



North Liberty Planning Commission

Meeting Information

Tuesday, October 2, 2018

6:30 PM

City Council Chambers

If you would like additional information, larger-scale maps, or other information before the meeting, please contact Dean Wheatley at 626-5747 or at dwheatley@northlibertyiowa.org



NORTH LIBERTY PLANNING COMMISSION
MEETING NOTICE AND AGENDA
Tuesday, October 2, 2018, 6:30 PM
North Liberty City Council Chambers, 1 Quail Creek Circle

- 1. ROLL CALL**
- 2. AGENDA APPROVAL**
- 3. SITE PLAN:** Request of DiVentures LLC to approve a site plan for a new swimming and scuba diving education center at the southeast corner of West Penn Street and Penn Court.
 - a. Staff Presentation
 - b. Applicants Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council
- 4. STREET VACATION:** Request of the City of North Liberty to vacate a portion of North Main Street adjacent to the new police station site.
 - a. Staff Presentation
 - b. Public Comments
 - c. Questions and Comments
 - d. Recommendation to the City Council
- 5. HANGING SIGN:** Request of agent Shari King to approve a projecting sign for a new Jersey Mike's restaurant, located at the Family Video store building on Highway 965/Ranshaw Way.
 - a. Staff Presentation
 - b. Applicants Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council
- 6. PLANNING COMMISSION RULES:** Review and possible action on changes to the administrative rules for the Planning Commission as recommended by the City Attorney, based on current practice.
 - a. Staff Presentation

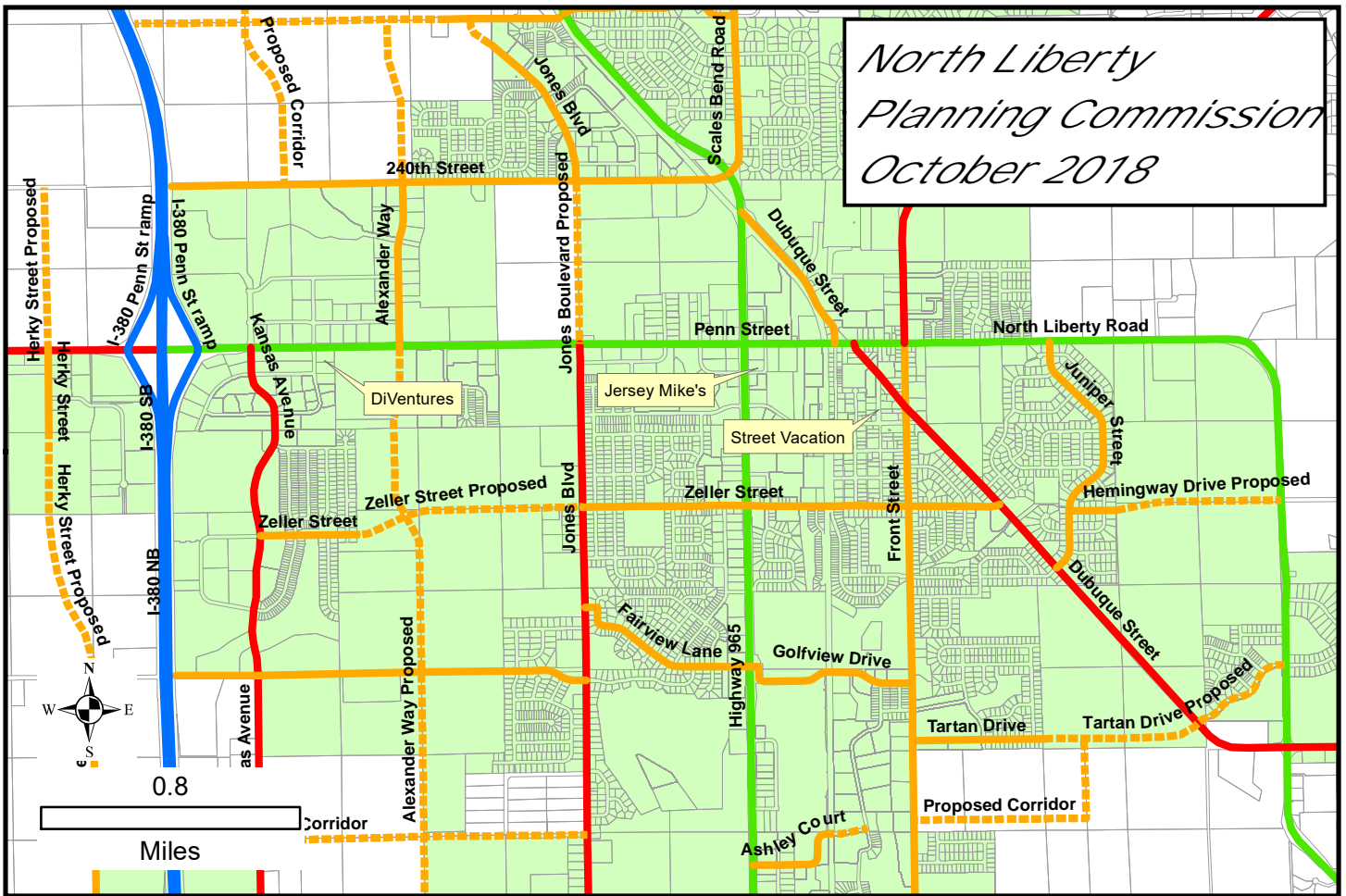
- b. Public Comments
- c. Questions and Comments
- d. Action by the Commission

7. APPROVAL OF PREVIOUS MINUTES

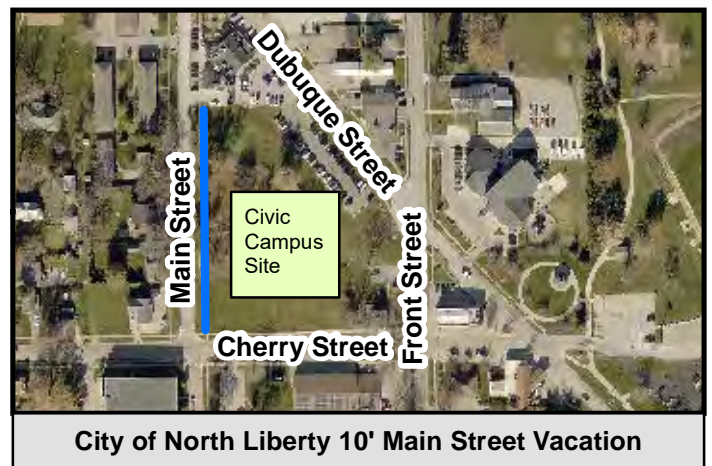
8. OLD BUSINESS

9. NEW BUSINESS

10. ADJOURNMENT



2017 Aerial Photography
No scale





September 27, 2018

Memo

To: North Liberty Planning Commission
From: Dean Wheatley, Planning Director
Subject: Site Plan Approval Request
(Liberty's Gate Part 1, Lots 1 and 2)

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Tom Palmer, City Building Official
Scott Peterson, City Attorney
Kevin Trom, City Engineer
Dean Wheatley, Planning Director

This request is to construct a new commercial swimming and scuba diving education center at the southeast corner of the intersection of West Penn Street and Penn Court. This is a highly visible location on West Penn with the recently-installed wide sidewalk/trail across the front of the property, and this plan for development will significantly enhance the corridor. The application is one of the best-prepared and most complete seen in some time.

The building is an attractive modern design with well-considered material changes, dramatic rooflines, and good proportions. It meets all design standards.

The site layout is straightforward and would be hard to improve upon, with generous setbacks and landscaping featured along Penn Street. Unlike most site plans, it is immediately apparent that a professional landscape architect was engaged to work on this site plan. Pedestrian-scale feature(s) required by the Zoning Ordinance are built into the plan, with a patio, good sidewalk connections, and extensive landscaping shown.

The plan meets or exceeds all City requirements and goals for development in the Penn Street corridor. Staff recommends approval of the site plan.

Note:

A Plat of Survey is required to move the existing lot line, and will need to be recorded prior to issuance of a building permit.

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5
4
3
2
1

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DIVENTURES SCUBA AND SWIM CENTER

SITE PLAN

NORTH LIBERTY, IOWA



5039 S National Avenue | Springfield, MO 65810 | 417.887.6595

OWNER
DIVENTURES L.L.C., DEAN HOLLIS
4303 SOUTH 121ST STREET
OMAHA, NEBRASKA 68137
402.933.6251

PROJECT TEAM
CIVIL ENGINEER
SHOEMAKER-HAALAND
ADDRESS
160 HOLIDAY RD
CORALVILLE, IA 52241

STRUCTURAL ENGINEER
J&M ENGINEERING
ADDRESS
SPRINGFIELD, MO 65807
417.890.8002

MEP ENGINEER
INTERPRES BUILDING SYSTEMS
ADDRESS
SPRINGFIELD, MO 658105A
417.877.1700

Shoemaker
Haaland
www.shoemaker-haaland.com
319-286-8888

REVISIONS		
NO.	DESCRIPTION	DATE
	REVISED PER CITY COMMENTS	2018-09-26

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PROJECT TITLE:
DIVENTURES NORTH LIBERTY
PROJECT ADDRESS:
WEST PENN STREET
NORTH LIBERTY, IOWA 52317

