

# North Liberty Planning Commission

**Meeting Information** 

Tuesday, August 6, 2019 6:30 PM City Council Chambers

If you would like additional information, larger-scale maps, or other information before the meeting, please contact Dean Wheatley at 626-5747 or at <a href="mailto:dwheatley@northlibertyiowa.org">dwheatley@northlibertyiowa.org</a>

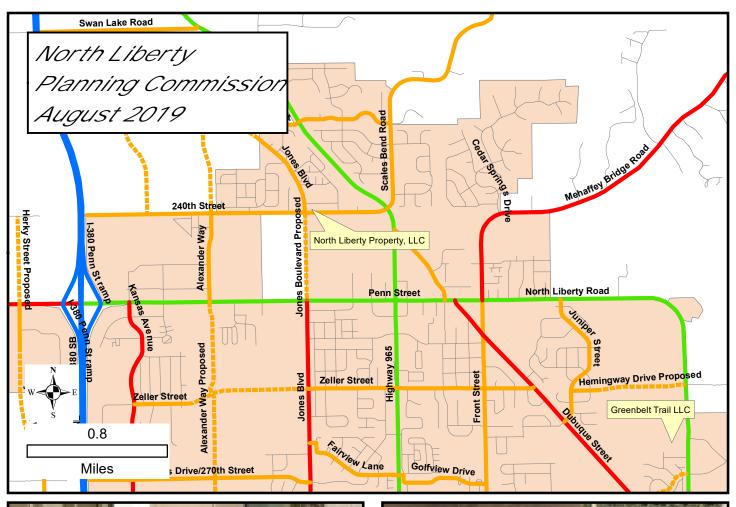


# NORTH LIBERTY PLANNING COMMISSION MEETING NOTICE AND AGENDA

#### Tuesday, August 6, 2019, 6:30 PM North Liberty City Council Chambers, 1 Quail Creek Circle

- 1. ROLL CALL
- 2. AGENDA APPROVAL
- 3. PRELIMINARY PLAT: Request of Greenbelt Trail, LLC to approve a subdivision plat creating 48 single-family lots on 20.28 acres, located adjacent to North Liberty Road immediately north of the Dahnovan Estates subdivision.
  - a. Staff Presentation
  - b. Applicants Presentation
  - c. Public Comments
  - d. Questions and Comments
  - e. Recommendation to the City Council
- **4. SITE PLAN:** Request of North Liberty Property, LLC to approve a Revised Site Plan at Greg's Lawn Service, 995 238<sup>th</sup> Street, located between 238<sup>th</sup> and 240<sup>th</sup> Streets and adjacent to Jones Boulevard.
  - a. Staff Presentation
  - b. Applicants Presentation
  - c. Public Comments
  - d. Questions and Comments
  - e. Recommendation to the City Council
- **5. URBAN RENEWAL AMENDMENT:** Request of the City of North Liberty to approve an urban renewal area amendment adding Kansas Avenue from St. Andrews Drive to W Forevergreen Road so that improvement costs can be paid.
  - a. Staff Presentation
  - b. Public Comments
  - c. Questions and Comments
  - d. Recommendation to the City Council
- 6. APPROVAL OF PREVIOUS MINUTES
- 7. OLD BUSINESS
- 8. NEW BUSINESS
- 9. ADJOURNMENT

Agenda version: 7/19/2019







August 1, 2019

#### Memo

To: North Liberty Planning Commission From: Dean Wheatley, Planning Director

Subject: Request of Greenbelt Trail, LLC to approve a subdivision plat creating 48 single-family lots on 20.28 acres, located adjacent to North Liberty Road immediately north of the Dahnovan Estates subdivision.

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator Tracey Mulcahey, Assistant City Administrator Tom Palmer, City Building Official Grant Lientz, City Attorney Kevin Trom, City Engineer Dean Wheatley, Planning Director

This request is to subdivide an existing 20.28 acre parcel into 48 single-family lots sized to meet requirements of the current zoning of RS-6, as well as three common ownership outlots. Outlot A is open space and storm water management areas, outlot B is a stormwater overflow area to accommodate overflow from the Dahnovan Estates pond immediately south of this subdivision, and outlot C contains a sidewalk connection between the Ogden Court cul-de-sac and North Liberty Road. RS-6 lot requirements are:

Width (measured at the setback line): 70 feet

Area: 7,000 square feet

Front Yard Setback: 25 feet (both frontages for corner lots)

Rear Yard Setback: 30 feet Side Yard Setbacks: 8 feet

A Good Neighbor meeting was held to allow any interested party an opportunity to comment on this plat and associated rezoning prior to submission, and 5 persons signed in. Almost all of the comments were based on concerns by neighbors to the immediate south who had been told by a different builder's representative that this property would not be developed for around 10 years. While not pleased to learn that they were misled, most were positive about the proposal for single-family lots and the accommodations for storm water management. Two objector emails were received, also voicing disappointment that their builder had indicated that development to the north was years away.

