



# **North Liberty Planning Commission**

## **Meeting Information**

**Tuesday, June 5, 2018**

**6:30 PM**

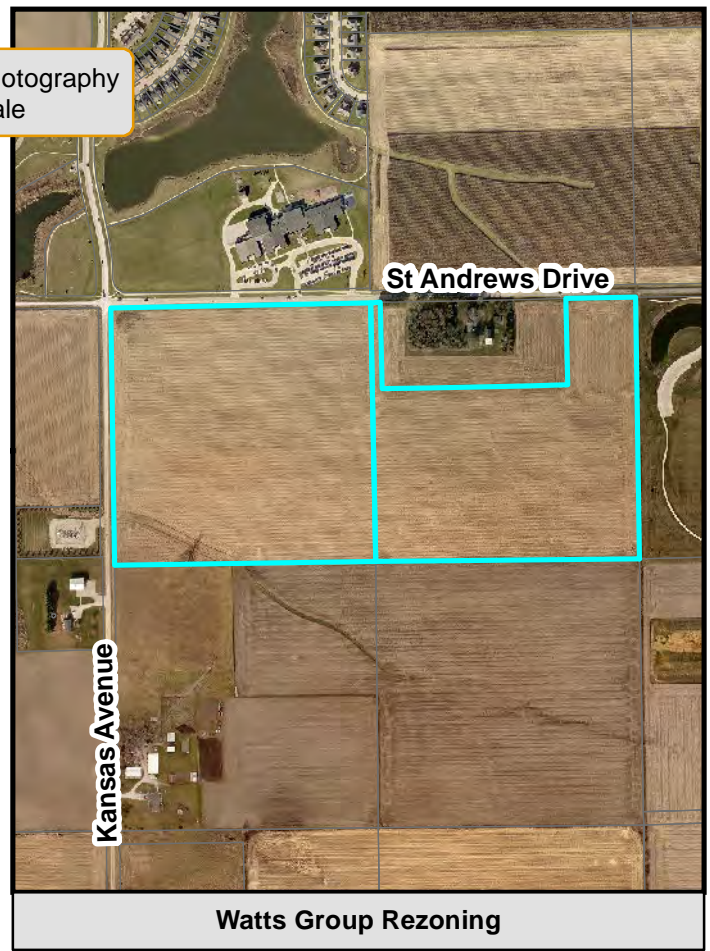
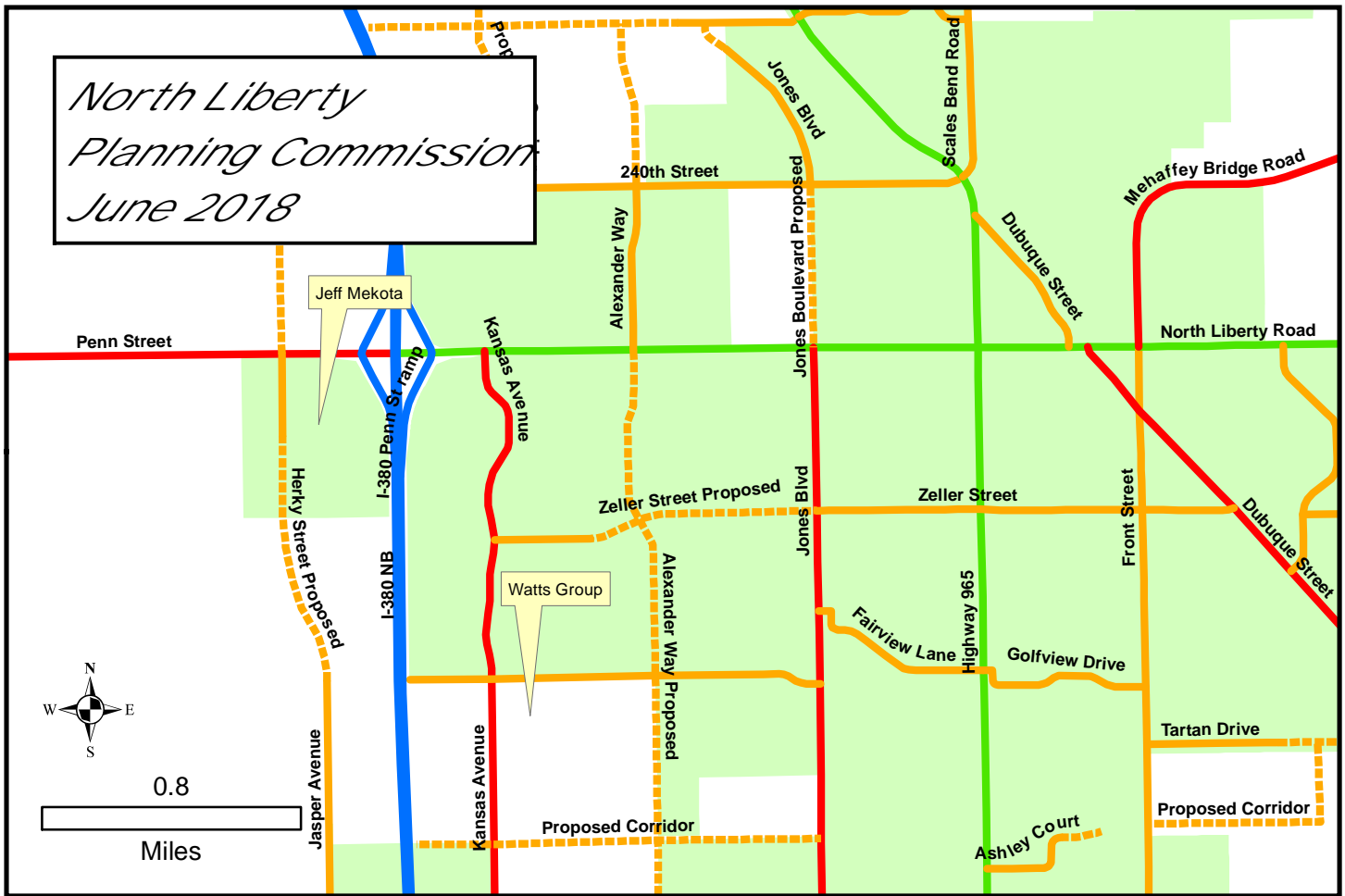
**City Council Chambers**

If you would like additional information, larger-scale maps, or other information before the meeting, please contact Dean Wheatley at 626-5747 or at [dwheatley@northlibertyiowa.org](mailto:dwheatley@northlibertyiowa.org)



NORTH LIBERTY PLANNING COMMISSION  
MEETING NOTICE AND AGENDA  
**Tuesday, June 5, 2018, 6:30 PM**  
**North Liberty City Council Chambers, 1 Quail Creek Circle**

- 1. ROLL CALL**
- 2. AGENDA APPROVAL**
- 3. SITE PLAN:** Request from Jeff Mekota to approve a site plan for a commercial warehouse development in the I-380 Industrial Park Area west of I-380. (Legal: I-380 Industrial Park Lot 11)
  - a. Staff Presentation
  - b. Applicants Presentation
  - c. Public Comments
  - d. Questions and Comments
  - e. Recommendation to the City Council
- 4. REZONING:** Request from the Watts Group to approve residential rezoning for property located at the southeast corner of Kansas Avenue and St. Andrews Drive. (Legal: NW1/4, SW1/4 and NE1/4, SW1/4 Section 14-80-7; except Devers Subdivision)
  - a. Staff Presentation
  - b. Applicants Presentation
  - c. Public Comments
  - d. Questions and Comments
  - e. Recommendation to the City Council
- 5. APPROVAL OF PREVIOUS MINUTES**
- 6. OLD BUSINESS**
- 7. NEW BUSINESS**
- 8. ADJOURNMENT**





May 29, 2018

## **Memo**

To: North Liberty Planning Commission

From: Dean Wheatley, Planning Director

Subject: Request from Jeff Mekota to approve a site plan for a commercial warehouse development in the I-380 Industrial Park Area west of I-380.

(Legal: I-380 Industrial Park Lot 11)

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator

Tracey Mulcahey, Assistant City Administrator

Tom Palmer, City Building Official

Scott Peterson, City Attorney

Kevin Trom, City Engineer

Dean Wheatley, Planning Director

This request is to approve a site plan for a large storage unit development located on Stoner Court east of Herky Drive, on property zoned I-1 (Industrial).

The site layout packs a lot of storage units on the site with reasonable setbacks and two very large buildings with 22 and 16 450 square foot units, though some units may be combined. Units are intended to be sold as condominium units, though that does not impact the site plan. The site is quite flat and stormwater drainage will be managed through a large stormwater basin at the south end of the lot. Landscaping meets minimum requirements but also includes additional trees along Stoner Court.

The buildings are metal construction, with masonry content that exceeds North Liberty standards for all building elevations. The most recent similar plans for mini warehouse development included windows within the outside elevations, which helped break up the monotony of the long sides, and featured enhanced building elevations through offsets and corner taller structures, but the difference between that site and this is that the former was in a commercially-zoned area highly visible from I-380 and this site is at an industrial-zoned lot internal to the area. In response to that staff recommendation in the preliminary report, the developer has proposed to add windows on the north sides of the buildings (facing Stoner Court), cutting into the masonry area in a visually interesting way.

Parking for sites such as this is an ongoing problem for the City, and this plan has been modified from the initial submittal to provide substantially more on-site parking. The City standard for warehousing is 1 space per 2,000 square feet plus one space per employee. In most cases including this one, no one knows before the facility is built who the tenants or owners will be, so the space per employee



standard is hard to estimate; however, we do know from experience that minimizing the parking has proven to be woefully inadequate, and this developer has taken that into account by providing 66% more parking than the absolute minimum requirement.

Staff recommends approval of the site plan.

Notes:

No outside storage areas are shown and so no outside storage or display will be allowed unless code requirements for such storage are met.

The owner has stated that no HVAC equipment is to be mounted outside. Any such equipment that may be visible is required to be screened.





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LAND PLANNERS  
LAND SURVEYORS  
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ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-6282  
www.mmsconsultants.net

Date: 05/29/18 Revision: PER CITY REVIEW -MAK

COVER SHEET

# SITE PLAN I-380 INDUSTRIAL PARK, LOT 11 NORTH LIBERTY, IOWA

PLAT PREPARED BY:  
MMS CONSULTANTS INC.  
1917 S. GILBERT STREET  
IOWA CITY, IA 52240

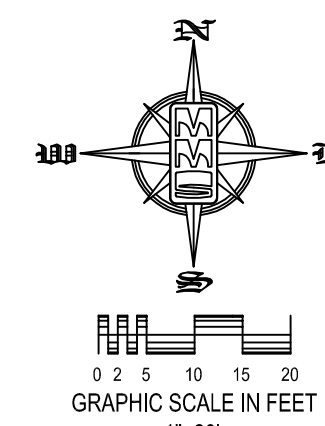
OWNER/DEVELOPER:  
JEFF MEKOTA  
530 FOX RUN  
NORTH LIBERTY, IA 52317

APPLICANT:  
MIKE BAILS  
250 HOLIDAY ROAD  
CORALVILLE, IA 52241

DEVELOPERS ATTORNEY:  
C. JOSEPH HOLLAND  
122 N. LINN STREET, STE 300  
IOWA CITY, IA 52245

## SHEET INDEX

- 1 TITLE SHEET/OVERALL LAYOUT PLAN
- 2 GRADING PLAN
- 3 EROSION CONTROL PLAN AND SWPPP
- 4 UTILITY PLAN
- 5 LANDSCAPE PLAN
- 6 GENERAL NOTES AND DETAILS



## LEGAL DESCRIPTION

LOT 11, I-380 INDUSTRIAL PARK, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF RECORDED IN BOOK 4001, PAGE 840 IN THE RECORDS OF THE JOHNSON COUNTY RECORDER'S OFFICE, CONTAINING 5.01 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

## APPLICANT

MIKE BAILS  
250 HOLIDAY ROAD  
CORALVILLE, IA 52241

## DEVELOPMENT CHARACTERISTICS

CURRENT ZONING: I-1  
REQUESTED LAND USE: COMMERCIAL  
LOT AREA: 218,419 SF (5.01 ACRES)

## SETBACK REQUIREMENTS

BUILDING SETBACKS:  
FRONT YARD: 25 FEET  
SIDE YARD: 20 FEET  
REAR YARD: 20 FEET

PARKING SETBACKS:  
FRONT: 10 FEET  
SIDE: 5 FEET  
REAR: 5 FEET

MINIMUM LOT REQUIREMENTS:  
LOT FRONTAGE: 35 FEET  
LOT WIDTH: 35 FEET  
MAXIMUM BUILDING HEIGHT: 45 FEET OR 3 STORIES

LOT CHARACTERISTICS:  
LOT AREA: 218,419 SF (10000(5.01 AC)  
BUILDING AREA - PROPOSED: 57,000 SF (26%)  
PAVING AREA - PROPOSED: 93,056 SF (43%)  
GREEN SPACE AREA: 68,363 SF (31%)

BUILDING CHARACTERISTICS:  
1 - PROPOSED WAREHOUSE/22-UNIT BUILDINGS @ 1,500 SF (33,000 SF TOTAL)  
1 - PROPOSED WAREHOUSE/16-UNIT BUILDINGS @ 1,500 SF (24,000 SF TOTAL)

PARKING REQUIREMENTS:  
1 SPOT PER 2,000 SF  
57,000 SF / 2,000 SF = 29 TOTAL SPACES REQUIRED  
1 X 38 UNITS = 38 SPACES

TOTAL PARKING PROVIDED (ADA PROVIDED = 3) = 67 SPACES  
TOTAL PARKING REQUIRED (ADA PROVIDED = 5) = 111 SPACES

ALL GROUND MOUNTED MECHANICAL UNITS SHALL BE SCREENED WITH LANDSCAPING, (SEE LANDSCAPING PLAN).

SNOW STORAGE FOR THE SITE CAN BE PROVIDED AT THE SOUTH SIDE OF THE SITE.