1 COVER SHEET

PROJECT NO. 17-042
DRAWN BY: CAL
REVIEWED BY: GFF
DATE: 09.24.2018

SHEET
C.0

LEGEND

LINE TYPES

EXISTING		PROPOSED
(S)	SANITARY SEWER	S
(ST)	STORM SEWER	ST
(SD)	SUBDRAIN	SD
(E)	UNDERGROUND ELECTRIC	E
(OE)	OVERHEAD ELECTRIC	OE
(G)	GAS	G
(T)	UNDERGROUND TELEPHONE	T
(W)	WATER	W
- - -	PROPERTY LINE	- - -
o o o	SURFACE WATER	o o o
- - - 830 - - -	CONTOUR	- - - 830 - - -
~~~~~	TREE LINE	~~~~~
□ □ □ □ □ □ □ □	BLOCK RETAINING WALL	□ □ □ □ □ □ □ □
○ ○ ○ ○ ○ ○ ○ ○	CHAIN LINK FENCE	○ ○ ○ ○ ○ ○ ○ ○
□ □ □ □ □ □ □ □	WOOD FENCE	□ □ □ □ □ □ □ □
- // - // - // - // - // - //	WIRE FENCE	- // - // - // - // - // - //
- - -	DISTURBANCE LIMITS	- - -

#### SYMBOLS

⊠	AIR CONDITIONING UNIT	⊠	ELECTRIC METER
⊙	ANCHOR BOLT	⊙	ELECTRIC MANHOLE
⊙	ANTENNA	⊙	FIRE HYDRANT
⊙	BEE HIVE INLET	⊙	FIBER OPTIC BOX
⊙	BUILDING COLUMN	⊙	FIBER OPTIC MANHOLE
⊙	SURVEY BENCHMARK	⊙	GAS METER
⊙	BOLLARD	⊙	GAS VALVE
⊙	CABLE TELEVISION BOX	⊙	GAS MANHOLE
⊙	SIGN	⊙	GUY WIRE
⊙	CONIFEROUS TREE	⊙	LIGHT POLE
⊙	DECIDUOUS TREE	⊙	POWER POLE
⊙	SHRUB	⊙	TELEPHONE BOX
⊙	ELECTRIC BOX	⊙	TELEPHONE MANHOLE
⊙	ELECTRIC HAND HOLE	⊙	SANITARY SEWER MANHOLE
⊙		⊙	STORM SEWER MANHOLE
⊙		⊙	WATER VALVE
⊙		⊙	WATER MANHOLE

#### HATCHES

■	PORTLAND CEMENT CONCRETE SIDEWALK	▨	AGGREGATE SURFACING
■	7" PORTLAND CEMENT CONCRETE PAVEMENT	▩	EARTH
▤	6" PORTLAND CEMENT CONCRETE PAVEMENT	▨	HYDROSEEDING
▨	REMOVAL OF EXISTING PAVEMENTS	▨	SODDING
▨	MULCH	▨	TURF REINFORCED MAT
▨	DECORATIVE BRICK PAVER	▨	REVTMENT

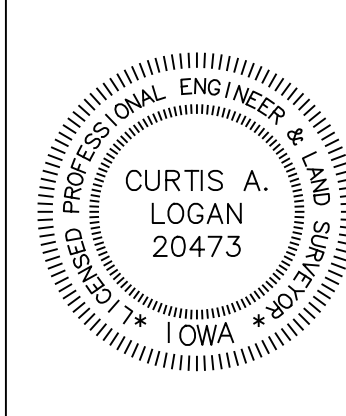


LOCATION MAP  
1"=500'

PREPARED BY:  
Curtis Logan, P.E., P.L.S.  
clogan@shoemaker-haaland.com  
319.383.7827  
Shoemaker and Haaland Professional Engineers  
160 Holiday Rd  
Coralville, IA 52241

OWNER / APPLICANT:  
DiVentures, LLC  
Mr. Dean Hollis  
4303 South 121st Street  
Omaha, NE 68137  
402.933.6251

LEGAL DESCRIPTION:  
Lots 1 and 2, Liberty's Gate Part One, North Liberty, Iowa, according to the plat thereof recorded in Book 41, Page 263, Plat Records of Johnson County, Iowa  
Lot 1 Area = 1.27 acre  
Lot 2 Area = 1.27 acre  
Total Area = 2.54 acre



I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

Curtis A. Logan      Lic. No. 20473      Date 09/20/2018

My license renewal date is December 31, 2018.

Pages or sheets covered by this seal:  
C.0-C.07



REVISIONS

NO.	DESCRIPTION	DATE
1	REVISED PER CITY COMMENTS	2016-09-26

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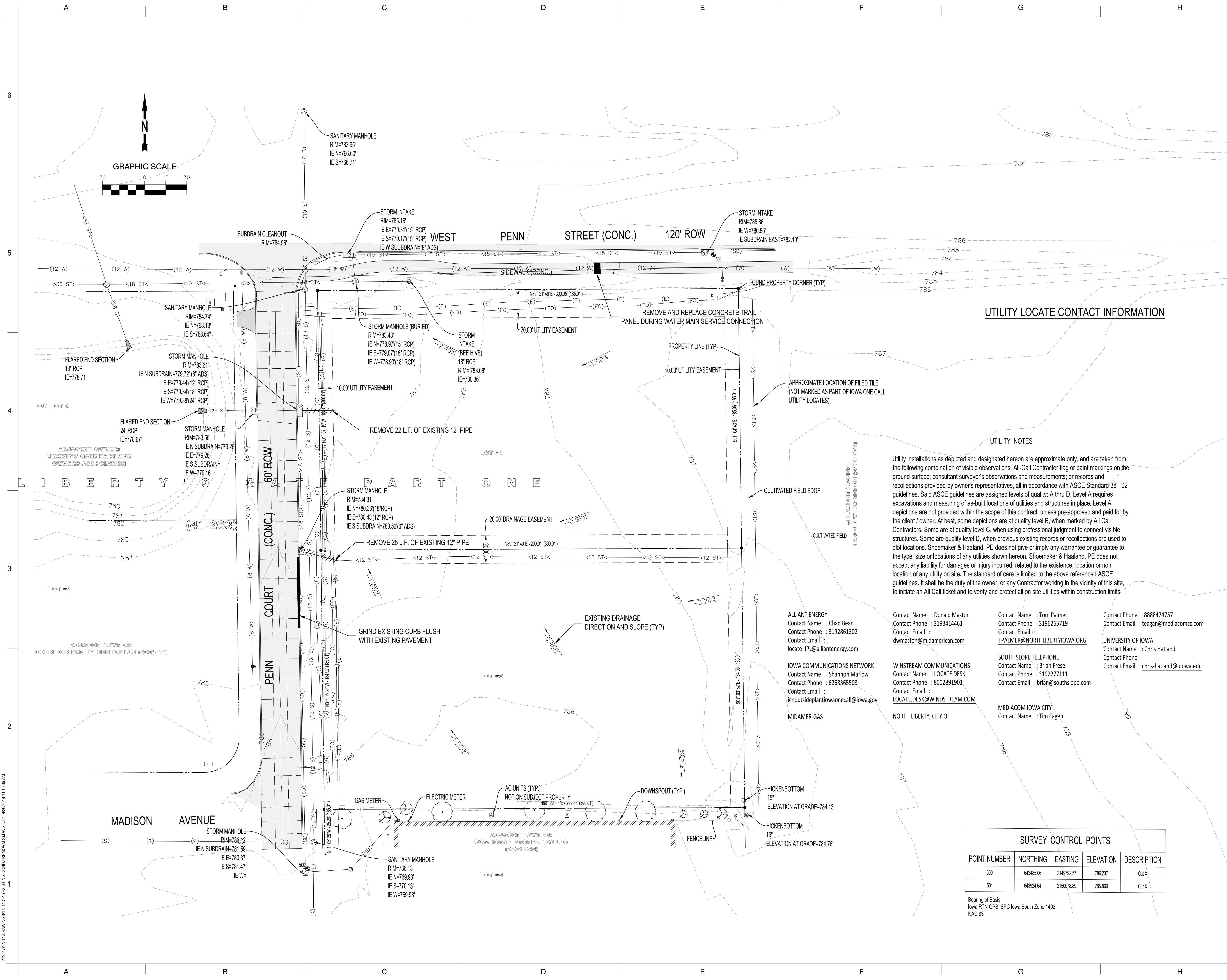
PROJECT TITLE:  
**DIVENTURES  
NORTH LIBERTY**  
PROJECT ADDRESS:  
WEST PENN STREET  
NORTH LIBERTY, IOWA 52317

EXISTING CONDITIONS  
AND REMOVALS

PROJECT NO. 17-042  
DRAWN BY: CAL  
REVIEWED BY: GFF  
DATE: 09.24.2018

SHEET

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UTILITY LOCATE CONTACT INFORMATION

UTILITY NOTES

Utility installations as depicted and designated hereon are approximate only, and are taken from the following combination of visible observations: All-Call Contractor flag or paint markings on the ground surface; consultant surveyor's observations and measurements; or records and recollections provided by owner's representatives, all in accordance with ASCE Standard 38 - 02 guidelines. Said ASCE guidelines are assigned levels of quality: A thru D. Level A requires excavations and measuring of as-built locations of utilities and structures in place. Level A depictions are not provided within the scope of this contract, unless pre-approved and paid for by the client / owner. At best, some depictions are at quality level B, when marked by All Call Contractors. Some are at quality level C, when using professional judgment to connect visible structures. Some are quality level D, when previous existing records or recollections are used to plot locations. Shoemaker & Haaland, PE does not give or imply any warranty or guarantee to the type, size or locations of any utilities shown hereon. Shoemaker & Haaland, PE does not accept any liability for damages or injury incurred, related to the existence, location or non location of any utility on site. The standard of care is limited to the above referenced ASCE guidelines. It shall be the duty of the owner, or any Contractor working in the vicinity of this site, to initiate an All Call ticket and to verify and protect all on site utilities within construction limits.

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locate_ipl@alliantenergy.com

IOWA COMMUNICATIONS NETWORK  
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MIDAMER-GAS

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NORTH LIBERTY, CITY OF

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Contact Email :  
brian@southslope.com

MEDIACOM IOWA CITY  
Contact Name : Tim Eagen

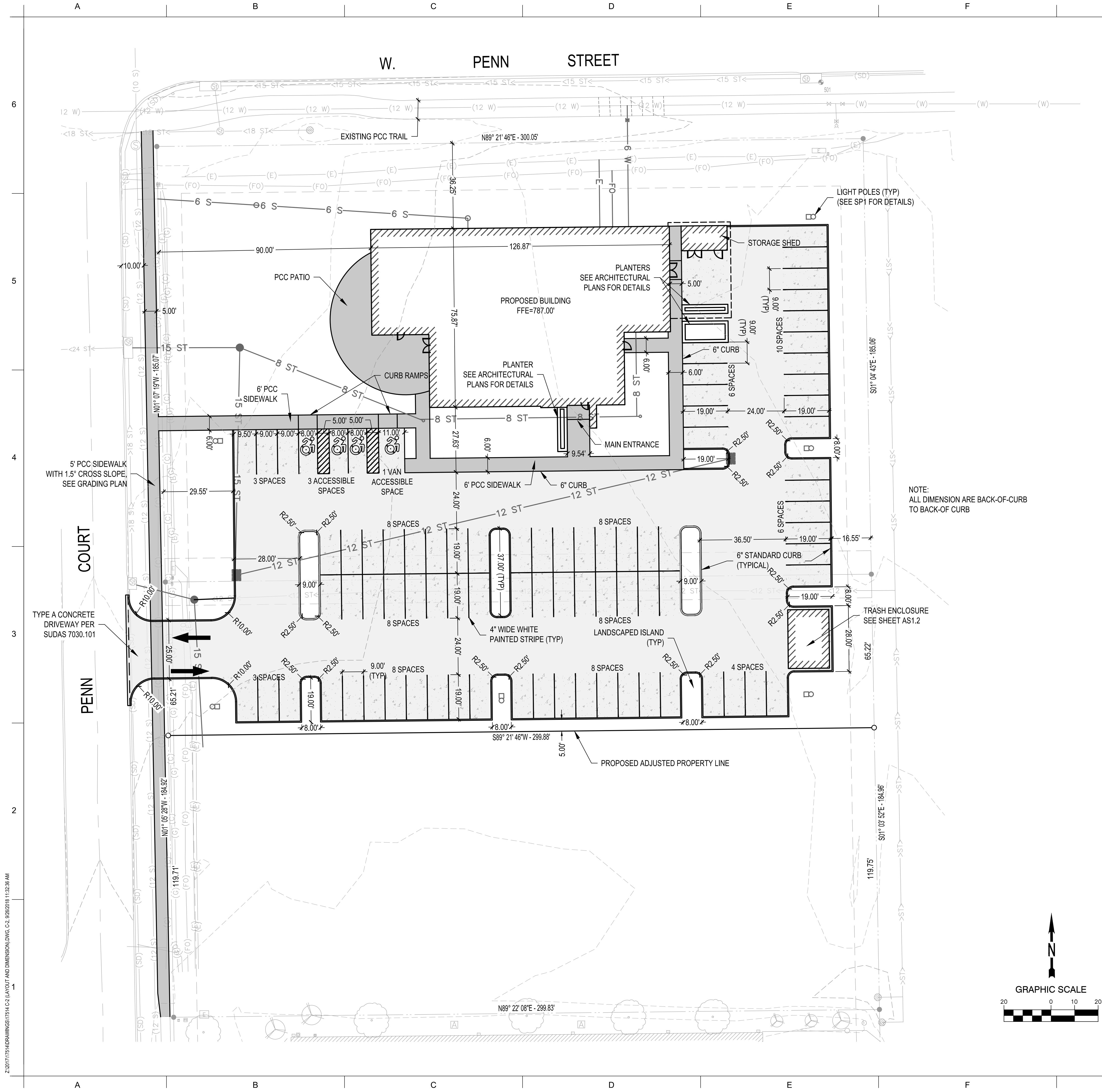
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Contact Email :  
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UNIVERSITY OF IOWA  
Contact Name : Chris Hatland  
Contact Phone :  
Contact Email :  
chris-hatland@uiowa.edu

SURVEY CONTROL POINTS				
POINT NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
500	643485.06	2149792.57	786.237	Cut X
501	643624.64	2150078.89	785.860	Cut X

Bearing of Basis:  
Iowa RTN GPS, SPC Iowa South Zone 1402,  
NAD 83

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**GENERAL SITE INFORMATION:**

**LEGAL DESCRIPTION:**  
Lots 1 and 2, Liberty's Gate Part One, North Liberty, Iowa, according to the plat thereof recorded in Book 41, Page 263, Plat Records of Johnson County, Iowa  
Lot 1 Area = 1.27 acre  
Lot 2 Area = 1.27 acre  
Total Area = 2.54 acre

**CURRENT USE:**  
Vacant Lot

**PROPOSED USE:**  
Retail

**CURRENT ZONING:**  
C-2-A, Highway Commercial District (168.06, North Liberty Code of Ordinances)

**SETBACKS:**  
Minimum Yard Requirements (Table 168.06 - F, North Liberty Code of Ordinances)  
Front Yard Depth - 25 feet  
Each Side Yard Width - 10 feet  
Rear Yard Depth - 20 feet  
Maximum Height - 35 feet or 2 1/2 Stories

**PARKING REQUIREMENTS:** (Table 169-A, North Liberty Code of Ordinances)

TYPE	REQUIREMENT	SF	REQ'D
Retail	1 per 200 gross sf	7850	40
Spaces Provided			86

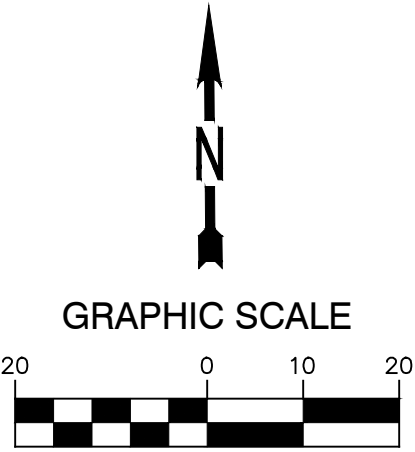
**AREA CALCULATIONS**

	SF	ACRE
Property Area (Current)	110,624	2.54
Property Area (Proposed)	75,879	1.74
Impervious Area - Existing	0	0
Impervious Area - Proposed		
Roof	9,353	0.21
Sidewalk	5,588	0.08
Pavement	34,739	0.77
Total	49,680	1.06
% Impervious	65%	

**FEMA:**  
The property shown hereon does not lie within the flood plain as shown on FIRM 19103C0180E

- SITE LAYOUT NOTES:**
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF SUDAS
  - PCC PAVEMENT SHALL BE 6" PCC OVER 6" MODIFIED SUBBASE. PAVEMENT SUBGRADE PREPARATION SHALL BE PER SUDAS SECTION 2010.