This property drops substantially in elevation from south to north, and the proposed grading plan shows accommodations for this elevation change in south-facing lots with walk-out configurations and most north-facing lots with substantial hills in their rear yards.

This plat provides a street connection (with sidewalks) for development of the property to the west, under different ownership. At the eastern end, there is an intersection at Salm Drive, and an additional pedestrian connection at the east end of the proposed cul-de-sac. A connection to Dahnovan Estates is also provided via extension of Anne Boulevard from the south. A substantial drainageway effectively prevents connections to the north.

A large storm water management area is established along the north boundary of the plat, with dry basins at the northeast and northwest corners of the outlot. In addition to accommodating runoff from this development, the subdivision also provides an emergency overland flow route between lots at the southwest corner of the plat from the existing detention pond in Dahnovan Estates.

Buffer landscape easements with planting requirements are identified for lots adjacent to North Liberty Road.

This plat includes a cul-de-sac street. The Subdivision Ordinance addresses cul-de-sacs this way:

Use of cul-de-sacs and other roadways with a single point of access should be avoided.

Cul-de-sacs will be considered where it can be clearly demonstrated that
environmental constraints, existing development, access limitations along arterial
streets, or other unusual features prevent the extension of the street to the property
line or to interconnect with other streets within or abutting the subdivision.

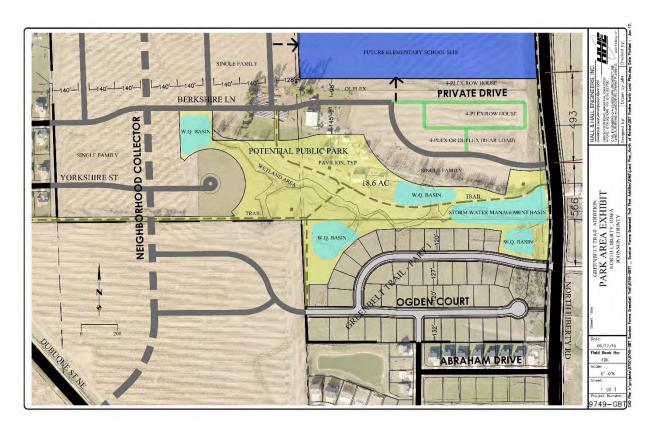
The applicant has submitted the following reasons for retaining the cul-de-sac design:

- Interconnecting Ogden Court and Salm Drive is a challenge due to the amount of vertical grade. The existing grade along the south parcel boundary is roughly elevation 765 768 at the rear of Lot 27 (see grading plan). The elevation where Ogden would connect to Salm is roughly 741+/-. This equates to roughly 25' of drop over a span of 428 LF. To make the link, there would be a 16' cut bank along the south side of the subdivision (rear of lots 22 28). This deep of a cut would make the lots that back up to Dahnovan Estates non buildable due to the back 64' of the lot consisting of a steep embankment.
- An alternative that was explored included connecting Ogden to North Liberty Road and looping Salm Drive up to Ogden, however there was a City requirement to have Greenbelt Trail access at North Liberty Road align with Salm on the east side.
- To alleviate connectivity issues, we propose that a sidewalk connection be made from NLR to the cul-de-sac head. In addition, we recommend the water main would connect to NLR to avoid a dead end.

Staff feels that the applicant has adequately demonstrated that the City's access limitation along North Liberty Road (new street must align with existing Salm Drive), and the impacts of that restriction on the number and configuration of lots, justifies use of the cul-de-sac in this situation.

The owner of this property as well as lands to the north and northwest is working well with City staff to identify potential property north of this subdivision for establishing a neighborhood park. These discussions have evolved over time as we strive to find a solution that is beneficial for both the developer and for the City. Some of the considerations include a size of 5-10 acres, usable even ground, good pedestrian access, easy maintenance, aesthetic and sales benefits for future residents