## KEYNOTES

NUMBER	KEYNOTE
101	INSTALL DRIVE PER DETAIL (THICKNESS AND MATERIAL AS NOTED)
102	INSTALL 6" STANDARD CURB
103	BUILDING SETBACK LINE
104	INSTALL P.C.C. SIDEWALK PER NORTH LIBERTY MUNICIPAL DESIGN STANDARDS
105	BOLLARD, TYP. OF 3
106	GRIND EXISTING CURB; INSTALL TYPE "A" CONCRETE DRIVEWAY AND SIDEWALK PER SDAS DETAIL 7030.101
107	INSTALL ACCESSIBLE PARKING, RAMPS, STRIPING AND SIGNAGE PER DETAILS.
108	DUMPSTER ENCLOSURE
109	SAWCUT PAVEMENT AND REPLACE EXISTING DRIVE ENTRANCE WITH STANDARD 6" CURB AND GUTTER
110	INSTALL BIKE RACK
111	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)
112	RETAINING WALL, BY OTHERS
113	EXISTING TELEPHONE PEDESTAL (TO BE RELOCATED)
114	CURB TRANSITION
115	SAWCUT PAVEMENT AND REPLACE EXISTING DRIVE ENTRANCE WITH STANDARD 6" CURB AND GUTTER
116	LOW FLOW CHANNEL

## STANDARD LEGEND AND NOTES

- PROPERTY &/OR BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- 22-1
- EXISTING:
  - POWER POLE
  - POWER POLE W/DROP
  - POWER POLE W/TRANS
  - POWER POLE W/LIGHT
  - GUY POLE
  - LIGHT POLE
  - SANITARY MANHOLE
  - FIRE HYDRANT
  - WATER VALVE
  - DRAINAGE MANHOLE
  - CURB INLET
  - FENCE LINE
  - EXISTING SANITARY SEWER
  - PROPOSED SANITARY SEWER
  - EXISTING STORM SEWER
  - PROPOSED STORM SEWER
  - WATER LINES
  - ELECTRICAL LINES
  - TELEPHONE LINES
  - GAS LINES
  - CONTOUR LINES (1' INTERVAL)
  - PROPOSED GROUND
  - EXISTING TREE LINE
  - EXISTING DECIDUOUS TREE & SHRUB
  - EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

## PAVEMENT LEGEND

- 7" PCC 4500 PSI OVER 6" GRANULAR BASE -DESIGNED TO SUPPORT THE SINGLE AXLE WEIGHT OF THE NORTH LIBERTY 75,000 LBS GROSS WEIGHT FIRE TRUCK (70,653 SF)
- 5" PCC PARKING OVER 4" GRANULAR BASE (23,360 SF)
- 4" PCC SIDEWALK (2,253 SF)

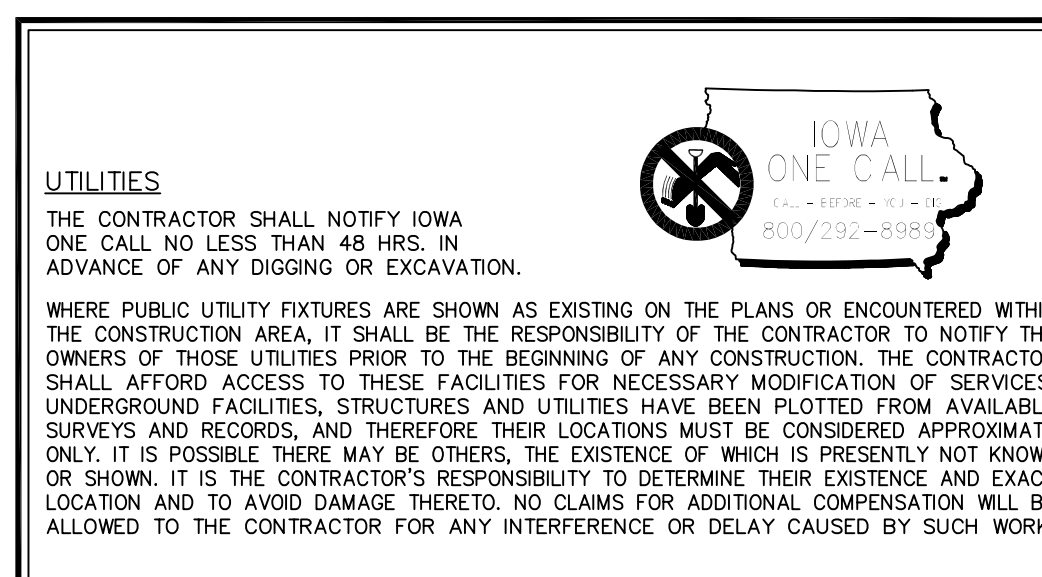
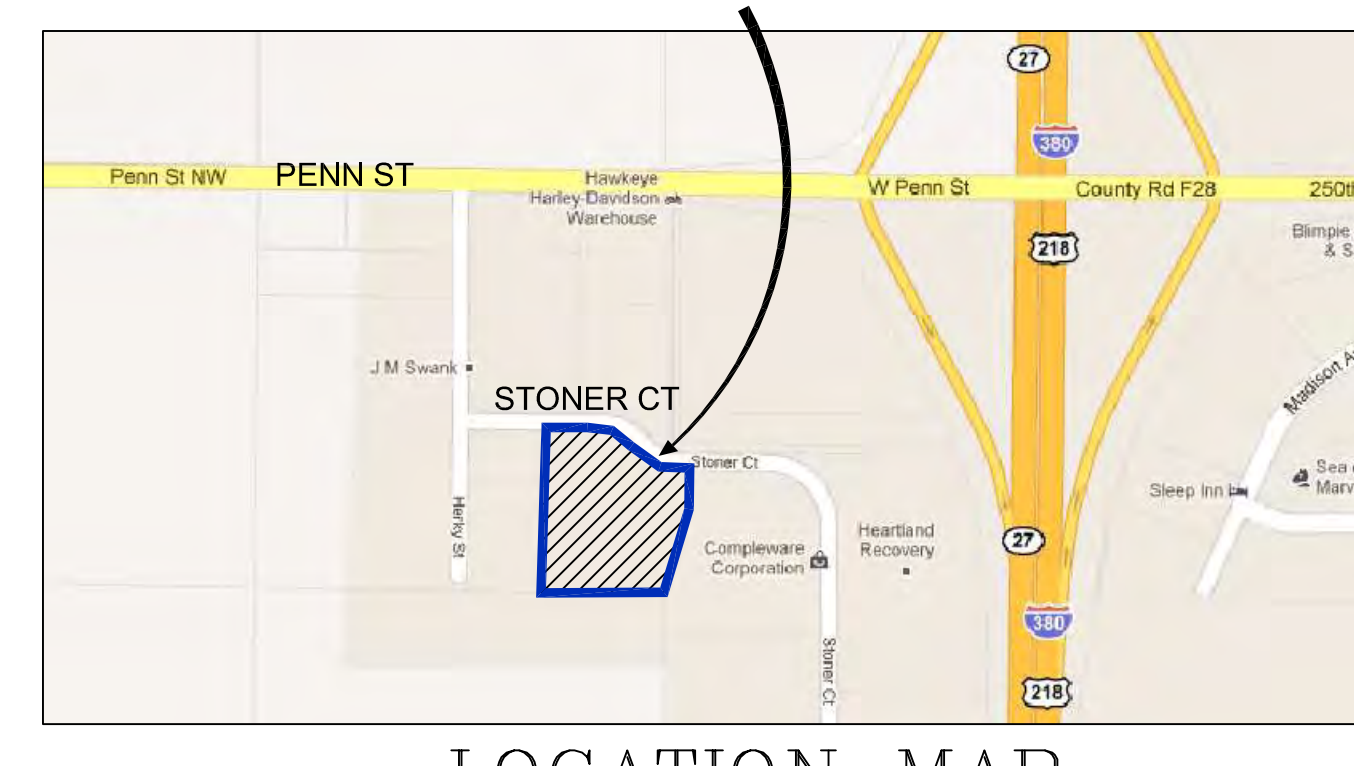
NOTE: THESE QUANTITIES REFLECT THE OVERALL SITE INCLUDING WORK WITHIN THE RIGHT OF WAY

NOTE: ON-SITE LIGHTING SHALL BE WALL MOUNTED, DOWN CAST LIGHTING.

## SURVEY CONTROL

POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
V1	1093.5165	2545.4650	793.28	ARROW BOLT ON HYDRANT ON SOUTH SIDE OF STONER COURT 110 FEET SOUTHEAST OF ELECTRIC TRANSFORMER LOCATED ON NORTH SIDE OF STONER COURT AT SOUTHEAST CORNER OF LOT 9 (ASSUMED)
V2	1214.0357	2299.3405	797.27	ARROW BOLT ON HYDRANT ON SOUTH SIDE OF STONER COURT 380 FEET SOUTHEAST OF ELECTRIC TRANSFORMER LOCATED ON NORTH SIDE OF STONER COURT AT SOUTHEAST CORNER OF LOT 9 (ASSUMED)
V3	1190.5129	2402.8215	792.63	CUT "X" IN CENTER OF STONER COURT 210 FEET SOUTHEAST OF ELECTRIC TRANSFORMER LOCATED ON NORTH SIDE OF STONER COURT AT SOUTHEAST CORNER OF LOT 9 (ASSUMED)

## LOT 11, I-380 INDUSTRIAL PARK NORTH LIBERTY, IOWA



UTILITIES  
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.  
WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

LOT 11,  
I-380 INDUSTRIAL PARK  
PROJECT-TITLE(3)  
NORTH LIBERTY  
JOHNSON COUNTY  
STATE OF IOWA

MMS CONSULTANTS, INC.

Date: 5-1-2018

Designed by: BTM Field Book No: FIELDBOOK

Drawn by: MAK Scale: 1"=20'

Checked by: BTM Sheet No: 1

Project No: IOWA CITY

10477-001





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## GRADING PLAN

LOT 11,  
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### STANDARD LEGEND AND NOTES

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- EXISTING TREE LINE
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- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

### PERMANANT SEEDING OF URBAN AREAS

SUDAS TYPE 1 PERMANENT LAWN MIXTURE SHALL BE USED FOR PERMANENT SEEDING OF URBAN AREAS, INCLUDING ANY AREAS PREVIOUSLY MAINTAINED AS A LAWN. (SUDAS 9010.2.02). THE APPLICATION RATE SHALL BE AS LISTED BELOW:

COMMON NAME	APPLICATION RATE lb/acre
CREeping RED FESCUE	25
TURF-TYPE PERENNIAL RYEGRASS (2)	20
TURF-TYPE PERENNIAL RYEGRASS (3)	20
KENTUCKY BLUEGRASS CULTIVAR (3)	65
KENTUCKY BLUEGRASS CULTIVAR (3)	65
KENTUCKY BLUEGRASS CULTIVAR (3)	65

(1) A COMMERCIAL MIXTURE MAY BE USED IF IT CONTAINS A HIGH PERCENTAGE OF SIMILAR BLUEGRASSES. IT MAY OR MAY NOT CONTAIN CREeping RED FESCUE.  
(2) CHOOSE TWO DIFFERENT CULTIVARS OF TURF-TYPE PERENNIAL RYEGRASS, AT 20 lb/ACRE EACH.  
(3) CHOOSE THREE DIFFERENT CULTIVARS OF KENTUCKY BLUEGRASS, AT 65 lb/ACRE EACH.

### GRADING NOTES

- 1.) MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3:5. HORIZONTAL TO 1: VERTICAL.
- 2.) NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- 3.) WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- 4.) COMPACTION TO BE 90% MODIFIED PROCTOR WHERE > 6:1 SLOPE.
- 5.) ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED, UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- 6.) PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- 7.) STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS, UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- 8.) SILT FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- 9.) ALL STREET SUBGRADES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH CITY OF NORTH LIBERTY DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES.

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

GRADING TOPSOIL NOTE:  
PRIOR TO FINAL SEEDING, ALL GREEN SPACE SHALL BE TILLED TO A MINIMUM DEPTH OF 12" AND COVERED WITH A MINIMUM OF 6" OF TOPSOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR STOCKPILING ADEQUATE TOPSOIL FOR ALL GREEN SPACE.

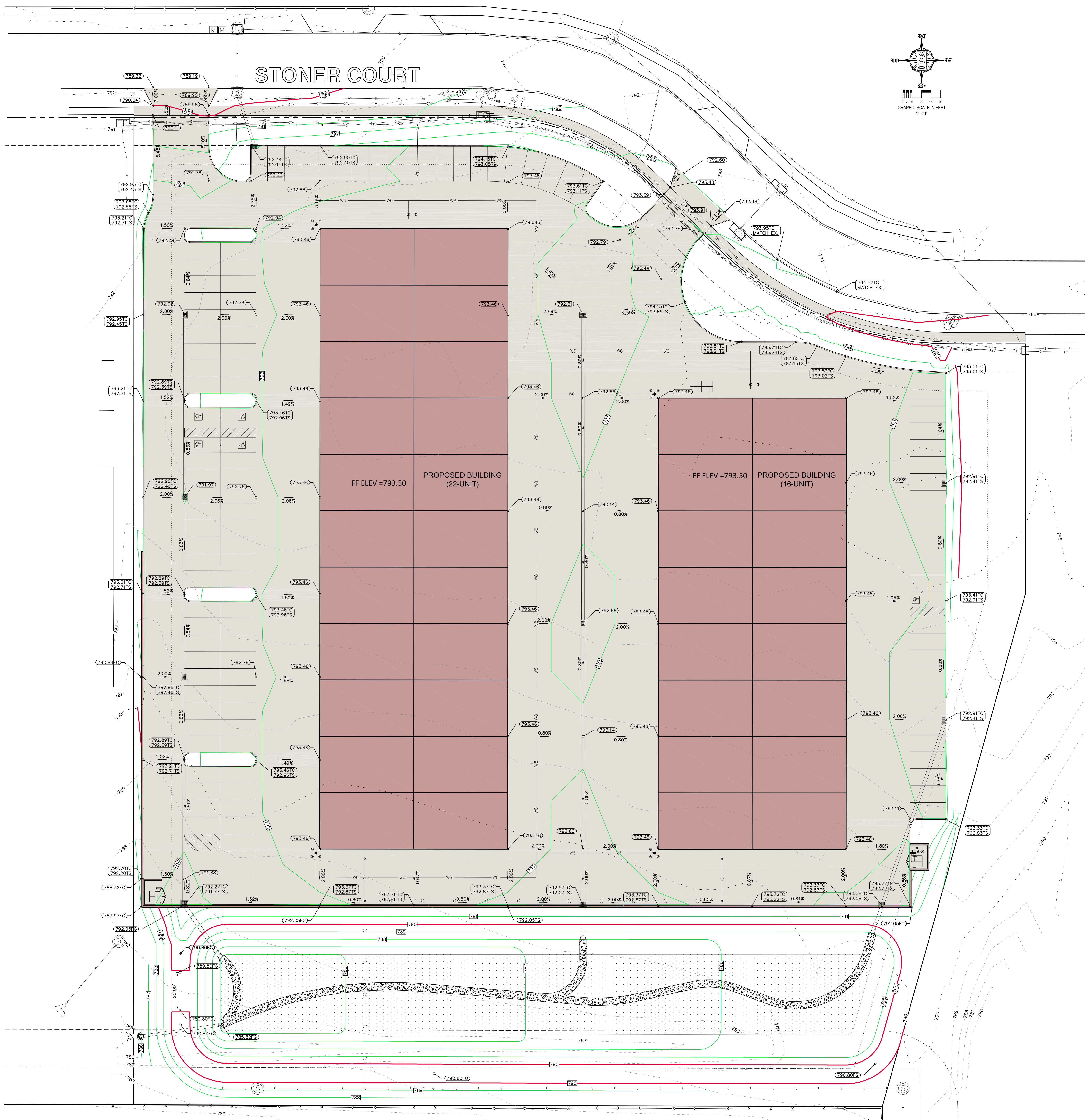
- NOTES:
1. ALL ELEVATIONS ARE TOP OF SLAB UNLESS NOTED OTHERWISE.
  2. FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.