  - PCC PAVEMENT SHALL BE IDOT CLASS C MIX.
  - PCC PAVEMENT JOINTS PER SUDAS FIGURE 7010.101. MAXIMUM SPACING OF 15 FT. ALL SAWED JOINTS SHALL BE SEALED.
  - PCC CURB AND GUTTER SHALL BE 6" STANDARD CURB IN ACCORDANCE WITH SUDAS FIGURE 7010.102.
  - PCC SIDEWALK SHALL BE 4" PCC OVER 4" MODIFIED SUBBASE IN ACCORDANCE WITH NORTH LIBERTY MIN DESIGN STANDARDS
  - PCC SIDEWALK SHALL BE IN ACCORDANCE WITH SUDAS FIGURE 7030.201 & 7030.202. CURB ADJACENT TO SIDEWALK SHALL BE PER DETAIL 3.
  - CURB RAMPS AND TURNING SPACES SHALL BE IN ACCORDANCE WITH SUDAS FIGURES 7030.204, 7030.205, 7030.207, & 7030.210.
  - INSTALL "ACCESSIBLE PARKING SPACE" AND "VAN ACCESSIBLE PARKING SPACE" SIGNS PER SUDAS.
  - STORM WATER MANAGEMENT PROVIDED BY EXISTING STORM WATER DETENTION BASIN

	6" PCC CONCRETE PARKING WITH 6" MODIFIED SUBBASE
	7" PCC CONCRETE WITH 6" MODIFIED SUBBASE FOR 75,000 LBS FIRE APPARATUS
	4" PCC CONCRETE SIDEWALK WITH 4" MODIFIED SUBBASE



**PROJECT TEAM**

**CIVIL ENGINEER**  
**SHOEMAKER-HAALAND**  
ADDRESS  
160 HOLIDAY RD  
CORALVILLE, IA 52241

**STRUCTURAL ENGINEER**  
**J&M ENGINEERING**  
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SPRINGFIELD, MO 65807  
417.890.8002

**MEP ENGINEER**  
**INTERPRES BUILDING SYSTEMS**  
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417.877.1700

**REVISIONS**

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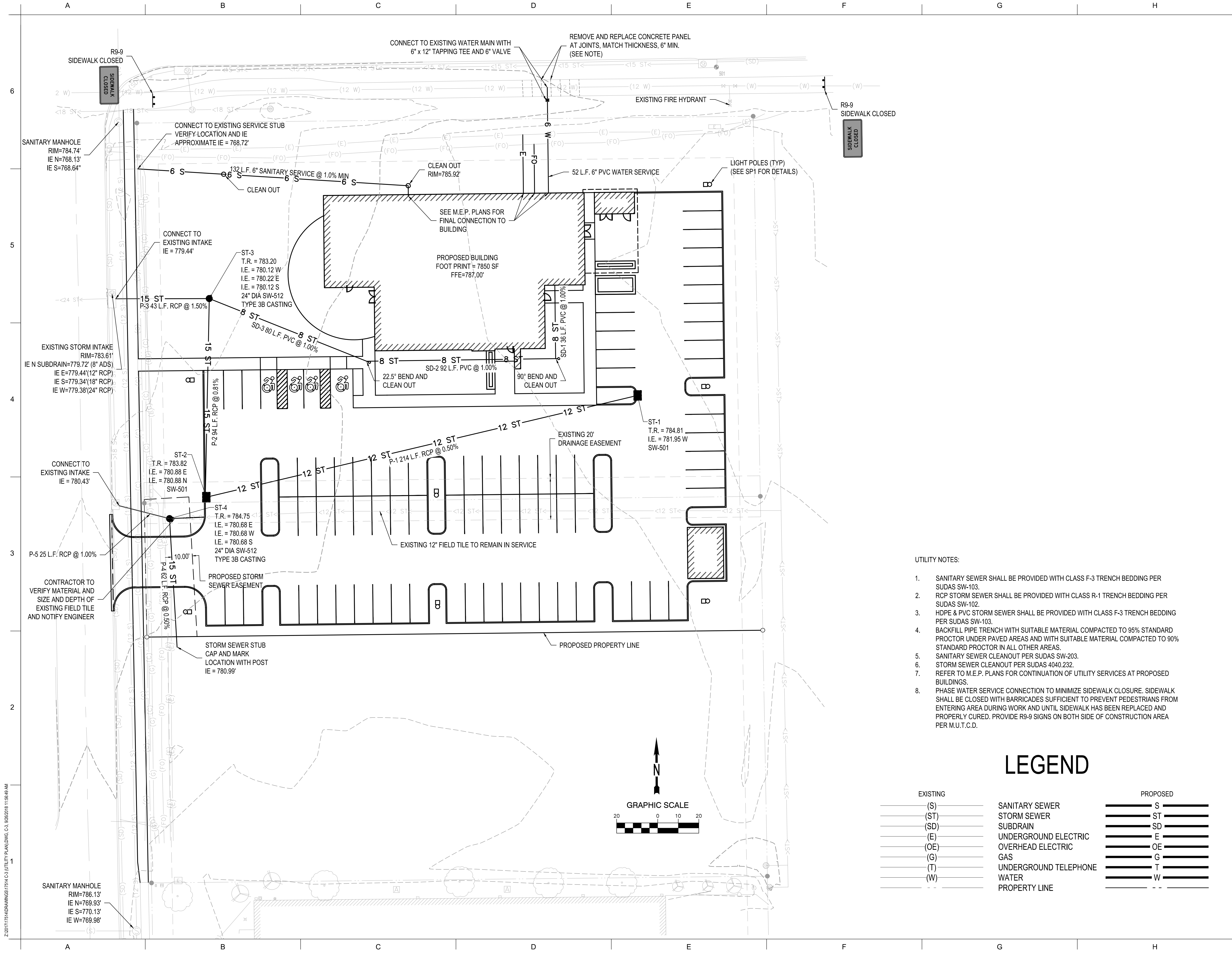
**PROJECT TITLE:**

**DIVENTURES**  
**NORTH LIBERTY**

PROJECT ADDRESS:  
WEST PENN STREET  
NORTH LIBERTY, IOWA 52317

**LAYOUT AND DIMENSION PLAN**





5039 S National Avenue | Springfield, MO 65810 | 417.887.6595

**OWNER**  
**DIVENTURES L.L.C., DEAN HOLLIS**  
4303 SOUTH 121ST STREET  
OMAHA, NEBRASKA 68137  
402.933.6251

**PROJECT TEAM**  
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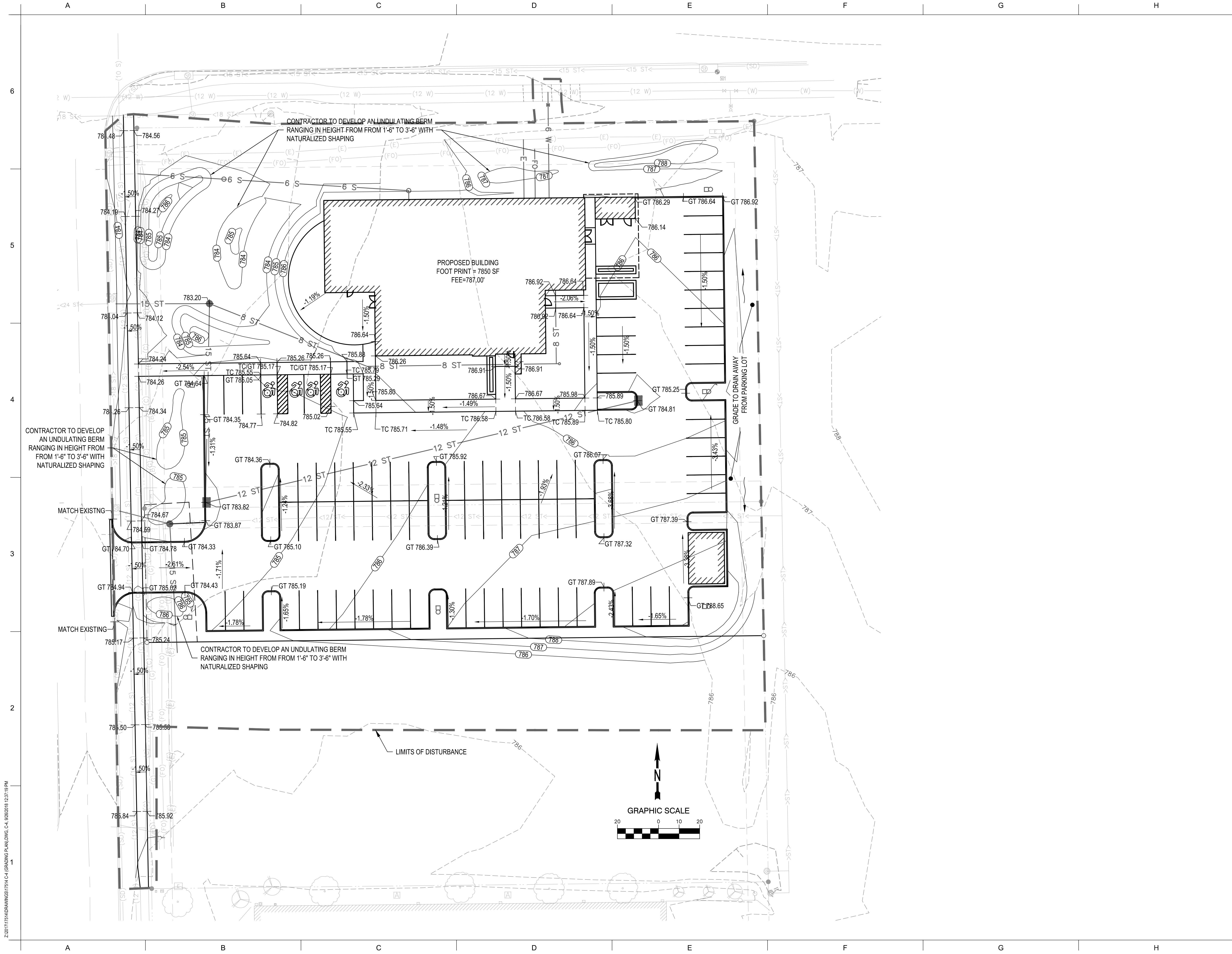
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**DIVENTURES NORTH LIBERTY**  
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1 UTILITY PLAN

PROJECT NO. 17-042  
DRAWN BY: CAL  
REVIEWED BY: GFF  
DATE: 09.24.2018

SHEET  
C.3



5039 S National Avenue | Springfield, MO 65810 | 417.887.6595

**OWNER**  
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CORALVILLE, IA 52241

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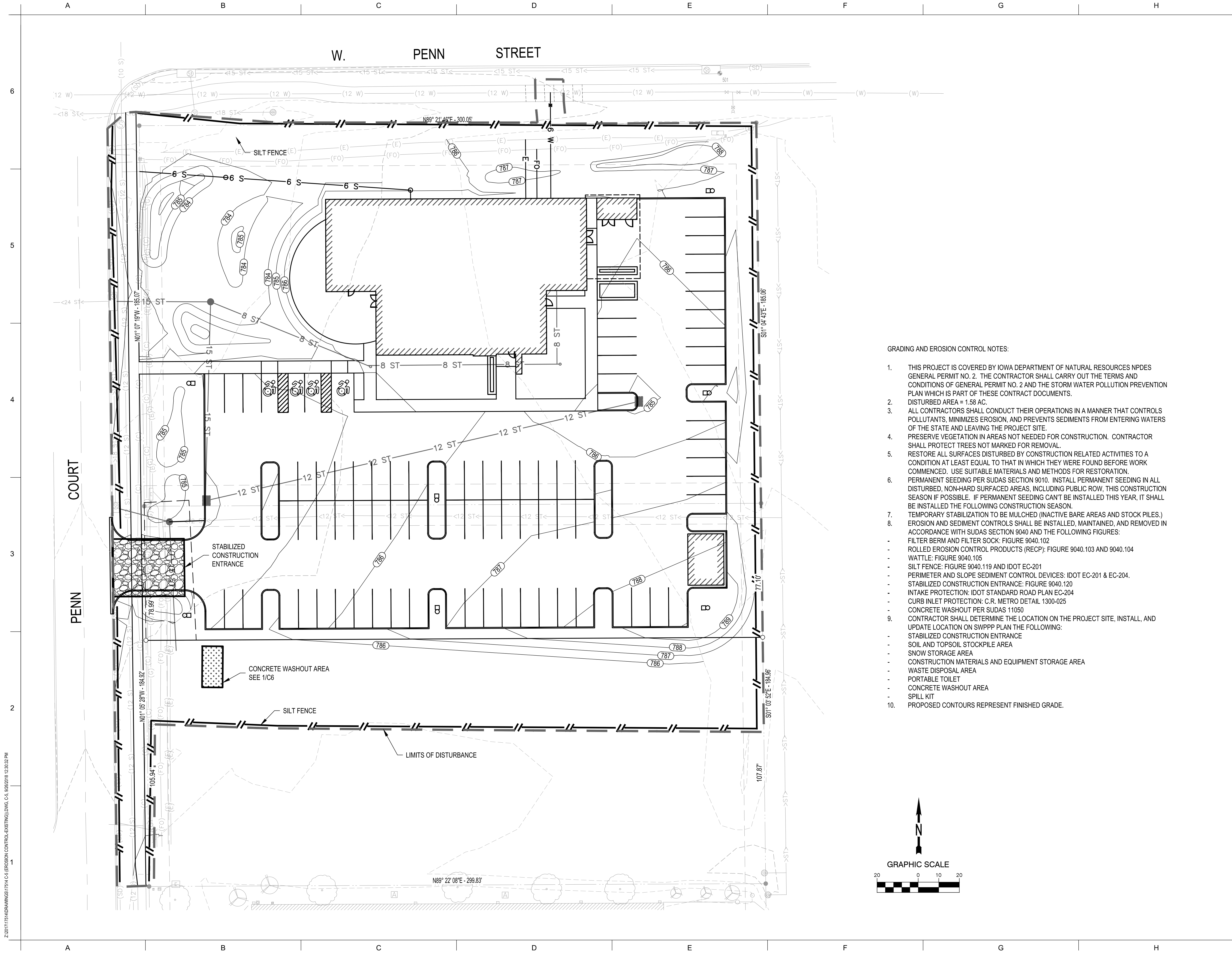
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**GRADING PLAN**

PROJECT NO. 17-042  
DRAWN BY: CAL  
REVIEWED BY: GFF  
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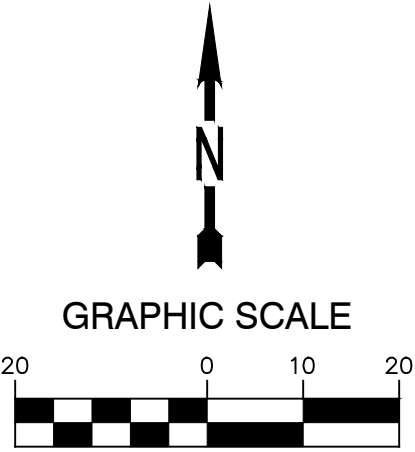
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GRADING AND EROSION CONTROL NOTES:

1. THIS PROJECT IS COVERED BY IOWA DEPARTMENT OF NATURAL RESOURCES NPDES GENERAL PERMIT NO. 2. THE CONTRACTOR SHALL CARRY OUT THE TERMS AND CONDITIONS OF GENERAL PERMIT NO. 2 AND THE STORM WATER POLLUTION PREVENTION PLAN WHICH IS PART OF THESE CONTRACT DOCUMENTS.
2. DISTURBED AREA = 1.58 AC.
3. ALL CONTRACTORS SHALL CONDUCT THEIR OPERATIONS IN A MANNER THAT CONTROLS POLLUTANTS, MINIMIZES EROSION, AND PREVENTS SEDIMENTS FROM ENTERING WATERS OF THE STATE AND LEAVING THE PROJECT SITE.
4. PRESERVE VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION. CONTRACTOR SHALL PROTECT TREES NOT MARKED FOR REMOVAL.
5. RESTORE ALL SURFACES DISTURBED BY CONSTRUCTION RELATED ACTIVITIES TO A CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND BEFORE WORK COMMENCED. USE SUITABLE MATERIALS AND METHODS FOR RESTORATION.
6. PERMANENT SEEDING PER SUDAS SECTION 9010. INSTALL PERMANENT SEEDING IN ALL DISTURBED, NON-HARD SURFACED AREAS, INCLUDING PUBLIC ROW, THIS CONSTRUCTION SEASON IF POSSIBLE. IF PERMANENT SEEDING CAN'T BE INSTALLED THIS YEAR, IT SHALL BE INSTALLED THE FOLLOWING CONSTRUCTION SEASON.
7. TEMPORARY STABILIZATION TO BE MULCHED (INACTIVE BARE AREAS AND STOCK PILES.)
8. EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED, MAINTAINED, AND REMOVED IN ACCORDANCE WITH SUDAS SECTION 9040 AND THE FOLLOWING FIGURES:
  - FILTER BERM AND FILTER SOCK: FIGURE 9040.102
  - ROLLED EROSION CONTROL PRODUCTS (RECP): FIGURE 9040.103 AND 9040.104
  - WATTLE: FIGURE 9040.105
  - SILT FENCE: FIGURE 9040.119 AND IDOT EC-201
  - PERIMETER AND SLOPE SEDIMENT CONTROL DEVICES: IDOT EC-201 & EC-204.
  - STABILIZED CONSTRUCTION ENTRANCE: FIGURE 9040.120
  - INTAKE PROTECTION: IDOT STANDARD ROAD PLAN EC-204
  - CURB INLET PROTECTION: C.R. METRO DETAIL 1300-025
  - CONCRETE WASHOUT PER SUDAS 11050
9. CONTRACTOR SHALL DETERMINE THE LOCATION ON THE PROJECT SITE, INSTALL, AND UPDATE LOCATION ON SWPPP PLAN THE FOLLOWING:
  - STABILIZED CONSTRUCTION ENTRANCE
  - SOIL AND TOPSOIL STOCKPILE AREA
  - SNOW STORAGE AREA
  - CONSTRUCTION MATERIALS AND EQUIPMENT STORAGE AREA
  - WASTE DISPOSAL AREA
  - PORTABLE TOILET
  - CONCRETE WASHOUT AREA
  - SPILL KIT
10. PROPOSED CONTOURS REPRESENT FINISHED GRADE.



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**REVISIONS**

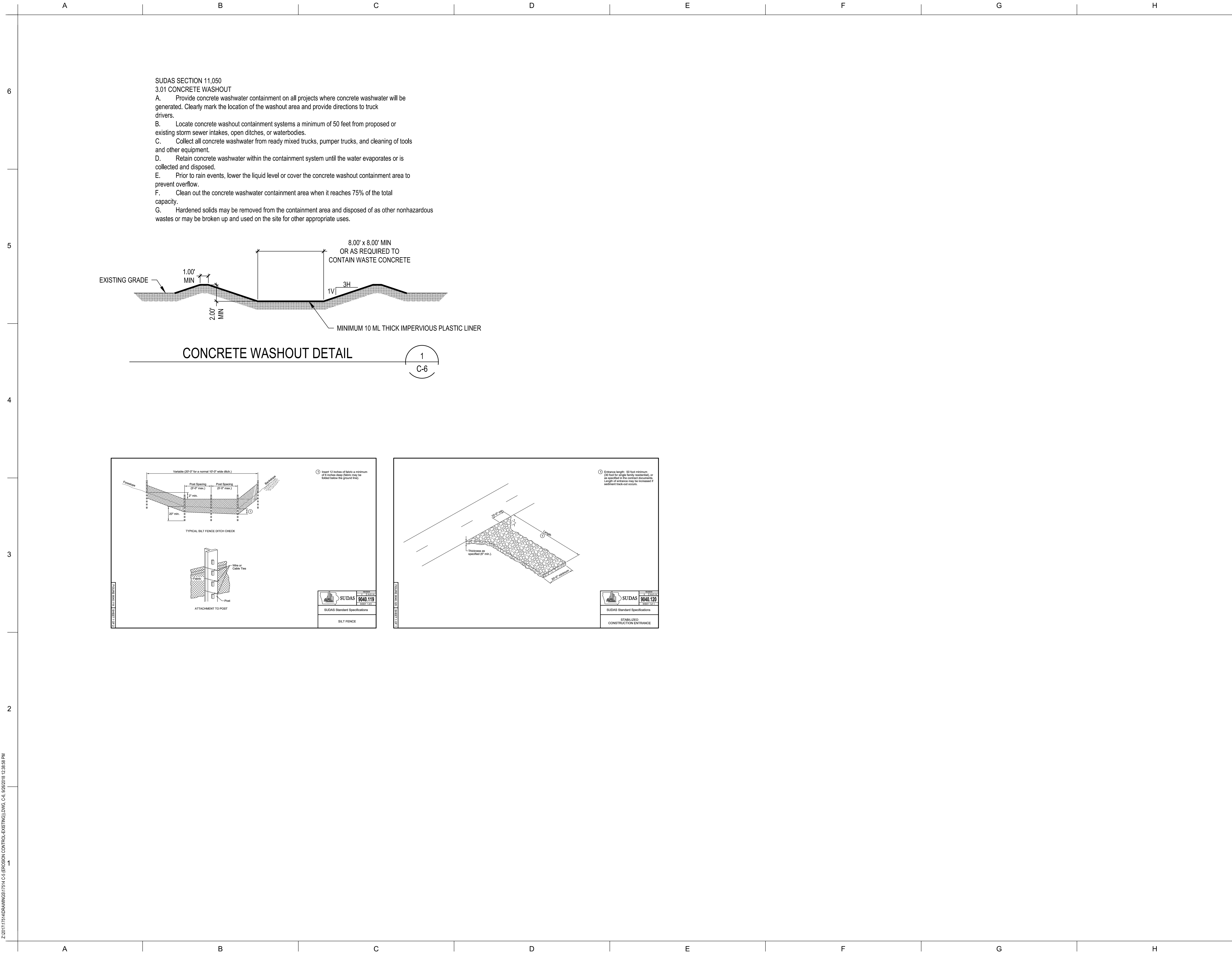
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**EROSION CONTROL PLAN**

PROJECT NO. 17-042  
DRAWN BY: CAL  
REVIEWED BY: GFF  
DATE: 09.24.2018

SHEET  
**C.5**



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**SHOEMAKER-HAALAND**  
**ADDRESS**  
160 HOLIDAY RD  
CORALVILLE, IA 52241

**STRUCTURAL ENGINEER**  
**J&M ENGINEERING**  
**ADDRESS**  
SPRINGFIELD, MO 65807  
417.890.8002

**MEP ENGINEER**  
**INTERPRES BUILDING SYSTEMS**  
**ADDRESS**  
SPRINGFIELD, MO 658105A  
417.877.1700

**Shoemaker**  
**Haaland**  
www.shoemaker-haaland.com  
319-286-8888

REVISIONS		
NO.	DESCRIPTION	DATE
	REVISED PER CITY COMMENTS	2018-09-26

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**PROJECT TITLE:**  
**DIVENTURES**  
**NORTH LIBERTY**  
**PROJECT ADDRESS:**  
WEST PENN STREET  
NORTH LIBERTY, IOWA 52317

**EROSION CONTROL DETAILS**

PROJECT NO. 17-042  
DRAWN BY: CAL  
REVIEWED BY: GFF  
DATE: 09.24.2018

SHEET  
**C.6**

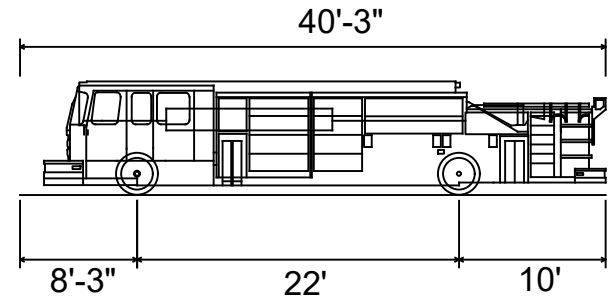
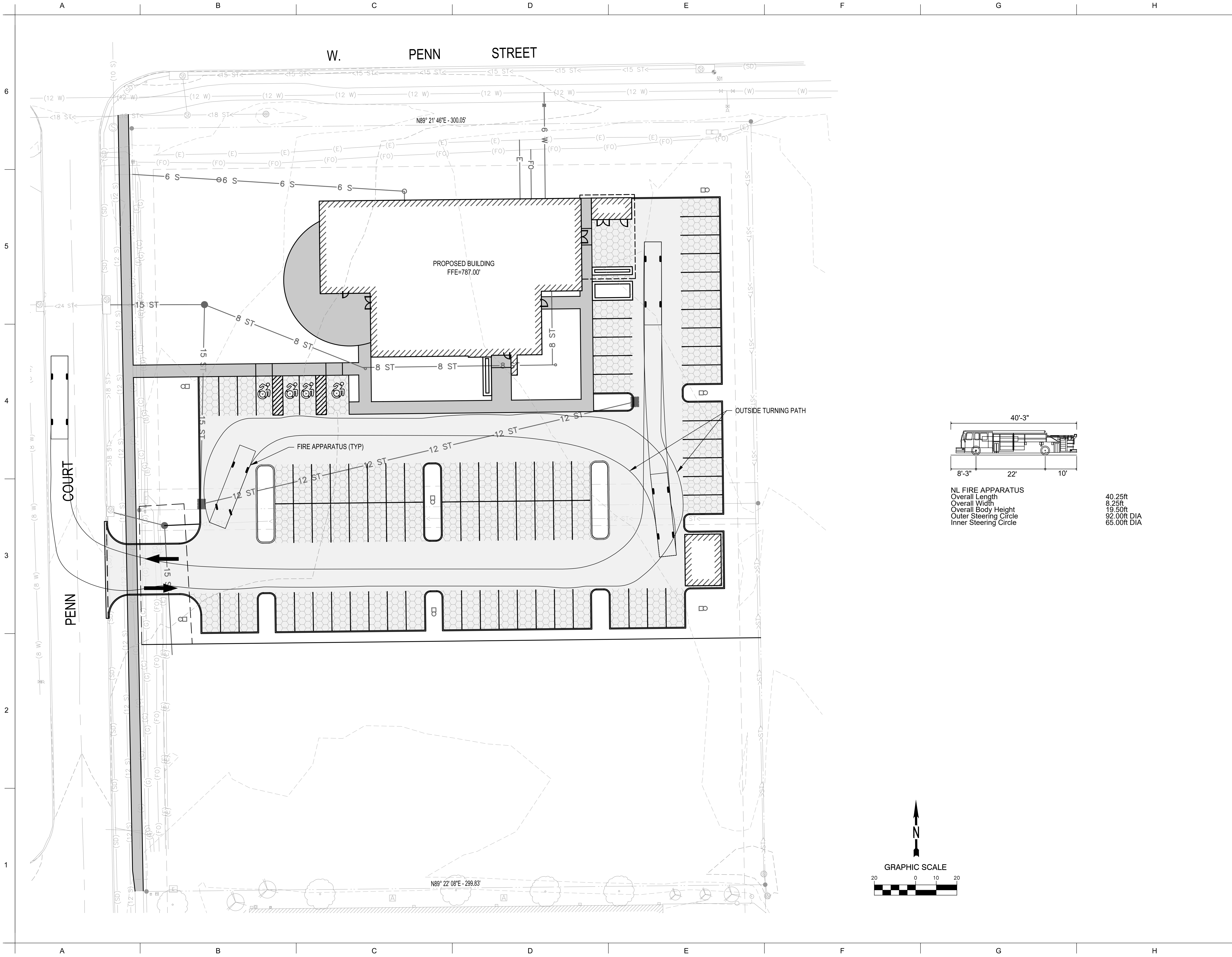
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PROJECT TITLE:  
**DIVENTURES  
NORTH LIBERTY**  
PROJECT ADDRESS:  
WEST PENN STREET  
NORTH LIBERTY, IOWA 52317

PROJECT NO. 17-042  
DRAWN BY: CAL  
REVIEWED BY: GFF  
DATE: 09.24.2018

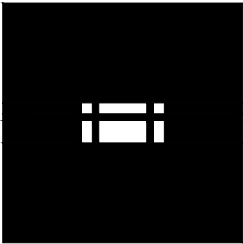
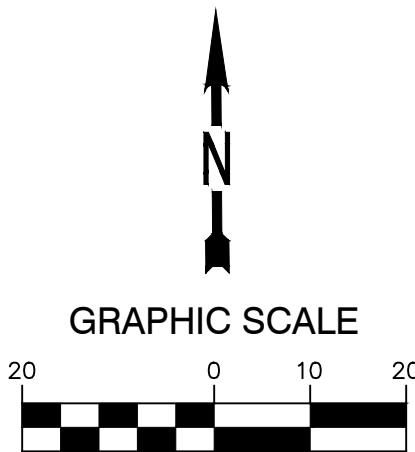






NL FIRE APPARATUS  
Overall Length  
Overall Width  
Overall Body Height  
Outer Steering Circle  
Inner Steering Circle

40.25ft  
8.25ft  
19.50ft  
92.00ft DIA  
65.00ft DIA



hdesigngroup  
architecture + design

5039 S National Avenue | Springfield, MO 65810 | 417.887.6595

**OWNER**  
**DIVENTURES L.L.C., DEAN HOLLIS**  
4303 SOUTH 121ST STREET  
OMAHA, NEBRASKA 68137  
402.933.6251