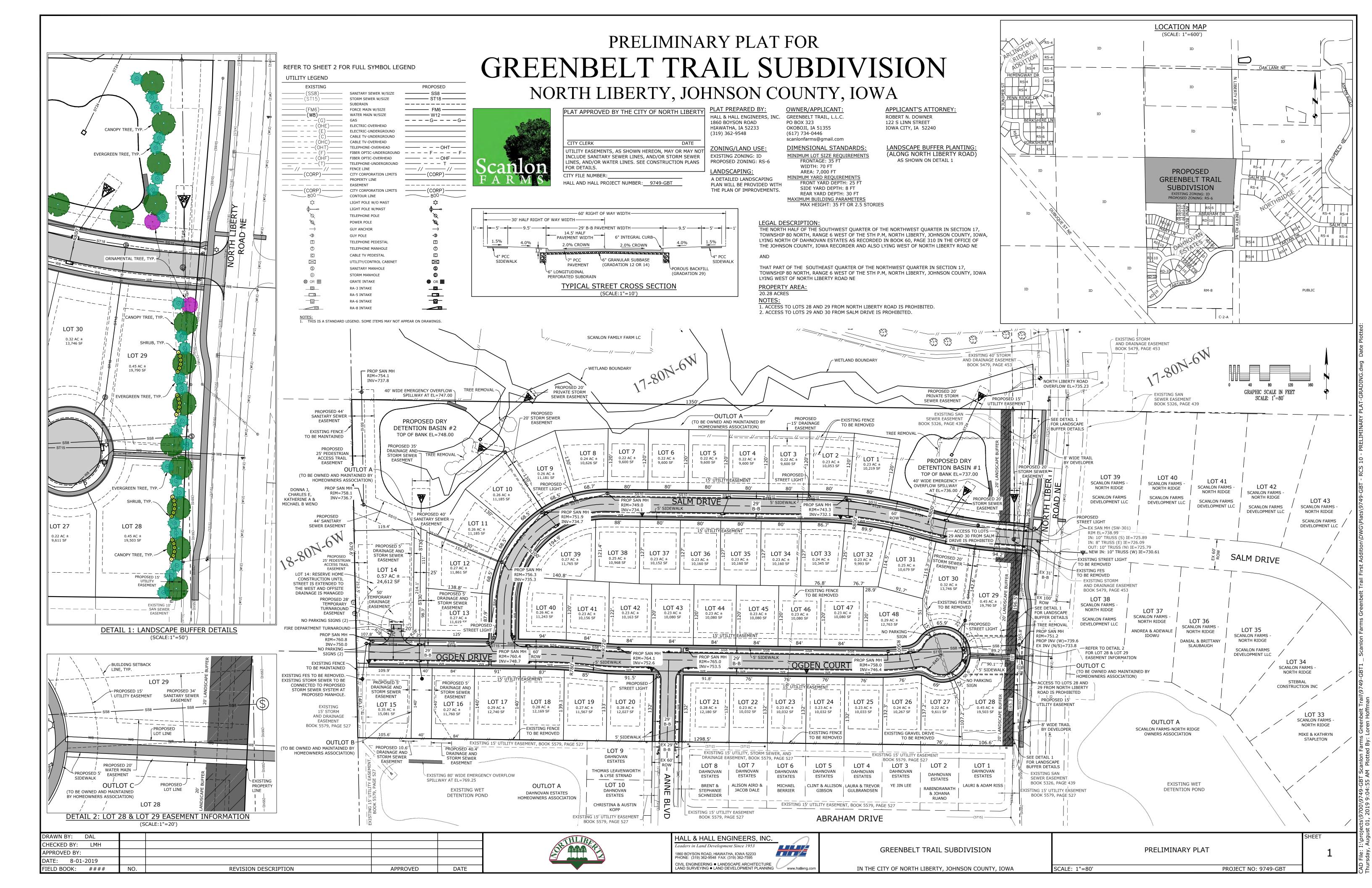
and the developer, centralized location, dedication and/or purchase, and others. A very preliminary concept plan for the much larger area extending to the west of this plat has been developed by the applicant, showing in general the extension of streets in the Major Street network and how internal neighborhood streets might all connect in the future, and that concept plan will continue to be the subject of parkland negotiations.