### UTILITIES

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## EROSION CONTROL PLAN AND SWPPP

LOT 11,  
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STATE OF IOWA

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EROSION CONTROL LEGEND	
	SILT FENCE
	TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT
	TEMPORARY PARKING AND STORAGE
	CONCRETE TRUCK/EQUIPMENT WASHOUT
	PORTABLE RESTROOM
	DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)
	INLET PROTECTION
	1. PRIOR TO STREET PAVING: INSTALL FABRIC UNDER INTAKE GRATE. 2. FOLLOWING STREET PAVING AND INSTALLATION OF GRATE: INSTALL FILTER SOCK ON ALL UPSLOPE SIDES WITH BLOCKS SUFFICIENT TO PROTECT SOCK AROUND THE PERIMETER OF THE INLET GRATE.
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	PERIMETER SILT FENCE
	TEMPORARY SOIL STOCKPILE AREA
	DIRECTION OF OVERLAND FLOW
	DUMPSTER FOR CONSTRUCTION WASTE
	RIP RAP OUTLET PROTECTION
	EROSION CONTROL BLANKET: NORTH AMERICAN GRASS SC150 OR APPROVED EQUIVALENT
	OTHER MEASURE:
	OTHER MEASURE:
	OTHER MEASURE:

STANDARD LEGEND AND NOTES	
	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	POWER POLE
	POWER POLE W/RAIN
	POWER POLE W/TRANS
	CURB INLET
	CURB POLE
	SANITARY MANHOLE
	WATER VALVE
	FIRE HYDRANT
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
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	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREE & SHRUB

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THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

GRADING TOPSOIL NOTE:  
PRIOR TO FINAL SEEDING, ALL GREEN SPACE SHALL BE TILLED TO A MINIMUM DEPTH OF 12" AND COVERED WITH A MINIMUM OF 6" OF TOPSOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR STOCKPILING ADEQUATE TOPSOIL FOR ALL GREEN SPACE.

STABILIZATION SEEDING	
STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH SUDAS SECTION 9010.2.02 SEED MIXTURES AND SEEDING DATES.	
TABLE 9010.06: TYPE 4 SEED MIXTURE	
COMMON NAME	APPLICATION RATE lb/acre
SPRING - MARCH 1 - MAY 20	
ANNUAL RYEGRASS	40
DATE*	65
SUMMER - MAY 21 - AUGUST 14	
ANNUAL RYEGRASS	50
DATE*	95
FALL - AUGUST 15 - SEPTEMBER 30	
ANNUAL RYEGRASS	40
GRAIN RYE	65

\* ENGINEER MAY DELETE FOR PREVIOUSLY ESTABLISHED URBAN AREAS.

FERTILIZER SHALL BE APPLIED AT A RATE OF 300 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL FERTILIZER (SUDAS SECTION 9010.2.03 A.2).

## GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 1.68 ACRES  
TOTAL AREA TO BE DISTURBED: 1.68 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING FILL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE REEVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

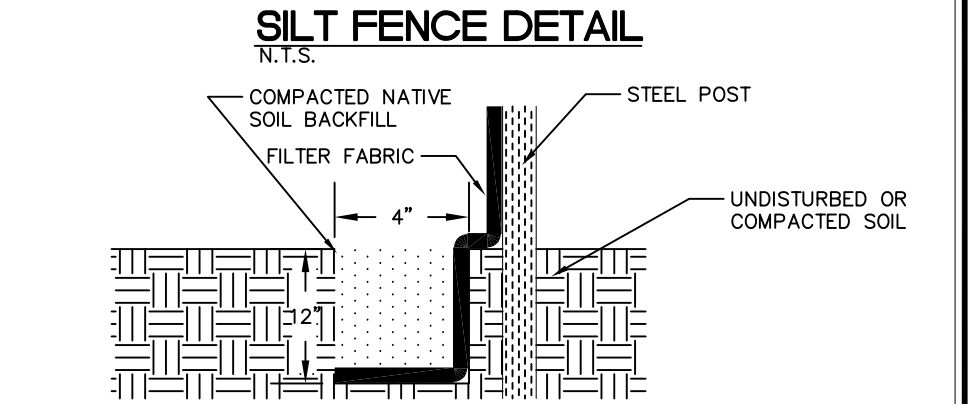
ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BINDER PREPARED FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SMO MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE, THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE INDICES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.



- POSTS SHALL BE 1.33 POUNDS PER LINEAL FOOT STEEL WITH A MINIMUM LENGTH OF 5 FEET. STEEL POSTS SHALL HAVE PROJECTIONS FOR FASTENING WIRE TO THEM.
- SILT FENCE FABRIC SHALL CONFORM TO I.D.O.T. STANDARD SPECIFICATION SECTION 4196.01.A. SILT FENCING SHALL BE A MINIMUM OF 24" AND A MAXIMUM OF 36" HIGH WHEN COMPLETE.
- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE FENCE TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, THE FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6" OVERLAP, AND SECURELY SEALED.
- POSTS SHALL BE SPACED A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND ALONG THE FENCE ALIGNMENT. POSTS SHALL BE DRIVEN INTO THE GROUND A MINIMUM OF 28".
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE BY 12" DEEP ALONG THE UPSLOPE SIDE OF THE POSTS.
- FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE POSTS SUCH THAT THE FABRIC EXTENDS INTO THE TRENCH AS SHOWN ABOVE. THE FABRIC SHALL BE FASTENED A MINIMUM OF THREE PLACES ON EACH POST.
- THE TRENCH SHALL BE BACK FILLED WITH EXCAVATED MATERIAL AND THOROUGHLY COMPACTED.

- SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAIN-FALL EVENT OF 0.5 INCHES OR MORE. DURING PERIODS OF PROLONGED RAIN INSPECTIONS SHALL BE AT LEAST DAILY. ANY REPAIRS NEEDED TO MAINTAIN THE SILT FENCE'S EFFECTIVENESS SHALL BE MADE IMMEDIATELY.
- SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO STABILIZING THE UPSLOPE AREAS THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. SILTS REMOVED SHALL BE PLACED IN A PROTECTED PLACE THAT WILL PREVENT THEIR ESCAPE FROM THE CONSTRUCTION SITE.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER NEEDED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEED.
- SILT FENCE SHALL REMAIN IN PLACE UNTIL IT IS NO LONGER NEEDED AS DIRECTED BY THE POLLUTION PREVENTION PLAN. GENERALLY SILT FENCES SHALL REMAIN UNTIL THE UPSLOPE AREAS ARE STABILIZED WITH AN ESTABLISHED GRASS COVER AS A MINIMUM.

**UTILITIES**

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

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LANDSCAPE LEGEND:	
	SOD
	SEED WITH MULCHING

PERMANENT SEEDING PER SUDAS SPEC SECTION 9010. USE PERMANENT SEED MIX FOR SLOPES AND DITCHES PER SECTION 9010.2.02.B.





CIVIL ENGINEERS  
LAND PLANNERS  
LAND SURVEYORS  
LANDSCAPE ARCHITECTS  
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.  
IOWA CITY, IOWA 52240  
(319) 351-6282  
www.mmsconsultants.net

Date: 05/29/18 Revision: PER CITY REVIEW -MAK

## UTILITY PLAN

LOT 11,  
I-380 INDUSTRIAL PARK  
PROJECT-TITLE(3)  
NORTH LIBERTY  
JOHNSON COUNTY  
STATE OF IOWA

MMS CONSULTANTS, INC.

Date: 5-1-2018

Designed by: BTM Field Book No: FIELDBOOK

Drawn by: MAK Scale: 1"=20'

Checked by: BTM

Project No: IOWA CITY

10477-001

4

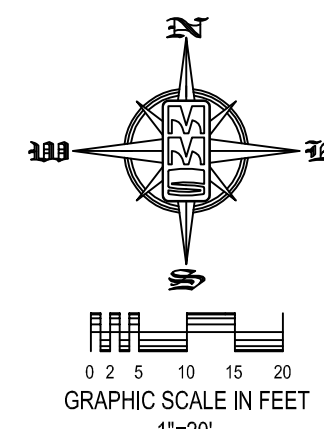
### STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.



### UTILITIES

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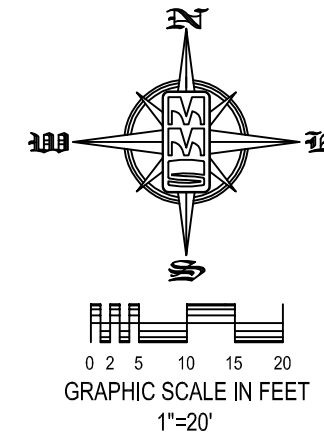
## LANDSCAPE PLAN

LOT 11,  
I-380 INDUSTRIAL PARK

NORTH LIBERTY  
JOHNSON COUNTY  
STATE OF IOWA

MMS CONSULTANTS, INC.

Designed by: BTM Field Book No: 5-1-2018  
Drawn by: BAH Scale: 1"=20'  
Checked by: BTM Sheet No: 5  
Project No: IOWA CITY  
10477-001



STANDARD LEGEND AND NOTES	
---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	EXISTING CENTER LINES
---	EXISTING INTERNAL LINES
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	22-1
---	PROPOSED
---	EXISTING
---	POWER POLE
---	POWER POLE W/DROP
---	POWER POLE W/TRANS
---	POWER POLE W/LIGHT
---	QUIET POLE
---	LIGHT POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	WATER LINES
---	ELECTRICAL LINES
---	TELEPHONE LINES
---	GAS LINES
---	CONTOUR LINES (1' INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE
---	EXISTING DECIDUOUS TREE & SHRUB
---	EXISTING EVERGREEN TREES & SHRUBS

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THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

## LANDSCAPE REQUIREMENTS:

- 1 TREE WITHIN 40' OF EVERY PARKING SPACE.  
- PROVIDED
- 1 TREE PER 2,000 SF OF BUILDING FOOTPRINT.  
- 57,000 / 2,000 = 29 TREES REQUIRED
- TOTAL TREES PROVIDED = 29 TREES

## LANDSCAPE LEGEND:

- 
- SOD
- 
- SEED WITH MULCHING

PLANT LIST - SHRUBS, PERENNIALS, ORNAMENTAL GRASSES & GROUNDCOVER						
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
24	TO	THUNIA OCCIDENTALIS 'NIGERHARTII'	GLOBE ARBOVITAE	18" HT	CONT	5' X 5'
22	YG	VIORNUM TRILOBIUM 'COMPACTA'	COMPACT AMERICAN CRANBERRY BUSH VIORNUM	18" HT	CONT	5' X 5'
PLANT LIST - TREES						
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
9	GS	BLEPISIA TRIACANTHOS INTERMIS 'SKYLINE'	SKYLINE THORNLESS HONEYLOCUST	2" CAL	D & D	60' X 90'
4	LS	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	2" CAL	D & D	50' X 35'
5	LT	LIRIODENDRON TULIPIFERA	TULIPTREE	2" CAL	D & D	80' X 90'
4	PA	PLATANUS X ACERIFLORA	LONDON PLANETREE	2" CAL	D & D	80' X 90'
5	QR	QUERCUS RUBRA	RED OAK	2" CAL	D & D	70' X 90'
4	UF	ULMUS FRONTALIS	FRONTIER ELM	2" CAL	D & D	40' X 90'

## STONER COURT

HEADLIGHT SCREENING  
(SEE DETAIL, SHEET 6)

HEADLIGHT SCREENING  
(SEE DETAIL, SHEET 6)

PROPOSED BUILDING  
(22-UNIT)

PROPOSED BUILDING  
(16-UNIT)

