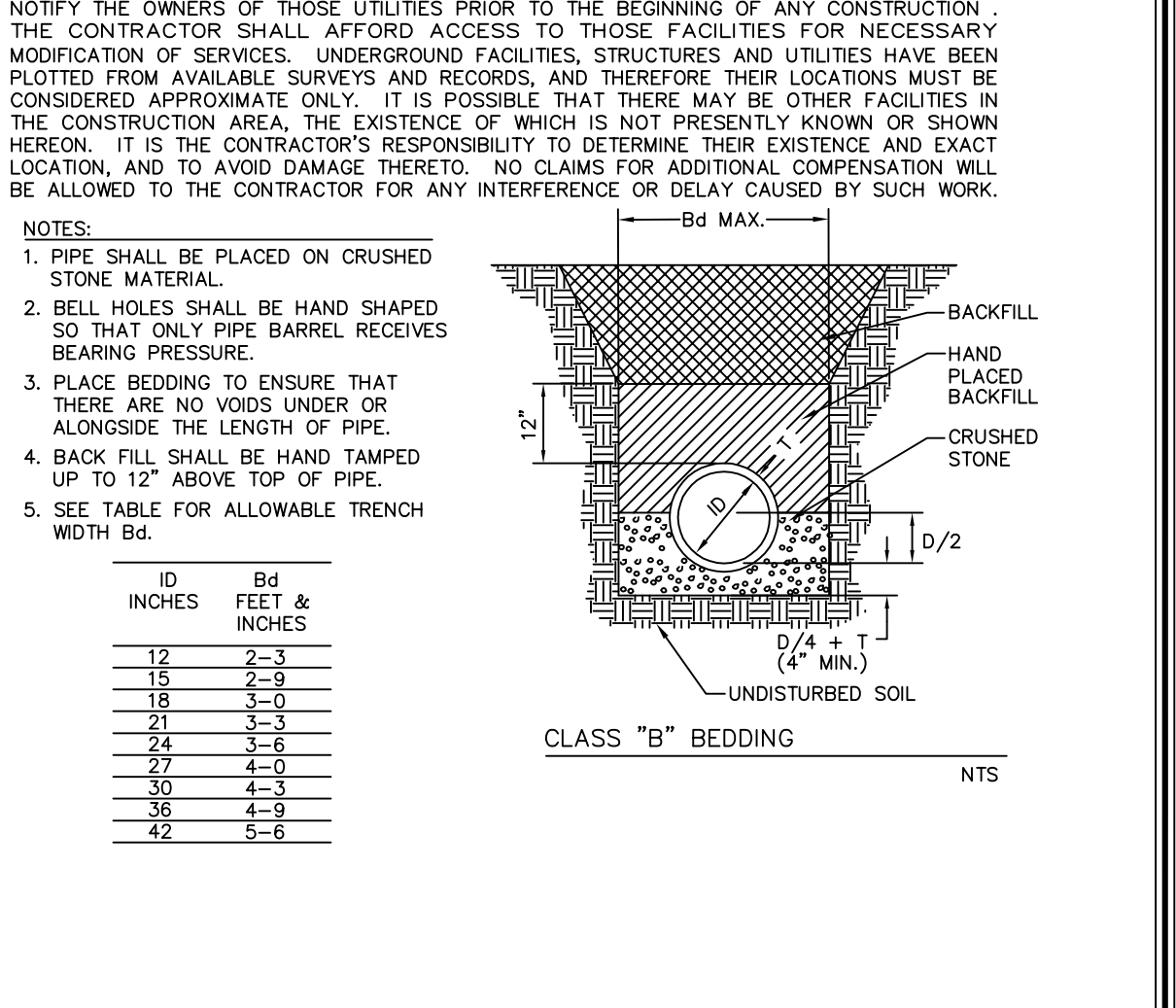
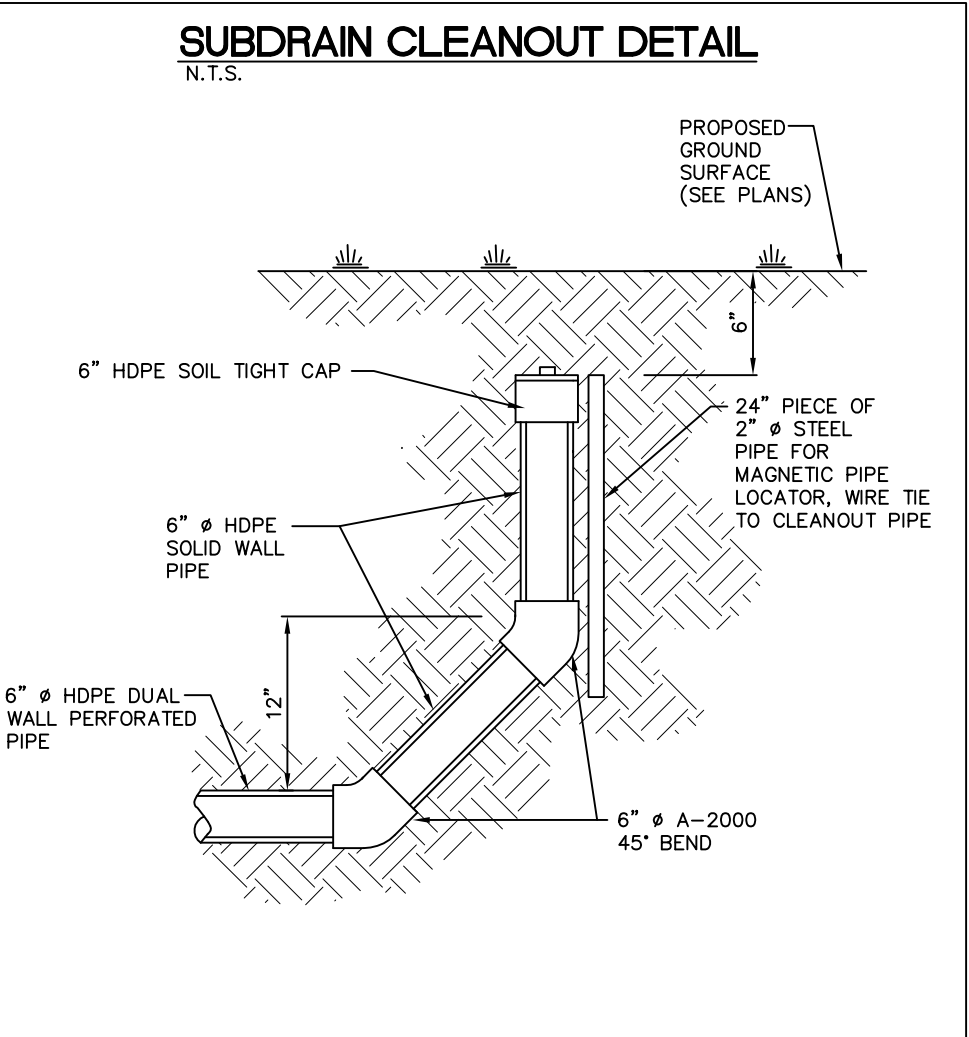
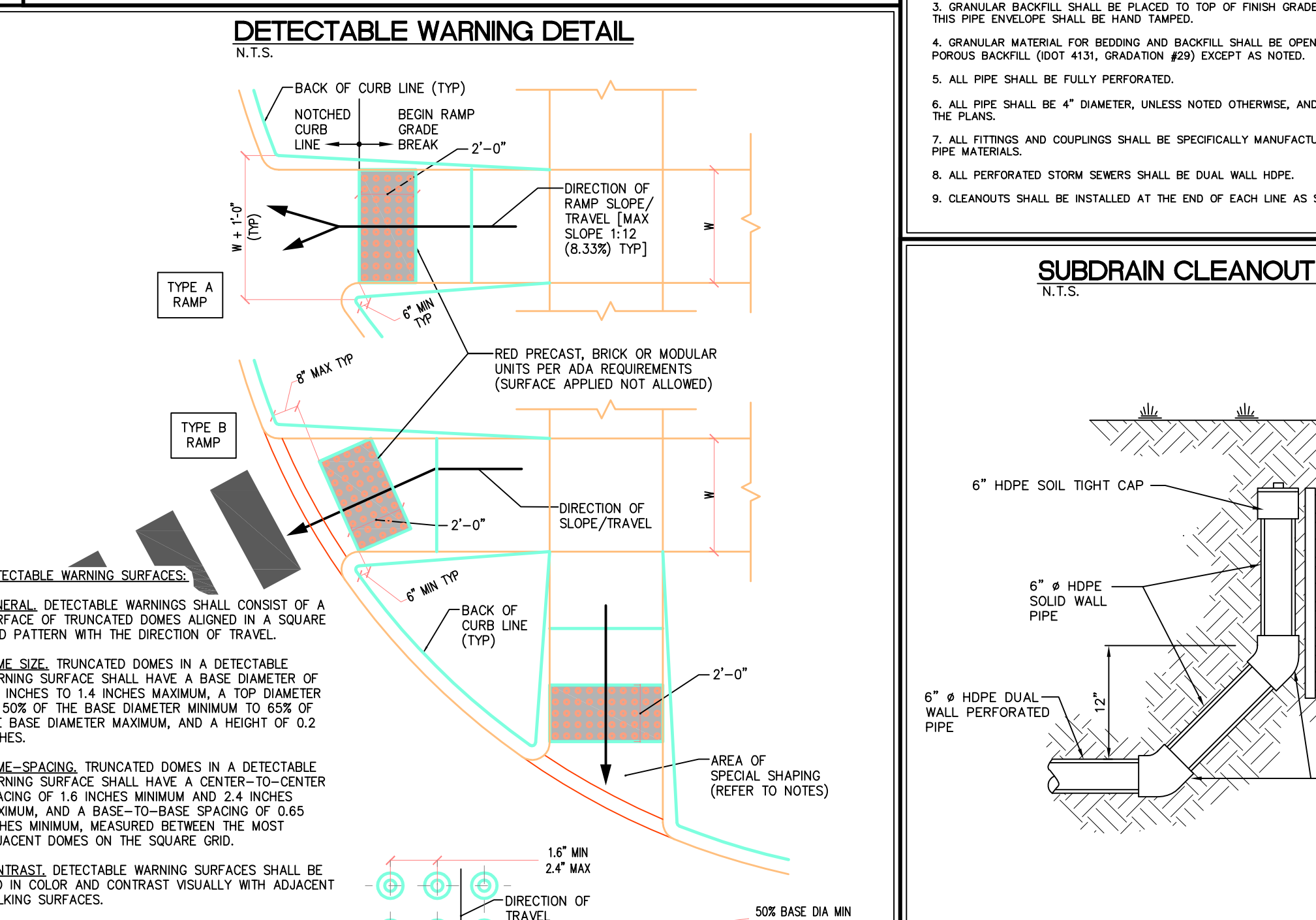
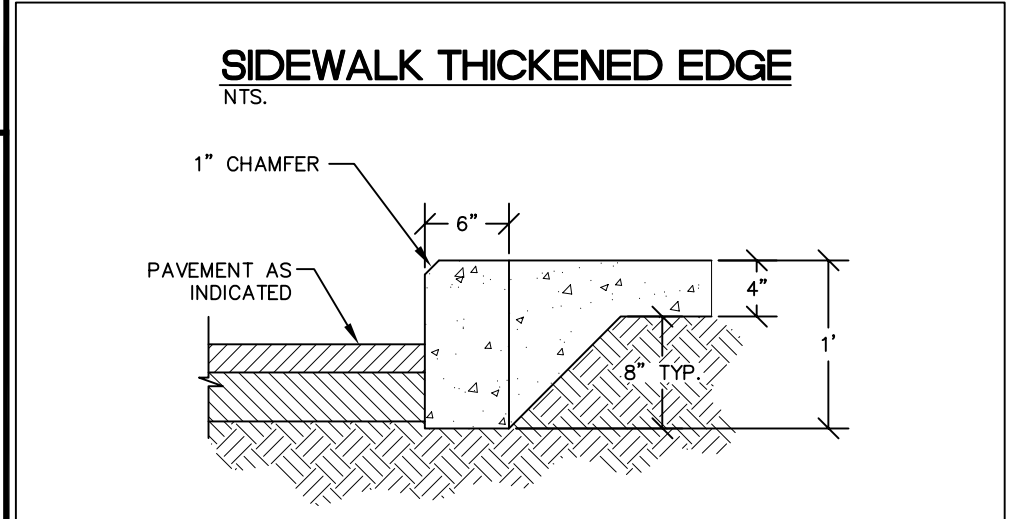
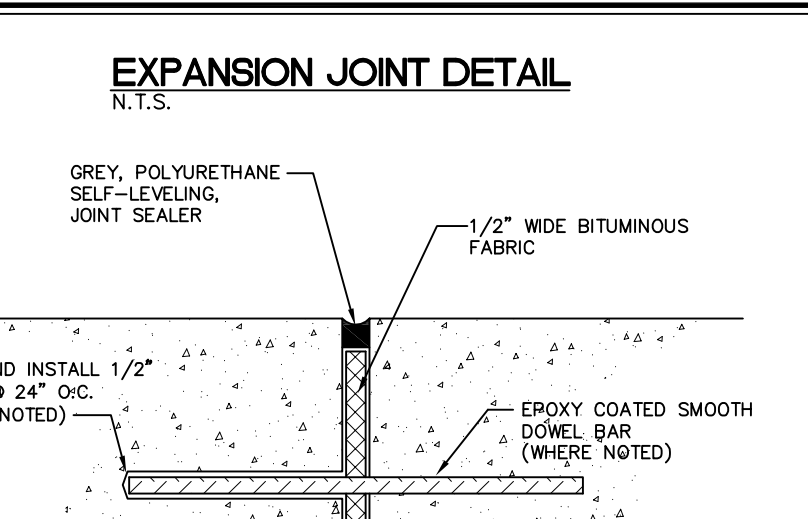
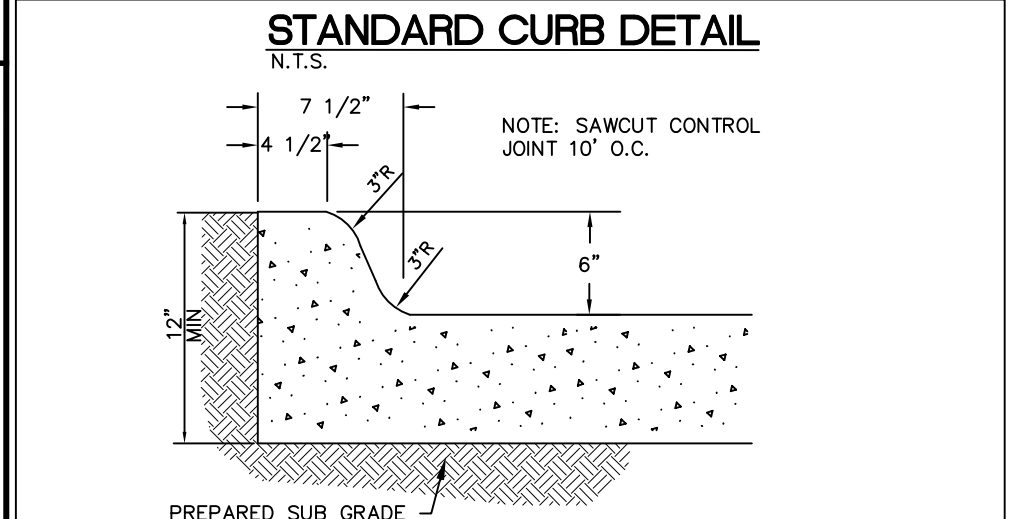
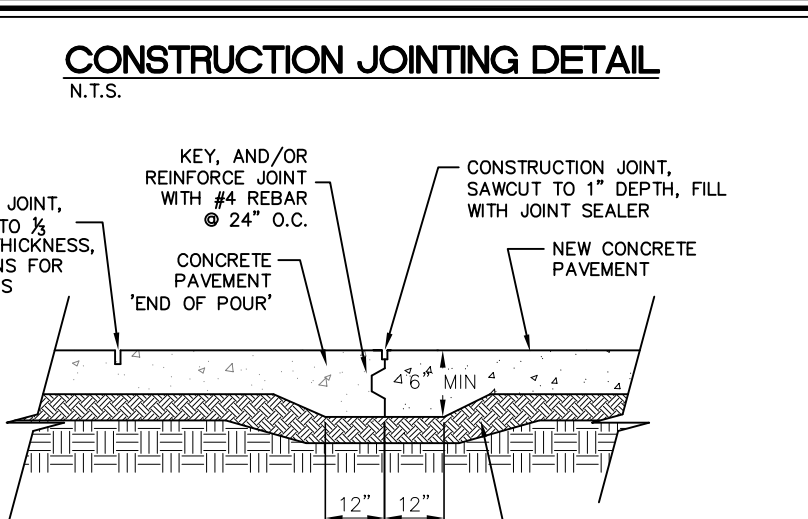
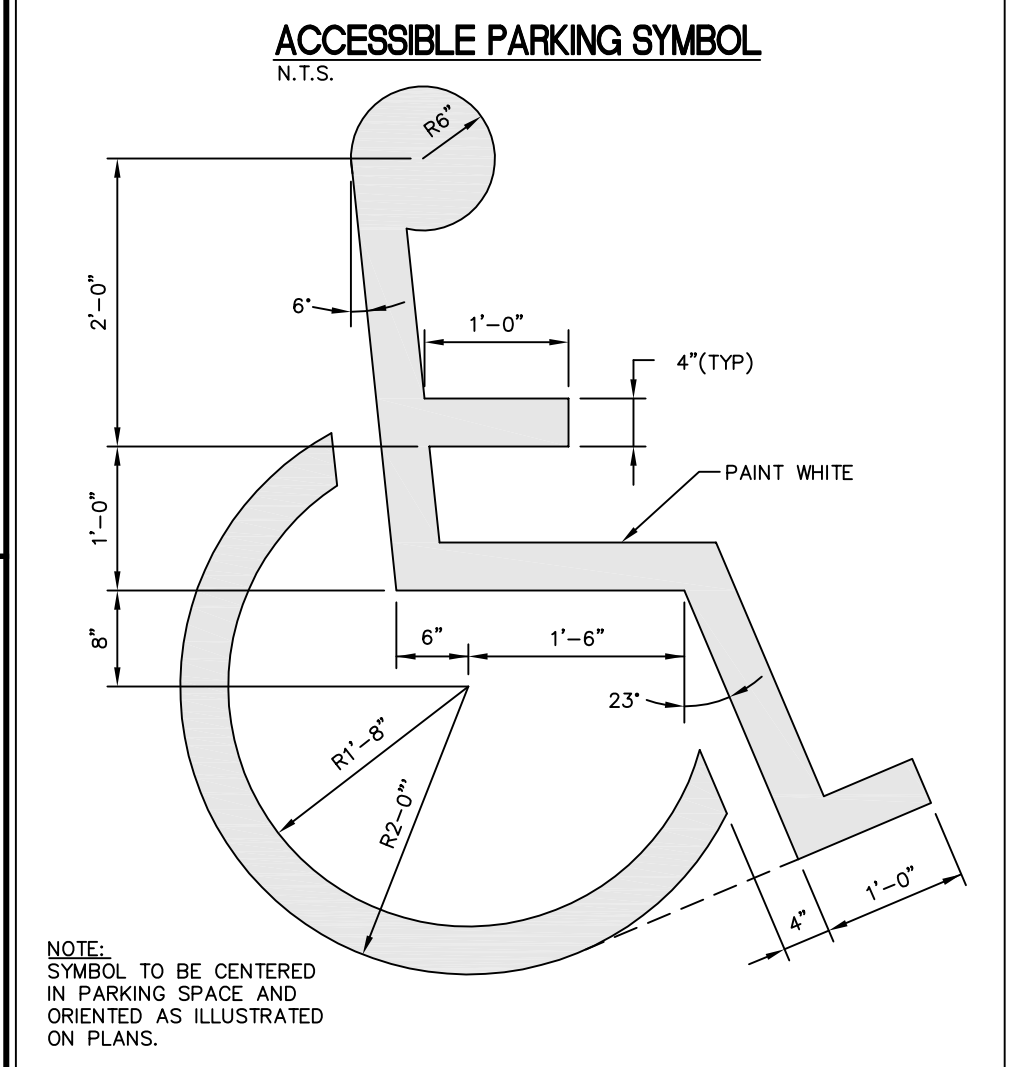
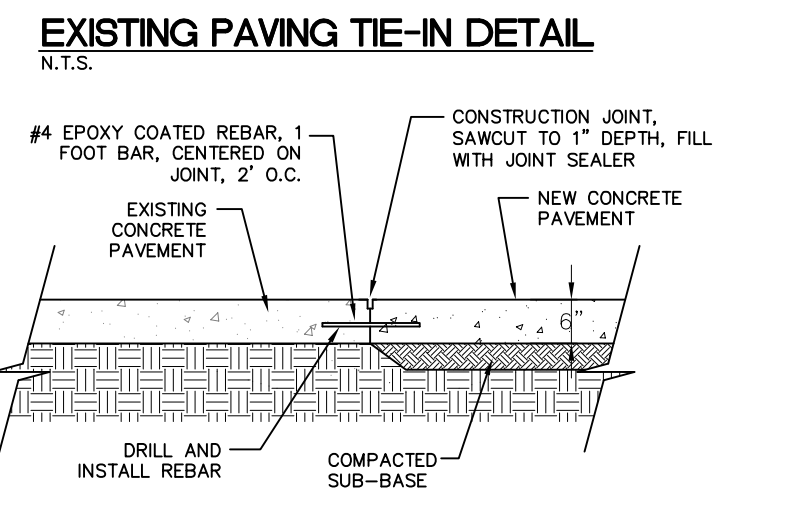