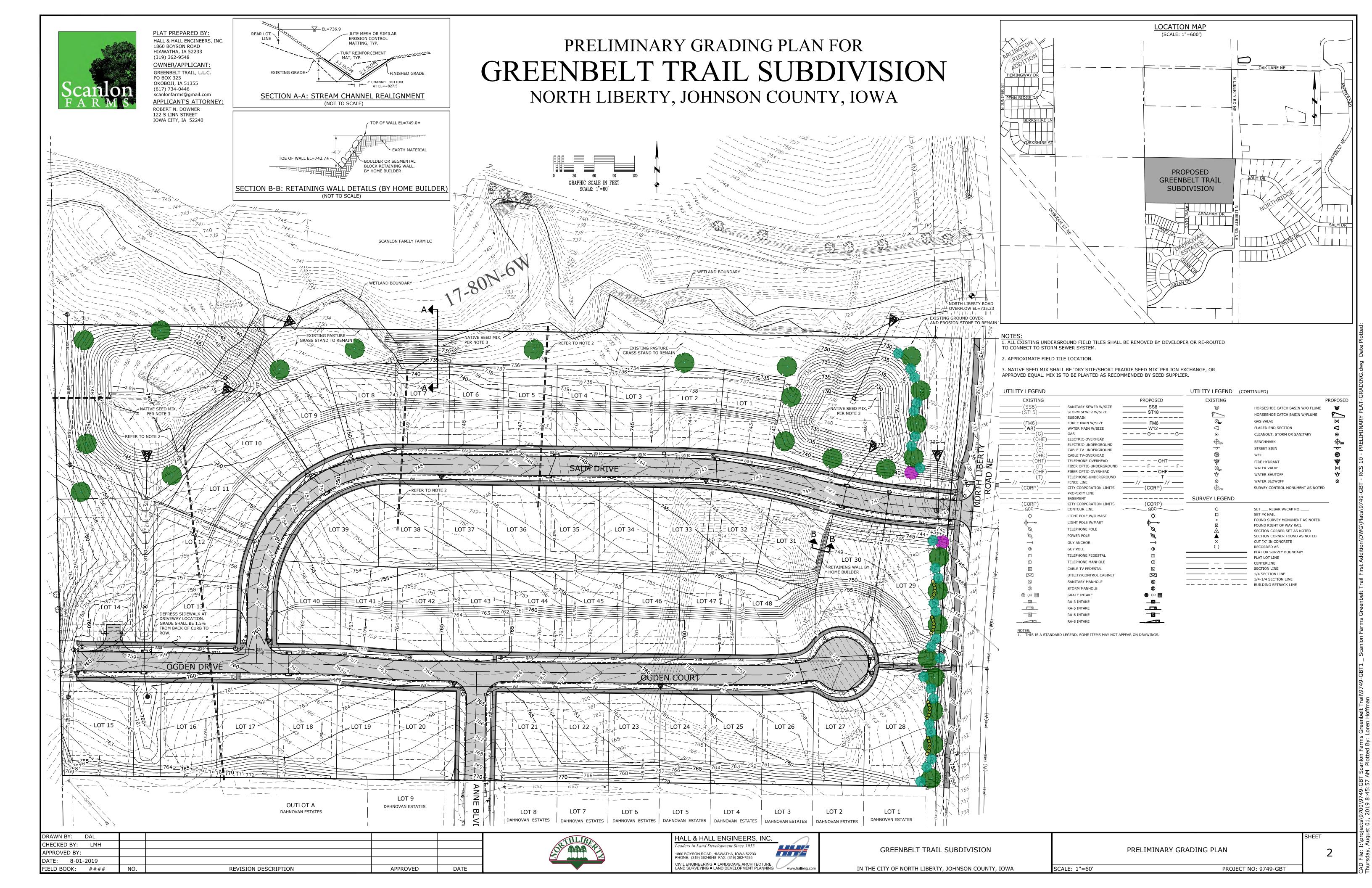


There has been a very good working relationship between the City staff and this developer in finding solutions to access, storm water management, and other issues for development. Staff recommends approval of the plat subject to the following:

#### Notes:

- A Developer's Agreement is required, to include at least the following provisions:
  - o Payment of the 40% local match for the North Liberty Road trail adjacent to the site.
  - Arrangements for creation of an HOA to manage the outlots, and providing for City staff review of the HOA documents prior to recording.
  - Payment to the City of the cost for extension of Ogden Drive and adjacent sidewalks to the west property boundary.
  - o Payment of sanitary sewer hookup fees, water hookup fees, and North Liberty Road improvement fees.
- On-street parking will be allowed on only one side of the streets, and "No Parking" signs are required on opposite side of street.
- "No Parking" signs shall be installed in the cul-de-sac.
- Any new agricultural fence erected needs to meet City code and requires a fence permit.







August 1, 2019

#### Memo

To: North Liberty Planning Commission From: Dean Wheatley, Planning Director

Subject: Request of North Liberty Property, LLC to approve a Revised Site Plan at Greg's Lawn Service, 995 238<sup>th</sup> Street, located between 238<sup>th</sup> and 240<sup>th</sup> Streets and adjacent to Jones Boulevard.

(Legal: Lot 18 Deerfield Fourth Addition)

Dean Wheatley, Planning Director

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:
Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Tom Palmer, City Building Official
Grant Lientz, City Attorney
Kevin Trom, City Engineer

This is a request to add a new salt storage building to the existing site, zoned industrial and located at the northeast corner of 240<sup>th</sup> Street and Jones Boulevard.