## UTILITIES

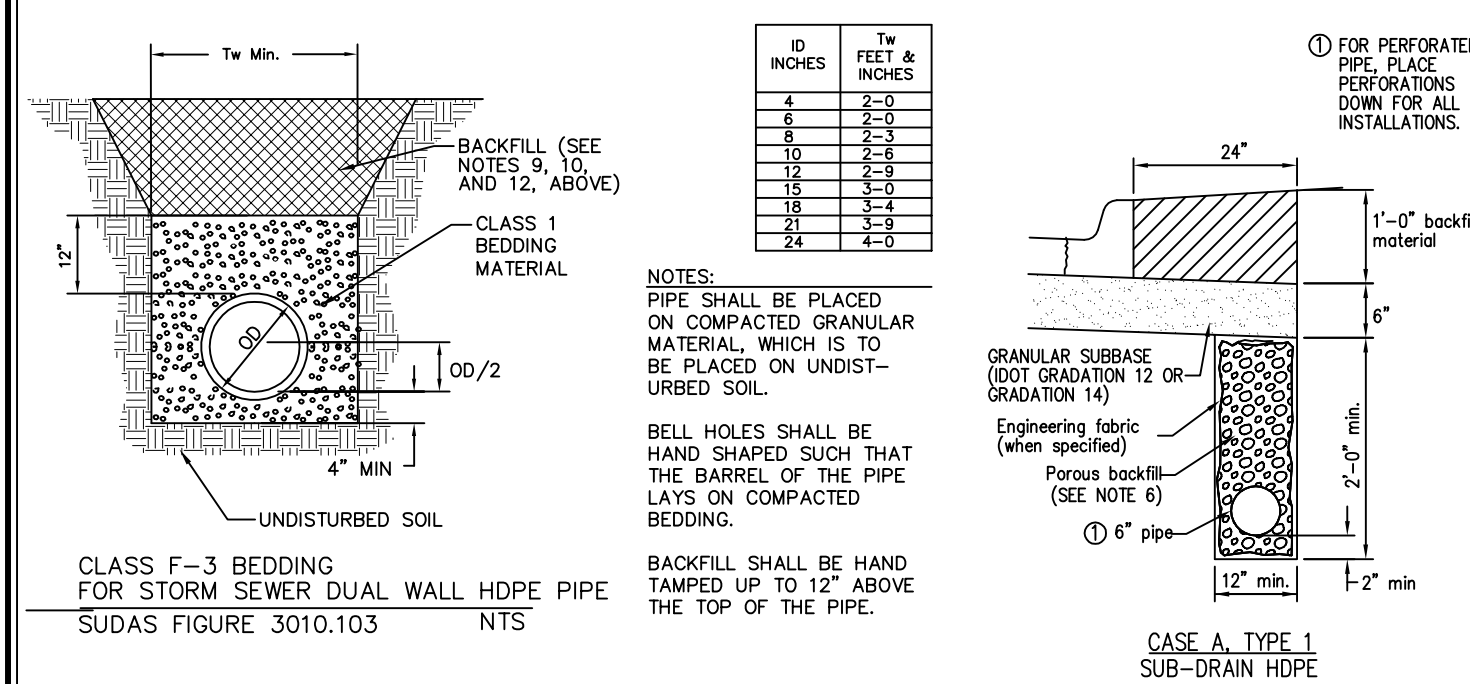
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- 1) ALL STORM SEWER AND SUB-SURFACE CONSTRUCTION SHALL CONFORM TO PLANS AND DETAILS PREPARED FOR THIS PROJECT AND SHALL CONFORM TO THE SUDAS SPECIFICATION 4020.2.0,2.A, 4020.2.0,2.B, 4020.2.0,2.C, 4020.2.0,2.D, 4020.2.0,2.E, 4020.2.0,2.F, 4020.2.0,2.G, 4020.2.0,2.H, 4020.2.0,2.I, 4020.2.0,2.J, 4020.2.0,2.K, 4020.2.0,2.L, 4020.2.0,2.M, 4020.2.0,2.N, 4020.2.0,2.O, 4020.2.0,2.P, 4020.2.0,2.Q, 4020.2.0,2.R, 4020.2.0,2.S, 4020.2.0,2.T, 4020.2.0,2.U, 4020.2.0,2.V, 4020.2.0,2.W, 4020.2.0,2.X, 4020.2.0,2.Y, 4020.2.0,2.Z, 4020.2.0,2.aa, 4020.2.0,2.ab, 4020.2.0,2.ac, 4020.2.0,2.ad, 4020.2.0,2.ae, 4020.2.0,2.af, 4020.2.0,2.ag, 4020.2.0,2.ah, 4020.2.0,2.ai, 4020.2.0,2.aj, 4020.2.0,2.ak, 4020.2.0,2.al, 4020.2.0,2.am, 4020.2.0,2.an, 4020.2.0,2.ao, 4020.2.0,2.ap, 4020.2.0,2.aq, 4020.2.0,2.ar, 4020.2.0,2.as, 4020.2.0,2.at, 4020.2.0,2.au, 4020.2.0,2.av, 4020.2.0,2.aw, 4020.2.0,2.ax, 4020.2.0,2.ay, 4020.2.0,2.az, 4020.2.0,2.ba, 4020.2.0,2.bb, 4020.2.0,2.bc, 4020.2.0,2.bd, 4020.2.0,2.be, 4020.2.0,2 bf, 4020.2.0,2.bg, 4020.2.0,2.bh, 4020.2.0,2.bi, 4020.2.0,2.bj, 4020.2.0,2.bk, 4020.2.0,2.bl, 4020.2.0,2 bm, 4020.2.0,2.bn, 4020.2.0,2.bo, 4020.2.0,2.bp, 4020.2.0,2.bq, 4020.2.0,2.br, 4020.2.0,2.bs, 4020.2.0,2.bt, 4020.2.0,2.bu, 4020.2.0,2.bv, 4020.2.0,2.bw, 4020.2.0,2.bx, 4020.2.0,2.by, 4020.2.0,2.bz, 4020.2.0,2.ca, 4020.2.0,2.cb, 4020.2.0,2.cc, 4020.2.0,2.cd, 4020.2.0,2.ce, 4020.2.0,2.cf, 4020.2.0,2.cg, 4020.2.0,2.ch, 4020.2.0,2.ci, 4020.2.0,2.cj, 4020.2.0,2 ck, 4020.2.0,2.cl, 4020.2.0,2.cm, 4020.2.0,2.cn, 4020.2.0,2.co, 4020.2.0,2.cp, 4020.2.0,2.cq, 4020.2.0,2.cr, 4020.2.0,2.cs, 4020.2.0,2.ct, 4020.2.0,2.cu, 4020.2.0,2.cv, 4020.2.0,2.cw, 4020.2.0,2.cx, 4020.2.0,2.cy, 4020.2.0,2.cz, 4020.2.0,2.da, 4020.2.0,2.db, 4020.2.0,2.dc, 4020.2.0,2.dd, 4020.2.0,2.de, 4020.2.0,2.df, 4020.2.0,2.dg, 4020.2.0,2.dh, 4020.2.0,2.di, 4020.2.0,2.dj, 4020.2.0,2.dk, 4020.2.0,2.dl, 4020.2.0,2.dm, 4020.2.0,2.dn, 4020.2.0,2.do, 4020.2.0,2.dp, 4020.2.0,2.dq, 4020.2.0,2.dr, 4020.2.0,2.ds, 4020.2.0,2.dt, 4020.2.0,2.du, 4020.2.0,2.dv, 4020.2.0,2.dw, 4020.2.0,2.dx, 4020.2.0,2.dy, 4020.2.0,2.dz, 4020.2.0,2.ea, 4020.2.0,2.eb, 4020.2.0,2.ec, 4020.2.0,2.ed, 4020.2.0,2.ee, 4020.2.0,2.ef, 4020.2.0,2.eg, 4020.2.0,2.eh, 4020.2.0,2.ei, 4020.2.0,2.ej, 4020.2.0,2.ek, 4020.2.0,2.el, 4020.2.0,2.em, 4020.2.0,2.en, 4020.2.0,2.eo, 4020.2.0,2.ep, 4020.2.0,2.eq, 4020.2.0,2.er, 4020.2.0,2.es, 4020.2.0,2.et, 4020.2.0,2.eu, 4020.2.0,2.ev, 4020.2.0,2.ew, 4020.2.0,2.ex, 4020.2.0,2.ey, 4020.2.0,2.ez, 4020.2.0,2.fa, 4020.2.0,2.fb, 4020.2.0,2.fc, 4020.2.0,2.fd, 4020.2.0,2.fe, 4020.2.0,2.ff, 4020.2.0,2.fg, 4020.2.0,2.fh, 4020.2.0,2.fi, 4020.2.0,2.fj, 4020.2.0,2.fk, 4020.2.0,2.fl, 4020.2.0,2.fm, 4020.2.0,2.fn, 4020.2.0,2.fo, 4020.2.0,2.fp, 4020.2.0,2.fq, 4020.2.0,2.fr, 4020.2.0,2.fs, 4020.2.0,2.ft, 4020.2.0,2.fu, 4020.2.0,2.fv, 4020.2.0,2.fw, 4020.2.0,2.fx, 4020.2.0,2.fy, 4020.2.0,2.fz, 4020.2.0,2.ga, 4020.2.0,2.gb, 4020.2.0,2.gc, 4020.2.0,2.gd, 4020.2.0,2.ge, 4020.2.0,2.gf, 4020.2.0,2.gg, 4020.2.0,2.gh, 4020.2.0,2.gi, 4020.2.0,2.gj, 4020.2.0,2.gk, 4020.2.0,2.gl, 4020.2.0,2.gm, 4020.2.0,2.gn, 4020.2.0,2.go, 4020.2.0,2.gp, 4020.2.0,2.gq, 4020.2.0,2.gr, 4020.2.0,2.gs, 4020.2.0,2.gt, 4020.2.0,2.gu, 4020.2.0,2.gv, 4020.2.0,2.gw, 4020.2.0,2.gx, 4020.2.0,2.gy, 4020.2.0,2.gz, 4020.2.0,2.ha, 4020.2.0,2.hb, 4020.2.0,2.hc, 4020.2.0,2.hd, 4020.2.0,2.he, 4020.2.0,2.hf, 4020.2.0,2.hg, 4020.2.0,2.hh, 4020.2.0,2.hi, 4020.2.0,2.hj, 4020.2.0,2.hk, 4020.2.0,2.hl, 4020.2.0,2.hm, 4020.2.0,2.hn, 4020.2.0,2.ho, 4020.2.0,2.hp, 4020.2.0,2.hq, 4020.2.0,2.hr, 4020.2.0,2.hs, 4020.2.0,2.ht, 4020.2.0,2.hu, 4020.2.0,2.hv, 4020.2.0,2.hw, 4020.2.0,2.hx, 4020.2.0,2.hy, 4020.2.0,2.hz, 4020.2.0,2.ia, 4020.2.0,2.ib, 4020.2.0,2.ic, 4020.2.0,2.id, 4020.2.0,2.ie, 4020.2.0,2.if, 4020.2.0,2.ig, 4020.2.0,2.ih, 4020.2.0,2.ii, 4020.2.0,2.ij, 4020.2.0,2.ik, 4020.2.0,2.il, 4020.2.0,2.im, 4020.2.0,2.in, 4020.2.0,2.io, 4020.2.0,2.ip, 4020.2.0,2.iq, 4020.2.0,2.ir, 4020.2.0,2.is, 4020.2.0,2.it, 4020.2.0,2.iu, 4020.2.0,2.iv, 4020.2.0,2.iw, 4020.2.0,2.ix, 4020.2.0,2.iy, 4020.2.0,2.iz, 4020.2.0,2.ja, 4020.2.0,2.jb, 4020.2.0,2.jc, 4020.2.0,2.jd, 4020.2.0,2.je, 4020.2.0,2.jf, 4020.2.0,2.jg, 4020.2.0,2.jh, 4020.2.0,2.ji, 4020.2.0,2.jj, 4020.2.0,2.jk, 4020.2.0,2.jl, 4020.2.0,2.jm, 4020.2.0,2.jn, 4020.2.0,2.jo, 4020.2.0,2.jp, 4020.2.0,2.jq, 4020.2.0,2.jr, 4020.2.0,2.js, 4020.2.0,2.jt, 4020.2.0,2.ju, 4020.2.0,2.jv, 4020.2.0,2.jw, 4020.2.0,2.jx, 4020.2.0,2.jy, 4020.2.0,2.jz, 4020.2.0,2.ka, 4020.2.0,2.kb, 4020.2.0,2.kc, 4020.2.0,2.kd, 4020.2.0,2.ke, 4020.2.0,2.kf, 4020.2.0,2.kg, 4020.2.0,2.kh, 4020.2.0,2.ki, 4020.2.0,2.kj, 4020.2.0,2.kk, 4020.2.0,2.kl, 4020.2.0,2.km, 4020.2.0,2.kn, 4020.2.0,2.ko



NENNAH R-4341-A  
GRATE

ELEV. = 789.00

2'-0" RCP

PIPE SCREEN

6" HOLE

RIPRAP PER PLAN

BOTTOM OF HOLE  
ELEV. 788.5

3'

OUTLET PIPE PER PLAN

OUTLET WORKS WITH RISER BARREL AND  
GRAVEL PACK FOR INLET DERRIS PROTECTION

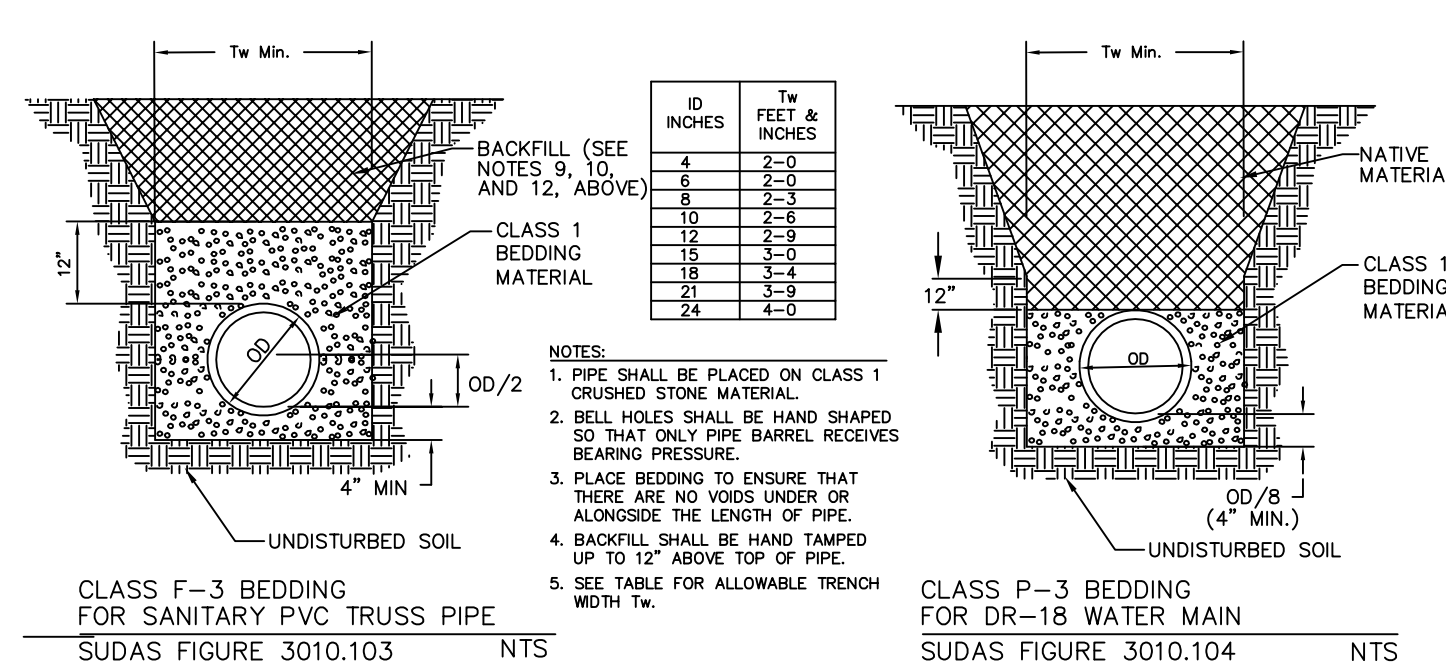
Figure 10-1 consists of two diagrams illustrating the construction of an erosion stone ridge. The left diagram is a cross-section showing the ridge's profile. It features a sloped top surface labeled 'TOP EROSION STONE RIDGE' and a base labeled 'ORIGINAL GROUND'. The ridge is constructed from 'EROSION STONE THICKNESS AS SHOWN ON PLAN' and is reinforced with 'ENGINEERING FABRIC' underneath. Dimensions shown include a top width of 1.40', a base width of 0.20', and a slope of 0.60'. The right diagram is a plan view showing the ridge's layout. It is a semi-circular shape with a radius of 2.00' and a thickness of 0.60'. The diagram labels the 'FES AS SHOWN ON PLAN' (Facing Edge Stone) at the top, the 'LIMITS OF EROSION STONE' along the perimeter, the 'TOE OF EMBANKMENT' at the bottom, and the 'EROSION STONE RIDGE' on the right side.