**PROJECT TEAM**

**CIVIL ENGINEER**  
**SHOEMAKER-HAALAND**  
ADDRESS  
160 HOLIDAY RD  
CORALVILLE, IA 52241

**STRUCTURAL ENGINEER**  
**J&M ENGINEERING**  
ADDRESS  
SPRINGFIELD, MO 65807  
417.890.8002

**MEP ENGINEER**  
**INTERPRES BUILDING SYSTEMS**  
ADDRESS  
SPRINGFIELD, MO 658105A  
417.877.1700



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**REVISIONS**

NO.	DESCRIPTION	DATE

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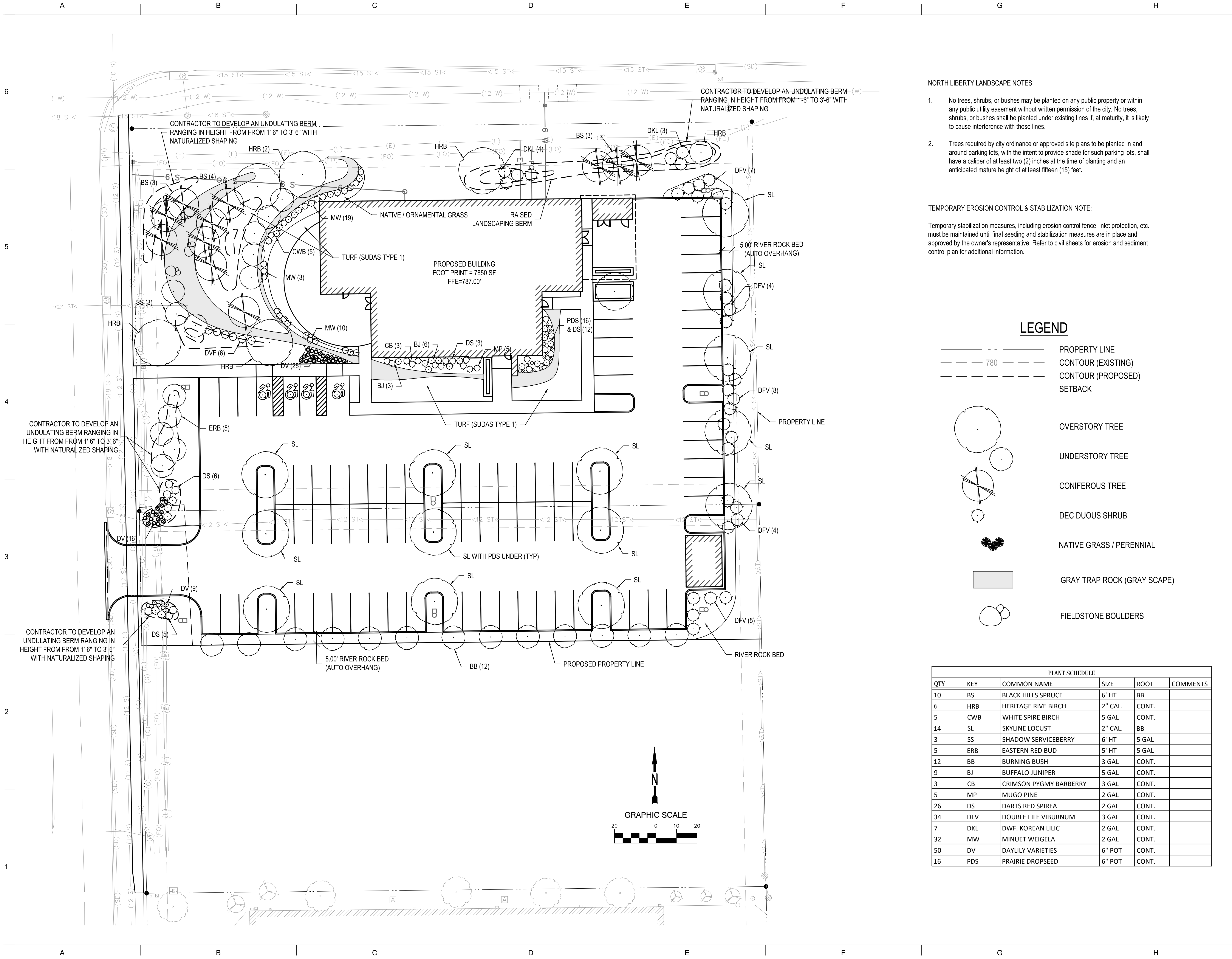
**PROJECT TITLE:**  
**DIVENTURES**  
**NORTH LIBERTY**  
PROJECT ADDRESS:  
WEST PENN STREET  
NORTH LIBERTY, IOWA 52317

**1 FIRE APPARATUS TURNING PLAN**

PROJECT NO. 17-042  
DRAWN BY: CAL  
REVIEWED BY: GFF  
DATE: 09.24.2018

SHEET  
**C.8**





NORTH LIBERTY LANDSCAPE NOTES:

- No trees, shrubs, or bushes may be planted on any public property or within any public utility easement without written permission of the city. No trees, shrubs, or bushes shall be planted under existing lines if, at maturity, it is likely to cause interference with those lines.
- Trees required by city ordinance or approved site plans to be planted in and around parking lots, with the intent to provide shade for such parking lots, shall have a caliper of at least two (2) inches at the time of planting and an anticipated mature height of at least fifteen (15) feet.

TEMPORARY EROSION CONTROL & STABILIZATION NOTE:

Temporary stabilization measures, including erosion control fence, inlet protection, etc. must be maintained until final seeding and stabilization measures are in place and approved by the owner's representative. Refer to civil sheets for erosion and sediment control plan for additional information.

LEGEND

- PROPERTY LINE
- CONTOUR (EXISTING)
- CONTOUR (PROPOSED)
- SETBACK
- OVERSTORY TREE
- UNDERSTORY TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- NATIVE GRASS / PERENNIAL
- GRAY TRAP ROCK (GRAY SCAPE)
- FIELDSTONE BOULDERS

PLANT SCHEDULE					
QTY	KEY	COMMON NAME	SIZE	ROOT	COMMENTS
10	BS	BLACK HILLS SPRUCE	6' HT	BB	
6	HRB	HERITAGE RIVE BIRCH	2" CAL.	CONT.	
5	CWB	WHITE SPIRE BIRCH	5 GAL	CONT.	
14	SL	SKYLINE LOCUST	2" CAL.	BB	
3	SS	SHADOW SERVICEBERRY	6' HT	5 GAL	
5	ERB	EASTERN RED BUD	5' HT	5 GAL	
12	BB	BURNING BUSH	3 GAL	CONT.	
9	BJ	BUFFALO JUNIPER	5 GAL	CONT.	
3	CB	CRIMSON PYGMY BARBERRY	3 GAL	CONT.	
5	MP	MUGO PINE	2 GAL	CONT.	
26	DS	DARTS RED SPIREA	2 GAL	CONT.	
34	DFV	DOUBLE FILE VIBURNUM	3 GAL	CONT.	
7	DKL	DWF. KOREAN LILIC	2 GAL	CONT.	
32	MW	MINUET WEIGELA	2 GAL	CONT.	
50	DV	DAYLILY VARIETIES	6" POT	CONT.	
16	PDS	PRAIRIE DROPSEED	6" POT	CONT.	



5039 S National Avenue | Springfield, MO 65810 | 417.887.6595

**OWNER**  
**DIVENTURES L.L.C., DEAN HOLLIS**  
4303 SOUTH 121ST STREET  
OMAHA, NEBRASKA 68137  
402.933.6251

**PROJECT TEAM**

**CIVIL ENGINEER**  
**SHOEMAKER-HAALAND**  
ADDRESS  
160 HOLIDAY RD  
CORALVILLE, IA 52241

**STRUCTURAL ENGINEER**  
**J&M ENGINEERING**  
ADDRESS  
SPRINGFIELD, MO 65807  
417.890.8002

**MEP ENGINEER**  
**INTERPRES BUILDING SYSTEMS**  
ADDRESS  
SPRINGFIELD, MO 658105A  
417.877.1700



**Shoemaker Haaland**  
www.shoemaker-haaland.com  
319-286-8888

REVISIONS

NO.	DESCRIPTION	DATE

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**PROJECT TITLE:**

**DIVENTURES NORTH LIBERTY**

PROJECT ADDRESS:  
WEST PENN STREET  
NORTH LIBERTY, IOWA 52317

LANDSCAPING PLAN

PROJECT NO. 17-042  
DRAWN BY: CAL  
REVIEWED BY: GFF  
DATE: 09.24.2018

SHEET  
LA.1



6

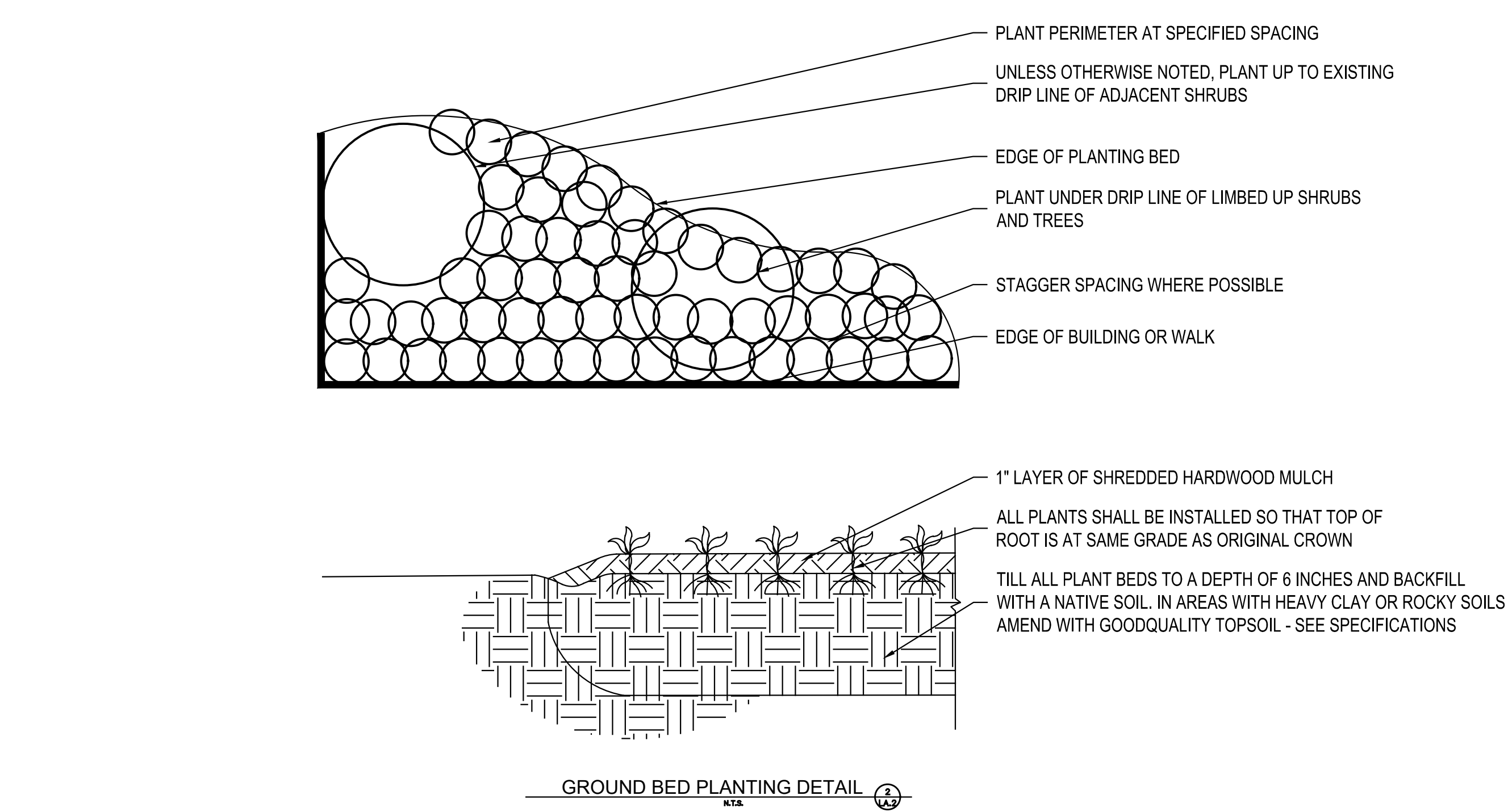
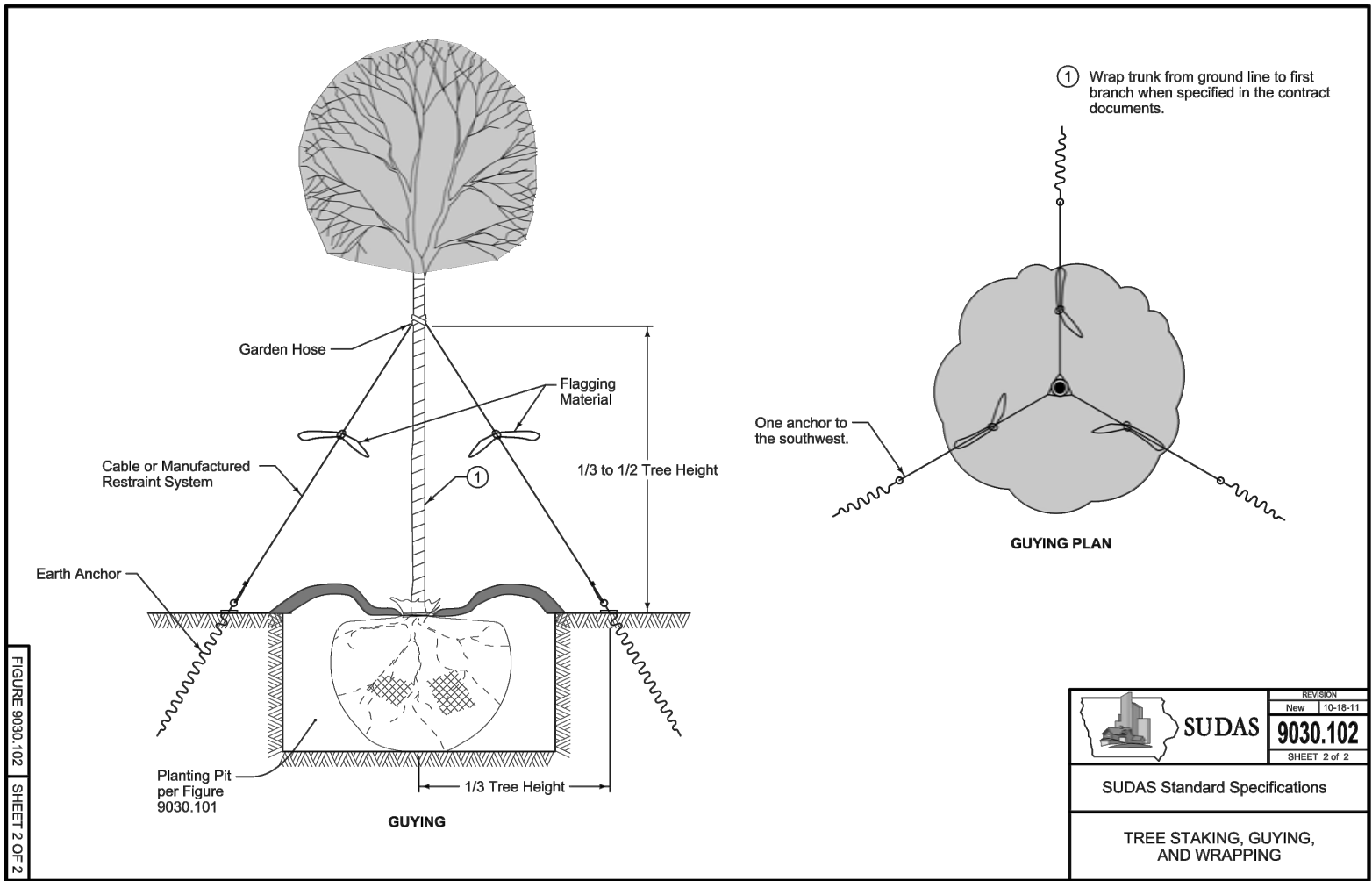
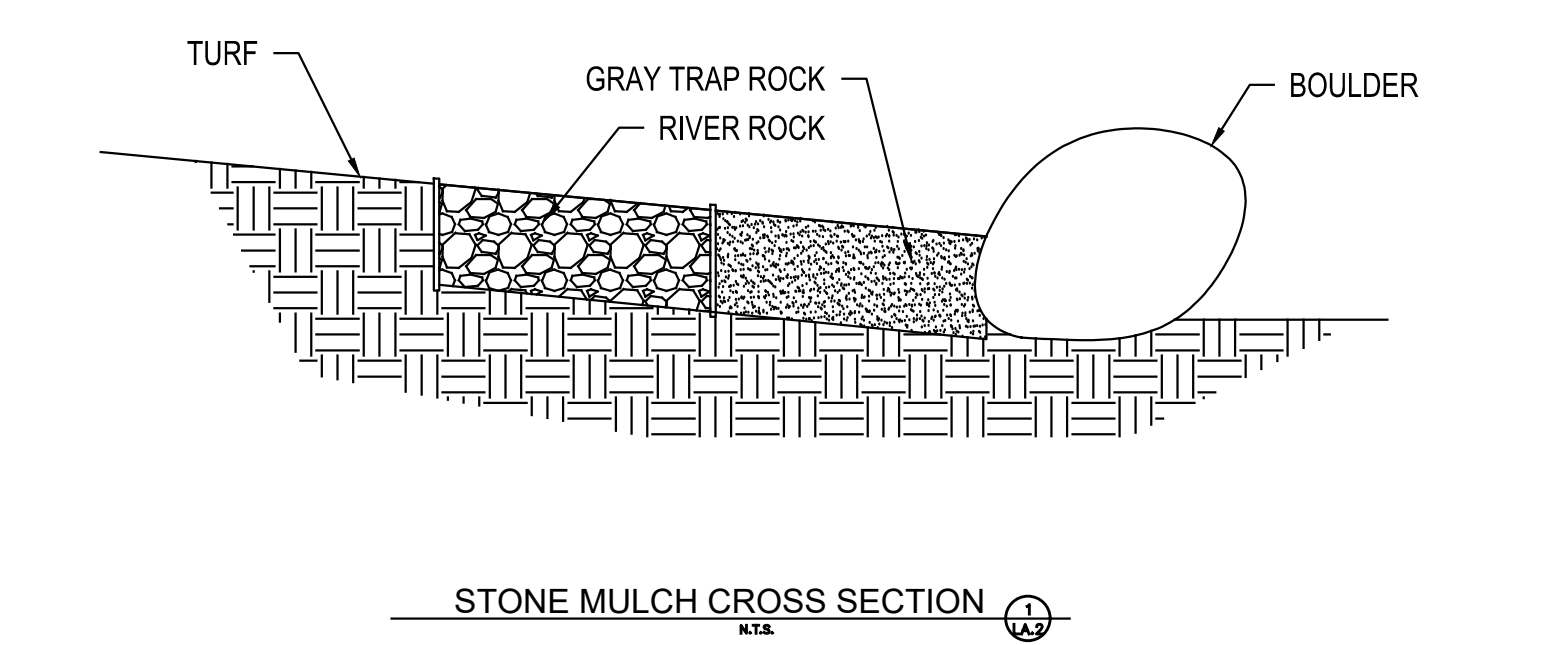
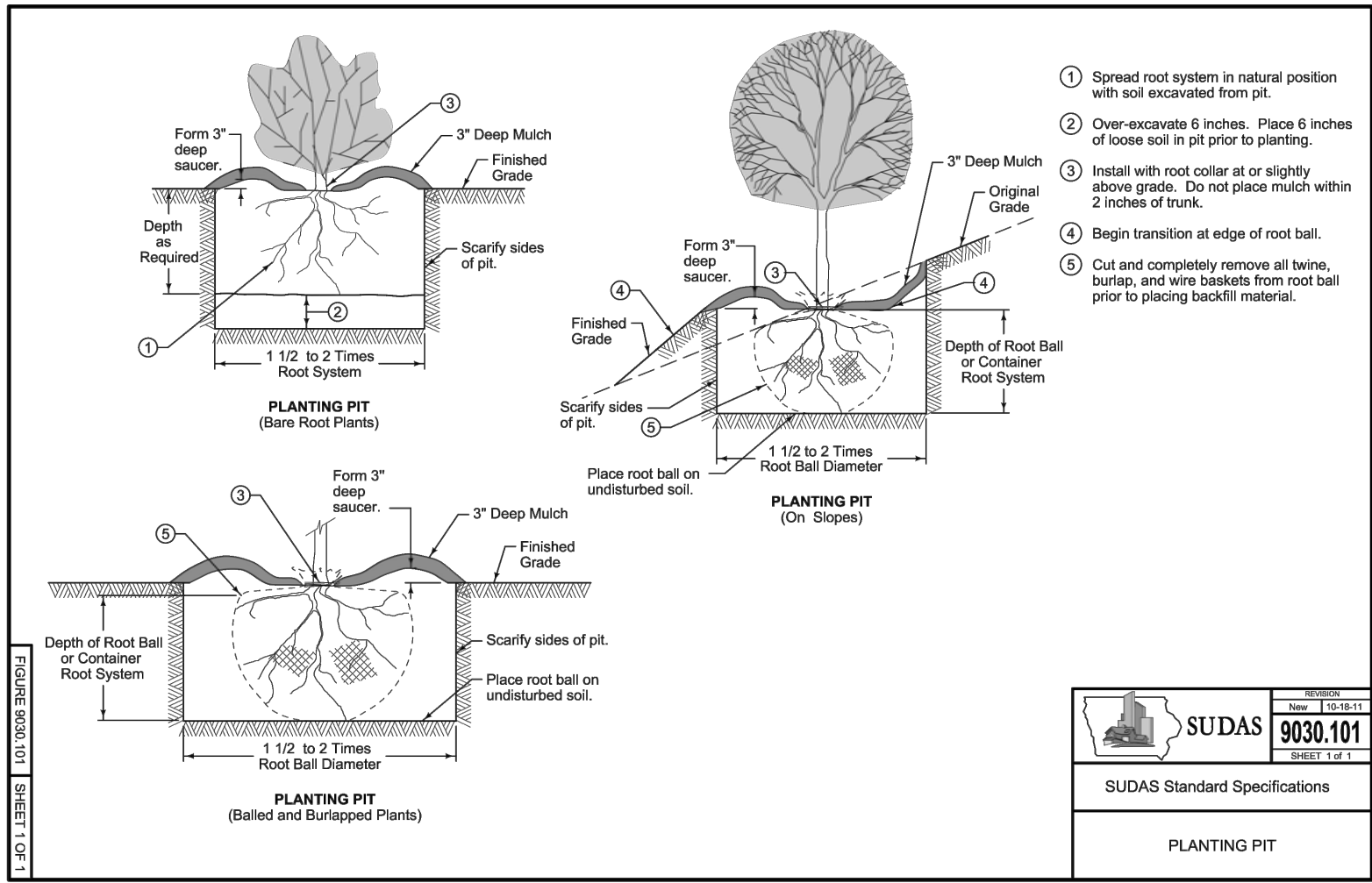
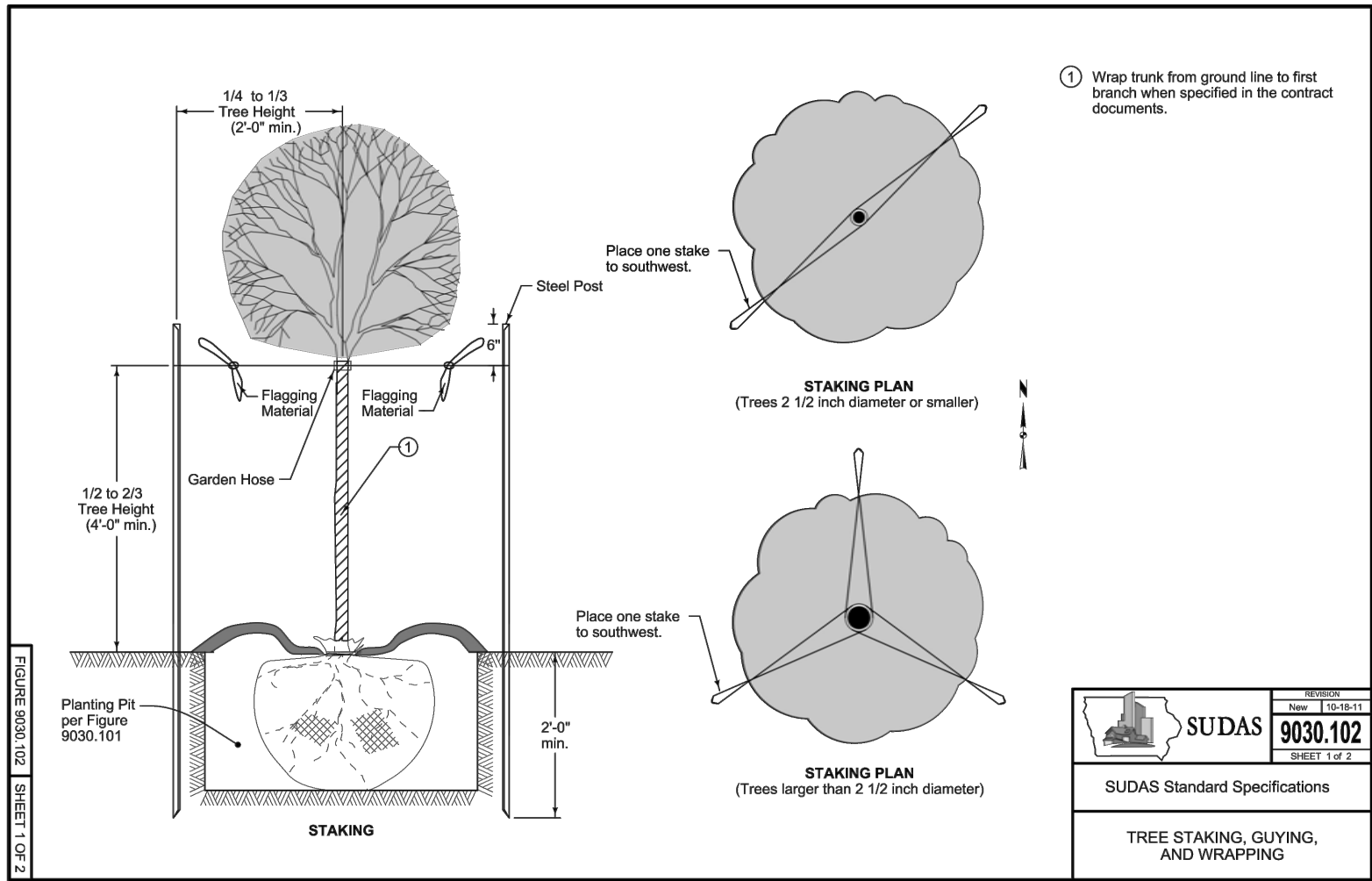
5

4

3

2

1



- GENERAL PLANTING NOTES:
1. Coordinate location of all utilities (lines, ducts, conduits, sleeves, footing, etc.) with locations of proposed landscape elements (fence, footings, tree rootballs, etc.). Contractor shall report any discrepancies to owner's representative prior to continuing work.
  2. Remove all construction debris and materials injurious to plant growth from planting pits and beds prior to backfilling with planting mix.
  3. Lawn areas shall have 6" minimum depth of topsoil. Topsoil shall be compacted to 85% maximum density at optimum moisture content.
  4. Refer to planting details plan for amended soil depth in planting beds and surrounding trees. Refer to specifications for mix type.
  5. Field staking planting according to plan. Owner's representative shall approve all plant locations prior to installation. Owner reserves the right to revise planting layout at time of installation.
  6. All plant materials shall be true to their scientific name and size as indicated in the plant schedule.
  7. If discrepancies exist between the number of plants drawn on the planting plan and the number of plants in the schedule, the planting plan shall govern.
  8. Owner reserves the right to revise quantities to suit budget limitations. Contractor's unit bid prices shall prevail for any changes in quantities.
  9. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture, and only after written approval of the owner's representative and owner.
  10. All plant materials must conform to American Standards for Nursery Stock (A.N.S.I.), latest edition published by the American Association of Nurseymen, Washington D.C. Larger sized plants materials of the species listed may be used if the stock conforms to A.N.S.I.
  11. Provide shredded hardwood mulch, natural color, in all planting beds not receiving stone mulch and a minimum 2 ft diameter surrounding all proposed trees to a 3-inch minimum depth. Apply pre-emergent to all planting beds prior to mulching.
  12. All plant material shall be guaranteed to be in a live and healthy growing condition for one full growing season (one year) after final project acceptance or shall be replaced free of charge with the same grade and species. All trees shall have a strong central leader.
  13. Planting bed edging shall be 1/8"x4" steel edging w/12" landscape spike in all areas where planting bed meets lawn areas.
  14. All planting beds shall have spade dug edges, except where noted otherwise.
  15. Contractor is responsible for all damage due to operations inside and outside of the contract limit line. Any areas outside the limit of work that are disturbed shall be restored to its original condition at no additional cost to the owner.
  16. All turf areas disturbed by construction shall be sodded. Sod sections shall be no smaller than 24"x36" staked in place with biodegradable sod stakes when slope is steeper than 5:1 or when conditions require.
  17. All planting beds shall be mulched with 3" depth shredded hardwood mulch. Do NOT use any underlayments such as landscape fabric or plastic sheeting.