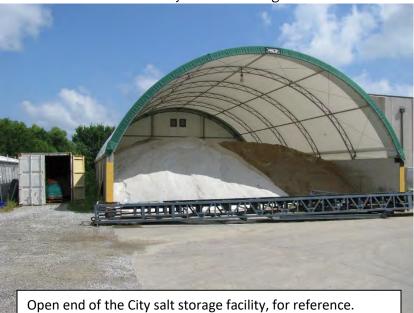
The original site plan for this location was approved and constructed in 2006 and has since changed ownership several times. Conditional uses were approved in 2011 and 2012 for outside storage. In 2012 the conditional use approved a 21'x31' salt bunker for use by the current owner, and this application is to replace that crude structure with a new much larger commercial hoop structure on a concrete base.

The new proposed salt storage bunker is very large, at about 50'x80' and 25' tall. The City's salt bunker, very similar in construction, is used to store salt for the entire city street network for an average winter and is about 50'x70'. The City Streets Superintendent has noted for reference that salt storage is difficult to manage because of the corrosive effects salt dust and the product itself has on metal.

This proposal represents a substantial change from typical building design, because its appearance is different and because the roof membrane itself has a limited life. Staff is recommending approval of this revised site plan based on the following considerations:

- 1. The property is zoned for industrial uses. We would not recommend a hoop structure in any other district.
- 2. The applicant has made several upgrades to the original submission to address staff concerns, including

- a. Adding masonry to three sides of the exposed concrete foundation (masonry is required, but the applicant is proposed more than required);
- b. Softening the scale of the wall somewhat by proposing a 2' berm against the exposed sides of the structure; and
- c. Proposing landscaping around the exposed sides of the structure, again to soften the size impact.
- 3. Alternatives to the hoop building would likely be no more aesthetically agreeable and would likely be less functional, leading to maintenance problems and possibly run-down appearance over time because of corrosion.
- 4. The proposed structure is commercial grade in construction. It is not similar to hoop-style structures commonly available at big-box home stores.



This applicant, along with the applicant's engineering firm, have worked well with staff in making numerous improvements to the original submission that will lead to the best possible solution for this industrial site addition.

Note: DNR approval will be required for salt storage at this location prior to issuance of building permit.



# AMENDED SITE PLAN GREG'S LAWN CARE & LANDSCAPING

NORTH LIBERTY, IOWA

PREPARED BY:
MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

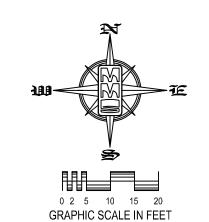
NORTH LIBERTY PROPERTY LLC MARK PARMENTER 1200 CONTINENTAL PLACE NE LEDERERWESTONCRAIG.PLC CEDAR RAPIDS, IA 52402

118 THIRD AVENUE SE, SUITE 700 CEDAR RAPIDS, IA 52401

LANDSCAPE LEGEND:

MULCH

NO PORTION OF THIS SITE RESIDES WITHIN THE FEMA 100-YR FLOOD BOUNDARY THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.



SHEET INDEX 1 OVERALL SITE LAYOUT PLAN 2 SITE PLAN, GRADING & EROSION CONTROL PLAN AND SWPPP 3 DEMOLITION PLAN 4 LANDSCAPE PLAN

1"=20'

STANDARD LEGEND AND NOTES - PROPERTY &/or BOUNDARY LINES ——— — — — — CONGRESSIONAL SECTION LINES - --- - EXISTING RIGHT-OF-WAY LINES - CENTER LINES - EXISTING CENTER LINES LOT LINES, INTERNAL - LOT LINES, PLATTED OR BY DEED - PROPOSED EASEMENT LINES ----- EXISTING EASEMENT LINES BENCHMARK - RECORDED DIMENSIONS - CURVE SEGMENT NUMBER -EXIST-- POWER POLE W/DROP - POWER POLE W/TRANS - POWER POLE W/LIGHT GUY POLE - LIGHT POLE - SANITARY MANHOLE - FIRE HYDRANT WATER VALVE - DRAINAGE MANHOLE - CURB INLET - FENCE LINE - EXISTING SANITARY SEWER PROPOSED SANITARY SEWER - EXISTING STORM SEWER - PROPOSED STORM SEWER - WATER LINES ELECTRICAL LINES TELEPHONE LINES GAS LINES --- CONTOUR LINES (1' INTERVAL) - PROPOSED GROUND - EXISTING TREE LINE - EXISTING DECIDUOUS TREE & SHRUB - EXISTING EVERGREEN TREES & SHRUBS THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE

APPROVAL OF THIS DOCUMENT.