**\*\*ALL SANITARY SEWER MANHOLE LIDS SHALL HAVE THE WORDS 'SANITARY SEWER' CAST IN THE LID\*\***

- 1) SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AS PREPARED BY MMS CONSULTING INC. CONSTRUCTION SHALL CONFORM TO THE DOWA STANDARD SPECIFICATIONS AND DESIGN FOR CONSTRUCTION (SDSAS) MANUAL, AND TO THE CITY OF NORTH LIBERTY STANDARDS AND APPROVED MANUFACTURERS/MODELS.
- 2) ALL TRENCH EXCAVATIONS SHALL BE COMPLETED IN ACCORDANCE WITH SDSAS SPECIFICATION SECTION 3010.
- 3) CONTRACTOR SHALL PROVIDE CLASS 1 CRUSHED STONE ENCASEMENT BEDDING ACCORDING TO SDSAS SPECIFICATION 5010.2.0.2.A FOR ALL SANITARY SEWER UNLESS NOTED OTHERWISE ON THE PLANS.
- 4) SANITARY SEWERS TO BE PVC TRUSS PIPE (SDAS 4010.2.0.1.0) UNLESS NOTED OTHERWISE. SANITARY SEWER SERVICE LINES SHALL BE PVC, SDR 35.5 WITH GASKETED JOINTS (SDAS 4010.2.0.4.C).
- 5) CONTRACTOR TO PROVIDE LOW "BAND-SAVE" CULPS FOR DISMISSAL PIPE CONNECTIONS.
- 6) WATER MAINS SHALL BE DR-18 PVC PIPE, IN COMPLIANCE WITH SDSAS SPECIFICATION SECTION 5010.2.0.1, UNLESS NOTED OTHERWISE ON THE PLANS.
- 7) ALL CLASS 52 DIP SHALL BE WRAPPED WITH 8 MIL. POLYETHYLENE WRAP IN COMPLIANCE WITH SDSAS 5010.3.0.5.
- 8) #12 AWG SLOW COPPER TRACER WIRE SHALL BE INSTALLED ALONG ENTIRE LENGTH OF NEW WATER MAIN, IN COMPLIANCE WITH SDSAS SPECIFICATION 5010.3.0.6 AND FIGURE 5010.102. THEN INSULATION IN YELLOW, ORANGE OR BLUE.
- 9) SANITARY SEWER TRENCHES SHAZED ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% STANDARD PROCTOR DENSITY:
  - A. SUTABLE EXCAVATED MATERIAL: IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
  - B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- 10) \*REFER TO SDSAS SPECIFICATION 5010.2.0.1 FOR UNSUITABLE MATERIAL.\*
- 11) GRANULAR TRENCH BACKFILL SHALL BE CLASS 1 CRUSHED STONE CONFORMING TO SDSAS SPECIFICATION 3010.2.0.2.A. COMPACT TO 95% STANDARD PROCTOR DENSITY.
- 12) WATER MAINS WITHIN STREET RIGHT OF WAY OR WITHIN EASEMENTS ADJACENT TO THE STREET RIGHT OF WAY SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 95% STANDARD PROCTOR DENSITY:
  - A. SUTABLE EXCAVATED MATERIAL: IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
  - B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- 13) ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
- 14) ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED :
  - A. TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SIDE OF THE STREET FROM THE SEWER MAIN.
  - B. TO THE UTILITY EASEMENT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE SEWER MAIN.
- 15) THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED, ACCORDING TO SDSAS SPECIFICATION 5010.3.0.7:
  - 14) WATER MAIN SHALL BE LOCATED TO FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
  - 15) WATER MAIN SHALL NOT PASS THROUGH OR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
  - 16) VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE 18-INCHES. MEASURED OUTSIDE TO OUTSIDE FROM THE LOWEST ELEVATION OF EACH PIPE. IF PHYSICAL CONDITIONS PROHIBIT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR MANHOLE. IF A SEWER, THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
  - 17) WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED BETWEEN BOTH JOINTS AS FAR AS POSSIBLE FROM THE JOINTS. THE WATER AND SEWER PIPES SHALL BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL, WITHIN 10'-FEET OF THE POINT OF CROSSING.
  - 18) NOMINAL DEPTH OF WATER MAIN = 5.5 FEET TO TOP OF PIPE.
  - 19) WATER MAIN SHADED ON PLAN VIEW, AND ALL WATER SERVICE LINES CROSSING STREETS, SHALL BE INSTALLED PRIOR TO PAVING.
  - 20) VIDEO INSPECTION OF ALL SANITARY SEWER MAINS IS REQUIRED PRIOR TO CITY ACCEPTING OWNERSHIP OF THE SYSTEM.

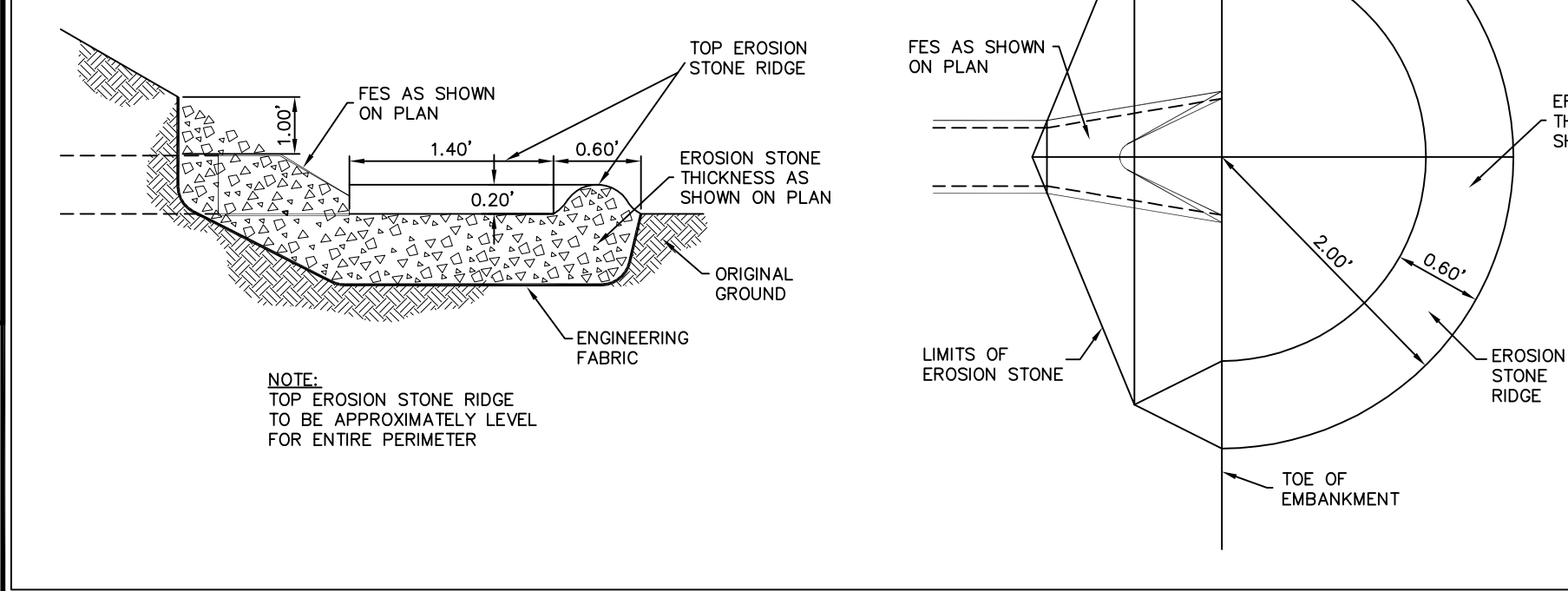
W. PIPE PRESSURE AIR TESTING (SDJAS 4060.2,3,4,0.4)		SDJAS TABLE 4060.02: TEST DURATION	
		PIPE DIAMETER, (INCHES)	TEST PERIOD DURATION (MINUTES)
A.	PERFORM FROM MANHOLE--TO-MANHOLE AFTER BACKFILL, CLEAN AND WET PIPE LINE		
B.	PLUG ALL INLETS AND OUTLETS TO RESIST THE TEST PRESSURE.	8	4.0
		12	5.0
		10	6.0
C.	USE THE TABLE TO THE RIGHT TO DETERMINE THE TEST DURATION FOR SECTION BEING TESTED.	15	7.0
	TESTING HOLDING TIME IS BASED ON AVERAGE HOLDING PRESSURE OF 3.0 PSI OR DROP FROM 3.5-2.5 PSI.	21	10.5
D.	INTRODUCE LOW PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 3.0 PSI GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT.	24	11.5
	TESTING IN SEWER SHOULD BE EXCEEDED 5.0 PSI.	30	14.0
E.	ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE, DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.	42	20.0
		48	23.0
F.	WHEN PRESSURE HAS STABILIZED AND IS AT OR ABOVE THE	60	28.5

- 22) ALL PVC TRUSS SEWERS SHALL HAVE A DEFLECTION TEST PERFORMED AS FOLLOWS:
- A. DEFLECTION TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.
  - B. DEFLECTION TEST TO BE CONDUCTED BY PULLING A 3 ARM DEFLECTION MANDELL COMING WITH APPLICABLE ASTM STANDARDS, THROUGH SEWER BY HAND, IN ACCORDANCE WITH SUDAS SPECIFICATION 4060.3.05
  - C. NO PIPE SHALL EXCEED A DEFLECTION OF 5% OF INSIDE PIPE DIAMETER.
- 23) MANHOLE FRAME AND LID TO BE NENAH R-1642 SELF SEALING OR APPROVED EQUAL. MANHOLE FRAMES IN PAVING SHALL ALSO BE NON-BONDING.
- 24) CONTRACTOR SHALL PROVIDE A 2-YEAR MAINTENANCE BOOK AND CITY OF NORTH LIBERTY COVERING THE ENTIRE INSTALLATION AND WORKMANSHIP OF THE SEWER AND WATER SYSTEM IMPROVEMENT.



WHERE PUBLIC OR PRIVATE UTILITY FACILITIES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCLOSED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MAINTENANCE OR SERVICES. UNDERGROUND FACILITIES SHALL BE PREVIOUSLY LOCATED AND PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH THE CONTRACTOR IS NOT AWARE OF. HEREON, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION TO AVOID DAMAGE THEREOF. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN PERMISSION TO BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

Technical drawing of a rectangular stone structure. The top view shows a rectangle with a width dimension of 4'. A cross-section view is shown to the right, revealing a rectangular core filled with a hatched pattern, surrounded by a layer of crushed stone. A label '1 1/2" WASHED CRUSHED STONE' with an arrow points to this layer. The cross-section also shows a hatched area on the left side of the core.



1. PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
2. I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
3. PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
4. SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, TO A DEPTH OF SIX (6) INCHES, UNLESS NOTED OTHERWISE.
5. ALL SAWED PAVEMENT JOINTS SHALL BE SEALED.

N.T.S.

12"

36"

2 3/8" O.D. POWDER COATED STEEL PIPE LOOP, CAST-IN-PLACE

CONCRETE WALK

CONCRETE PIER

PAVING

COMPACTED ROCK BASE (INCLUDED)

COMPACTED

DIA. OF PIPE LOOP PLUS 6"

FIGURE #TWAB  
WATER TRACER  
WIRE ACCESS BOX

**VALVCO TRACER  
WIRE BOX DETAIL**  
T-1.5

WWW.CPTSET.COM

NOTES:  
ALL FIRE HYDRANTS SHALL HAVE NATIONAL STANDARD THREADS (NST) ON THE TWO AND ONE-HALF (2 1/2) INCH CONNECTIONS AND THE FIVE (5) INCH CONNECTION SHALL HAVE A STORZ CONNECTION.

CONTACT LOCAL AUTHORITY FOR SPACING OF HYDRANT BEHIND CURB. USE 3 FEET BEHIND CURB AND LOCAL PUMPER NOZZLE TOWARD CURB IN MOST CASES.

PROVIDE VALVCO TRACER WIRE BOX ADJACENT TO FIRE HYDRANT.

NOTE: DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH MATERIALS CONSISTENT WITH THOSE USED ON THE BUILDINGS AND IN ACCORDANCE WITH CITY STANDARDS.