  18. For seeding, follow Iowa SUDAS (Statewide Urban Design and Specifications) for seeding specifications and planting procedures. (www.IOWASUDAS.org)

6

5

4

3

2

1



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OWNER

DIVENTURES L.L.C., DEAN HOLLIS  
4303 SOUTH 121ST STREET  
OMAHA, NEBRASKA 68137  
402.933.6251

PROJECT TEAM

CIVIL ENGINEER  
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ADDRESS  
160 HOLIDAY RD  
CORALVILLE, IA 52241

STRUCTURAL ENGINEER  
J&M ENGINEERING  
ADDRESS  
SPRINGFIELD, MO 65807  
417.890.8002

MEP ENGINEER  
INTERPRESS BUILDING SYSTEMS  
ADDRESS  
SPRINGFIELD, MO 658105A  
417.877.1700



Steve Ford  
Landscape Architecture



Shoemaker  
Haaland  
www.shoemaker-haaland.com  
319-286-8888

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT TITLE:

DIVENTURES  
NORTH LIBERTY

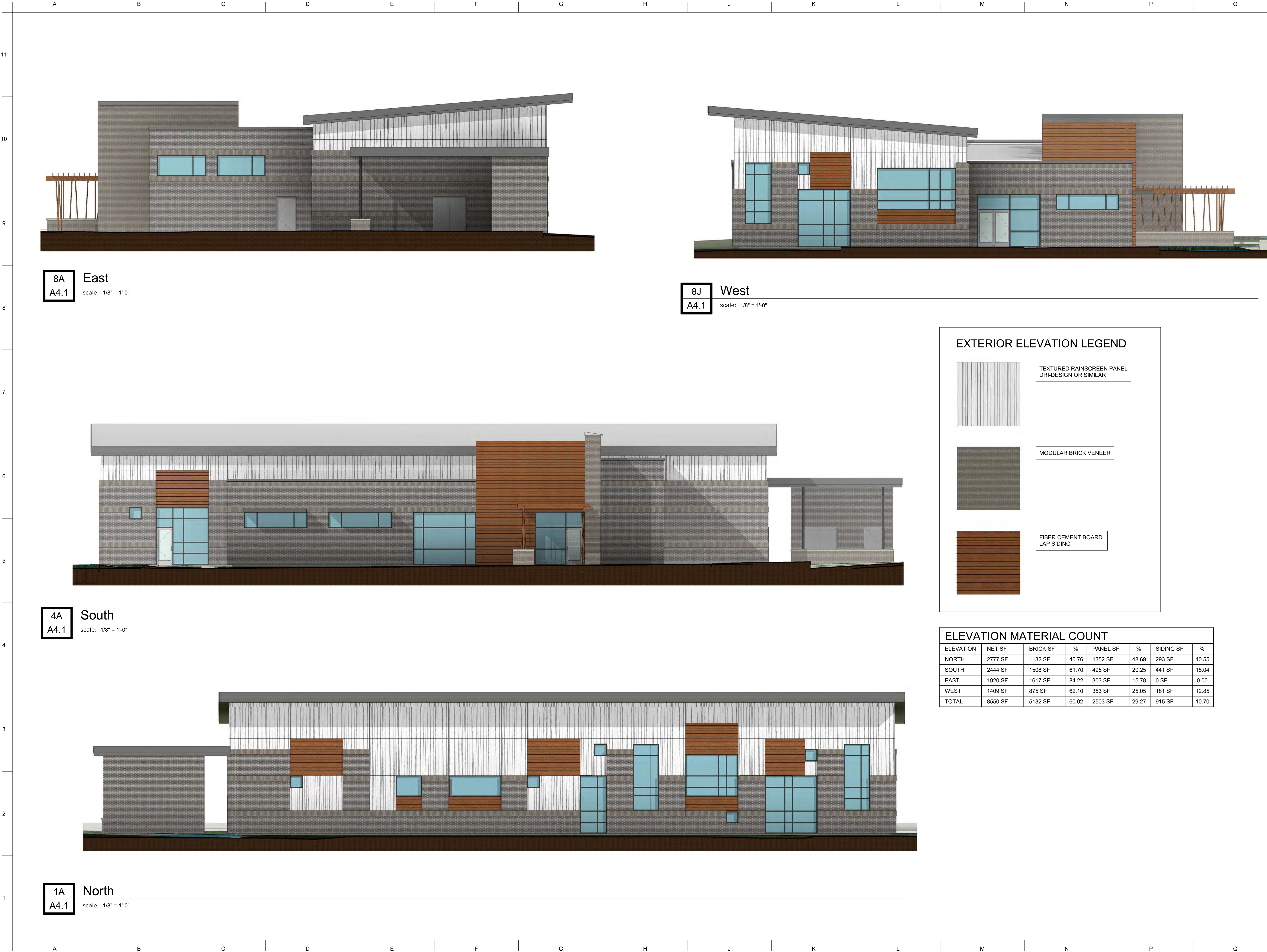
PROJECT ADDRESS:  
WEST PENN STREET  
NORTH LIBERTY, IOWA 52317

LANDSCAPING DETAILS

PROJECT NO. 17-042  
DRAWN BY: CAL  
REVIEWED BY: GFF  
DATE: 09.20.2018

SHEET  
LA.2





**OWNER**  
**DIVENTURES LLC**  
4303 S 121ST STREET  
OMAHA, NE 68137  
402.933.6251

**PROJECT TEAM**  
**CIVIL ENGINEER**  
SHOEMAKER-HAALAND  
160 HOLIDAY ROAD  
CORALVILLE, IA 52241  
319.351.7150  
**LANDSCAPE ARCHITECT**  
SHOEMAKER-HAALAND  
160 HOLIDAY ROAD  
CORALVILLE, IA 52241  
319.351.7150  
**STRUCTURAL ENGINEER**  
J&M ENGINEERING  
3045 S KANSAS EXPRESSWAY  
SPRINGFIELD, MO 65807  
417.708.9315  
**MEP ENGINEER**  
INTERPRES BUILDING SOLUTIONS  
1722 S GLENSTONE, SUITE AA  
SPRINGFIELD, MO 65804  
417.631.4895

**PROFESSIONAL SEAL**  
**PROFESSIONAL NAME:** AIA NCARB  
**PROFESSIONAL TITLE:** ARCHITECT  
IA# 0000000

**PRELIMINARY:**  
**NOT FOR**  
**CONSTRUCTION**

REVISIONS		
NO.	DESCRIPTION	DATE

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**PROJECT TITLE**  
**MIXED-USE DEVELOPMENT AT NATIONAL AVE + WEAVER RD**

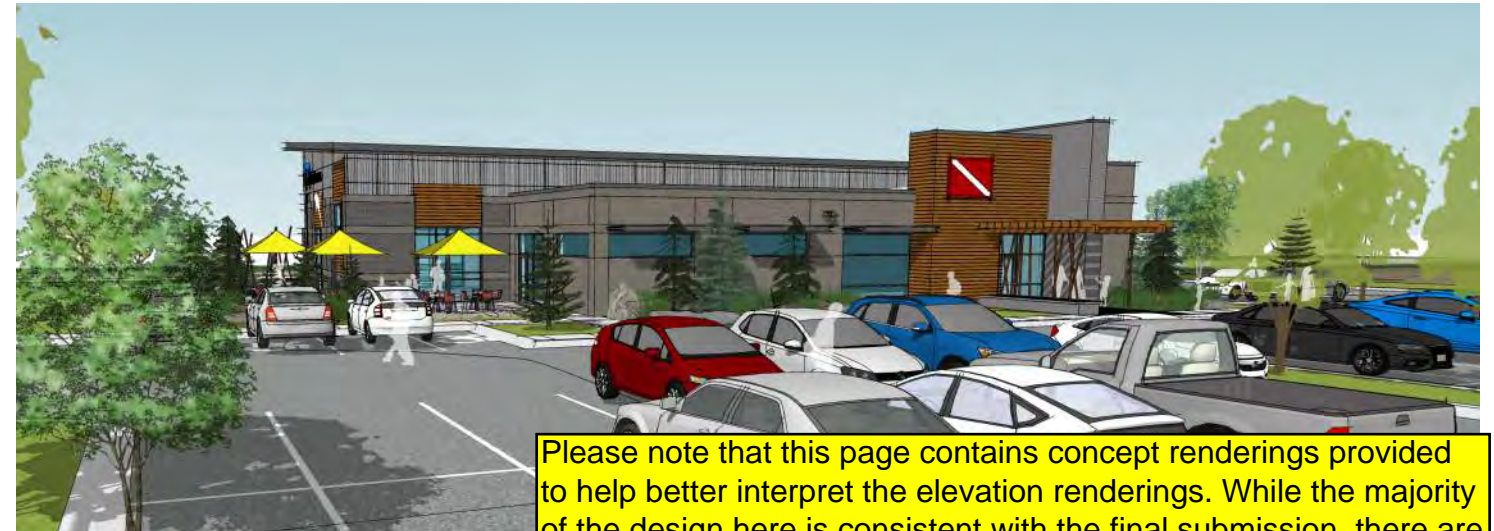
**PROJECT ADDRESS:**  
1895 W PENN STREET  
NORTH LIBERTY, IOWA 52317

**EXTERIOR ELEVATIONS**

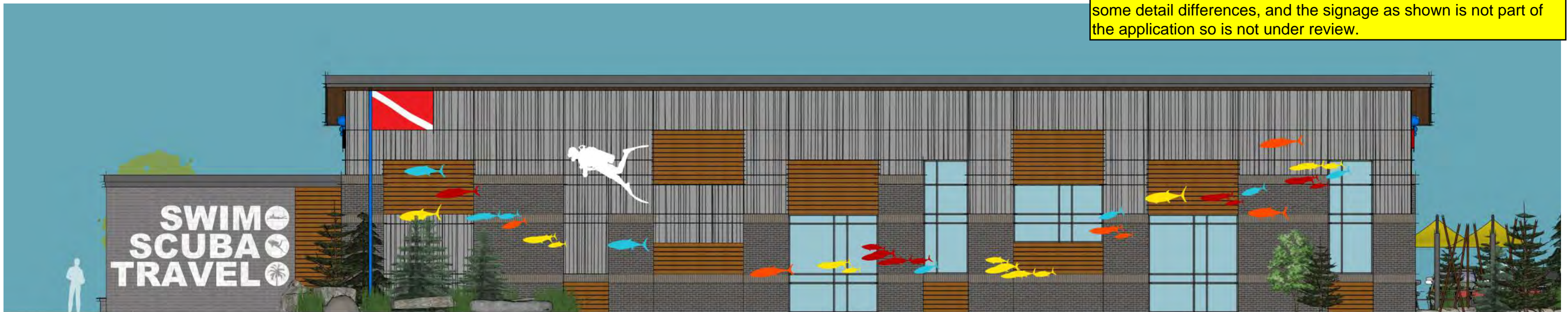
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DRAWN BY: hdg  
REVIEWED BY: hdg  
DATE: 08.31.2018

SHEET  
**A4.1**





Please note that this page contains concept renderings provided to help better interpret the elevation renderings. While the majority of the design here is consistent with the final submission, there are some detail differences, and the signage as shown is not part of the application so is not under review.



2018.06.13



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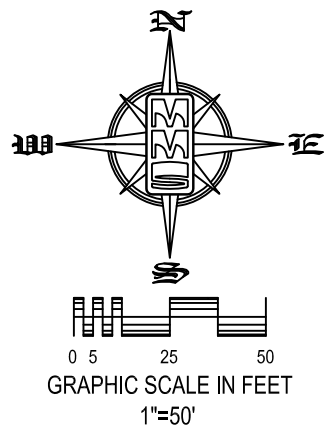
DiVentures, North Liberty

concept renderings



EAST QUARTER CORNER  
OF  
SECTION 12-T80N-R7W  
OF THE FIFTH P.M.  
FOUND CUT "X"  
BOOK 57 AT PAGE 154

LOCATION:	SURVEY REQUESTED BY:
A PORTION OF MAIN STREET IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 12, TOWNSHIP 80 NORTH, RANGE 7 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, NORTH LIBERTY, IOWA.	CITY OF NORTH LIBERTY PO BOX 77 NORTH LIBERTY, IOWA 52317-0077
LAND SURVEYOR, INCLUDING FIRM OR ORGANIZATION:	PROPRIETOR OR OWNER:
GLEN D. MEISNER P.L.S MMS CONSULTANTS INC. 1917 SOUTH GILBERT STREET IOWA CITY, IOWA, 52240 PHONE: 319-351-8282	CITY OF NORTH LIBERTY PO BOX 77 NORTH LIBERTY, IOWA 52317-0077
DOCUMENT RETURN INFORMATION:	DATE OF SURVEY:
LAND SURVEYOR	04-13-2018



	- CONGRESSIONAL CORNER, FOUND
	- CONGRESSIONAL CORNER, REESTABLISHED
	- CONGRESSIONAL CORNER, RECORDED LOCATION
	- PROPERTY CORNER(S), FOUND (as noted)
	- PROPERTY CORNERS SET (5/8" Iron Pin w/ yellow, plastic LS Cap embossed with "MMS")
	- CUT "X"
	- PROPERTY &/or BOUNDARY LINES
	- CONGRESSIONAL SECTION LINES
	- RIGHT-OF-WAY LINES
	- CENTER LINES
	- LOT LINES, INTERNAL
	- LOT LINES, PLATTED OR BY DEED
	- EASEMENT LINES, WIDTH & PURPOSE NOTED
	- EXISTING EASEMENT LINES, PURPOSE NOTED
(R)	- RECORDED DIMENSIONS
(M)	- MEASURED DIMENSIONS
C22-1	- CURVE SEGMENT NUMBER

### DESCRIPTION - RIGHT-OF-WAY VACATION

A PORTION OF MAIN STREET IN THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 12-, TOWNSHIP 80 NORTH, RANGE 7 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, NORTH LIBERTY, IOWA, DESCRIBED AS FOLLOWS:

Commencing at the East Quarter Corner of Section 12, Township 80 North, Range 7 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa; Thence S01°14'52"E, along the East Line of the Northeast Quarter of the Southeast Quarter of said Section 12, a distance of 837.00 feet, to the Northeast Corner of Lot 4 of the "Subdivision of the Northeast  $\frac{1}{4}$  of the Southeast  $\frac{1}{4}$  of Section 12", as Recorded in Plat Book 1 at Page 2 of the Records of the Johnson County Recorder's Office; Thence N89°10'54"W, along the North Line of said Lot 4, a distance 408.79 feet, to the Northwest Corner of said Lot 4, and the Point of Beginning; Thence S01°01'10"E, along the Easterly Right-of-Way of Main Street, 435.28 feet, to its intersection with the North Right-of-Way Line of Cherry Street; Thence S88°59'05"W, along the Westerly Projection of said North Right-of-Way Line, 10.00 feet; Thence N01°01'10"W, along a line parallel with and 10.00 feet normally distant Westerly from said Easterly Right-of-Way Line of Main Street, 435.60 feet, to its intersection with the Westerly Projection of the North Line of said Lot 4; Thence S89°10'54"E, along said Westerly Projection 10.01 feet, to the Point of Beginning. Said Right-of-Way Vacation contains 4,354 square feet, and is subject to easements and restrictions of record.

# PLAT OF SURVEY

## RIGHT-OF-WAY VACATION

A PORTION OF MAIN  
STREET IN THE NORTHEAST  
QUARTER OF THE  
SOUTHEAST QUARTER OF  
SECTION 12-, TOWNSHIP 80  
NORTH, RANGE 7 WEST, OF  
THE FIFTH PRINCIPAL  
MERIDIAN

NORTH LIBERTY  
JOHNSON COUNTY  
IOWA

MMS CONSULTANTS, INC.

Date: 08-27-2018

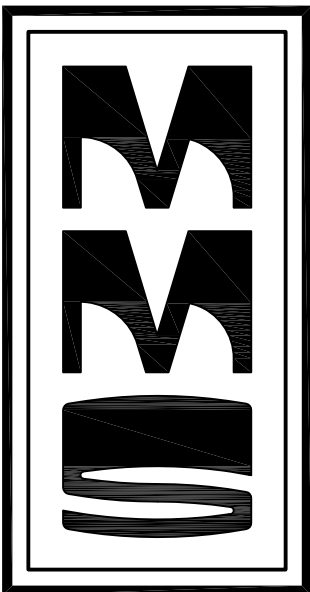
Designed by: LCN	Field Book No: 121
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Drawn by:	RLW	Scale:	1"=50'
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Checked by: GDM	Sheet No: 1
Project No:	

IOWA CITY

10482-001	of: 1
-----------	-------



CIVIL ENGINEERS

LAND PLANNERS

LAND SURVEYORS

LANDSCAPE ARCHITECTS

## ENVIRONMENTAL SPECIALISTS

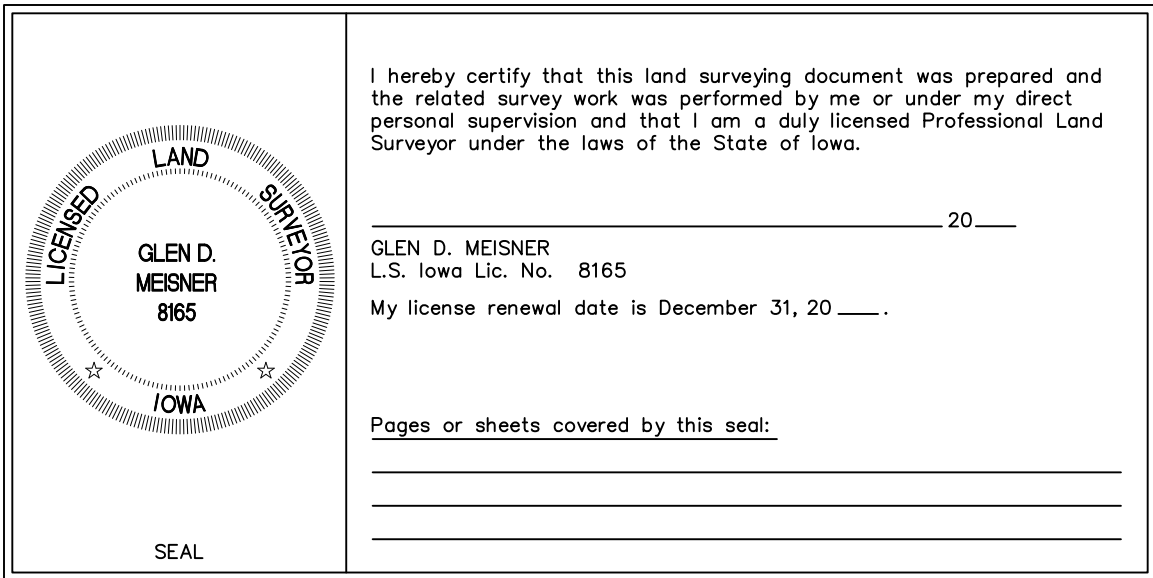
1917 S. GILBERT ST

IOWA CITY, IOWA 52240  
(319) 351-8282

[www.mmsconsultants.net](http://www.mmsconsultants.net)

Date	Revision
------	----------

08-29-2018 PER GDM REVIEW - RLV





September 25, 2018

## **Memo**

To: North Liberty Planning Commission

From: Dean Wheatley, Planning Director

Subject: Request of agent Shari King to approve a projecting sign for a new Jersey Mike's restaurant, located at the Family Video store building on Highway 965/Ranshaw Way