CIVIL ENGINEERS

LAND PLANNERS LAND SURVEYORS LANDSCAPE ARCHITECTS **ENVIRONMENTAL SPECIALISTS** 1917 S. GILBERT ST. IOWA CITY, IOWA 52240 (319) 351-8282

www.mmsconsultants.net

Date Revision

LANDSCAPE **PLAN** 

GREG'S LAWN CARE & LANDSCAPING

NORTH LIBERTY JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

07-01-2019

2. PLANT QUANTITIES ARE FOR INFORMATION ONLY; DRAWING SHALL PREVAIL IF CONFLICT OCCURS. 3. KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR

1. THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES ON SITE

4. LAYOUT OF PLANT MATERIAL AT SITE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

5. ALL PLANTING BED AREAS SHALL HAVE QUALITY TOPSOIL ADDED (IF NEEDED) BY LANDSCAPE CONTRACTOR TO BRING BED GRADES 3" - 4" BELOW EXISTING CONCRETE AREAS AND TOP OF DECORATIVE WALLS. (PRIOR TO BIDDING, CONTRACTOR IS RECOMMENDED TO VISIT SITE)

6. FINISH GRADING OF PLANT BED AND SOD AREAS SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.

NURSERY STOCK, ANSI Z60 - 1990, OR MOST RECENT ADDITION.

7. ALL SHRUB AND PERENNIAL PLANTING AREAS SHALL HAVE A MINIMUM 3 INCH DEEP BED OF DOUBLE SHREDDED HARDWOOD BARK MULCH AND AN APPLICATION OF A PRE-EMERGENT ("PREEN" OR APPROVED EQUAL) FOR WEED CONTROL.

8. LANDSCAPE EDGING BETWEEN BARK MULCH AND LAWN AREAS SHALL BE A SPADE CUT EDGE. EDGE SHALL BE INSTALLED VERTICAL AND ACCORDING TO DETAILS

9. STAKING SHALL BE REQUIRED ON ALL TREES (EXCEPT MULTI-STEM VARIETIES) STAKE USING (2) OR (3) 6' STEEL "T" POST PLACED OUTSIDE OF ROOT-BALL AND ADHERED TO TRUNK OF TREE WITH 16 GAUGE CABLE AND WOVEN NYLON TREE STRAPS.

10. ALL TREES FREE-STANDING IN LAWN AREAS AND IN PLANTING BEDS SHALL BE WRAPPED WITH A STANDARD MANUFACTURED TREE WRAP AND FASTENED WITH TWINE OR APPROVED METHOD.

11. ALL TREES FREE-STANDING WITHIN LAWN AREAS SHALL HAVE A MINIMUM 4 FT. DIA. RING OF DOUBLE SHREDDED HARDWOOD BARK MULCH AT A 3 INCH DEPTH.

12. ALL LANDSCAPE PLANTINGS AND SOD AREAS SHALL BE THOROUGHLY WATERED UPON INSTALLATION AND A TOTAL OF (3) WATERINGS BEFORE INITIAL ACCEPTANCE. AFTER ACCEPTANCE, SOD SHALL BE MAINTAINED FOR (30) DAYS OR UNTIL ROOTED IN.

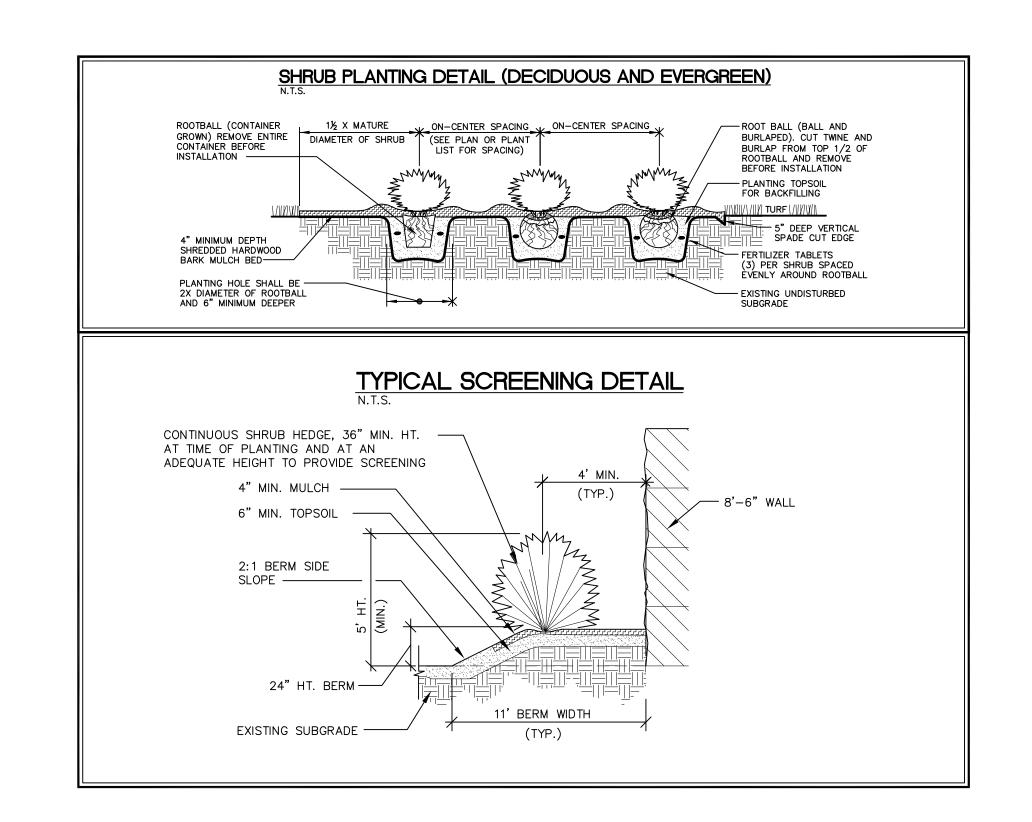
13. LANDSCAPE CONTRACTOR MUST FOLLOW ALL DETAILS PROVIDED ON SHEETS DESCRIBING LANDSCAPE CONSTRUCTION TECHNIQUES.