**WALL SECTION**

Labels and dimensions for the wall section:

- 106'-0" TOP OF MASONRY
- BOND BEAM - SEE STRUCT.
- 8" SPLIT FACE CMU (TYP.)
- GRADE
- 100'-0" TOP OF FOUNDATION
- CONCRETE FOUNDATION
- CONCRETE FOOTING

**PLAN VIEW**

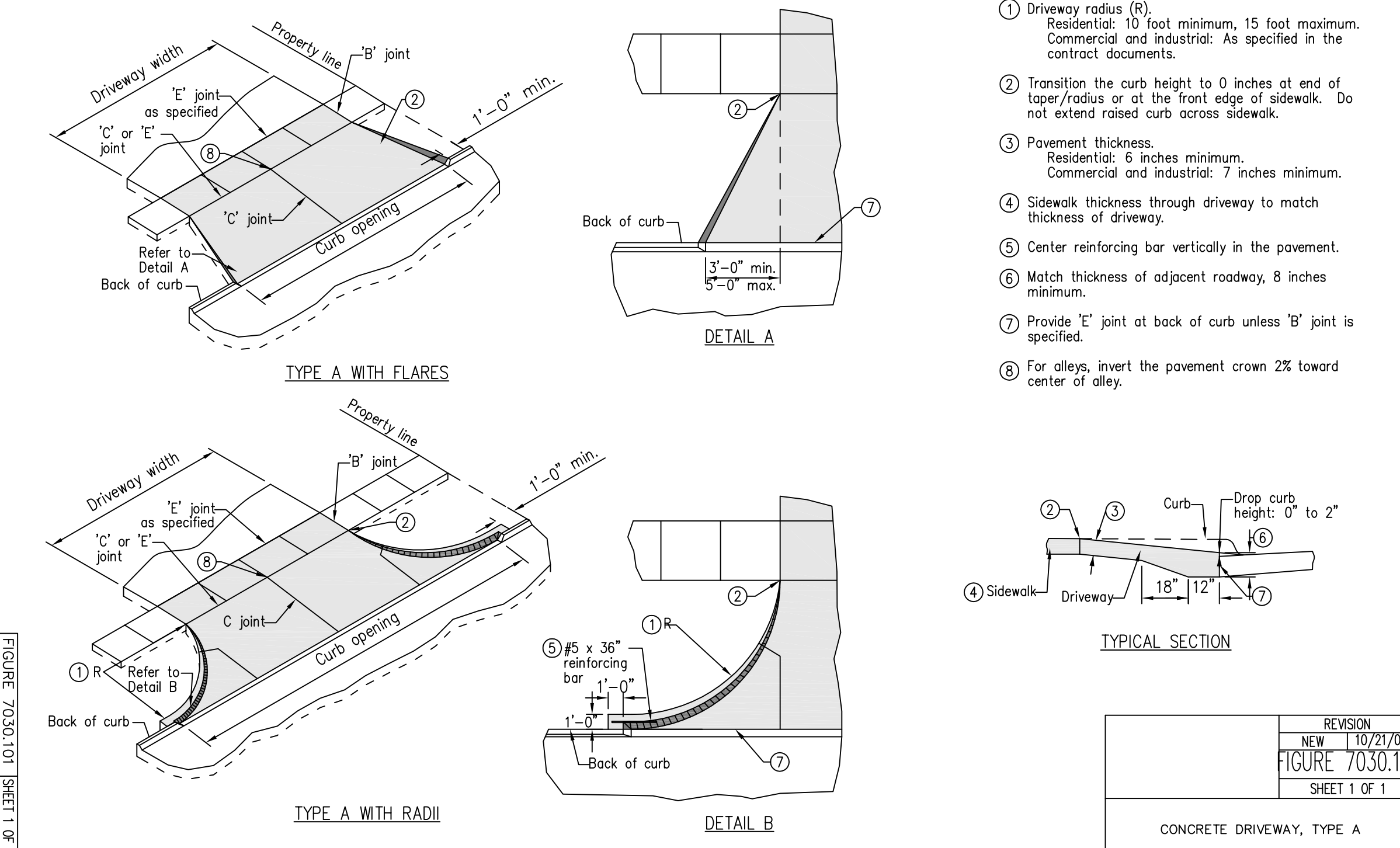
Labels and dimensions for the plan view:

- 8'
- 4'

**FRONT VIEW**

Labels and dimensions for the front view:

- 6'-0" MIN.



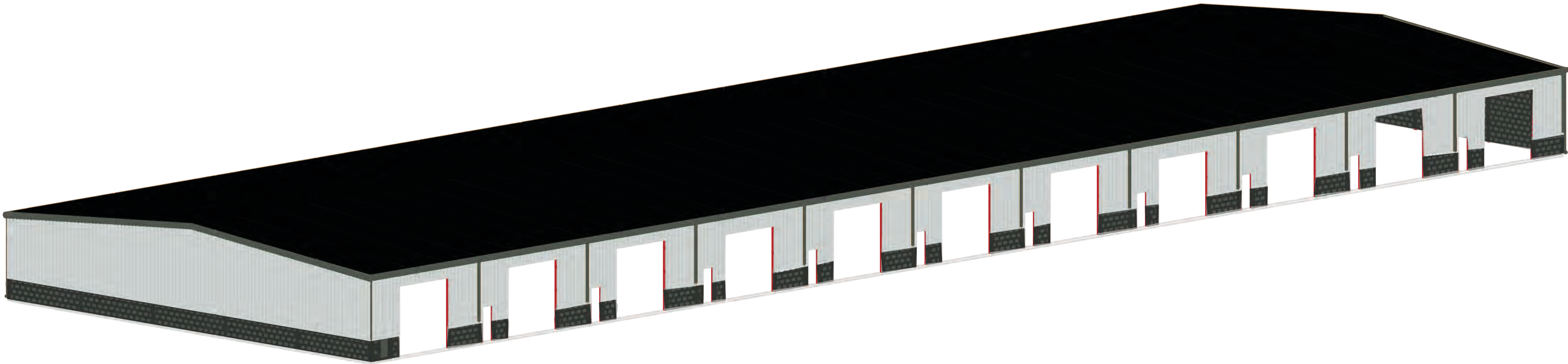
Technical drawing showing a cross-section of a landscape feature, likely a berm or retaining wall, adjacent to a sidewalk and parking lot. The drawing includes the following labels and dimensions:

- CONTINUOUS EVERGREEN SHRUB HEDGE, 2" - 6" MIN. MATURE HT.
- 4" MIN. MULCH
- 6" MIN. TOPSOIL
- 2:1 BERM SIDE SLOPE
- 4" HT. (MIN.)
- 4" MIN. (TYP.)
- SIDEWALK
- 6" - 18" HT. BERM
- EXISTING SUBGRADE
- 7" BERM WIDTH (TYP.)
- PARKING LOT

Technical drawing of a rectangular stone structure. The top view shows a rectangle with a width dimension of 4'. A cross-section view is shown to the right, revealing a rectangular core filled with a hatched pattern, surrounded by a layer of crushed stone. A label '1 1/2" WASHED CRUSHED STONE' with an arrow points to this layer. The cross-section also shows a hatched area on the left side of the core.



NOT FOR CONSTRUCTION



**This drawing is not for construction.** This drawing is intended to depict general building information and is solely for sales presentation purposes. For clarity of presentation, items depicted may be different from actual design and final drawings. In the event of conflict between this drawing and the purchase order, the purchase order shall prevail.

3D FRONT LEFT - (A) GRAND RAIL 240

Metallic Building Company  
7301 Fairview  
Houston, Texas 77041

**METALLIC**  
BUILDING COMPANY

**Builder:**  
Metallic Building Company  
1501 E 18th Street  
Atlantic, IA 50022

**CONTACT:** CJ WHEATLEY

**COUNTY:**

**Customer:**

**Drawing Status:**

☐ Preliminary

☐ For Approval

☐ For Construction Permit

☐ For Erector Installation

**Scale:** NOT TO SCALE

VERSION	PAPER SIZE
Optima 6.7.13	22x34

ESTIMATOR	DATE
David Peterson	5/1/018

JOB NAME

MAPLE - GRAND 240

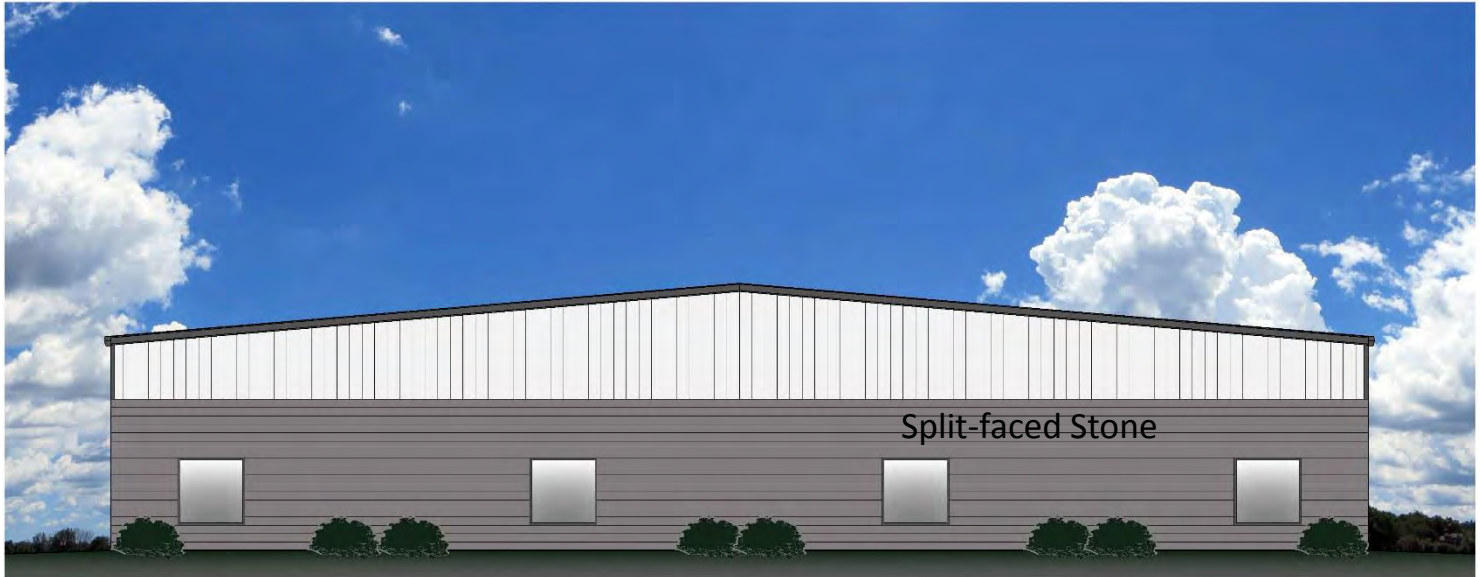
MEMBER



The engineer whose seal appears hereon is an employee for the manufacturer for the materials described herein. Said seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.



## Both Buildings North Faces (Toward Stoner Court)

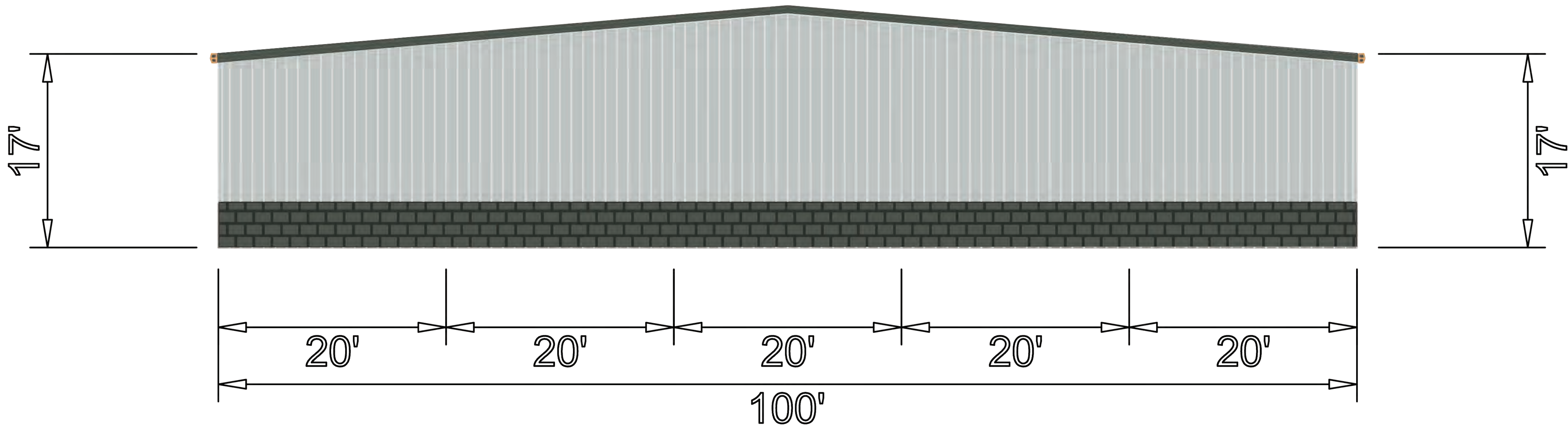


○ FRONT ELEVATION

## Dumpster Enclosures



# South Ends of Buildings - away from Stoner Court



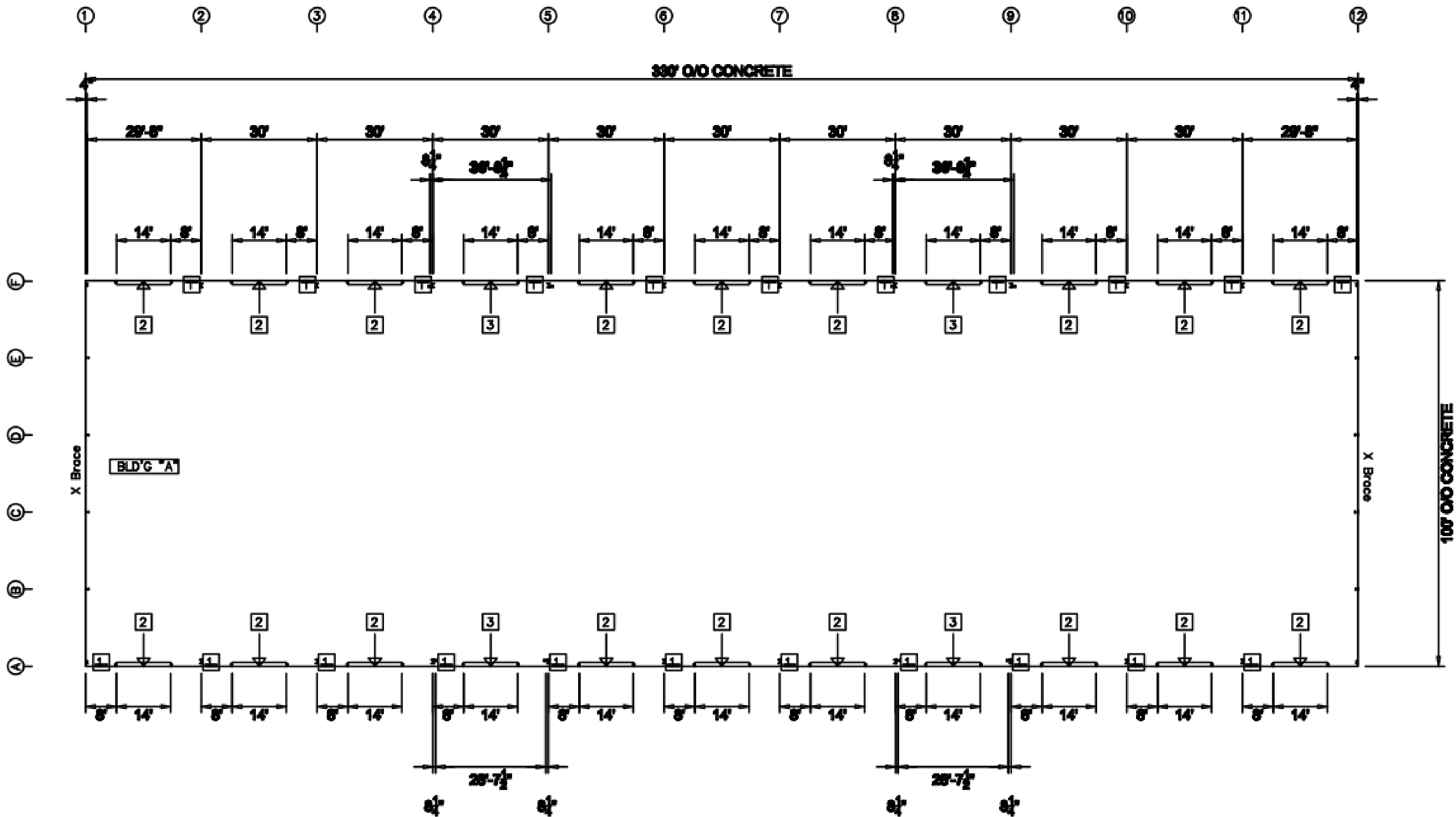
**This drawing is not for construction.** This drawing is intended to depict general building information and is solely for sales presentation purposes. For clarity of presentation, items depicted may be different from actual design and final drawings. In the event of conflict between this drawing and the purchase order, the purchase order shall prevail.