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator

Tracey Mulcahey, Assistant City Administrator

Tom Palmer, City Building Official

Scott Peterson, City Attorney

Kevin Trom, City Engineer

Dean Wheatley, Planning Director

This request is to allow a projecting sign as defined by the Zoning Ordinance at the existing building at 415 Community Drive. The property is zoned C-2-A, Highway Commercial, and a site plan for the site was approved in 2013.

Projecting Signs are defined as a sign that "projects from and is supported by a wall of a building or structure, with the exposed face of the sign on plane not parallel to the plane of the wall." The requirements for such signs are:

*Projecting signs are allowed only upon approval by the Council after review and recommendation by the Commission. Projecting signs shall meet all setback, clearance, area, number, and general regulations in this chapter. The City shall determine if the sign is appropriate for the location proposed and if the design is consistent with City aesthetic design goals regarding the following factors:*

- A. Signs may be attached only to building walls. They may not be hung from roofs, fences, or eaves.*
- B. Colors and design theme are required to be consistent with the building to which the sign is attached.*
- C. Projection is required to be minimized to the maximum extent possible.*
- D. If lit, internal lighting is required.*
- E. All messages on the sign shall relate to the principal on-site use.*
- F. The mounting technique shall be safe and attractive.*
- G. Other considerations unique to the specific sign proposed and the site.*

The sign proposed is professionally-designed and well-proportioned for the location, and appropriate for this mixed-use area. The wall sign allowance on the east and west faces of the portion of the building under consideration (the sides of the building the sign will be visible from) would be approximately 60 square feet in size and this sign is well under that number. It meets the aesthetic considerations outlined in the Zoning Ordinance, noted above. Staff recommends approval of the sign request.



Approved  
By slogan at 20 Sep 18 08:59



West Elevation - Day  
Scale: 1/8" = 1'



West Elevation - Night  
Scale: 1/8" = 1'



DESIGN | FABRICATION | INSTALLATION | SERVICE

7775 Main St. N.E.,  
Fridley, MN 55432  
P: 763.754.2899 | F: 763.767.7316  
www.albrechtsigncompany.com

Client Name:  
Jersey Mike's

Client Address:  
415 Community DR.  
North Liberty, IA 52317

Start Date: 5/3/18  
Last Revision Date: 9/18/18  
Job Number: N/A  
Drawing Revision: 1  
Sales Representative: DM  
Designer: RD

Revision	Update
01	9/18/18: E02 Added
02	
03	
04	
05	
06	
07	
08	
09	

Customer Signature of Approval  
X

LED Module	Power Supply
Type	Type
Units	Units

UL LISTED  
This Sign Intended To Be Installed In  
Accordance With The Requirements Of Article  
600 Of The National Electrical Codes. This  
Includes Proper Grounding & Bonding Of Sign.

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Color Samples Can Be Provided Upon Request



Approved  
By slogan at 20 Sep 18 08:59



DESIGN | FABRICATION | INSTALLATION | SERVICE

7775 Main St. N.E.,  
Fridley, MN 55432  
P: 763.754.2899 | F: 763.767.7316  
www.albrechtsgncompany.com

Client Name:  
Jersey Mike's

Client Address:  
415 Community DR.  
North Liberty, IA 52317

Start Date: 5/3/18  
Last Revision Date: 9/18/18  
Job Number: N/A  
Drawing Revision: 1  
Sales Representative: DM  
Designer: RD

Revision	Update
01	9/18/18: E02 Added
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03	
04	
05	
06	
07	
08	
09	

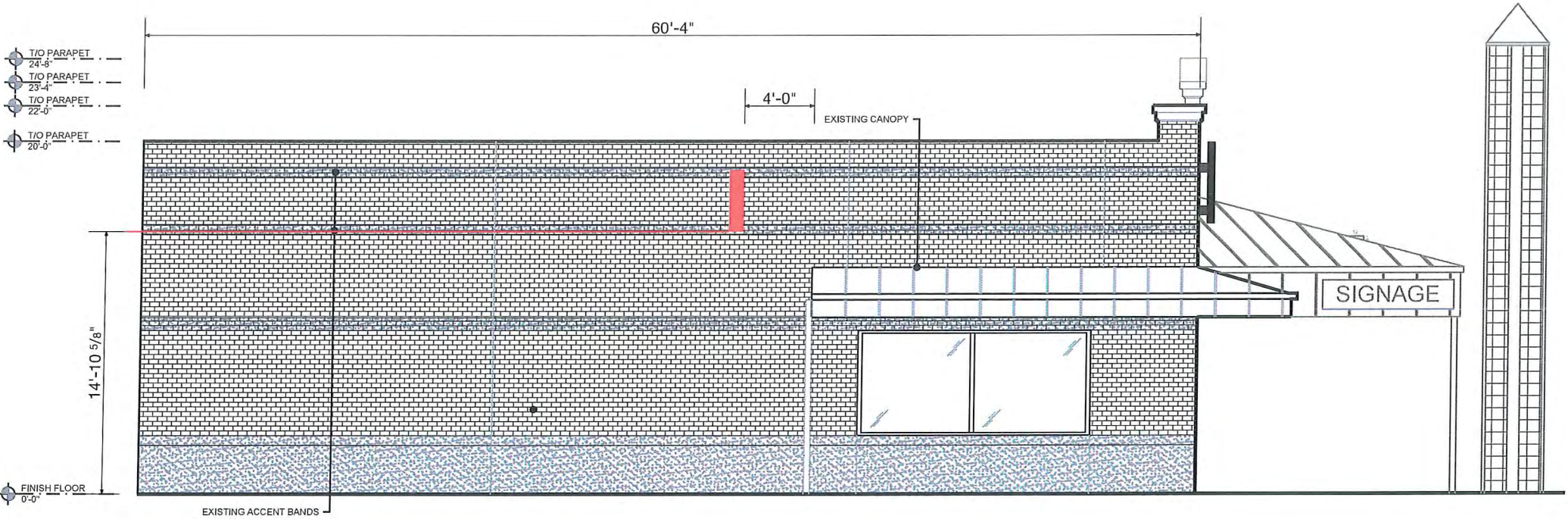
Customer Signature of Approval  
X

LED Module	Power Supply
Type	Type
Units	Units



This Sign Intended To Be Installed In  
Accordance With The Requirements Of Article  
600 Of The National Electrical Codes. This  
Includes Proper Grounding & Bonding Of Sign.

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Color Samples Can Be Provided Upon Request



North Elevation  
Scale: 1/8" = 1'





DESIGN | FABRICATION | INSTALLATION | SERVICE

7775 Main St. N.E.,  
Fridley, MN 55432  
P: 763.754.2899 | F: 763.767.7316  
www.albrechtsgncompany.com

Client Name:  
Jersey Mike's

Client Address:  
415 Community DR.  
North Liberty, IA 52317

Start Date: 5/3/18  
Last Revision Date: 9/18/18  
Job Number: N/A  
Drawing Revision: 1  
Sales Representative: DM  
Designer: RD

Revision	Update
01	9/18/18: E02 Added
02	
03	
04	
05	
06	
07	
08	
09	

Customer Signature of Approval



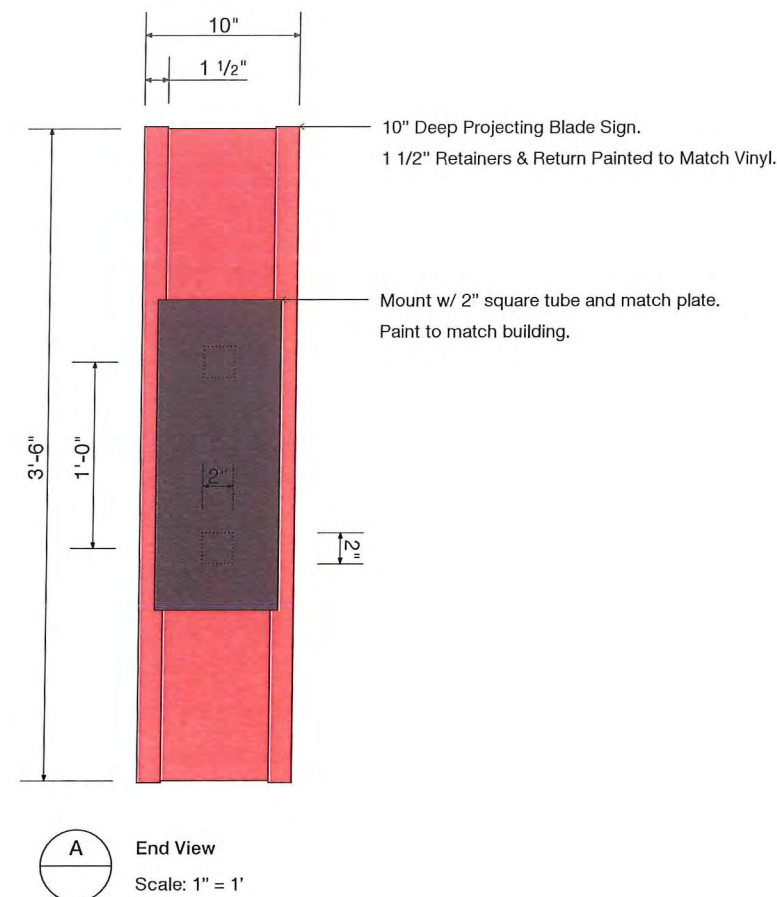
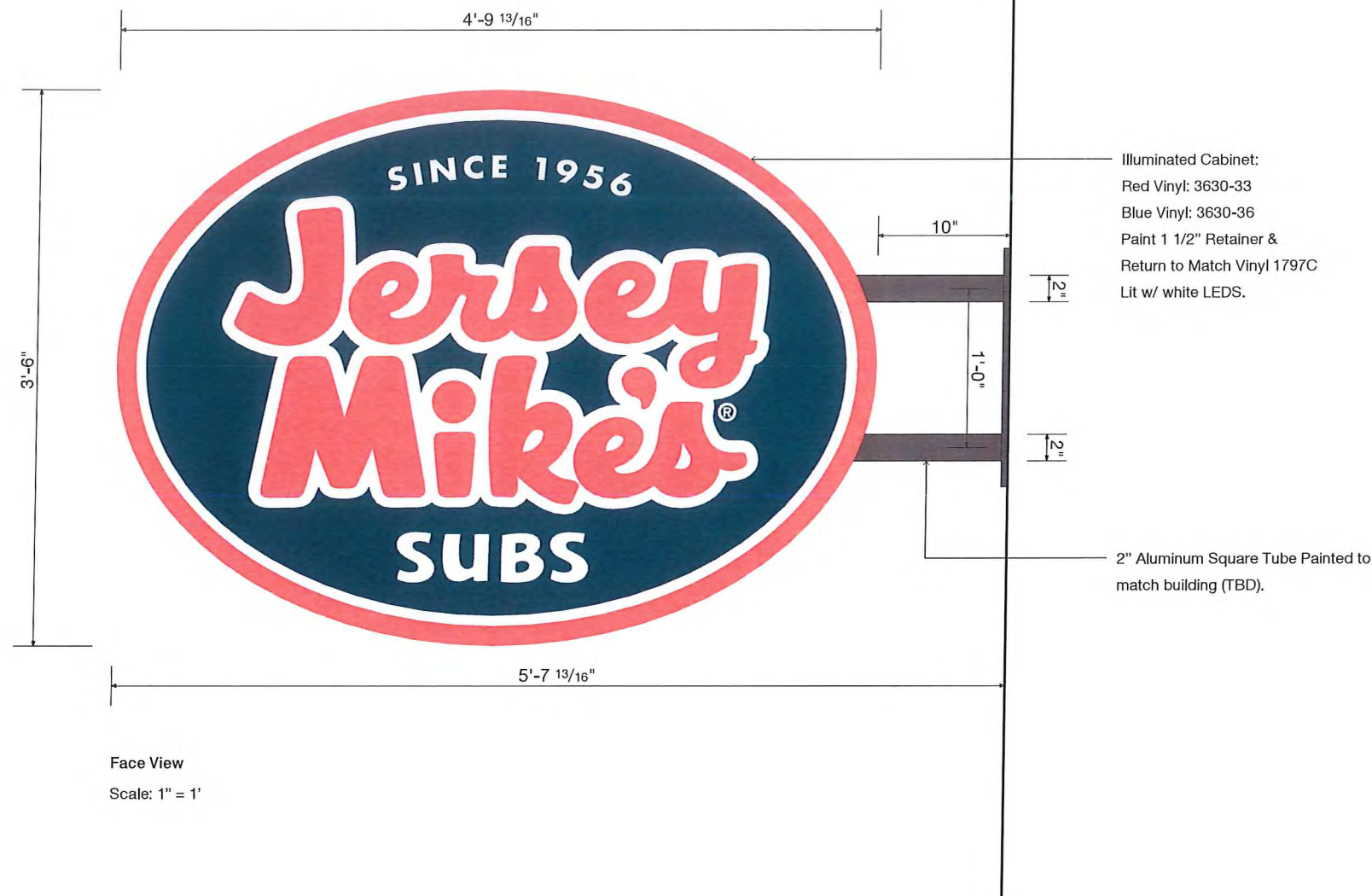
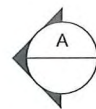
LED Module	Power Supply
White LEDs	Meanwell
Units	Units



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Color Samples Can Be Provided Upon Request

Approved  
By slogan at 20 Sep 18 08:58



End View  
Scale: 1" = 1'

Color:	Blue	Red	Red	White	Match Bldg. TBD	N/A	N/A	E02
Paint Finish:	N/A	N/A	Match 1797	N/A	N/A	N/A	N/A	D/F Lit Projecting Blade Sign
Vinyl:	3630-36	3630-33	N/A	N/A	N/A	N/A	N/A	Quantity: 01 Square Feet: 16.86
Digital Print:	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Single Face: <input type="checkbox"/> Illuminated: <input checked="" type="checkbox"/>
Other:	N/A	N/A	N/A	Lexan Face	N/A	N/A	N/A	Double Face: <input checked="" type="checkbox"/> Non-Illuminated: <input type="checkbox"/>

**~~BY-LAWS~~RULES**  
**NORTH LIBERTY PLANNING COMMISSION**  
**ADOPTED JULY 1, 2008**

**ARTICLE I. AUTHORITY**

The North Liberty Planning Commission shall have the authority that is conferred by Chapter 414 of the Code of Iowa and by Chapter 2, Section 202, Planning Commission of the Zoning Ordinance of the City of North Liberty, and through the adoption of these ~~By-laws~~Rules.

**ARTICLE II. MEMBERSHIP**

Section 1. The Planning Commission shall consist of seven (7) members appointed by the Mayor, subject to City Council approval, for three-year terms. All members of the Commission shall be residents of the City of North Liberty.

Section 2. Members shall serve without compensation. However, with the prior approval of the City Council, members may be reimbursed for expenses incurred for travel outside the city on designated Commission business.

Section 3. If a majority of the Commission members feel that another member is not meeting his or her obligations as a member of the Commission, the Commission may forward a recommendation to the Mayor to remove the member from the Commission. The recommendation must be approved by a majority of the Commission members present and the Commission member who is the subject of the recommendation may vote. Upon receiving a recommendation to remove a member, the Mayor may dismiss that member, pursuant to Iowa Code Section 372.15 and other applicable state law and city ordinances.