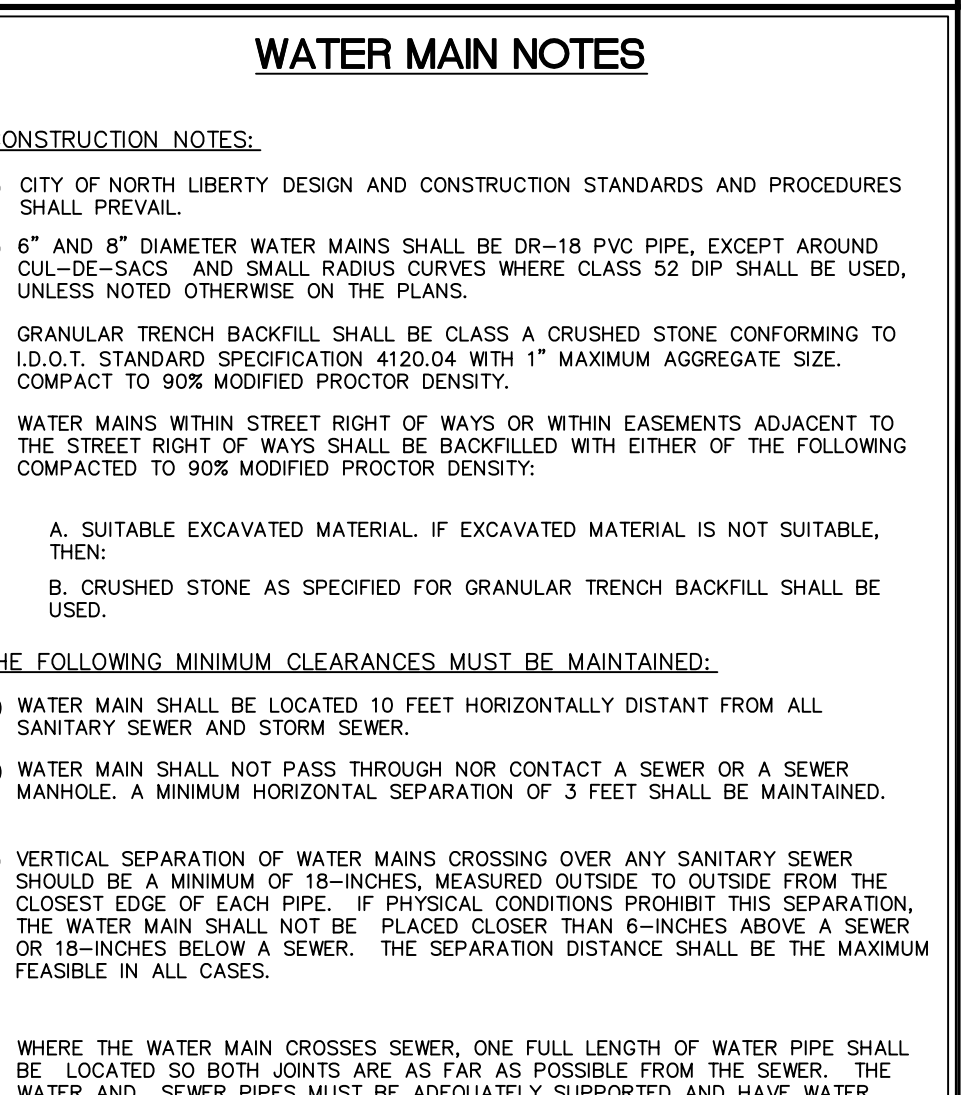
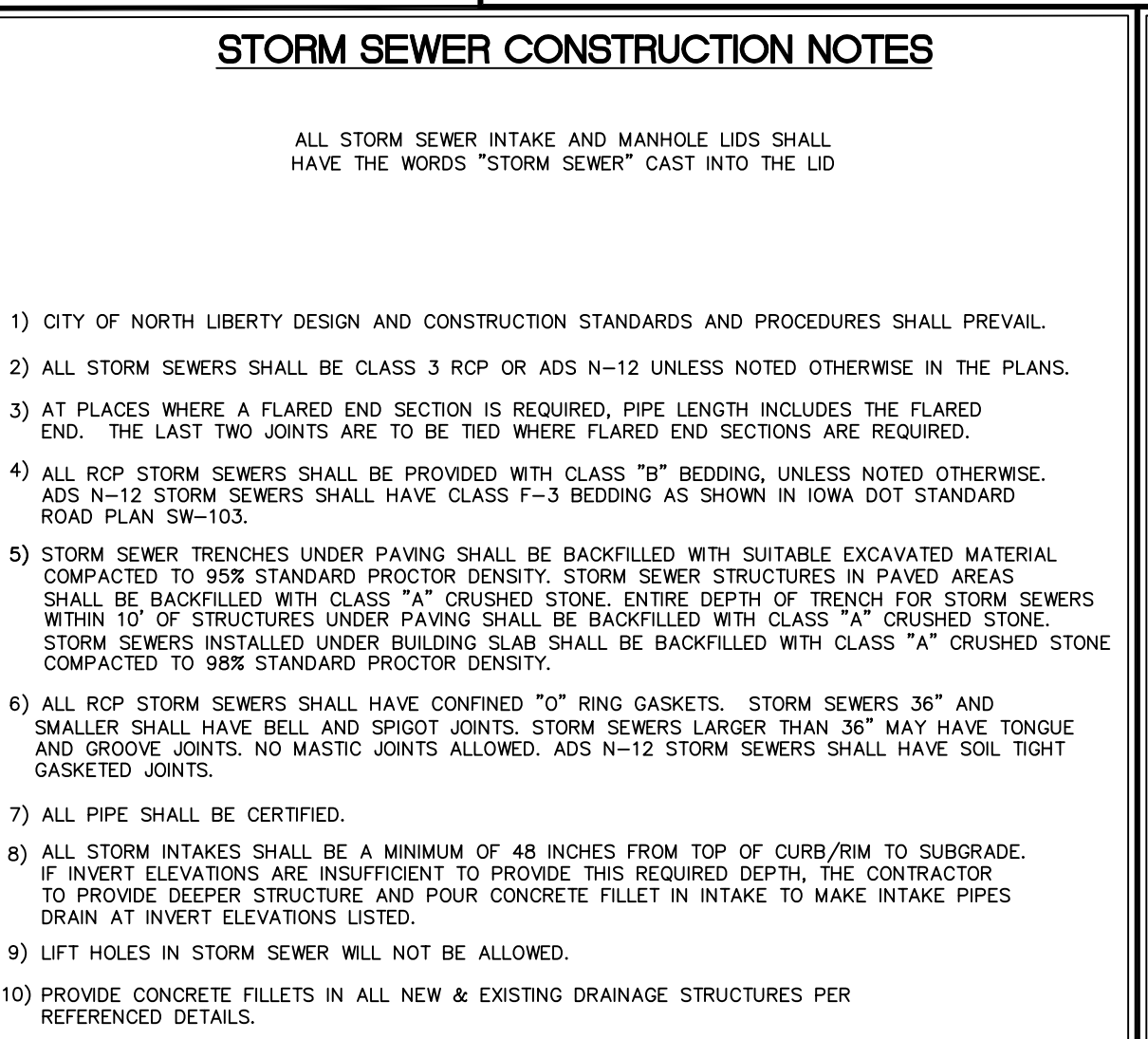
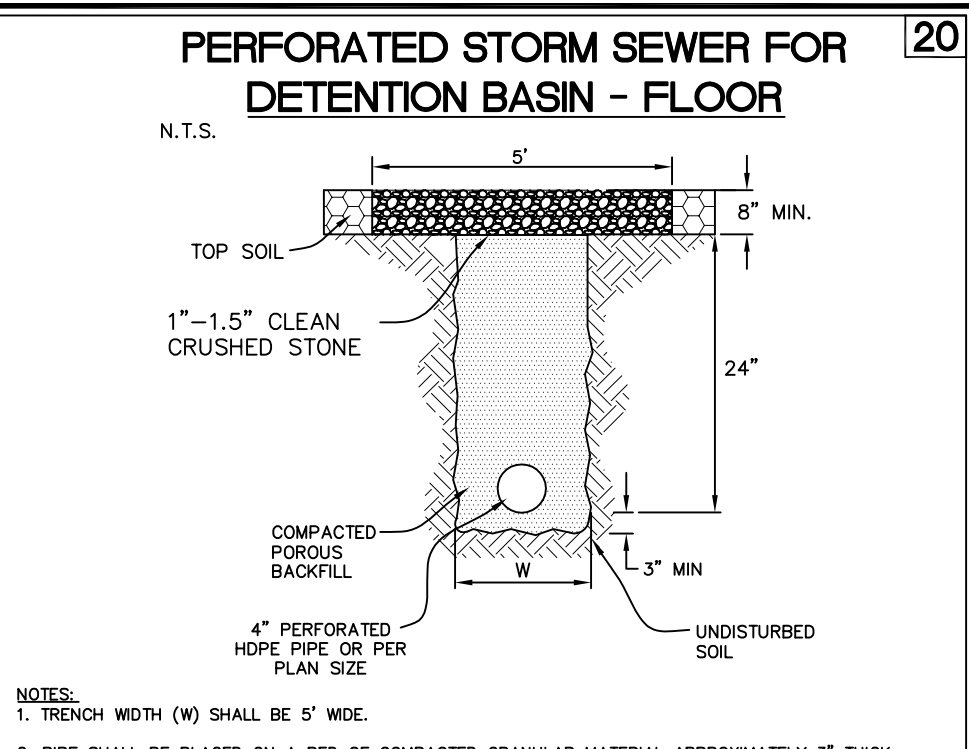
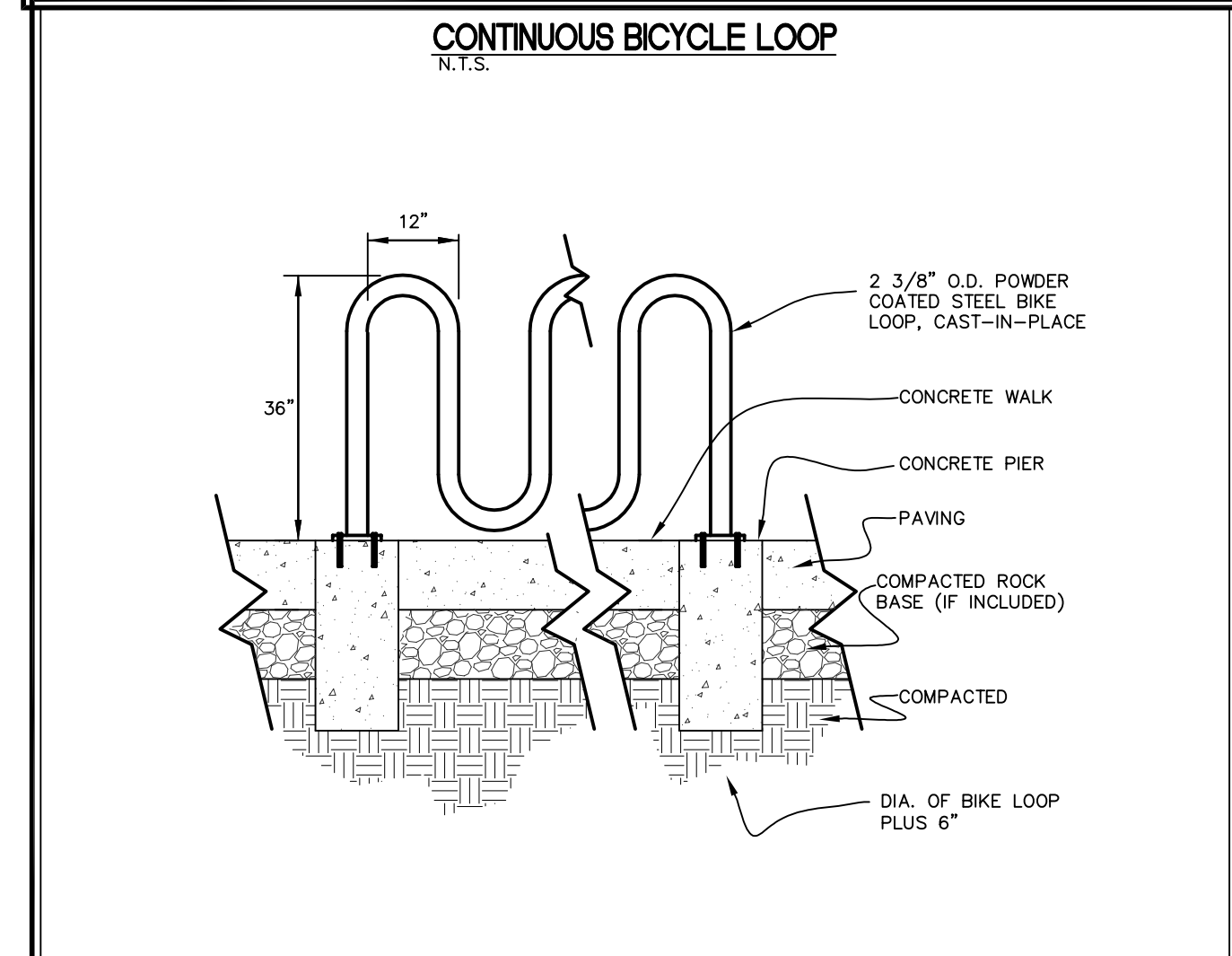
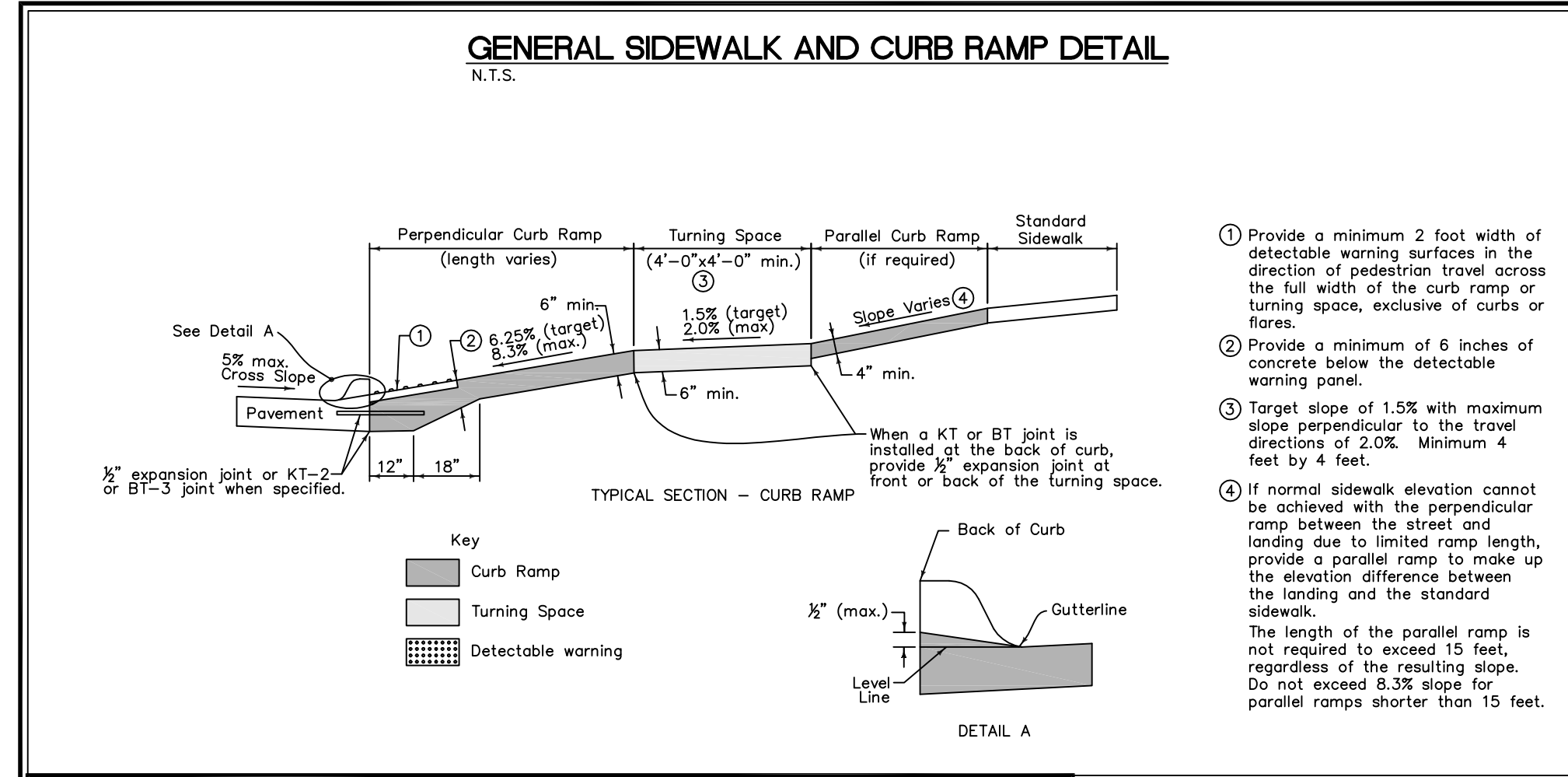
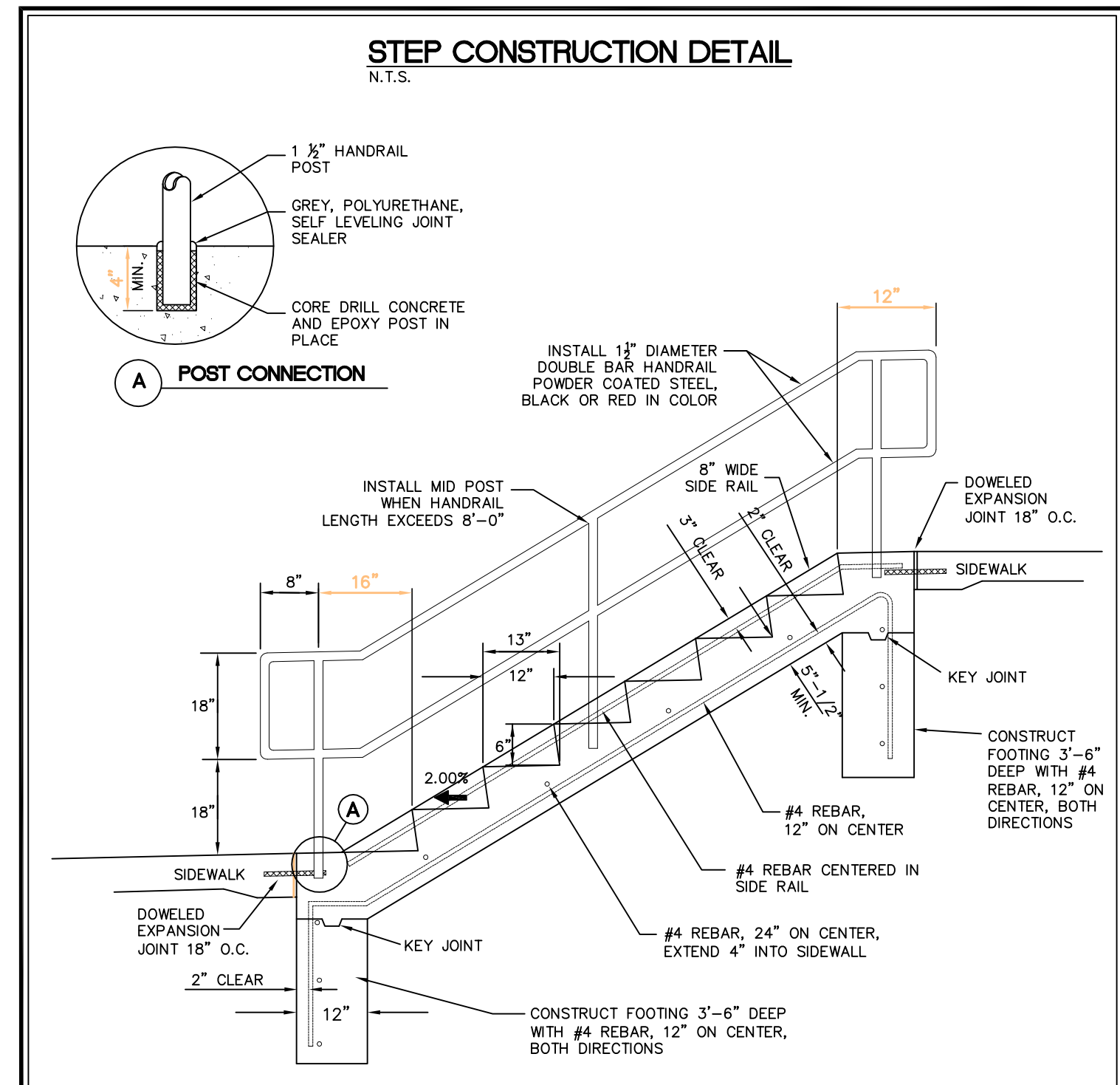
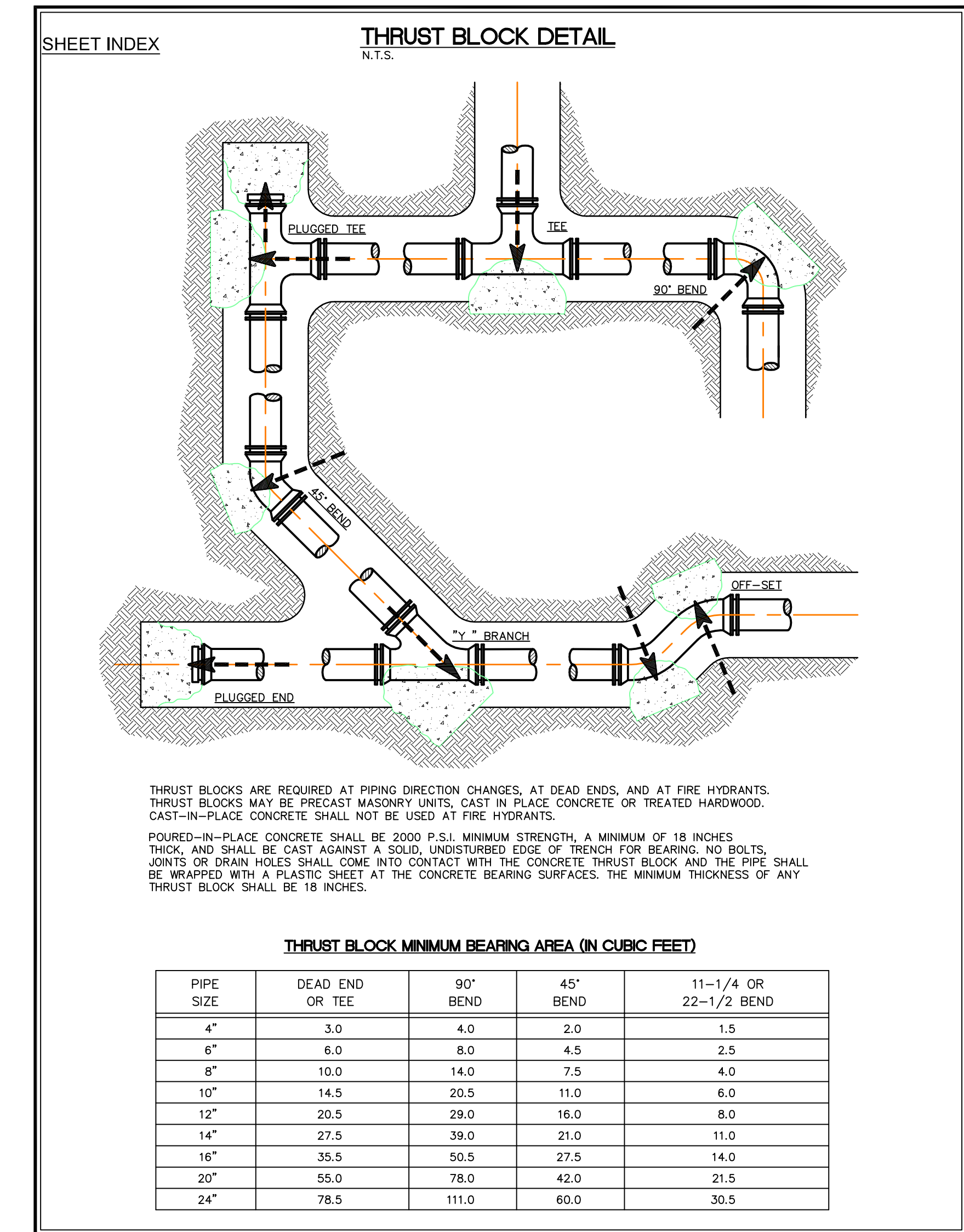
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PROJECT NUMBER  
**17088**  
**SITE UTILITY PLAN**