LEFT ARCHITECTURAL - (A) GRAND RAIL 240

Metallic Building Company 7301 Fairview Houston, Texas 77041		Customer:	
CONTACT: CJ WHEATLEY COUNTY:		<input type="checkbox"/> For Construction Permit <input type="checkbox"/> For Erector Installation	
Builder: Metallic Building Company 1501 E 18th Street Atlantic, IA 50022		Drawing Status: <input type="checkbox"/> For Approval <input type="checkbox"/> For Approval	
Scale: NOT TO SCALE			
VERSION		PAPER SIZE	
		22x34	
ESTIMATOR David Peterson		DATE 5/1/018	
JOB NAME MAPLE - GRAND 240			
MEMBER <b>MBMA</b>			
The engineer whose seal appears hereon is an employee for the manufacturer for the materials described herein. Said seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.			

NOT FOR CONSTRUCTION

ACCESSORY SCHEDULE		
Mark	Description	Qty.
1	3070 Pre-Assembled 3070	22
2	14'-0" X 14'-0" FRAMED OPENING	18
3	14'-0" X 13'-0" FRAMED OPENING	4



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FLOOR PLAN - (A) GRAND RAIL 240

Metallic Building Company  
7301 Fairview  
Houston, Texas 77041

**METALLIC**  
BUILDING COMPANY

Customer:

CONTRACT GJ WHEATLEY  
COUNTY:

Builder:  
Metallic Building Company  
9501 E 18th Street  
Atlanta, GA 30322

Drawing Status:

For Construction Permit

For Engineer Initiation

Scale: NOT TO SCALE

VERSION

PAPER SIZE

22x34

ESTIMATOR

DATE

David Peterson 5/1/018

JOB NAME

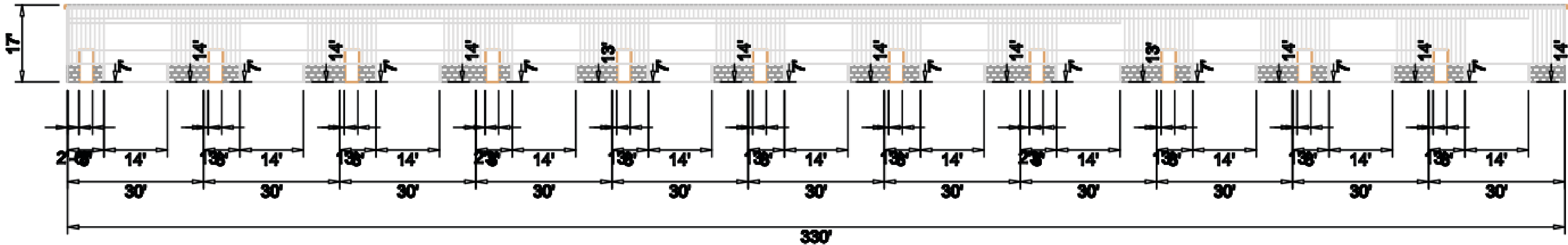
MAPLE - GRAND 240

MEMBER

**MBMA**

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NOT FOR CONSTRUCTION



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BACK ARCHITECTURAL - (A) GRAND RAIL 240

Metallic Building Company  
7301 Fairview  
Houston, Texas 77041

**METALLIC**  
BUILDING COMPANY

Scale: **NOT TO SCALE**  
VERSION: PAPER SIZE: 22x34  
ESTIMATOR: David Peterson DATE: 5/1/018

JOB NAME:  
MAPLE - GRAND 240

MEMBER  
**MBMA**

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Customer

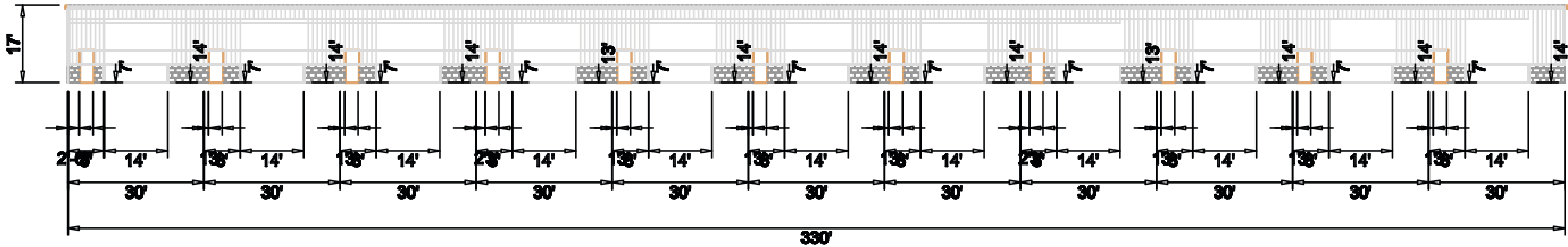
CONTACT: G. WHEATLEY  
COUNTY:

Builder:  
Metallic Building Company  
4901 E. 18th Street  
Atlanta, GA 30322

Drawing Status:  
☐ For Construction Permit  
☐ For Erection Installation



NOT FOR CONSTRUCTION



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BACK ARCHITECTURAL - (A) GRAND RAIL 240

Metallic Building Company  
7301 Fairview  
Houston, Texas 77041

**METALLIC**  
BUILDING COMPANY

Customer:

CONTACT CUMMERTLEY  
COUNTY:

Builder:  
Metallic Building Company  
1501 E 18th Street  
Amarillo, TX 79102

For Construction Permit

For Erector Installation

For Approval

For Approval

Scale: NOT TO SCALE

VERSION PAPER SIZE

22x34

ESTIMATOR DATE

David Peterson 5/1/018

JOB NAME:

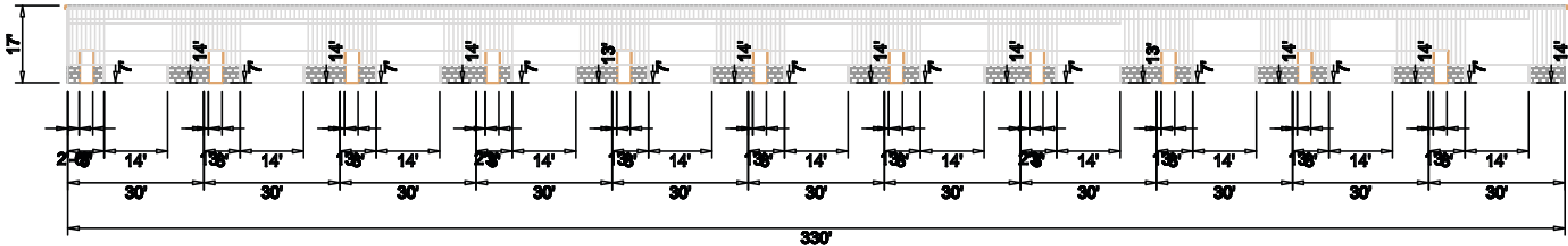
MAPLE - GRAND 240

MEMBER



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is an employee for the manufacturer for the  
materials described herein. Said seal or  
certification is limited to the products  
designed and manufactured by  
manufacturer only. The undersigned  
engineer is not the overall engineer of  
record for this project.

NOT FOR CONSTRUCTION



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BACK ARCHITECTURAL - (A) GRAND RAIL 240

Metallic Building Company  
7301 Fehruer  
Houston, Texas 77041

**METALLIC**  
BUILDING COMPANY

Customer

CONTACT: G. WHEATLEY  
COUNTY:

Builder  
Metallic Building Company  
1801 E 18th Street  
Atlantic, IA 50022

☐ For Construction Permit

☐ For Erection Installation

☐ For Approval

Scale:

NOT TO SCALE

VERSION

PAPER SIZE

ESTIMATOR

DATE

David Peterson

5/1/018

JOB NAME

MAPLE - GRAND 240

MEMBER

**MBMA**

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May 31, 2018

## **Memo**

To: North Liberty Planning Commission

From: Dean Wheatley, Planning Director

Subject: Request from the Watts Group to approve residential rezoning for property located at the southeast corner of Kansas Avenue and St. Andrews Drive.

(Legal: NW1/4, SW1/4 and NE1/4, SW1/4 Section 14-80-7; except Devers Subdivision)

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator

Tracey Mulcahey, Assistant City Administrator

Tom Palmer, City Building Official

Scott Peterson, City Attorney

Kevin Trom, City Engineer

Dean Wheatley, Planning Director

## **Background and Statistics**

This request is to rezone property to permit the development of single-family, duplex and multi-family lots typical in many North Liberty neighborhoods. A Good Neighbor meeting was held to allow any interested party an opportunity to comment on this rezoning prior to submission, and four resident households attended. Various concerns were expressed, including storm water management, grading issues, and street extensions into adjacent property. As can be seen on the zoning map inset, zoning surrounding and in the vicinity of the site includes ID, Public (Centennial Park), RS-4, and RS-6, a good mix consistent with other areas of North Liberty and with good planning for a mix of housing type opportunities. Kansas Avenue is a minor arterial in the major street system, and St. Andrews Drive is a collector street.

The property is shown as “residential” on the Land Use Plan, and so the request is consistent with that policy. A concept plan has been developed showing how streets can be developed within the proposal area.

Existing housing unit counts within North Liberty are approximately:

Single-family: 2,738 (37.6%)

Multi-family: 2,536 (34.8%)

Duplex: 1,271 (17.4%)

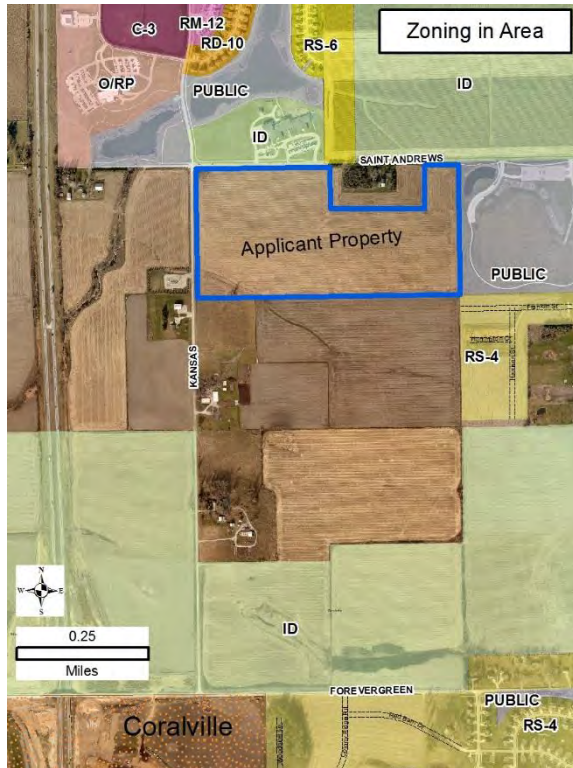
Res/Commercial: 213 (3%)

Mobile Home: 531 (7.3%)

## **Subdivision Ordinance Provisions Affecting This Development**

Proposed corner lots should be larger than others, as recommended by the City to provide somewhat larger yards. Storm water management will need to be planned for the site.

## **Zoning Ordinance Provisions Affecting This Development**



None identified.

### **Staff Comments Regarding the Proposed Zoning**

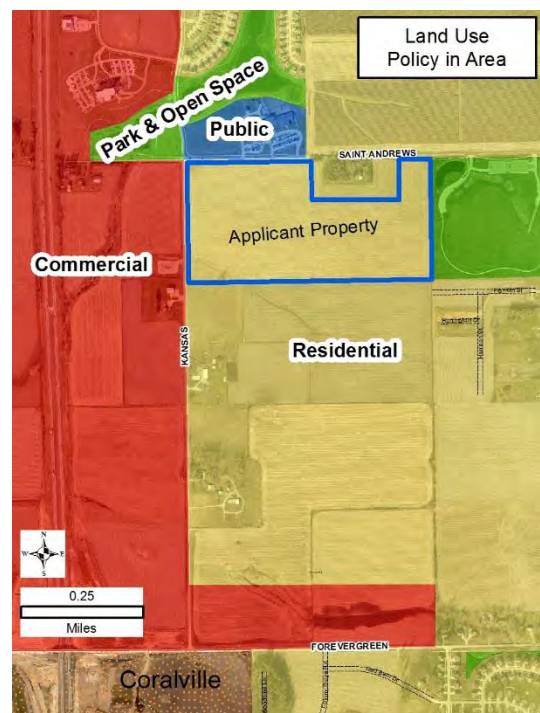
**Storm water impacts.** Storm water from this site will need to be managed in accordance with City standards as part of the preliminary plat review and infrastructure construction.

**Street/Traffic impacts.** Both Kansas Avenue and St. Andrews Drive are classified as major streets. Kansas Avenue is an arterial and St. Andrews Drive is a collector. Both will be adequate to accommodate new traffic resulting from this development.

**Land use impacts and adjacent properties.** This proposal presents a logical transition in housing density from higher density near the major streets to lower density extending east and south. In addition, the proximity of this property to I-380 and expected non-residential development in the corridor between Kansas Avenue and the Interstate

make the multi-family request reasonable and appropriate.

**Land use and zoning recommendation.** In rezoning considerations, *suitability* and *compatibility* are key issues in addition to land use policy. In this case, the site is physically suitable for the development proposed, and the zoning districts proposed are compatible with expected and planned development in the area. In particular, the City has encouraged and approved higher density development adjacent to arterial streets and I-380, with a gradual transition to single-family as the distance from those streets increases; and this proposal does exactly that. Based only on the area of each zoning district, each of the zoning types proposed would contain the following maximum number of dwelling units.