Section 4. As the appointing authority of the Commission, the Mayor may dismiss any Commission member at any time, regardless of any recommendation from the Commission, pursuant to Iowa Code Section 372.15 and other applicable state law and city ordinances.

Section 5. Any vacancy on the Commission because of death, resignation, long-term illness, disqualification or removal by the Mayor should be filled by the Mayor and the City Council at the next regularly-scheduled meeting after at least 30 days public notice of the vacancy. The new appointment shall be for the unexpired portion of the term of the member who left the Commission.

Section 6. The City Clerk shall provide new members with copies of the North Liberty Municipal Code, the Planning Commission ~~By-laws~~Rules, the Comprehensive Land Use Plan, and the other documentation that would be useful to Commission members in carrying out their duties.

Section 7. Commission members shall be offered an e-mail address on the NorthLibertyIowa.org domain (or any successor site) so they may keep city business segregated from their personal or professional e-mail. Commission members are not obligated to accept the e-mail account.

Section 8. Resignations should be submitted in writing to the Mayor with a copy to the chairperson of the Planning Commission.

### ARTICLE III. OFFICERS AND OTHER OFFICES

Section 1. The officers of the Commission shall include a Chairperson and Vice-Chairperson.

~~Section 2. The Planning Commission Liaison to the City Council is a non-officer position.~~

~~Section 3. Any Commission member, including Chairperson and Vice-Chairperson, may serve as Planning Commission Liaison to the City Council.~~

~~Section 4.~~ Section 2. Officers of the Commission ~~and the Planning Commission Liaison to the City Council~~ shall be elected for a term of one year at the regular July meeting of the Commission.

~~Section 5.~~ Section 3. The remaining Commission members shall fill the unexpired portion of the term of any office vacated because of death, resignation, removal, disqualification or other cause.

~~Section 6.~~ Section 4. The Chairperson shall, when present, preside at all meetings, appoint committees, call special meetings and in general perform all duties incident to the office of the Chairperson, and such other duties as may be prescribed by the members from time to time.

~~Section 7.~~ Section 5. The Vice-Chairperson may call special meetings. In the absence of the Chairperson, or in the event of the Chairperson's unavailability, inability, or refusal to act, the Vice-Chairperson shall perform the duties of the Chairperson with all the powers of and subject to all the restrictions on the Chairperson.

### ARTICLE IV. MEETINGS

Section 1. Regular formal meetings of this Commission shall be held on the first Tuesday of each calendar month. If the first Tuesday in any month is a holiday, then the regular meeting for that month shall be held on the second Monday of the month.



Section 2. Special meetings of the Commission may be called by the Chairperson or Vice-Chairperson, or by any three members of the Commission. A special meeting may only be held if each member of the Commission is notified of the meeting in writing at least 24 hours prior to the meeting. The call for and notification of a special meeting shall include an agenda and only items on the agenda shall be discussed at the special meeting. Special meetings should ordinarily be called for the third Tuesday of the month.

Section 3. In the event that the Chairperson and Vice-Chairperson are both absent, the last Commission member to arrive for a meeting will call the meeting to order and the first order of business will be to select a Commission member to lead the meeting.

Section 4. Four members of the Commission shall constitute a quorum at any meeting. There shall be no vote by proxy. The Chairperson may vote.

Section 5. Time shall be made available during all regular formal meetings for open public discussion.

Section 6. A majority (but not less than three) of the votes cast at any meeting at which a quorum is present shall be decisive of any motion or election, ~~unless the Code of Iowa or the City Code requires a greater vote for Commission action.~~ In all cases involving subdivision application or rezoning requests, and upon request, voting will be by roll call vote. Tie votes shall be reported to the City Council as such, with the notation that the vote should not be viewed either as Commission approval or disapproval of the matter under consideration.

Section 7. Except as otherwise provided herein, meetings shall be conducted in accordance with ~~Roberts Rules of Order~~ North Liberty City Council Rules.

## ARTICLE V. POWERS AND DUTIES

The Planning Commission, in addition to the powers conferred by Chapter 414 of the Code of Iowa, possesses the powers and duties established by the ~~Ordinances and~~ Municipal Code of the City of North Liberty, including the following:

Section 1. It shall be the duty of the Commission to create, amend, adopt, and recommend to the legislative body a zoning code, in accordance with the guidelines of the comprehensive plan, establishing zones within the jurisdiction.

Section 2. It shall be the duty of the Commission to study, review, hold ~~hearings—meetings~~ on, and make recommendations to the City Council on applications and plans for:

- ~~1. Multiple dwelling residential development~~
- ~~2. Nonresidential development~~
- ~~3. Mobile home parks~~

- ~~4. Recreational vehicle (RV) mobile home parks~~
- ~~5. Amendments to the North Liberty Subdivision Ordinance~~
- ~~6. Amendments to the North Liberty Zoning Ordinance~~
- ~~7. Amendments to the North Liberty Comprehensive Plan~~
- ~~8. Subdivision applications and final plats~~
- ~~9. Voluntary annexation and zoning of land to the City~~
- ~~10. Zoning or rezoning of land subject to involuntary annexation proceedings~~
- ~~11. Planned area development plans~~
- ~~1. Variances, modifications, or waivers of the general requirements of the design standards for subdivisions~~
- ~~2. Site Plans,~~
- ~~3. Subdivision Plats,~~
- ~~4. Land Use Plan and other parts of the Comprehensive Plan,~~
- ~~12. 5. Amendments to the Zoning Ordinance, Subdivision Ordinance, and Comprehensive Plan.~~

Section 3. It shall be the duty of the Commission to study, review, hold hearings-meetings on, and make recommendations to the Board of Adjustment on applications and plans for conditional uses and variances.