**C-160**



**ISSUANCE**  
DESIGN DEVELOPMENT  
03/08/18  
PRINCIPAL/VB  
DESIGNER/JO

**REVISIONS**

**NOT FOR CONSTRUCTION**

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PROJECT NUMBER  
**17088**

**GENERAL NOTES AND DETAILS**

**C-500**

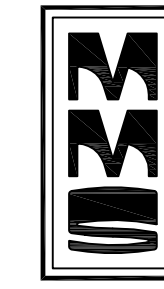
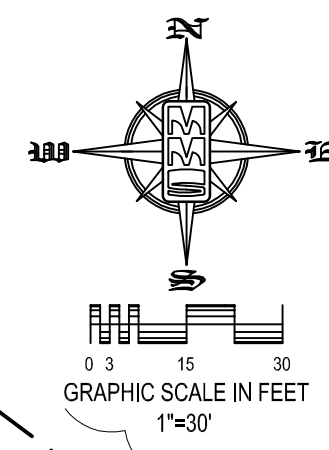
FIGURE #7#AB  
WATER TRACER WIRE ACCESS BOX VALVCO-95E-25" ID  
WWW.CPTEST.COM

# SITE PLAN NORTH CENTRAL JUNIOR HIGH SCHOOL NORTH LIBERTY, IOWA

**PLAT PREPARED BY:**  
 MMS CONSULTANTS INC.  
 1917 S. GILBERT STREET  
 IOWA CITY, IOWA 52240

**OWNER/APPLICANT:**  
 IOWA CITY COMMUNITY SCHOOL DISTRICT  
 1725 NORTH DODGE STREET  
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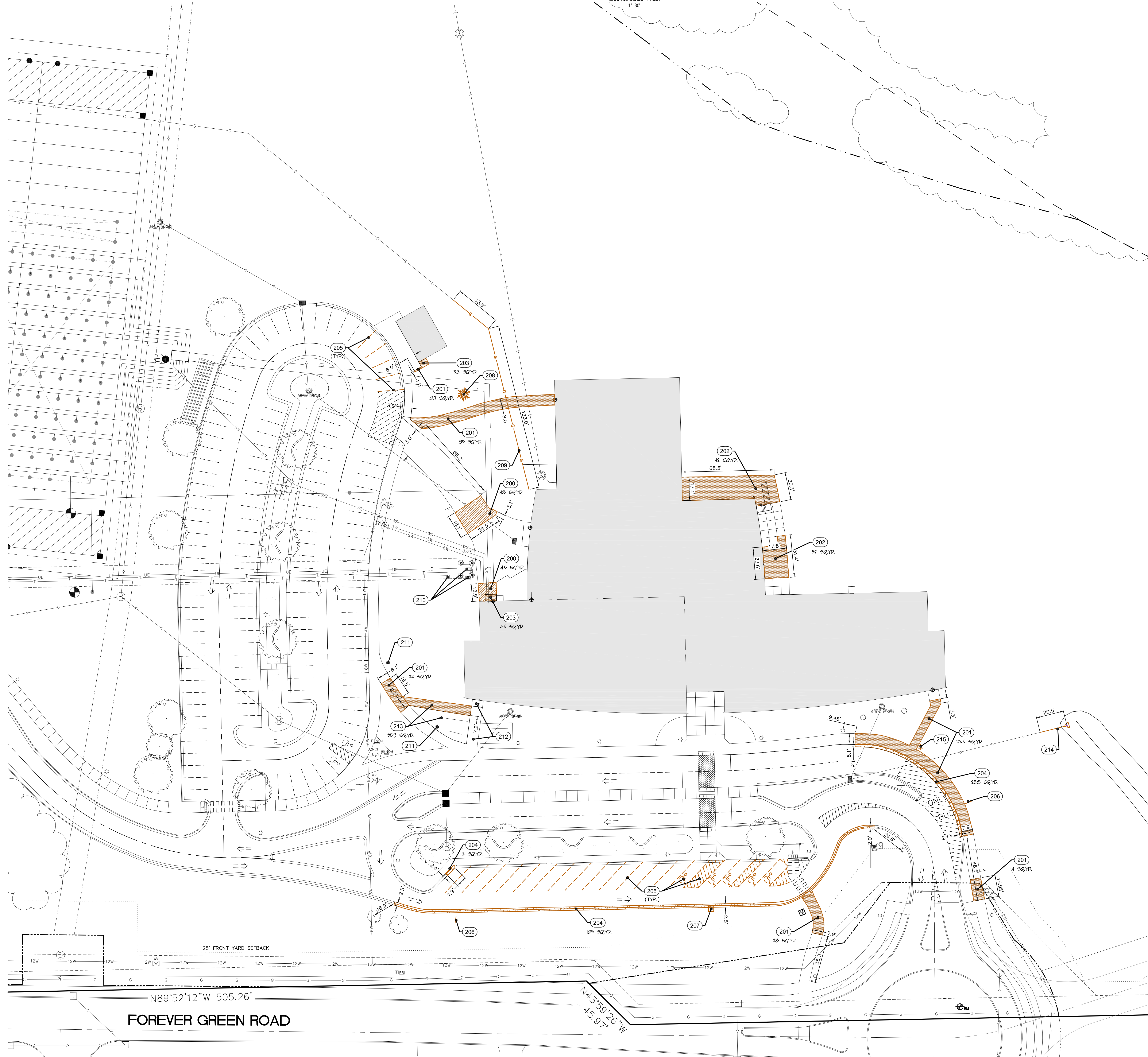


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 Iowa City, Iowa (319) 351-8282  
 ◀ CIVIL ENGINEERS ▶ LAND PLANNERS ▶  
 ◀ LANDSCAPE ARCHITECTS ▶ LAND SURVEYORS ▶  
 ◀ ENVIRONMENTAL SPECIALISTS ▶  

 MMS BRILL, INC. 2000-2002  
 DESIGNED AND CHECKED BY: LCN  
 DRAWN BY: TAT  
 FIELD BOOK NUMBER:

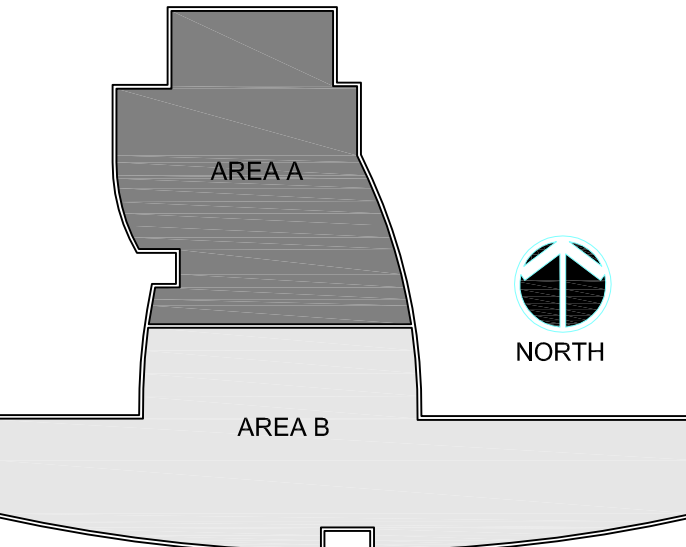
- C-120 OVERALL LAYOUT AND DIMENSION PLAN
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- C-141 DETAILED GRADING PLAN
- C-160 SITE UTILITY PLAN
- C-500 GENERAL NOTES AND DETAILS
- CD-100 SITE DEMOLITION PLAN**
- L-100 SITE LANDSCAPE PLAN

NUMBER	KEYNOTE	DETAIL
200	REMOVE EXISTING ASPHALT PAVING	
201	REMOVE EXISTING CONCRETE SIDEWALK	
202	REMOVE EXISTING CONCRETE PATIO. PROTECT EXISTING METAL STEPS AND STEP FOOTINGS DURING REMOVAL OF EXISTING PATIO	
203	REMOVE EXISTING CONCRETE STOOP	
204	REMOVE EXISTING CONCRETE CURB AND GUTTER	
205	GRIND OFF EXISTING PAINTED STRIPPED LINES	
206	REMOVE "NO PARKING" SIGN. SALVAGE AND DELIVER TO OWNER.	
207	REMOVE MAIL BOX. REINSTALLED LOCATION PROVIDED ON SHEET C-121.	
208	REMOVE EXISTING PINE TREE	
209	REMOVE EXISTING GAS LINE BEYOND CONSTRUCTION ZONE. REPLACE PER DIRECTION OF UTILITY REPRESENTATIVE.	
210	PROTECT EXISTING TRANSFORMER AND UTILITY PEDESTALS DURING CONSTRUCTION OF PROPOSED ADDITION	
211	PROTECT EXISTING LIGHT POLE BASE DURING CONSTRUCTION.	
212	PROTECT EXISTING STOOP AND SIDEWALK. THIS INGRESS/EGRESS TO THE BUILDING SHALL REMAIN OPEN AT ALL TIMES DURING CONSTRUCTION.	
213	REMOVE CONCRETE BIKE RACK AREA. PROTECT EXISTING BIKE RACKS DURING CONSTRUCTION.	
214	REMOVE EXISTING STORM SEWER RCP PIPE AND FLARED END SECTION.	
215	REMOVE EXISTING LIGHT POLE AND BASE. REINSTALLED LOCATION PROVIDED ON SHEET C-121.	