Type of Zoning	Area Including ROW	Approximate Number Units in Development	Percent of Total Units in Development	Percent Existing in North Liberty Overall
Single-family	27.16 acres	78	25%	42%
Duplex	16.82 acres	84	27%	19%
Multi-family	27.52 acres	155*	49%	39%
Percent Existing was calculated by using only the city-wide housing unit numbers for these same three uses proposed in this application.				

\* This is an estimate of multi-family units. A specific number has not been provided by the developer and would be subject to review and approval of a specific site plan.

Comparing the proposal to the existing housing unit counts in North Liberty, we see that the proportions of single-family units proposed is relatively low while the duplex and multi-family percentages are very high. Some points to consider regarding this:

1. The location of this development area near the I-380 corridor makes it somewhat less appealing and less marketable for single-family development than locations farther away.
2. Kansas Avenue is an arterial street that is planned to extend south beyond Forevergreen Road to Highway 6, and will likely carry significant amounts of traffic in the future.
3. Market conditions. Demand is very high for duplex and multi-family development.
4. Penetration east of the multi-family and duplex zoning sets a precedent for future development south of this site. While logically laid out, the non-single family extends an entire 1,320 feet east from Kansas, a full quarter-section.

Other comments. The exhibit below shows the public street layout proposed by the developer that is the basis for the rezoning request; however, approval of the rezoning is not approval of this particular street layout. The next step in the development process will be a preliminary plat application, assuming the rezoning is approved. If this street layout as shown is not approved in the plat process, adjustments will need to be made to the zoning districts to match the layout. This point needs to be made so that there is no assumption that approving the zoning will lock the City into this particular street layout.



Overall, the housing type split proposed for this development is not representative of the city as a whole, but may be an appropriate mix for the location. Some positive points to consider are:

1. The plan accomplishes the Land Use Plan goal of decreasing density as distance from arterial streets increases (RM-8 > RD-10 > RS-6 > RS-4).
2. The plan concept proposes to locate storm water retention ponds to provide generous setbacks to buildings and create a landscaped frontage along Kansas Avenue.
3. The plan provides a variety of housing types and densities.

If the citywide averages were applied to the total estimated number of units in the application, the following numbers would result:

Type of Zoning	Proposed	If Distributed by Citywide Average	Relationship to Citywide Averages
Single-family	78 units	134 units	42% lower than average
Duplex	84 units	61 units	38% higher than average
Multi-family	155* units	124 units	25% higher than average

\* This is an estimate of multi-family units. A specific number has not been provided by the developer and would be subject to review and approval of a specific site plan.

After careful consideration of the application, the location, and the potential precedents, staff recommended an increase in the single-family lots by one block, and a decrease in multi-family zoning as shown in the exhibit below, to be instead designated for duplex lots. While this recommendation does not make a large difference in the overall numbers, it does set up a somewhat more conservative density transition while acknowledging the positive aspects of the plan. It would result in a net increase of about 12 single-family lots and a net loss of about 10 duplex units. Multi-family impacts are harder to estimate, but the decreased size would likely have a net negative impact. It would result in the following summary:

Type of Zoning	Proposed	If Modified to Staff Recommendation	Relationship to Citywide Averages
Single-family	78 units	90 units	32% lower than average
Duplex	84 units	76 units	26% higher than average
Multi-family	155* units	139 units – estimated, subject to site plan	13% higher than average

\* This is an estimate of multi-family units. A specific number has not been provided by the developer and would be subject to review and approval of a specific site plan.

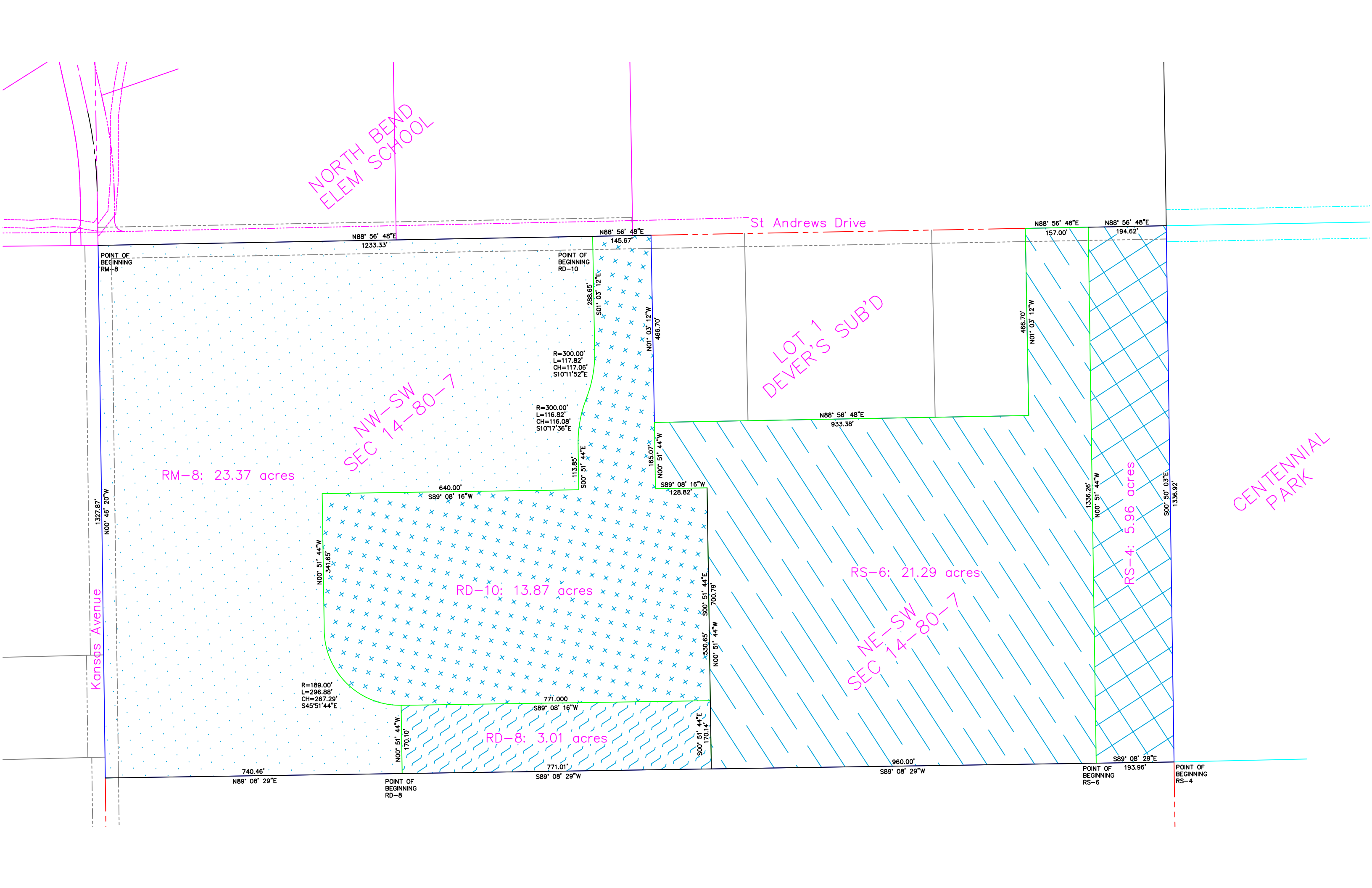


After preparation of this report and discussions, the developer has proposed a compromise shown in the following table and exhibit, and staff recommends its approval.



Type of Zoning	Original Proposal	Original Staff Recommendation	Compromise Proposal as Shown in Exhibit Above	Relationship to Citywide Averages
Single-family	78 units	90 units	84 units	37% lower
Duplex	84 units	76 units	86 units	43% higher
Multi-family	155* units	139 units – estimated, subject to site plan	139 units – estimated, subject to site plan	13% higher

\* This is an estimate of multi-family units. A specific number has not been provided by the developer and would be subject to review and approval of a specific site plan.







## **PLANNING COMMISSION**

Minutes

May 1, 2018

City Council Chambers

1 Quail Creek Circle

### **Roll Call**

Chair Ronda Detlefsen called the May 1, 2018 Regular Session of the Planning Commission to order. Commission members present: Ronda Detlefsen, Adam Gebhart, Rebecca Keogh, Kylie Pentecost and Patrick Staber; absent – Jennifer Bleil and Jason Heisler.

Others present: Dean Wheatley, Ryan Heiar, Tracey Mulcahey, Kevin Trom, Evan Runkle and other interested parties.

### **Agenda Approval**

Gebhart moved, Staber seconded to approve the agenda. The vote was all ayes. Agenda approved.

### **Scanlon Family Development Company County Plat**

#### *Staff Presentation*

Wheatley presented the request from Scanlon Family Development Company to approve a preliminary and final plat for a 2-lot residential subdivision located generally east of Liberty High School, in an area of rural Johnson County not planned for annexation. Staff recommends approval with no conditions.

#### *Applicants Presentation*

Susan Forinash, Hall and Hall Engineers, was present on behalf of the applicant and offered to answer questions.

#### *Public Comments*

No comments were offered.

#### *Questions and Comments*

The Commission discussed the application including the process for approval.

#### *Recommendation to the City Council*

Keogh moved, Pentecost seconded to recommend approval to the City Council with no conditions. The vote was: ayes – Keogh, Gebhart, Pentecost, Detlefsen, Staber; nays -none. Motion carried.

### **Grand Rail Development Company, Inc. Site Plan**

#### *Staff Presentation*



Wheatley presented the request from Grand Rail Development Company, Inc to approve a site plan for a commercial development on Highway 965 / Ranshaw Way, generally across from McDonalds. Staff recommends approval of the application with no conditions.

*Applicants Presentation*

Jake Evans, Grand Rail Development, was present on behalf of the applicant and offered additional information.

*Public Comments*

No comments were offered.

*Questions and Comments*

The Commission discussed the application including street connectivity, layout, and design.

*Recommendation to the City Council*

Gebhart moved, Pentecost seconded to recommend approval of the site plan application to the City Council with no conditions. The vote was: ayes – Staber, Pentecost, Detlefsen, Gebhart, Keogh; nays – none. Motion carried.

**North Central Junior High School Revised Site Plan**

*Staff Presentation*

Wheatley presented the request from the Iowa City Community School District to approve a revised site plan for North Central Junior High, located at the northeast corner of Front Street and Forevergreen Road. Staff recommends approval of the revised site plan.

*Applicants Presentation*

Duane Van Hemert, ICCSD, was present on behalf of the applicant, presented additional information on the design of the parking lot to help with traffic stacking in the roundabout, and offered to answer questions. The Commission discussed the proposed traffic amendments with Van Hemert and Luke Newton, MMS Consultants.

*Public Comments*

No public comments were offered.

*Questions and Comments*

The Commission discussed the application including what will be approved.

*Recommendation to the City Council*

Pentecost moved, Keogh seconded to recommend approval of the revised site plan application to the City Council with no conditions. The vote was: ayes - Pentecost, Gebhart, Staber, Detlefsen, Keogh; nays – none. Motion carried.

**North Nest Restaurant Conditional Use**

*Staff Presentation*

Wheatley presented the application for an outside eating conditional use at North Nest restaurant (formerly Vito's), located just east of 965/Ranshaw Way on Jordan Street. Staff recommends approval of this application with the following conditions: Permit is for this owner only (future owners would need to reapply, alcoholic beverage sales allowed, only low-wattage lighting to be added – no floodlighting, amplified music levels to be agreed to in the field by the owner and City

staff if introduced in the future, and no more seats than allowed by the Building and Fire Codes for this location.

*Applicants Presentation*

No one was present on behalf of the applicant.

*Public Comments*

No public comments were offered.

*Questions and Comments*

The Commission discussed the application including the history of the location.

*Recommendation to the Board of Adjustment*

Staber moved, Gebhart seconded to recommend approval to the Board of Adjustment with the following conditions: Permit is for this owner only (future owners would need to reapply, alcoholic beverage sales allowed, only low-wattage lighting to be added – no floodlighting, amplified music levels to be agreed to in the field by the owner and City staff if introduced in the future, and no more seats than allowed by the Building and Fire Codes for this location. The vote was: ayes – Pentecost, Detlefsen, Staber, Keogh, Gebhart; nays -none. Motion carried.

**Rusciano's Restaurant Conditional Use**

*Staff Presentation*

Wheatley presented the application for an outside eating conditional use at Rusciano's restaurant, located at Penn Landing at the northeast corner of Penn Street and 965/Ranshaw Way. Staff recommends approval with the standard outdoor eating area conditions.

*Applicants Presentation*

No one was present on behalf of the applicant.

*Public Comments*

No public comments were offered.

*Questions and Comments*

The Commission discussed the application including the quality of the application.

*Recommendation to the Board of Adjustment*

Keogh moved, Staber seconded to recommend approval to the Board of Adjustment with the following conditions: Permit is for this owner only (future owners would need to reapply, alcoholic beverage sales allowed, only low-wattage lighting to be added – no floodlighting, amplified music levels to be agreed to in the field by the owner and City staff if introduced in the future, and no more seats than allowed by the Building and Fire Codes for this location. The vote was: ayes – Gebhart, Keogh, Pentecost, Detlefsen, Staber; nays -none. Motion carried.

**Mosley's Restaurant Conditional Use**

*Staff Presentation*

Wheatley presented the application for an outside eating conditional use at Mosley's restaurant, located at Beaver Creek Center at the southwest corner of Zeller Street and Dubuque Street. Staff recommends approval with the standard outdoor eating area conditions.

*Applicants Presentation*

No one was present on behalf of the applicant and offered to answer questions.

*Public Comments*

No public comments were offered.

*Questions and Comments*

The Commission discussed the application including the smoker and requirements.

*Recommendation to the Board of Adjustment*

Gebhart moved, Staber seconded to recommend approval to the Board of Adjustment with the following conditions: Permit is for this owner only (future owners would need to reapply, alcoholic beverage sales allowed, only low-wattage lighting to be added – no floodlighting, amplified music levels to be agreed to in the field by the owner and City staff if introduced in the future, and no more seats than allowed by the Building and Fire Codes for this location. The vote was: ayes – Gebhart, Detlefsen, Keogh, Pentecost, Staber; nays -none. Motion carried.

**Approval of previous minutes**

Gebhart moved, Staber seconded to approve the minutes of the April 3, 2018 meeting. The vote was all ayes. Minutes approved.

**Old Business**

No old business was presented.

**New Business**

Wheatley reported that they have a couple of cases for next month. He reminded all of the special meeting on 5/10.

**Adjournment**

At 7:25 p.m., Keogh moved, Staber seconded to adjourn. All ayes. Meeting adjourned.