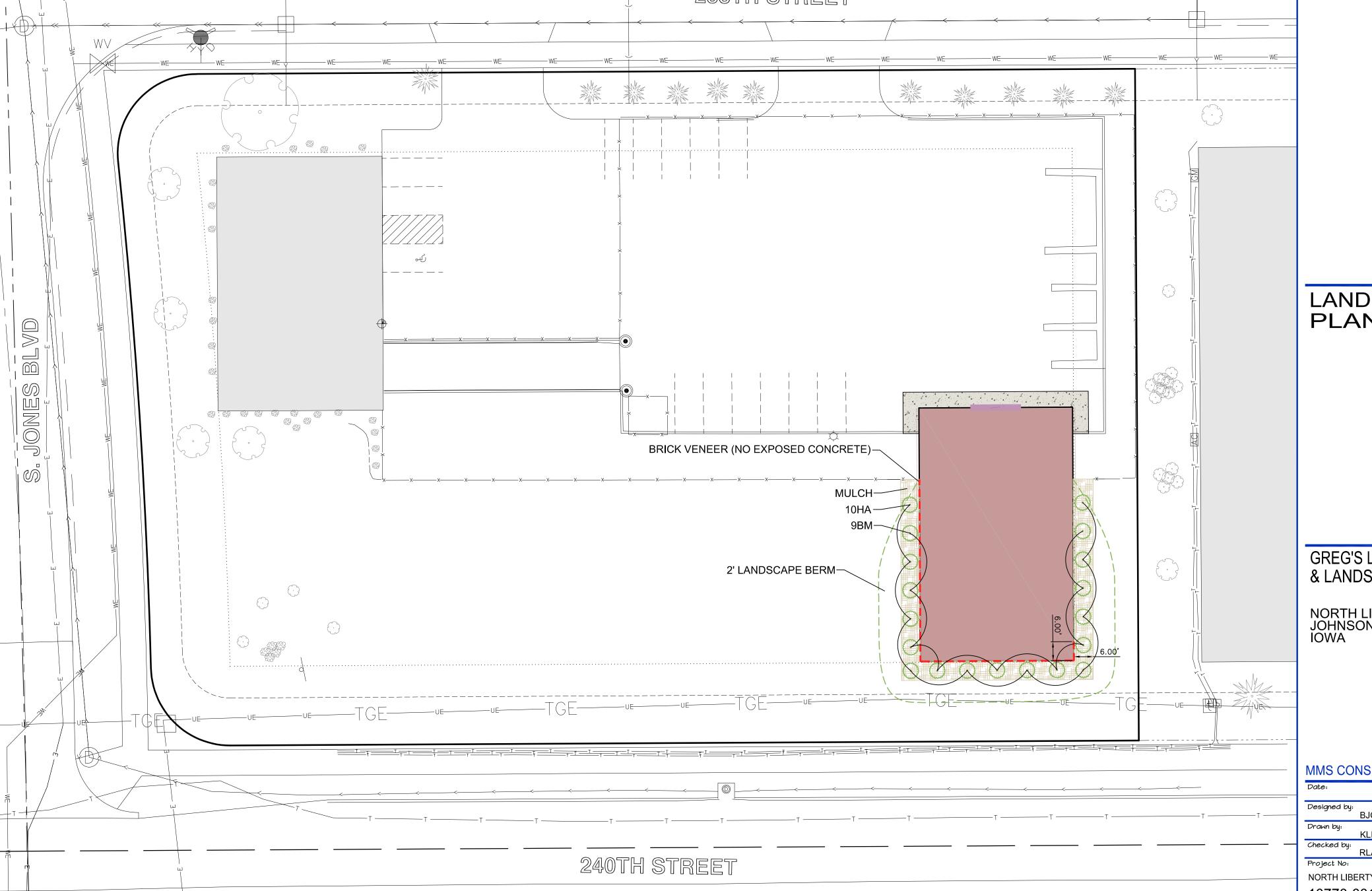
14. ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.