**NORTH CENTRAL JUNIOR HIGH SCHOOL**  
 180 FOREVERGREEN RD.  
 NORTH LIBERTY, IA 52317

**IOWA CITY COMMUNITY SCHOOL DISTRICT**  
 1725 NORTH DODGE ST  
 IOWA CITY, IA 52245



ISSUANCE

**DESIGN DEVELOPMENT**  
 03/08/18

PRINCIPAL / VB  
 DESIGNER / JO

REVISIONS

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PROJECT NUMBER  
**17088**

**SITE DEMOLITION PLAN**

**CD-100**

STANDARD LEGEND AND NOTES	
	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
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	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
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	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUB
	POWER POLE W/RODOP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	GUY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
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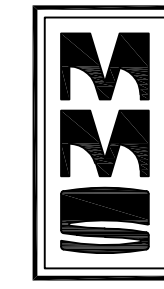
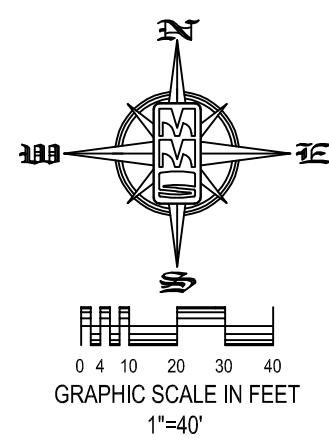
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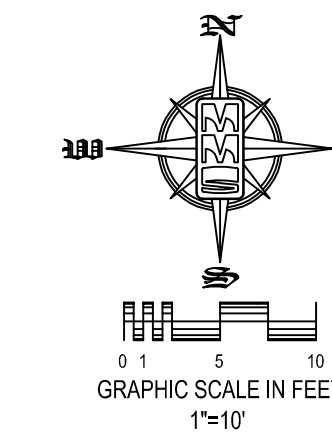
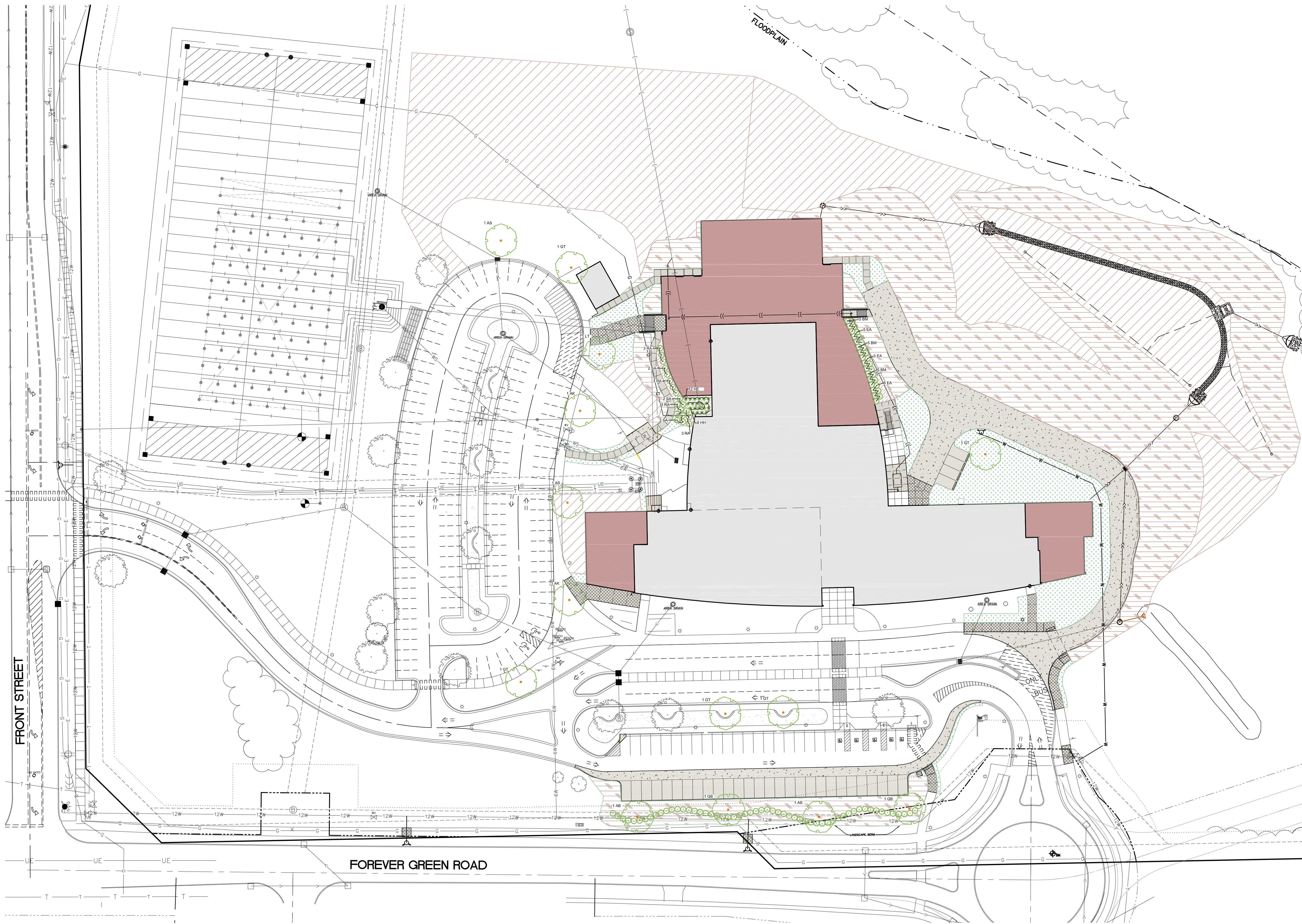
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 MAIL: 3801 W. 1300TH ST.  
 DESIGNED AND CHECKED BY: LCN  
 DRAWN BY: TLF  
 FIELD BOOK NUMBER:



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---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	22-1
---	EXISTING POWER POLE
---	PROPOSED POWER POLE W/PROP
---	PROPOSED POWER POLE W/TRANS
---	PROPOSED POWER POLE W/LIGHT
---	GUY POLE
---	LIGHT POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
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---	GAS LINES
---	CONTOUR LINES (1' INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE
---	EXISTING DECIDUOUS TREE & SHRUB
---	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

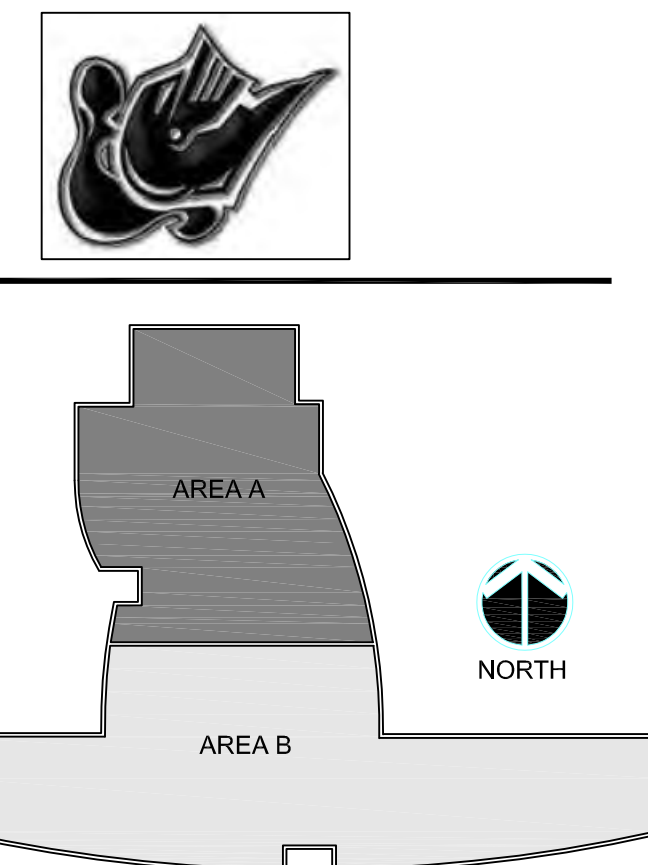
**VEGETATION PLAN LEGEND**

[Pattern]	SOD AREAS
[Pattern]	SEED AND STRAW MULCH AREAS
[Pattern]	EROSION CONTROL BLANKET AREAS



**NORTH CENTRAL JUNIOR HIGH SCHOOL**  
 180 FOREVERGREEN RD.  
 NORTH LIBERTY, IA 52371

**IOWA CITY COMMUNITY SCHOOL DISTRICT**  
 1725 NORTH DODGE ST  
 IOWA CITY, IA 52245



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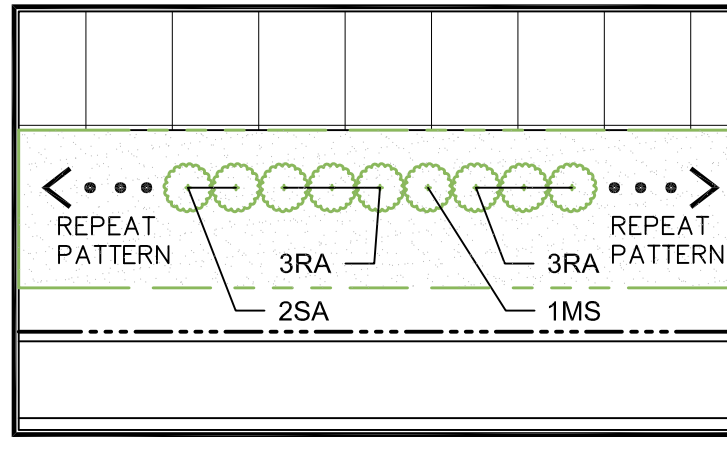
© 2018  
 PROJECT NUMBER: 17088  
**SITE LANDSCAPE PLAN**  
**L-100**

**PLANT LIST - TREES**

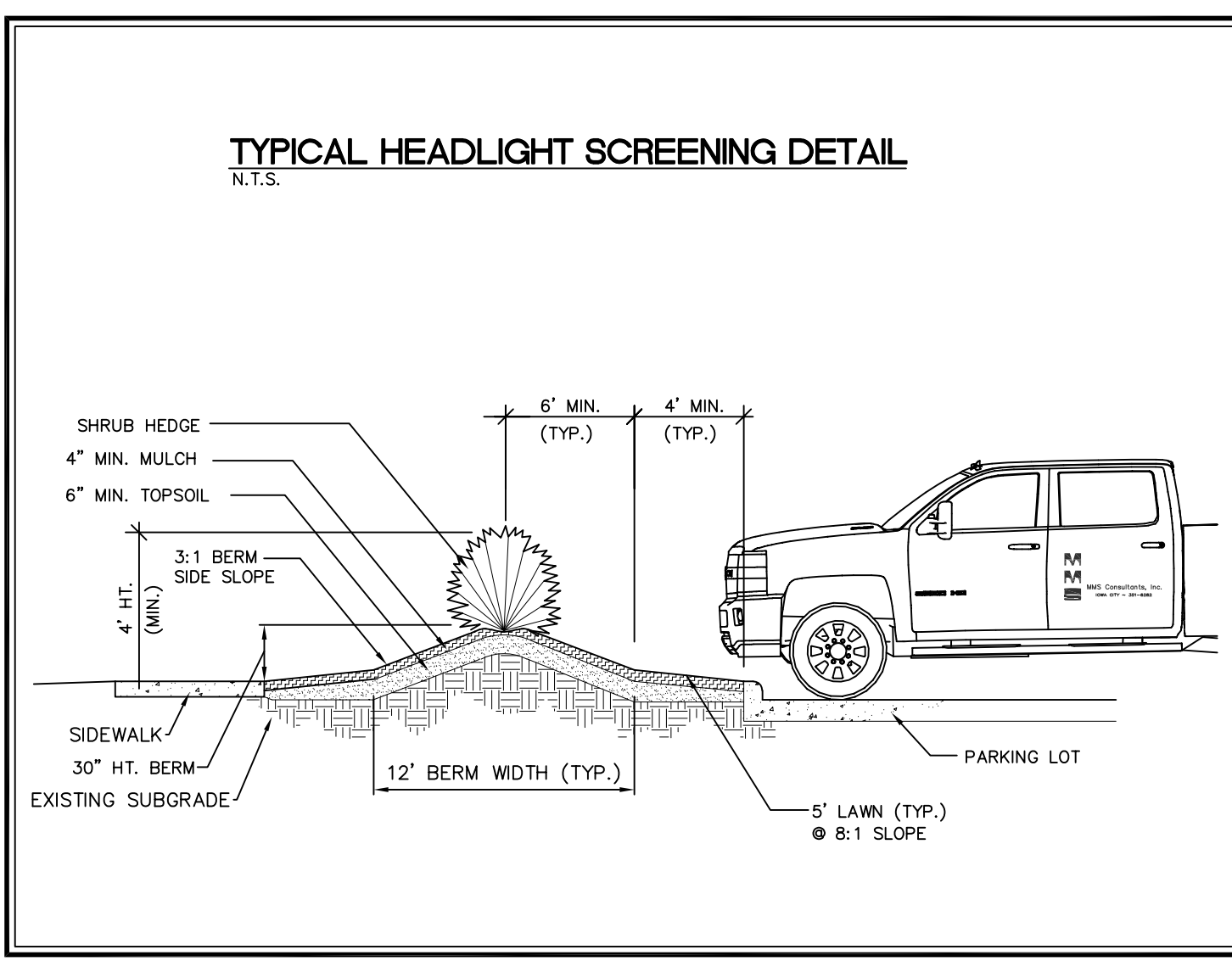
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
3	AB	ACER X FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE RED MAPLE	2" CAL.	D & D	50' X 50'
3	AK	ACER PLATANIFOLIOS 'GRIMON KING'	GRIMON KING MAPLE	2" CAL.	D & D	45' X 50'
3	AS	ACER SACCHARUM	SUGAR MAPLE	2" CAL.	D & D	70' X 50'
9	BT	SLEPITZIA TRIACANTHOS INTERMIS 'SUNBURST'	SUNBURST THORNLESS HONEYLOCUST	2" CAL.	D & D	60' X 50'
1	LT	LIRIODENDRON TULIPIFERA	TULIP TREE	2" CAL.	D & D	80' X 50'
3	QB	QUERCUS DOREALIS	NORTHERN RED OAK	2" CAL.	D & D	75' X 50'

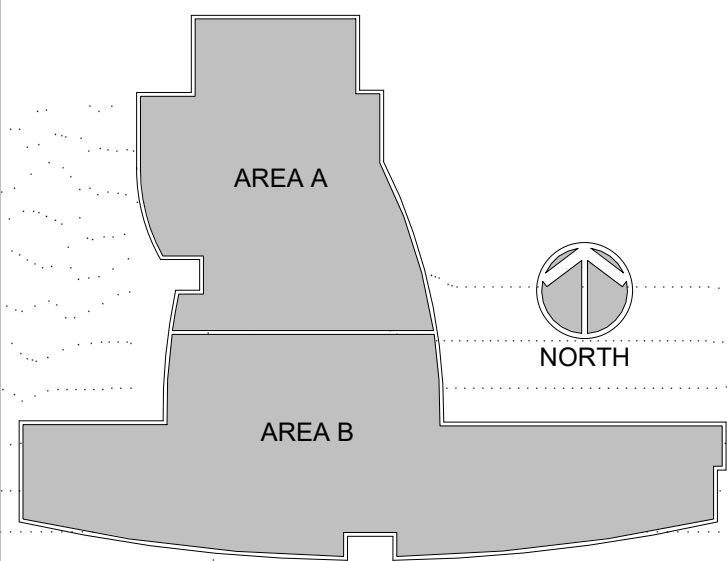
**PLANT LIST - SHRUBS, PERENNIALS, ORNAMENTAL GRASSES & GROUNDCOVER**

QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
2	2M	PERENNIA THUNDERBOL FLUY CARAMEL	FLUY CARAMEL BORAGE	10" HT.	CONT.	4' X 5'
1	EA	EUPHONIUM ALATUS COMPACTUS	COMPACT WINEEP EUPHONIUM	24" HT.	CONT.	5' X 5'
2	1E	HOSTA SEKOLDIANA ELEGANS	ELEGANS HOSTA	8" HT.	CONT.	2' X 2'
2	1H	HOSTA HONEYBELLS	HONEYBELL HOSTA	8" HT.	CONT.	15' X 5'
2	1S	MISCANTHUS SINENSIS 'SILVERFEATHER'	SILVER FEATHER MISCANTHUS	24" HT.	CONT.	6' X 4'
1	RA	RIBES ALPINA GREEN MOUND	GREEN MOUND ALPINE CURRANT	10" HT.	CONT.	4' X 4'
1	1A	SPIRAEA ANTHONY WATERER	ANTHONY WATERER SPIREA	10" HT.	CONT.	5' X 5'



**UTILITIES**  
 THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.  
 WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IF IT IS POSSIBLE, THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.





ISSUANCE

**DESIGN DEVELOPMENT**  
03/08/18  
PRINCIPAL VB  
DESIGNER JO

REVISIONS

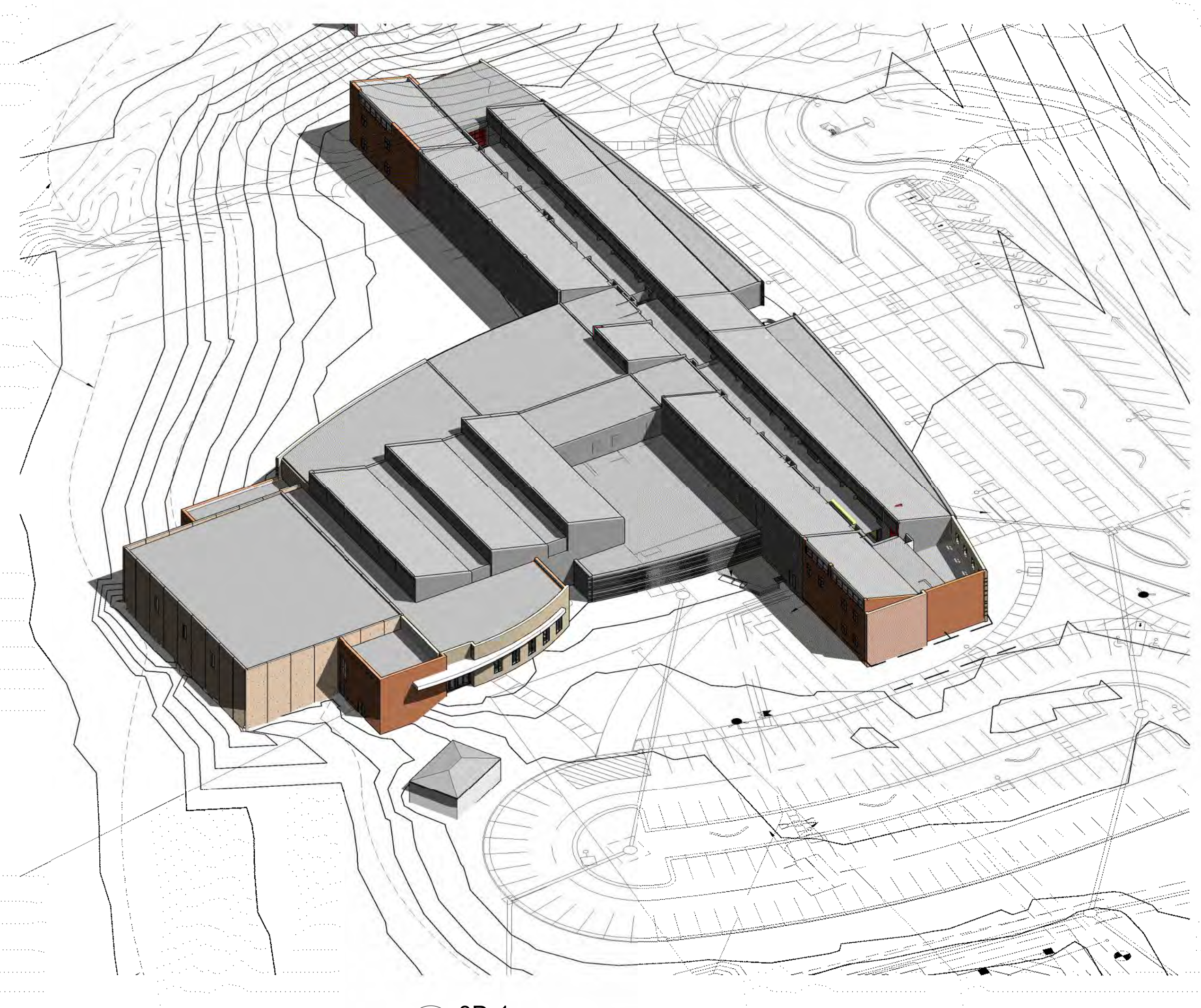
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INSTRUCTION**