## ARTICLE VII. CONDUCT OF COMMISSION BUSINESS

Section 1. The City Planner shall prepare a tentative agenda for all Commission meetings. Commission members may provide input for any meeting agenda through the Chairperson or directly to the City Planner. Agendas are to be posted at least 24 hours before the meeting and shall be sent to Commission members prior to regular formal meetings. Copies will be available to the public at the meeting.

Section 2. Minutes of all regular formal meetings are to be prepared by the City staff and distributed to Commission and City Council members.

Section 3. The Commission shall review all policies and programs of the City relating to the Commission's duties as stated herein, and make such recommendations to the City Council as are deemed appropriate.

Section 4. From time to time letters, requests for information, requests for recommendation, and other matters are referred to the Commission by the City Council. The Commission will initiate consideration of each item at the next regular Commission meeting and shall notify Council of its disposition.

~~Section 5. The Planning Commission Liaison to the City Council will attend each regular formal meeting of the City Council to represent the Commission's business to the City Council members. In the event that the Planning Liaison to the City Council is unable to attend a City Council meeting, it is the responsibility of the Chairperson to ensure the Council is provided with the information it~~

~~requires in order to consider business brought before it. The Chairperson may attend the Council meeting to fill in, may designate an alternate, may determine that representation is not required for that meeting, or may use other means of ensuring Commission representation before the City Council.~~

~~Section 6. It is the responsibility of the City staff to review the meeting minutes with the Liaison to the City Council or designated alternate prior to adding them to the City Council agenda and to forward the Commission minutes to the City staff member(s) responsible for posting the meeting minutes on the City's web site.~~

~~Section 7.~~Section 5. After the Planning meeting agenda is published, the agenda belongs to the Commission. Additions and corrections may be made to fix omissions or clerical errors up to 24 hours prior to the Commission meeting. An applicant may request to remove an agenda item without prejudicing future consideration of the item by the Commission. Authority to remove or modify any item on the agenda is solely that of the Commission. Modifications to the agenda will be by ~~rol~~el-call vote.

~~Section 8.~~Section 6. Any correspondence received by four or more Commission members regarding Planning Commission business shall be distributed in the Commission packet for the next regularly scheduled meeting of the Commission. Any other correspondence received by Commission members may be included for distribution in the Commission packet, at the discretion of any individual member.

~~Section 9.~~Section 7. Members should report and make a record of any communications with applicants, City officials, and other interested persons that have a significant impact on the decision-making process for any individual member or the Commission as a whole.

~~Section 10.~~Section 8. It is the intent of the provisions set forth in Sections 8 and 9 of this Article that the meeting record, decisions and recommendations of the Commission be public and consistent with the intent and spirit of Chapter 21, Code of Iowa.

## ARTICLE VII. SUBCOMMITTEES

The Chairperson shall designate the composition, duties, and terms of subcommittees of the Commission.

## ARTICLE VIII. AMENDMENTS

These ~~by-laws~~Rules may be altered, amended, or repealed, and new ~~by-laws~~Rules adopted by an affirmative vote of not less than four members of the Commission at any regular meeting, provided that written notice of all amendments shall have been given to



| all members of the Commission prior to the meeting at which any amendment is discussed and approved.



## **NORTH LIBERTY PLANNING COMMISSION**

### **Minutes**

September 4, 2018

North Liberty City Council Chambers, 1 Quail Creek Circle

#### **Roll Call**

At 6:34 p.m., Chair Ronda Detlefsen called the September 4, 2018 Planning Commission meeting to order. Commissioners present: Jennifer Bleil, Ronda Detlefsen, Adam Gebhart, Jason Heisler, Becky Keogh and Kylie Pentecost. Absent: Pat Staber.

Others present: Dean Wheatley.

#### **Agenda Approval**

Gebhart moved, Heisler seconded to approve the agenda. The vote was all ayes. Agenda approved.

#### **El Cactus Conditional Use**

##### *Staff Presentation*

Wheatley presented the request of El Cactus restaurant to approve a conditional use for outside eating at the northwest corner of Ashley Court and Jordan Street. Staff recommends approval with standard outside eating conditions.

##### *Applicants Presentation*

No one was present to represent the applicant.

##### *Public Comments*

No comments from the public were offered.

##### *Questions and Comments*

The Commission discussed the application and noted that this is the fourth such request from different restaurants for this location in a relatively short period of time.

##### *Recommendation to the City Council*

Pentecost moved, Heisler seconded to recommend approval of the El Cactus conditional use permit application to the Board of Adjustment with standard conditions cited in the staff report. The vote was: ayes – Heisler, Bleil, Detlefsen, Gebhart, Keogh; nays – none. Staber absent. Motion carried.

#### **STREET VACATION**

##### *Staff Presentation*

Wheatley presented the request from the City of North Liberty to vacate a portion of North Liberty Road, related to the reconstruction and realignment of that road.

Gebhart asked several questions related to annexation in the area, and how the final alignment and right-of-way fit together. Wheatley replied that it was quite complicated and would follow up with him after the meeting to discuss the details.

*Recommendation to the City Council*

Bleil moved, Heisler seconded to recommend approval of the North Liberty Road right-of-way vacation as presented to the City Council. The vote was: ayes – Heisler, Bleil, Detlefsen, Gebhart, Keogh; nays – none. Staber absent. Motion carried.

**Approval of Previous Minutes**

Gebhart moved, Bleil seconded to approve the minutes from the August 7, 2018 meeting. The vote was all ayes. Minutes approved.

**Old Business**

No old business was presented.

**New Business**

Wheatley mentioned that two new site plans were submitted for consideration at the October meeting.

**Adjournment**

Keogh moved, Heisler seconded to adjourn the meeting at 6:50 p.m. The vote was all ayes. Meeting adjourned.