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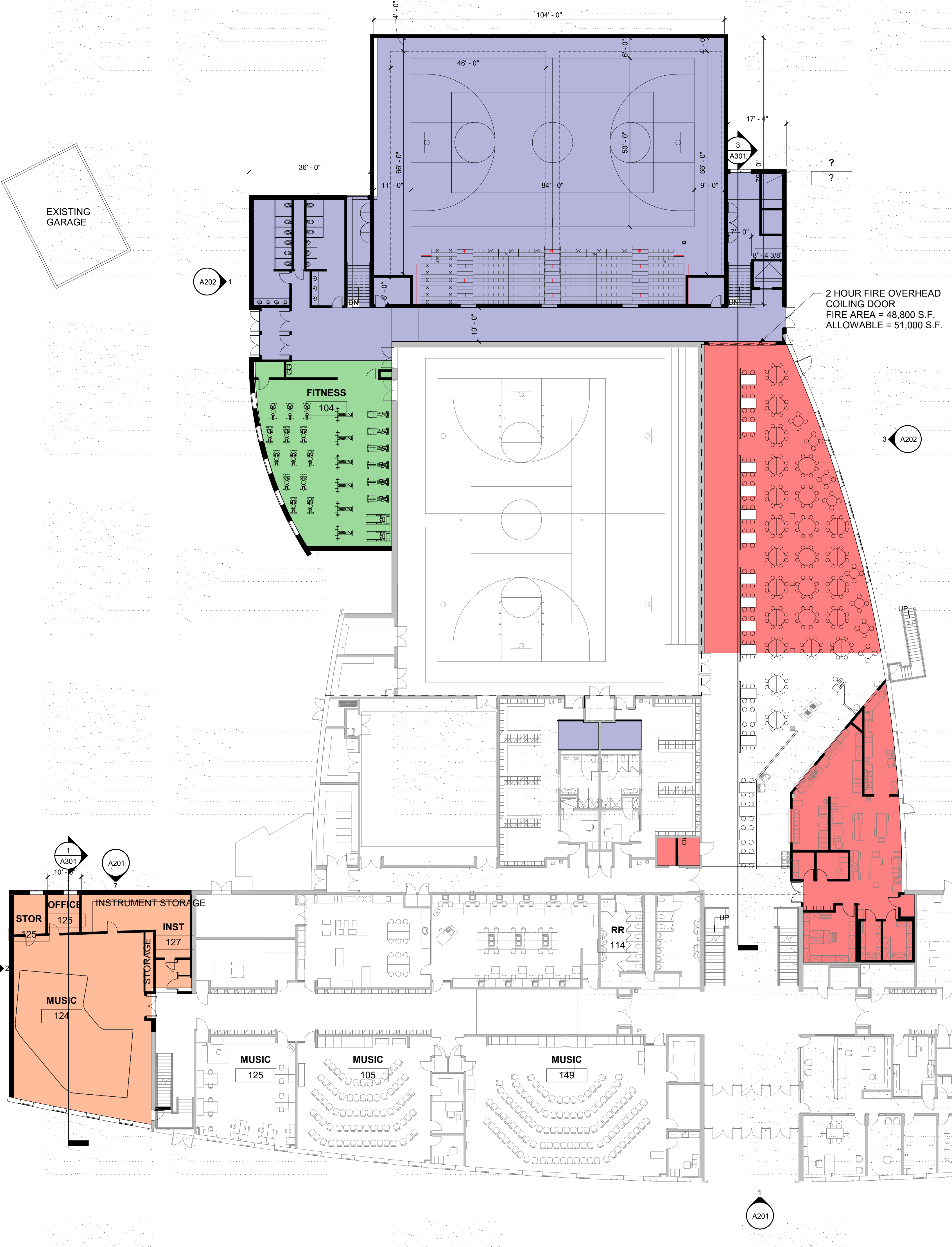
© 2018  
PROJECT NUMBER  
**17088**

FIRST FLOOR PLAN  
OVERALL

**A101**



3 3D-1  
SCALE:

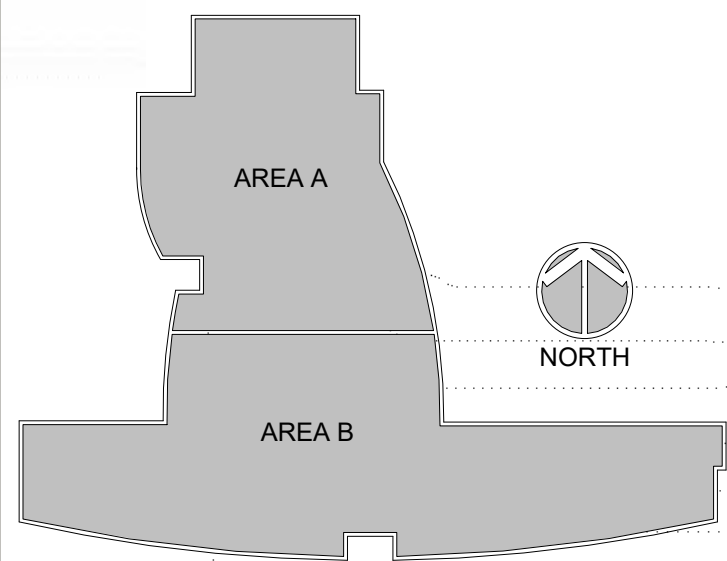


2 HOUR FIRE OVERHEAD  
COILING DOOR  
FIRE AREA = 48,800 S.F.  
ALLOWABLE = 51,000 S.F.

LOCKERS  
EXISTING: 593  
NEW FIRST FLOOR: 43  
NEW SECOND FLOOR: 43  
TOTAL: 679

CLASSROOM ADDITION  
3,150 S.F. PER LEVEL

1 FIRST FLOOR  
SCALE: 1/16" = 1'-0"



**ISSUANCE**

**DESIGN DEVELOPMENT**  
03/08/18  
PRINCIPAL VB  
DESIGNER JO

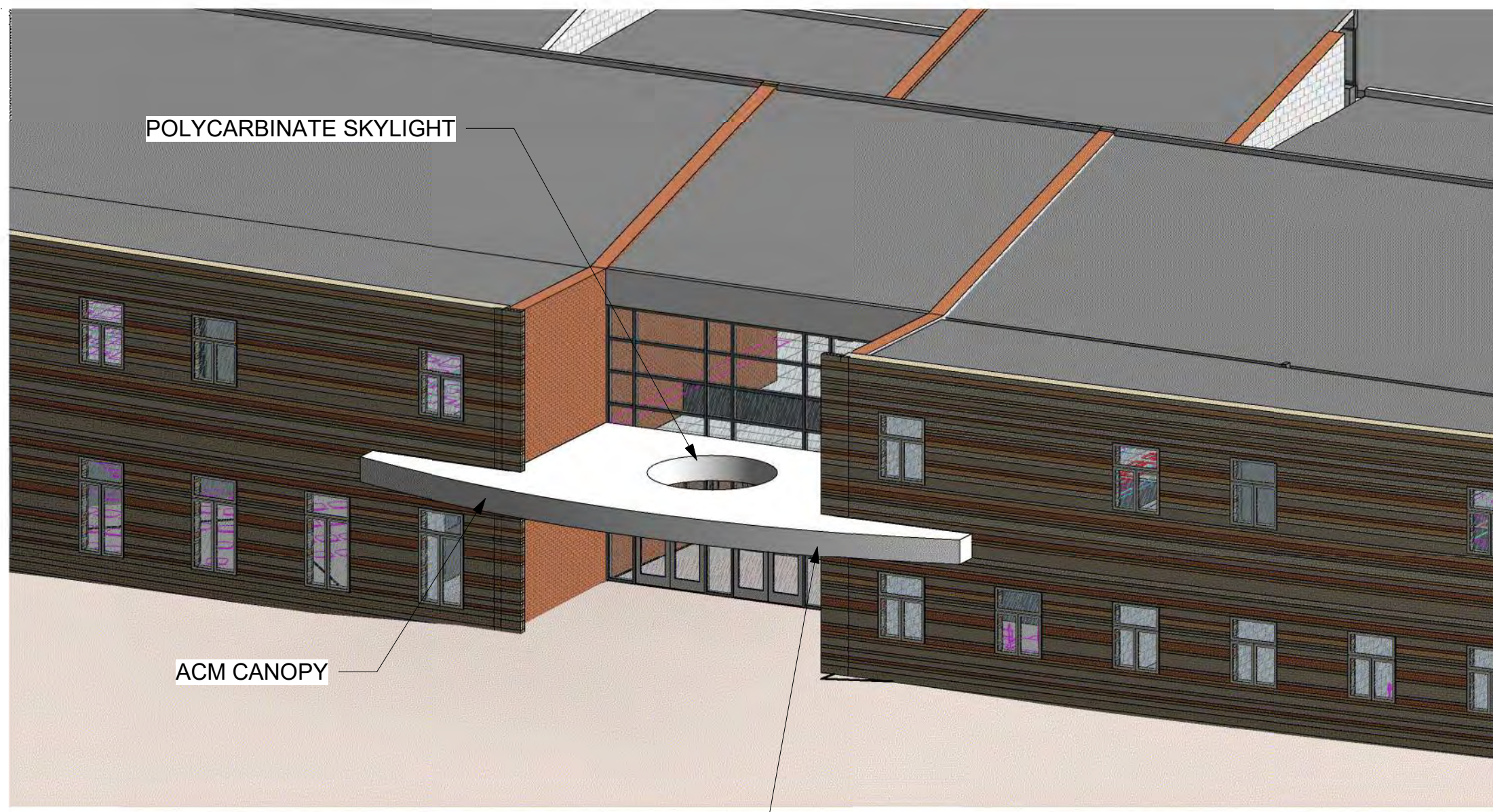
**REVISIONS**

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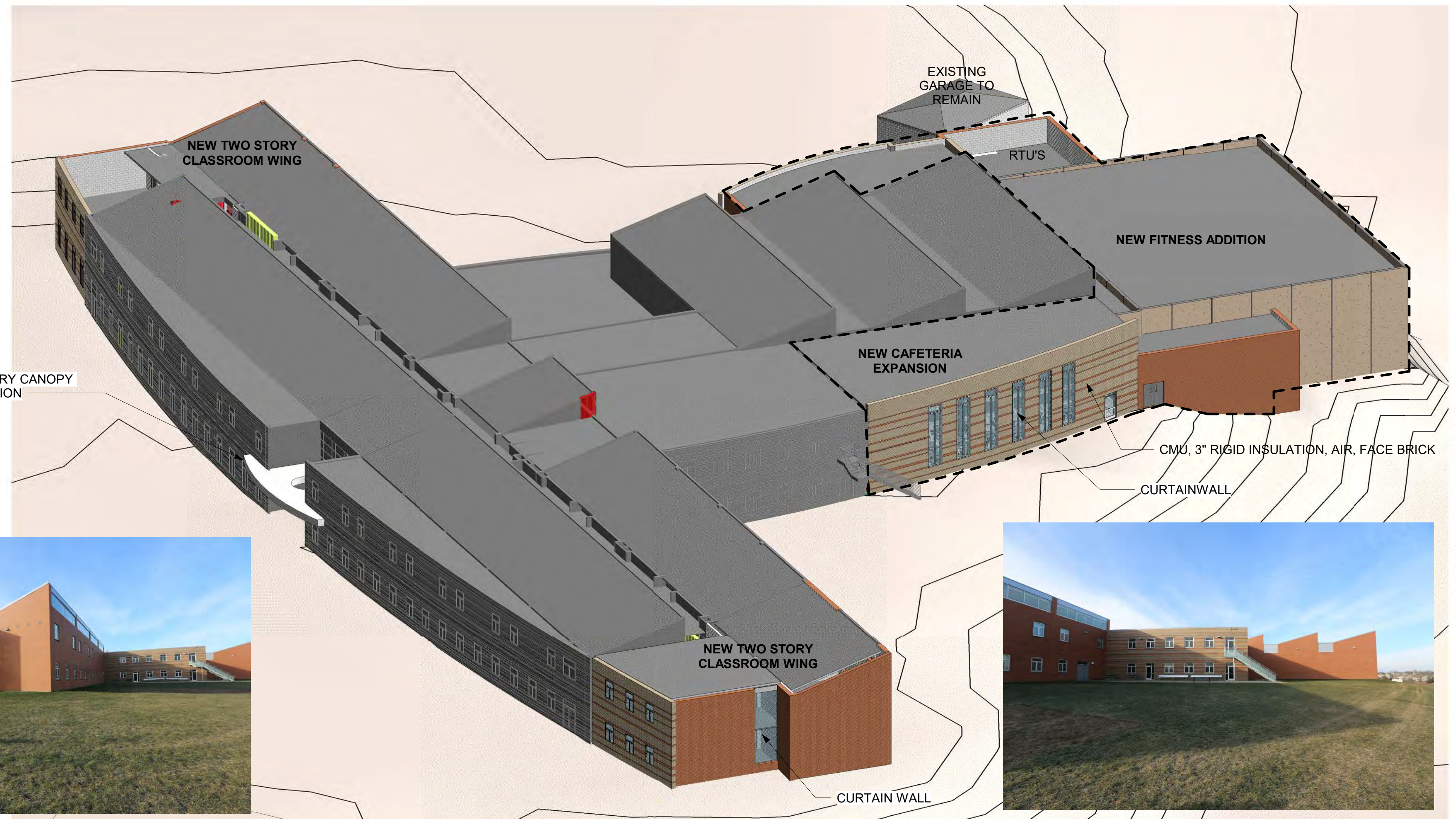
© 2018  
PROJECT NUMBER  
**17088**

VIEWS  
**A200**

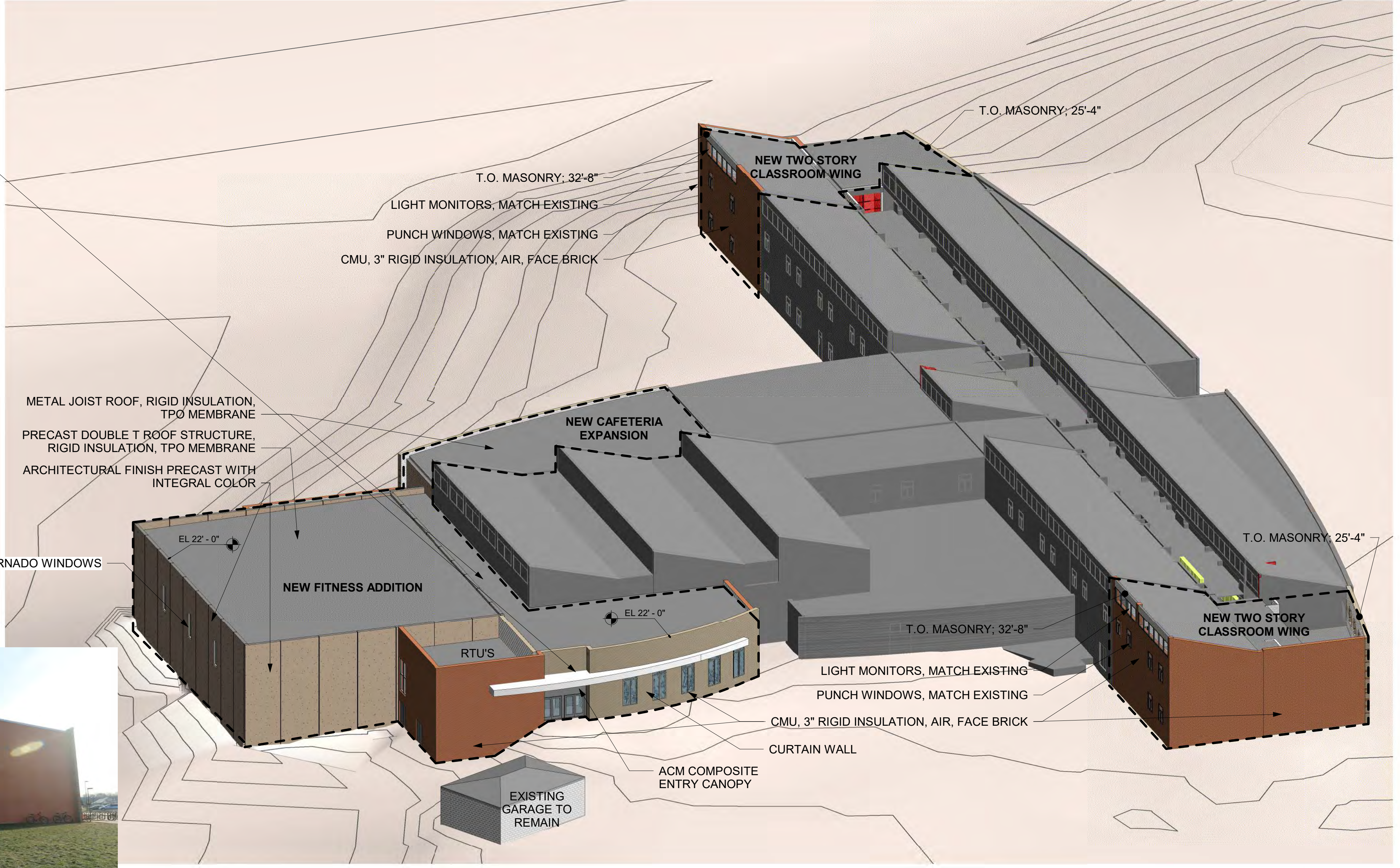


**3 CANOPY**  
SCALE:

CANOPIES AT BOTH ENTRIES WOULD TIE TOGETHER



**2 VIEW FROM EAST**  
SCALE:



**1 VIEW FROM WEST**  
SCALE:

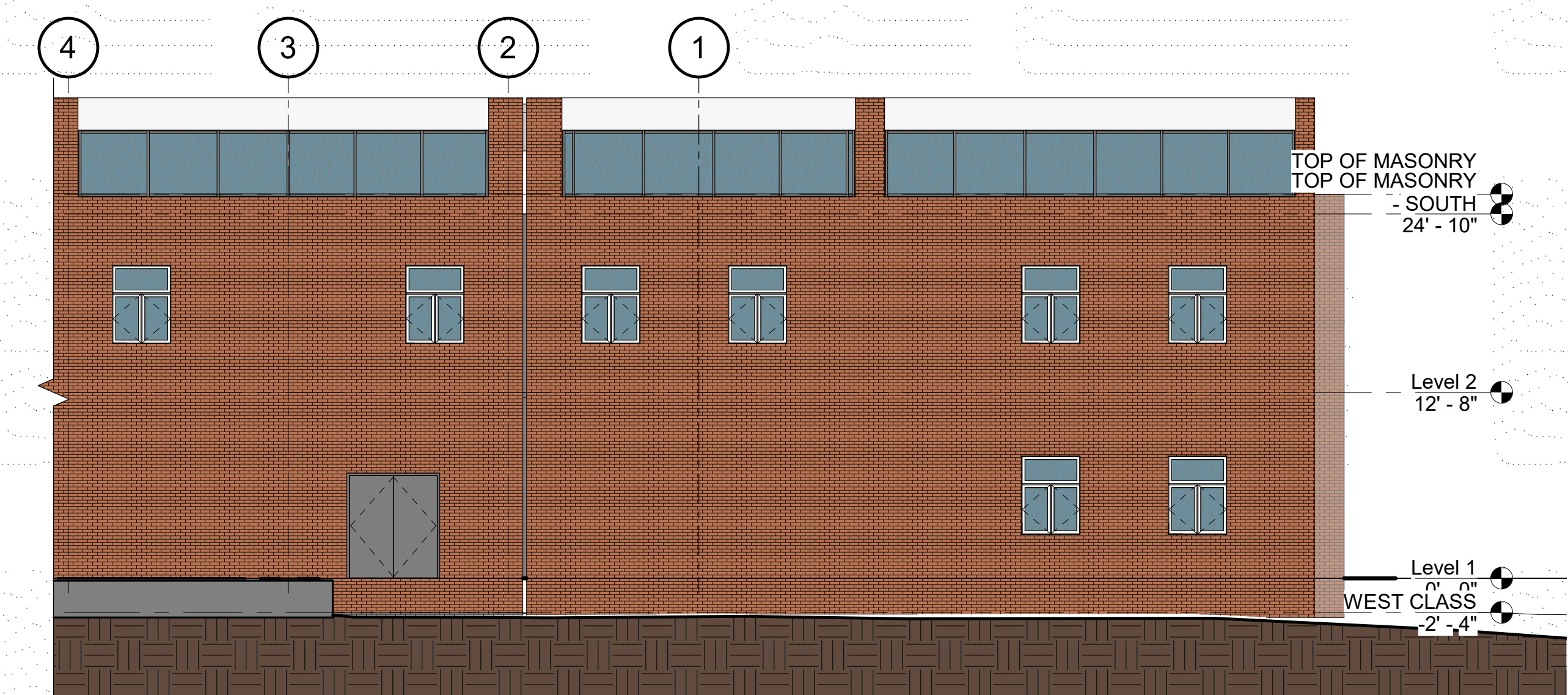




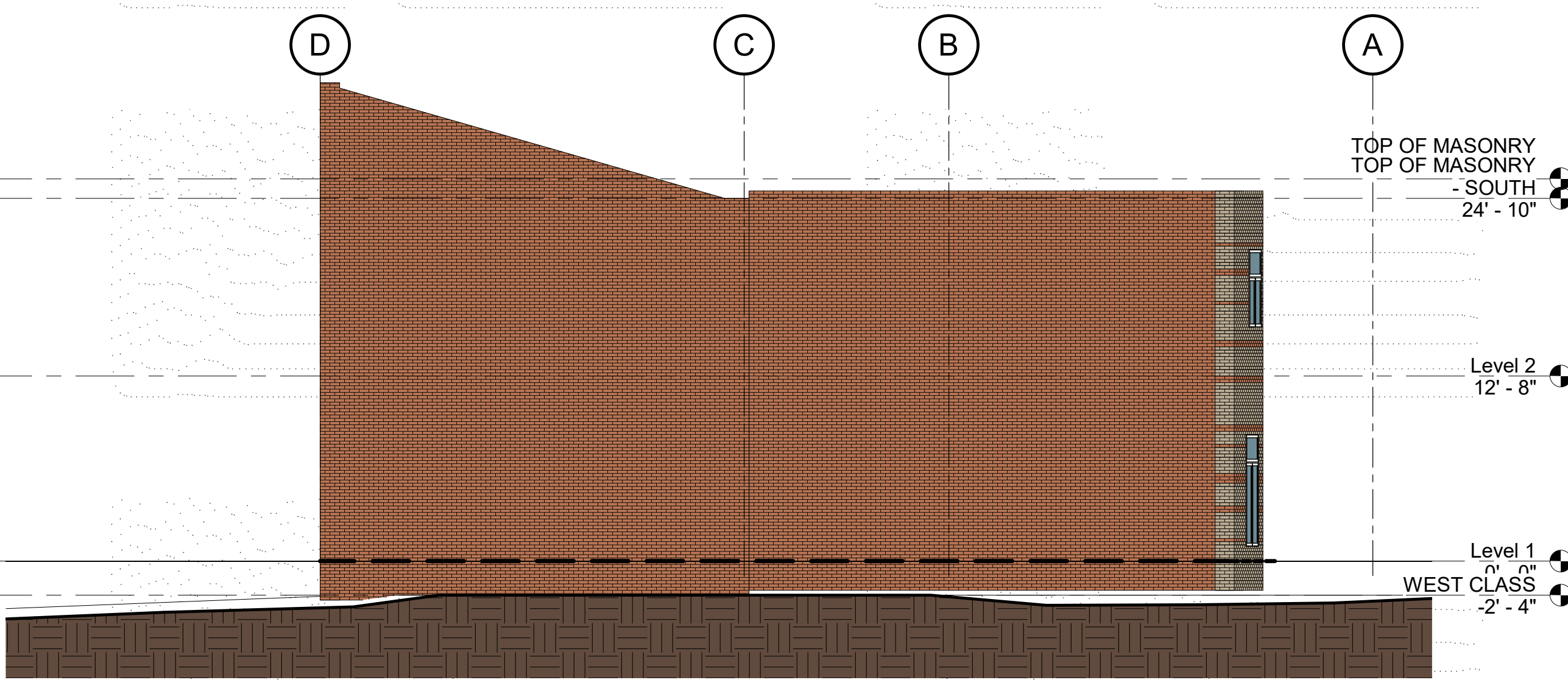
1 South Elev  
 SCALE: 1/8" = 1'-0"



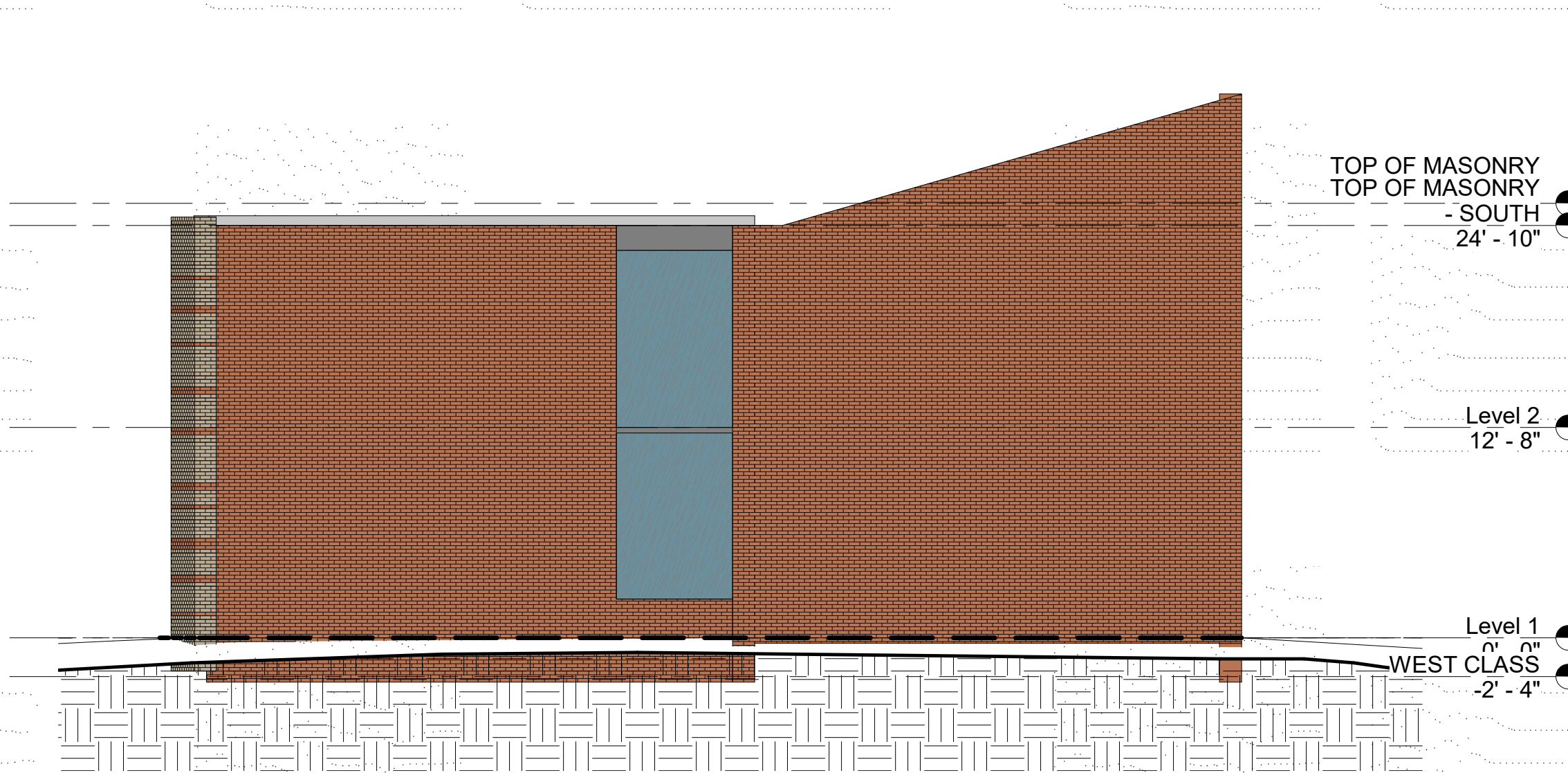
7 SE CLASSROOM NORTH  
 SCALE: 1/8" = 1'-0"



6 SW CLASSROOM NORTH  
 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION - SOUTH  
 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION - SOUTH  
 SCALE: 1/8" = 1'-0"



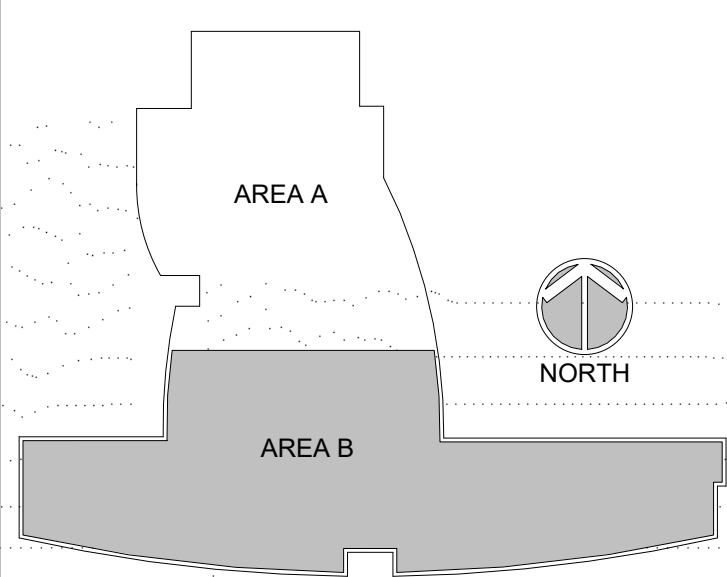
4 SW CLASSROOM EXTERIOR  
 SCALE:



5 SE CLASSROOM EXTERIOR  
 SCALE:

**NORTH CENTRAL JUNIOR HIGH SCHOOL**  
 180 FOREVERGREEN RD  
 NORTH LIBERTY, IA 52317

**IOWA CITY COMMUNITY SCHOOL DISTRICT**  
 1725 NORTH DODGE ST  
 IOWA CITY, IA 52245



ISSUANCE  
**DESIGN DEVELOPMENT**  
 03/08/18  
 PRINCIPAL VB  
 DESIGNER JO

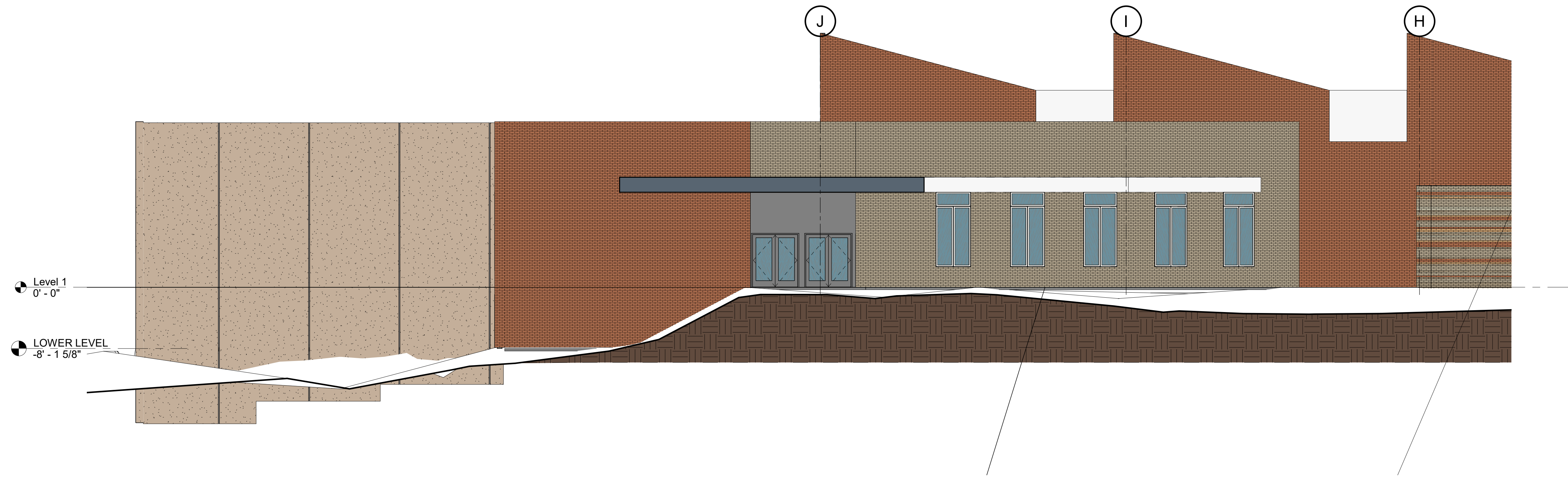
REVISIONS

**NOT FOR CONSTRUCTION**

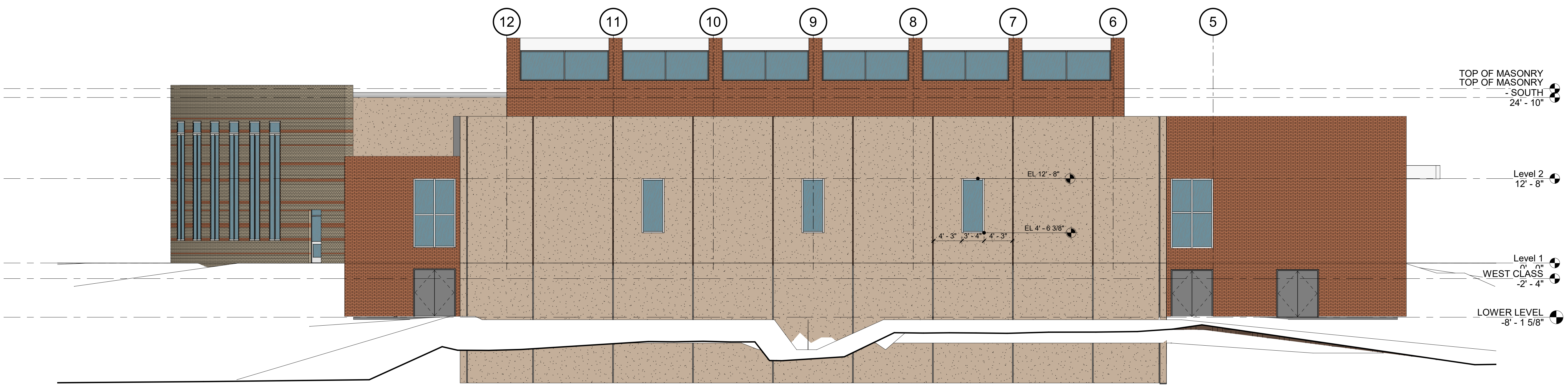
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**17088**

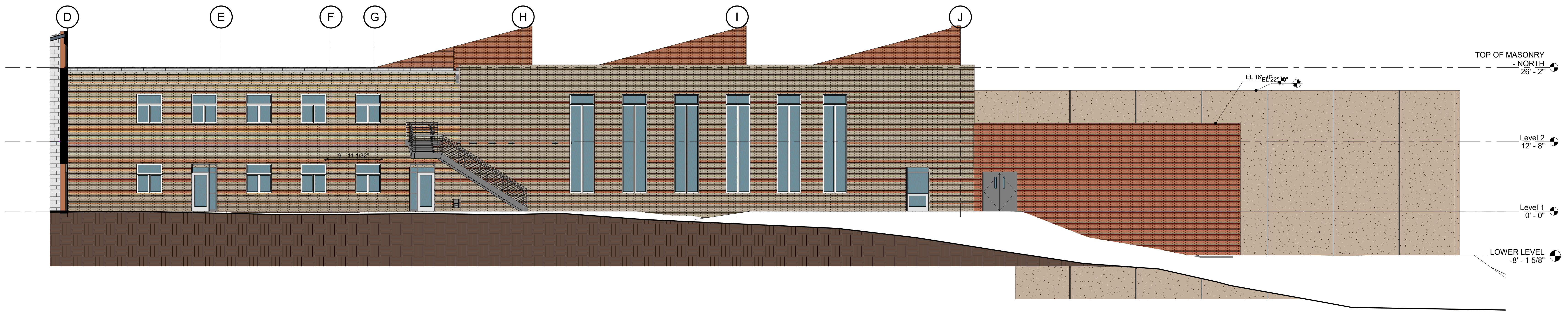
EXTERIOR ELEVATIONS - SOUTH  
**A201**



1 WEST ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"



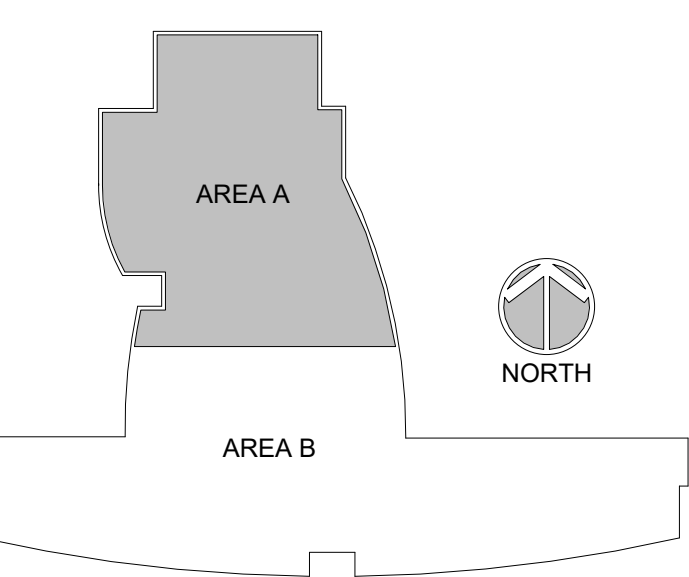
2 NORTH ELEVATION - NORTH  
SCALE: 1/8" = 1'-0"



3 NORTH ADDITION - EAST  
SCALE: 1/8" = 1'-0"

**NORTH CENTRAL  
JUNIOR HIGH SCHOOL**  
180 FOREVERGREEN RD  
NORTH LIBERTY, IA 52317

**IOWA CITY COMMUNITY  
SCHOOL DISTRICT**  
1725 NORTH DODGE ST  
IOWA CITY, IA 52245



ISSUANCE

**DESIGN DEVELOPMENT**  
03/08/18  
PRINCIPAL VB  
DESIGNER JO

REVISIONS

**NOT FOR  
CONSTRUCTION**

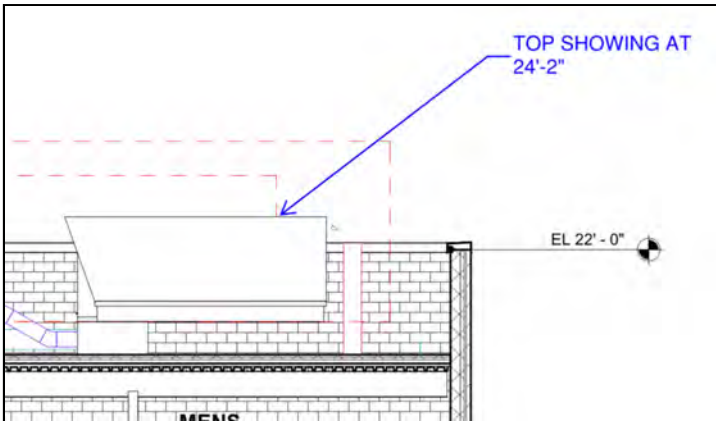
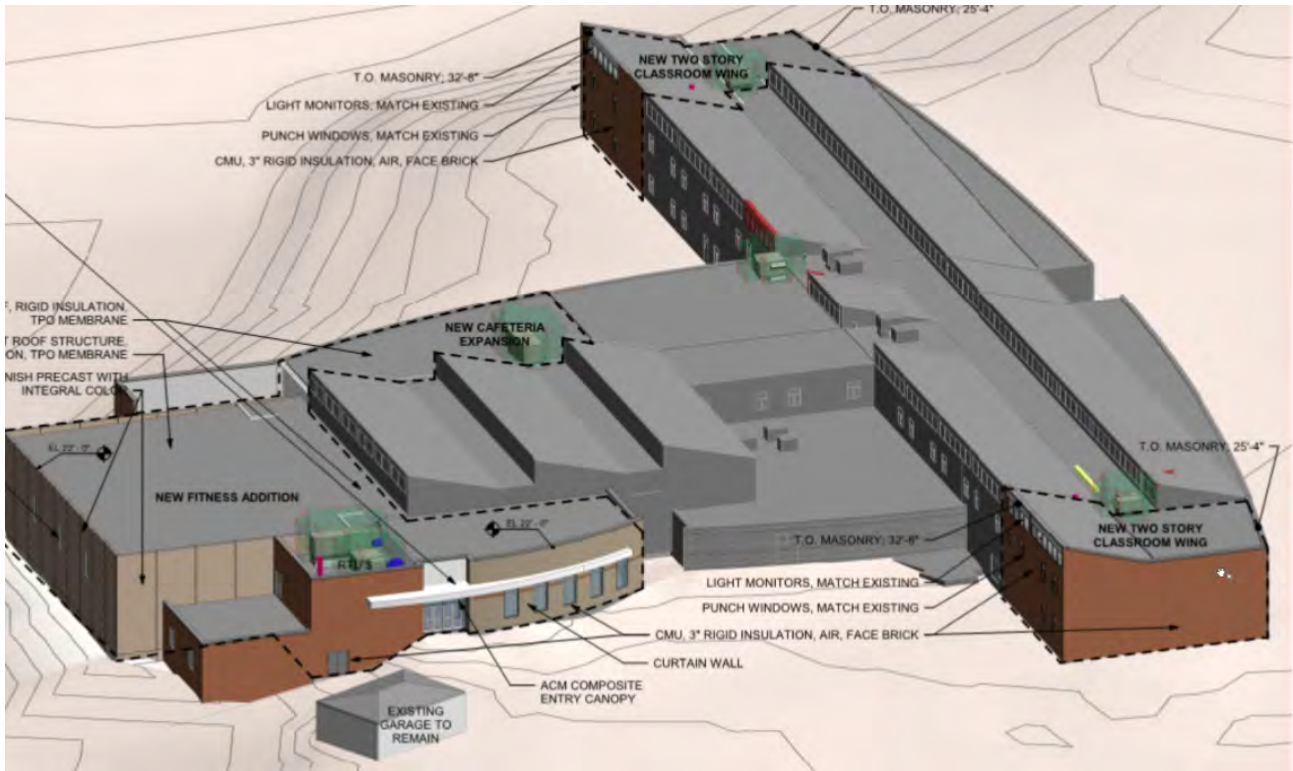
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PROJECT NUMBER  
**17088**

EXTERIOR ELEVATIONS - NORTH

**A202**







April 23, 2018

## **Memo**

To: North Liberty Planning Commission  
From: Dean Wheatley, Planning Director  
Subject: Accessory Outside Eating at North Nest  
(Legal: Lots 1-3 Corridor Commercial Part 1A)

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator  
Tracey Mulcahey, Assistant City Administrator  
Tom Palmer, City Building Official  
Scott Peterson, City Attorney  
Kevin Trom, City Engineer  
Dean Wheatley, Planning Director

This request is to use an existing large outside eating area at the south side of the existing multi-tenant building located on the north side of Ashley Court east of 965/Ranshaw Way. The property is zoned C-2-A, Commercial, and the outside patio was designed and built several years ago. No changes are planned.

The outside eating area is 52'x16' (about 832 square feet). Food and alcohol will be served if approved. Lighting is low-lumen, and low volume amplified music is being proposed.

The Zoning Ordinance specifies provisions that apply to every outdoor eating accessory use:

- *All businesses shall be subject to the approval of a conditional use permit and approval by the Council of a site plan meeting requirements of this code. Any City action against the outdoor eating accessory use shall also be enforceable against the associated restaurant operation, and may include withdrawal of certifications or permits for both the accessory use and for the principal restaurant use on the property. The City shall have the discretion to require a formal agreement, specifying conditions for operations, to be approved in any case.*
- *All Zoning Ordinance requirements shall be observed, including parking, yards, and signage. No additional signage is allowed in conjunction with the outside eating area.*
- *The area used for the establishment shall be clearly delineated by fencing, plant materials or other landscaping or other aesthetically pleasing means, to be specified and approved through the site plan process.*
- *The area used for the establishment shall be hard-surfaced with concrete, asphalt, or other suitable permanent materials.*
- *The principal use on the site must meet all Zoning Ordinance and site plan requirements.*

- *Temporary structures or other facilities may be approved through the site plan review.*
- *Businesses must provide evidence that appropriate State and local licensing has been obtained.*
- *All applicable local, county, and State regulations must be met.*
- *Businesses may not serve alcoholic beverages unless specifically approved by formal agreement.*
- *Businesses may not provide lighting unless specifically approved by formal agreement.*
- *Businesses may not provide any amplified music or public address system unless specifically approved by formal agreement.*

This application meets the requirements of the Zoning Ordinance and the conditional use is recommended for approval with the following conditions:

1. Permit is for this owner only (future owners would need to reapply),
2. Alcoholic beverage sales allowed,
3. Only low-wattage lighting to be added – no floodlighting,
4. Amplified music levels to be agreed to in the field by the owner and City staff if introduced in the future, and
5. No more seats than allowed by the Building and Fire Codes for this location.

A zoning permit will need to be obtained from Building Department for the area.





April 23, 2018

## **Memo**

To: North Liberty Planning Commission  
From: Dean Wheatley, Planning Director  
Subject: Accessory Outside Eating at Ruscaino's Restaurant  
(Legal: Lot 1 Grand North Plaza)

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator  
Tracey Mulcahey, Assistant City Administrator  
Tom Palmer, City Building Official  
Scott Peterson, City Attorney  
Kevin Trom, City Engineer  
Dean Wheatley, Planning Director

This request is to allow a small outside eating area at the front of the existing multi-tenant building located within the Penn Landing commercial development. The property is zoned C-2-A, Commercial, and the closest residential buildings are about 700' away, due south.

The outside eating area is proposed to be enclosed with temporary fencing that can be removed during the off-season for snow removal, and will include flower boxes; however, existing landscaping at the front of the store will need to be removed and concrete added. The Rocky O'Briens restaurant several doors north of this application also has outside eating on the walk in front of the store. Food and alcohol will be served if approved. Lighting will be low-lumen.

The Zoning Ordinance specifies provisions that apply to every outdoor eating accessory use:

- *All businesses shall be subject to the approval of a conditional use permit and approval by the Council of a site plan meeting requirements of this code. Any City action against the outdoor eating accessory use shall also be enforceable against the associated restaurant operation, and may include withdrawal of certifications or permits for both the accessory use and for the principal restaurant use on the property. The City shall have the discretion to require a formal agreement, specifying conditions for operations, to be approved in any case.*
- *All Zoning Ordinance requirements shall be observed, including parking, yards, and signage. No additional signage is allowed in conjunction with the outside eating area.*
- *The area used for the establishment shall be clearly delineated by fencing, plant materials or other landscaping or other aesthetically pleasing means, to be specified and approved through the site plan process.*
- *The area used for the establishment shall be hard-surfaced with concrete, asphalt, or other suitable*

permanent materials.

- The principal use on the site must meet all Zoning Ordinance and site plan requirements.
- Temporary structures or other facilities may be approved through the site plan review.
- Businesses must provide evidence that appropriate State and local licensing has been obtained.
- All applicable local, county, and State regulations must be met.
- Businesses may not serve alcoholic beverages unless specifically approved by formal agreement.
- Businesses may not provide lighting unless specifically approved by formal agreement.
- Businesses may not provide any amplified music or public address system unless specifically approved by formal agreement.

This application meets the requirements of the Zoning Ordinance and the conditional use is recommended for approval with the following conditions:

1. Permit is for this owner only (future owners would need to reapply),
2. Alcoholic beverage sales allowed,
3. Only low-wattage lighting to be added – no floodlighting,
4. Amplified music levels to be agreed to in the field by the owner and City staff if introduced in the future, and
5. No more seats than allowed by the Building and Fire Codes for this location.

A zoning permit will need to be obtained from Building Department for the area.



Fencing to be used.



Fencing

Existing landscaping will need to be removed.

Front Door



1 inch = 20 feet



April 23, 2018

## **Memo**

To: North Liberty Planning Commission  
From: Dean Wheatley, Planning Director  
Subject: Accessory Outside Eating at Mosley's Restaurant  
(Legal: Lot 2, Beaver Kreek Development Addition)

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator  
Tracey Mulcahey, Assistant City Administrator  
Tom Palmer, City Building Official  
Scott Peterson, City Attorney  
Kevin Trom, City Engineer  
Dean Wheatley, Planning Director

This request is to use an existing large outside eating area at the north side of the existing multi-tenant building located on the south side of Zeller Street west of Dubuque Street. The property is zoned C-2-A, Commercial, and the outside patio was designed and built several years ago. Minor changes are planned, including installation of more opaque fencing around the patio and use of an outside cooker in the area.

The outside eating area is about 900 square feet. Food and alcohol will be served if approved. Lighting is low-lumen.

The Zoning Ordinance specifies provisions that apply to every outdoor eating accessory use:

- *All businesses shall be subject to the approval of a conditional use permit and approval by the Council of a site plan meeting requirements of this code. Any City action against the outdoor eating accessory use shall also be enforceable against the associated restaurant operation, and may include withdrawal of certifications or permits for both the accessory use and for the principal restaurant use on the property. The City shall have the discretion to require a formal agreement, specifying conditions for operations, to be approved in any case.*
- *All Zoning Ordinance requirements shall be observed, including parking, yards, and signage. No additional signage is allowed in conjunction with the outside eating area.*
- *The area used for the establishment shall be clearly delineated by fencing, plant materials or other landscaping or other aesthetically pleasing means, to be specified and approved through the site plan process.*
- *The area used for the establishment shall be hard-surfaced with concrete, asphalt, or other suitable permanent materials.*



- *The principal use on the site must meet all Zoning Ordinance and site plan requirements.*
- *Temporary structures or other facilities may be approved through the site plan review.*
- *Businesses must provide evidence that appropriate State and local licensing has been obtained.*
- *All applicable local, county, and State regulations must be met.*
- *Businesses may not serve alcoholic beverages unless specifically approved by formal agreement.*
- *Businesses may not provide lighting unless specifically approved by formal agreement.*
- *Businesses may not provide any amplified music or public address system unless specifically approved by formal agreement.*

This application meets the requirements of the Zoning Ordinance and the conditional use is recommended for approval with the following conditions:

1. Permit is for this owner only (future owners would need to reapply),
2. Alcoholic beverage sales allowed,
3. Only low-wattage lighting to be added – no floodlighting,
4. Amplified music levels to be agreed to in the field by the owner and City staff if introduced in the future, and
5. No more seats than allowed by the Building and Fire Codes for this location.

A zoning permit will need to be obtained from Building Department for the area.



BREAKFAST

LUNCH

DINNER

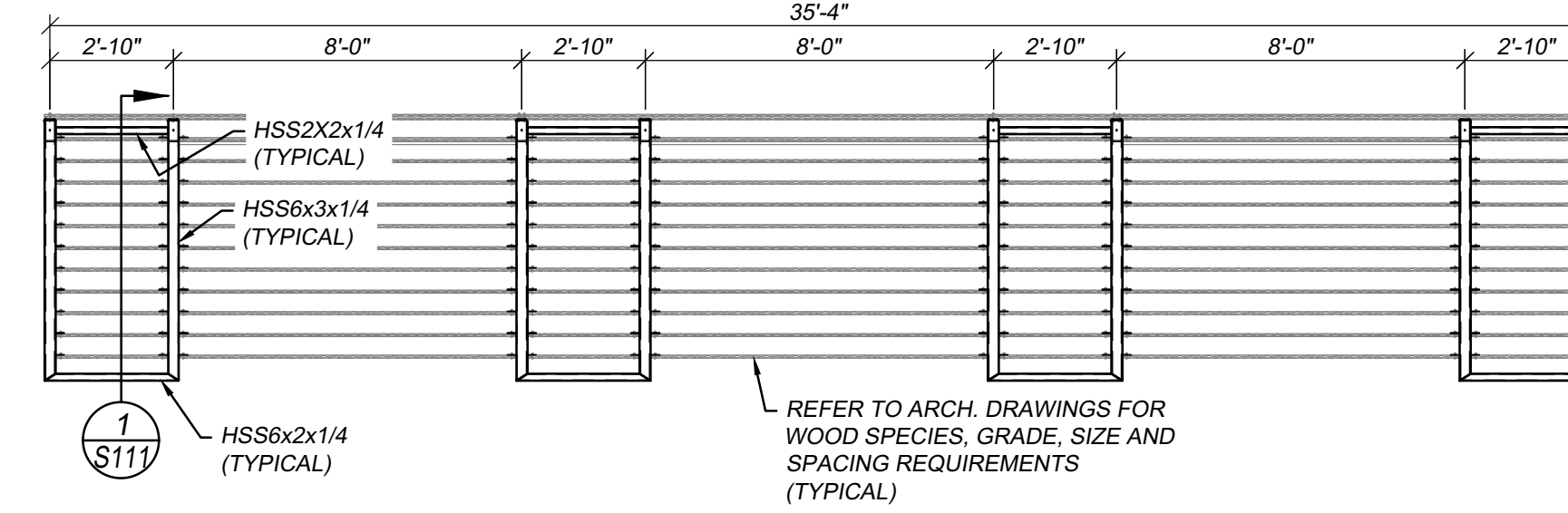
LUNCH

BREAKFAST

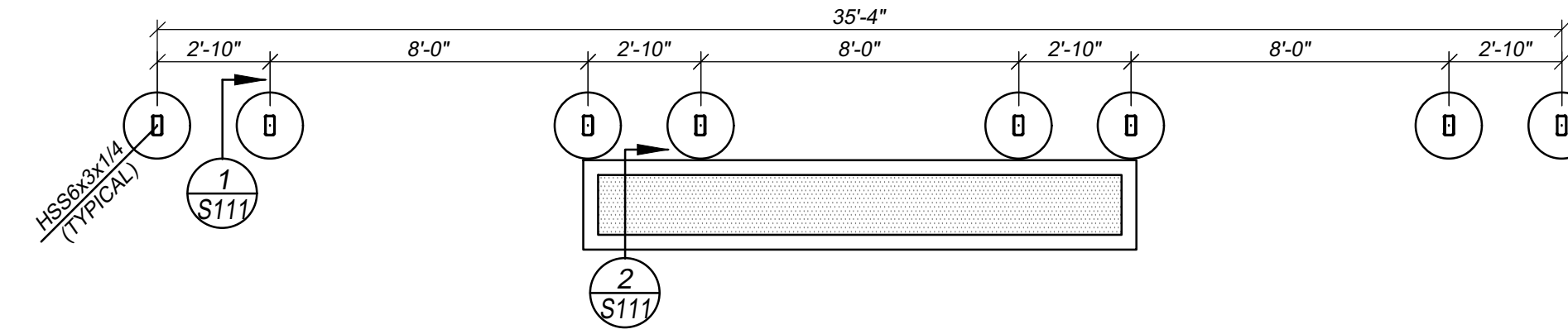
LED  
WWW.RESTORANT

**GENERAL TRELLIS STRUCTURAL NOTES**

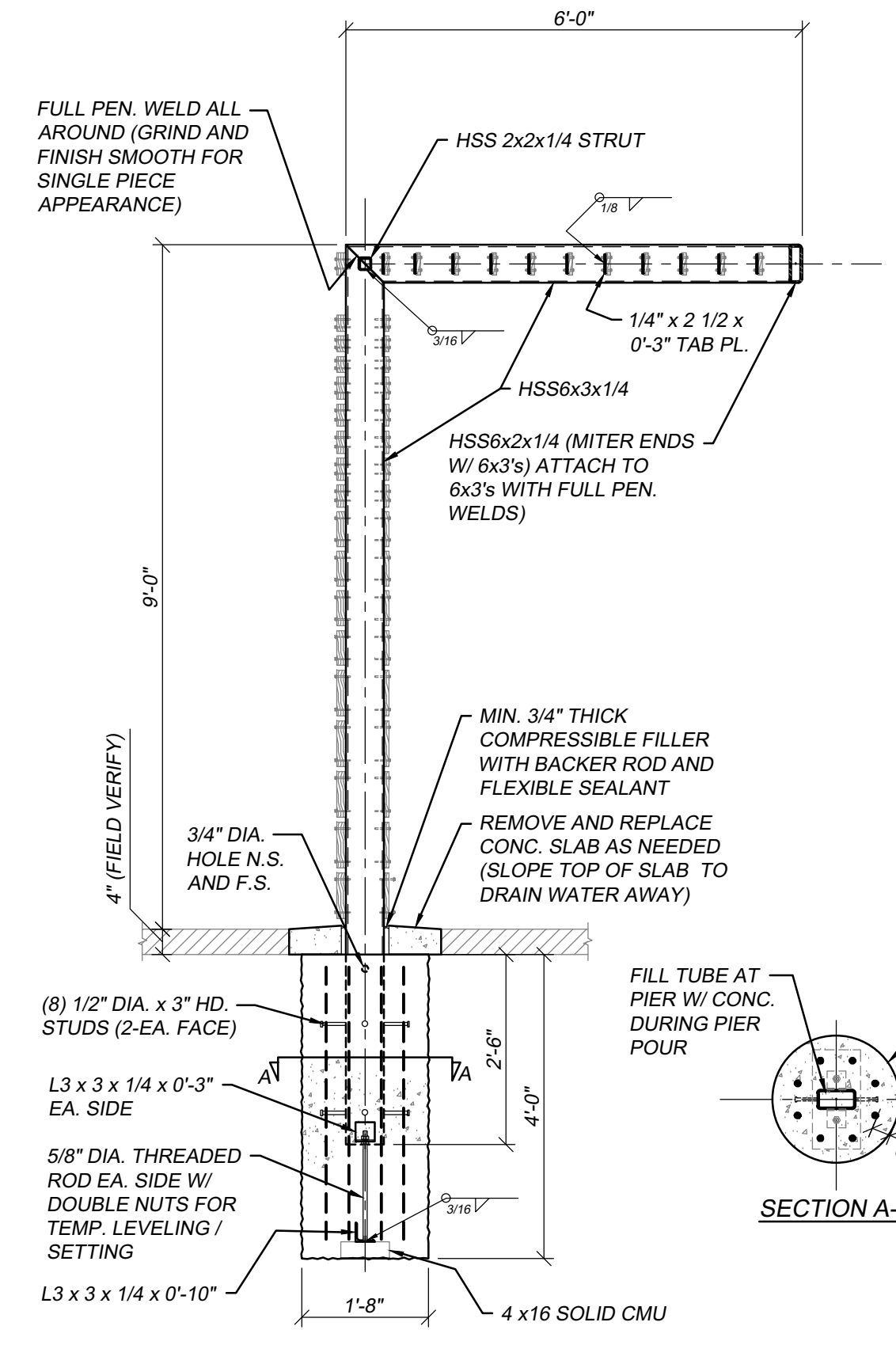
- Design Code: International Building Code, 2015 Edition (IBC-2015), Building Risk Category "II".
- Trellis Design Loads:  
Roof Live Loads:  
Ground Snow Load (Pg) ..... 30 psf  
Min. Flat Roof Snow Load (P<sub>f</sub>) ..... 21 psf  
Wind:  
Nominal Wind Speed ..... 115 MPH (3-Second Gust)  
Risk Category ..... II  
Wind Exposure ..... "B"
- Trellis foundation piers shall be placed in auger-dug holes into suitable native soils. Notify Architect/Engineer if exposed soils appear deficient/suspect for further direction.
- Concrete work shall conform to the requirements of ACI 301 "Specifications for Structural Concrete for Buildings", latest edition and ACI 318 "Building Code Requirements for Reinforced Concrete", latest edition.
- Concrete shall be air-entrained with minimum 4,500 psi compressive strength at 28-days.
- Concrete reinforcing steel shall be in accordance with ASTM A615, Grade 60 specification.
- Hot weather concrete operations shall be in accordance with ACI 305. Cold weather concrete operations shall be in accordance with ACI 306.
- Structural Steel is to be fabricated and erected in accordance with AISC "Specifications for Structural Steel Buildings", latest edition.
- Structural steel tubing shall be ASTM A500, Grade B and structural steel angles/plates shall be ASTM A36.
- Anchor bolts/anchor rods shall be ASTM F1554, grade 36 with ASTM F436 washers and ASTM A563 heavy-hex nuts.
- All welding shall conform to the latest A.W.S. Specifications. Use E70XX electrodes.
- Welded headed stud anchors shall be Nelson Anchors or equivalent.
- Wood cladding connection screws into structural steel tubes shall be minimum #12 corrosion resistant self-drilling through wood into structural steel of sufficient length for full thread engagement into structural steel backup, and be suitable for intended long-term exterior environment.
- Wood cladding connection to steel tab-plates shall be #12 screws, washers and nuts with integral nylon-locking mechanism. All items shall be corrosion resistant and suitable for long-term exterior environment.
- Trellis structure steel assemblies to be shop fabricated to extent that is practical for shipping and erection with intent that field welding will not be required.
- Trellis structure to be fabricated to smooth architecturally exposed (aess) finish.
- Trellis structure to be prepped to commercial blast cleaned (SSPC-SP6) condition and be shop prime coated to receive final paint process after erection. All field welds and any damage to prime finish that has occurred is to be properly prepared and touched up with suitable touch-up primer prior to receiving final paint process.



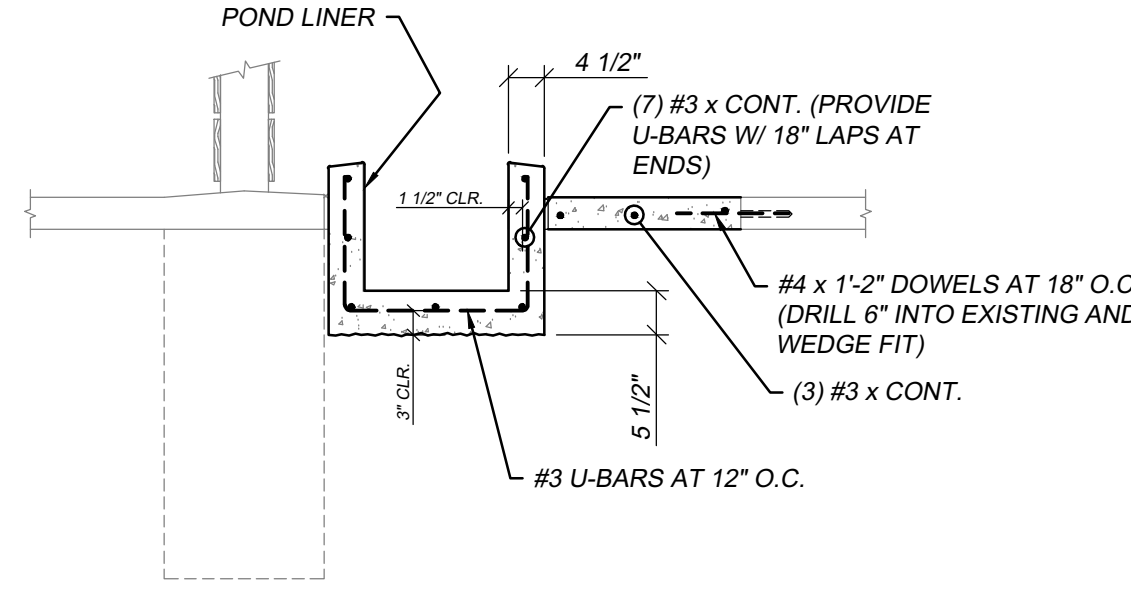
**TRELLIS ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**TRELLIS FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**1 SECTION**  
SCALE: 1/2" = 1'-0"



**2 SECTION**  
SCALE: 1/2" = 1'-0"

M2B PROJECT NO. 154110 (PLOT DATE: 04-10-2017)

Revision \_\_\_\_\_ Date \_\_\_\_\_

OPN Project No.  
**17416000**

Sheet Issue Date  
**CONSTRUCTION 04/10/2018**  
DOCUMENTS - REVISED

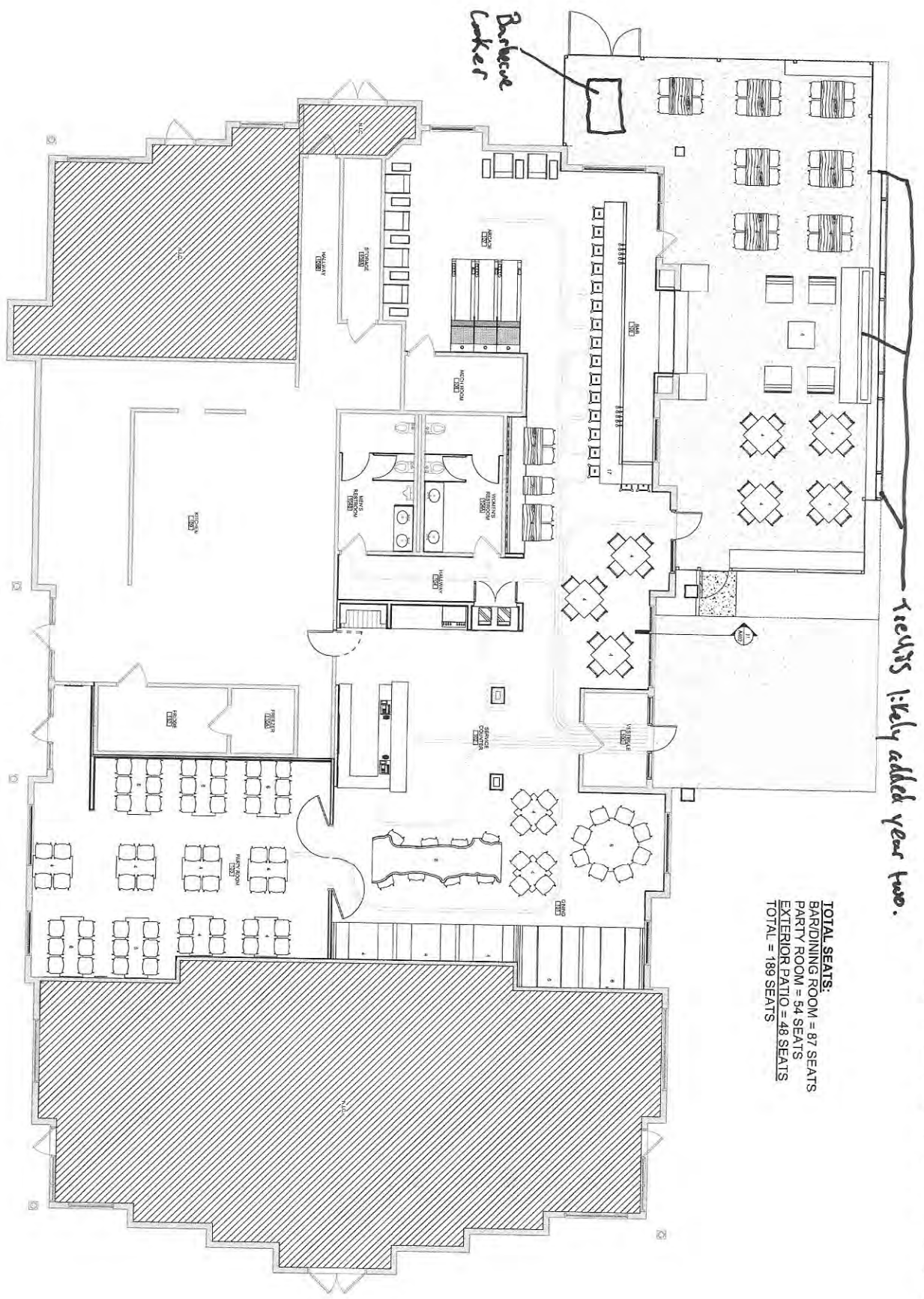
Sheet Name  
**TRELLIS STRUCTURAL PLANS AND DETAILS**

Sheet Number  
**S111**

**M2B** Structural Engineers LLP  
422 Second Avenue S.E., Suite B, Cedar Rapids, Iowa 52401-1130  
Phone: 319/364-0666 Email: m2b@m2bengineers.com

PRELIMINARY — NOT FOR CONSTRUCTION — 04-10-2018

1 FURNITURE FLOOR PLAN FOR REFERENCE ONLY



**TOTAL SEATS:**  
 BAR DINING ROOM = 87 SEATS  
 PARTY ROOM = 34 SEATS  
 EXTERIOR PATIO = 48 SEATS  
 TOTAL = 189 SEATS

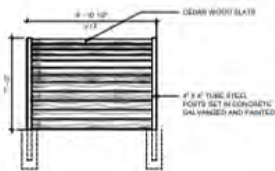
*Tables likely added year two.*

*Barbecue Cooker*

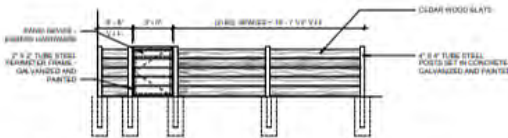
**OPIN ARCHITECTS**  
 3414 E. CHASE ST. SUITE 11  
 DENVER, CO 80202  
 P: 303.733.5577  
 WWW.OPINARCHITECTS.COM

PROJECT: [REDACTED]  
 ARCHITECT: [REDACTED]  
 DATE: [REDACTED]

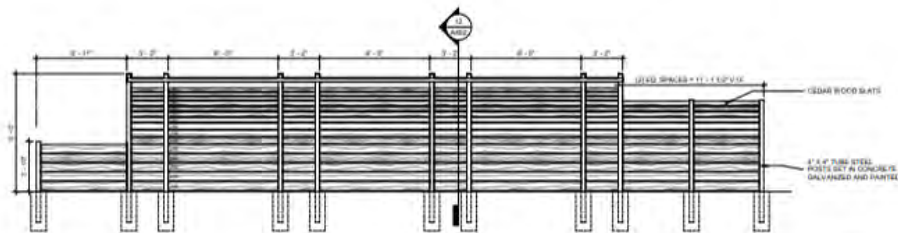
161  
 ARCHITECTURE FLOOR PLAN FOR REFERENCE ONLY



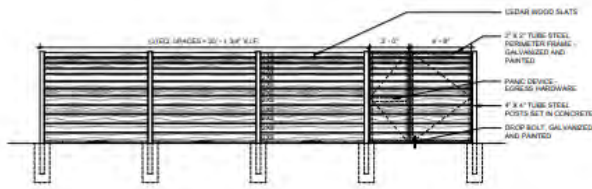
1 PATIO FENCE SOUTH ELEVATION  
1/4" = 1'-0"



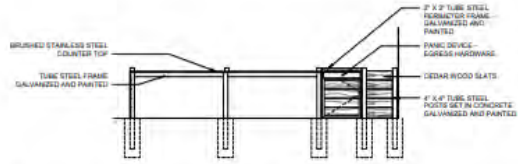
2 PATIO FENCE EAST ELEVATION  
1/4" = 1'-0"



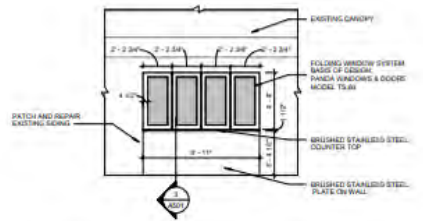
3 PATIO FENCE NORTH ELEVATION  
1/4" = 1'-0"



4 PATIO FENCE WEST ELEVATION  
1/4" = 1'-0"



5 PATIO WOOD LOG BAR TOP  
1/4" = 1'-0"



6 EXTERIOR BAR SOUTH ELEVATION  
1/4" = 1'-0"





**PLANNING COMMISSION**  
Minutes  
April 3, 2018  
City Council Chambers, 1 Quail Creek Circle

**Roll Call**

Chair Ronda Detlefsen called the April 3, 2018 Planning Commission meeting to order. Commission members present: Jennifer Bleil, Ronda Detlefsen, Adam Gebhart, Jason Heisler, Becky Keogh, Kylie Pentecost and Pat Staber.

Others present: Dean Wheatley, Ryan Heiar, Tracey Mulcahey, Scott Peterson, Kevin Trom, Evan Runkle and other interested parties.

**Agenda Approval**

Gebhart moved, Bleil seconded to approve the agenda. The vote was all ayes. Agenda approved.

**AAA Mechanical Contractors, Inc. Site Plan**

*Staff Presentation*

Wheatley presented the request from AAA Mechanical Contractors, Inc. to approve a site plan for a new mechanical contractor building located generally at the southwest corner of the I-380 Industrial Park, near the south end of Stoner Court. Staff recommends approval of the site plan with no conditions.

*Applicants Presentation*

Jeff Koeppel was present on behalf of the applicant and offered to answer questions.

*Public Comments*

No comments were offered.

*Questions and Comments*

The Commission discussed the application including the quality of the design.

*Recommendation to the City Council*

Bleil moved, Keogh seconded to recommend approval of the site plan application to the City Council with no conditions. The vote was: ayes – Heisler, Staber, Detlefsen, Keogh, Bleil, Gebhart, Pentecost; nays – none. Motion approved.

**Grand Rail Development Company, Inc. Site Plan**

*Staff Presentation*

Wheatley presented the request from Grand Rail Development Company, Inc to approve a site plan for a mixed-use development on Madison Avenue, one block south of West Penn Street. Staff recommends approval of the application with no conditions.

*Applicants Presentation*

Jake Evans, Grand Rail Development, was present on behalf of the applicant and offered to answer questions.

*Public Comments*

No comments were received relating to this application.

*Questions and Comments*

The Commission discussed the application including the quality of the appearance, whether the mixed-use proposal was requested or required, trees shown on site plan, additional work on stormwater on site, appropriateness to the location, standpipe systems and notes versus conditions.

*Recommendation to the City Council*

Pentecost moved, Bleil seconded to recommend approval of the site plan application to the City Council with no conditions. The vote was: ayes – Gebhart, Bleil, Pentecost, Staber, Detlefsen, Keogh, Heisler; nays – none. Motion carried.

**Hodge Construction Company Rezoning**

*Staff Presentation*

Wheatley presented the request from Hodge Construction Company to approve a rezoning of 21.62 acres from ID (Interim Development district) to RS-6 (Residential Single-Family), for property generally located west of Jones Boulevard and north of Forevergreen Road. Staff recommends approval of the rezoning application with no conditions.

*Applicants Presentation*

Kevin Digmann, Hodge Construction, was present on behalf of the applicant and offered to answer questions.

*Public Comments*

No comments were offered.

*Questions and Comments*

The Commission discussed the application including good neighbor meeting concerns expressed, adjacent property zoning, and annexation of adjacent properties,

*Recommendation to the City Council*

Bleil moved, Heisler seconded to recommend approval of the application to the City Council with no conditions. The vote was: ayes – Pentecost, Keogh, Gebhart, Staber, Heisler, Detlefsen, Bleil; nays – none. Motion carried.

**Approval of previous Minutes**

Gebhart moved, Keogh seconded to approve the minutes from the February 6, 2018 meeting. The vote was all ayes. Minutes approved.

**Old Business**

No old business was presented.

**New Business**

Wheatley reported that several cases have been received for next month's meeting.



**Adjournment**

Keogh moved, Heisler seconded to adjourn at 6:58 p.m. The vote was all ayes. Meeting adjourned.