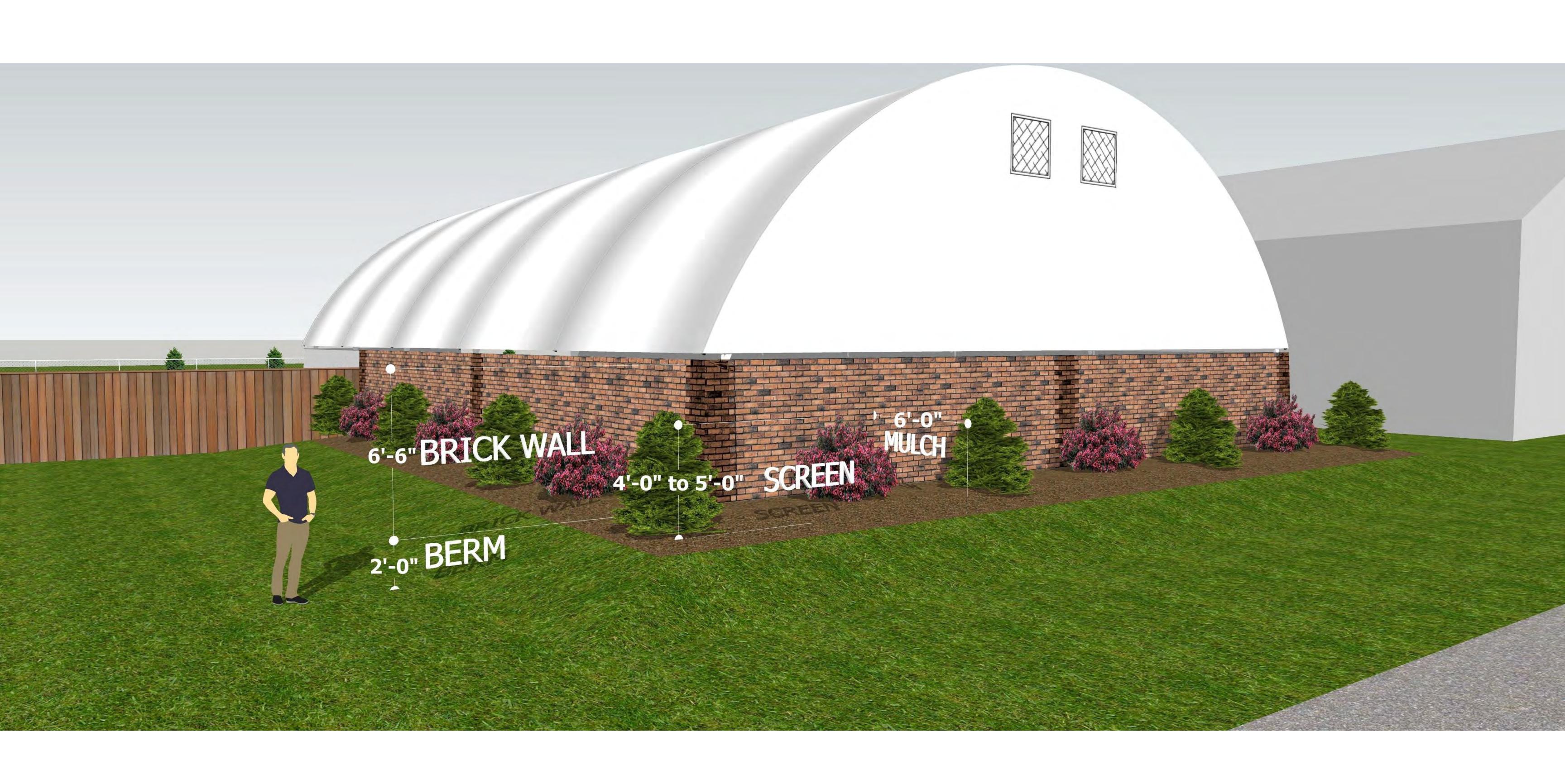
15. SEED ALL REMAINING AREAS WITH IDOT URBAN MIX.

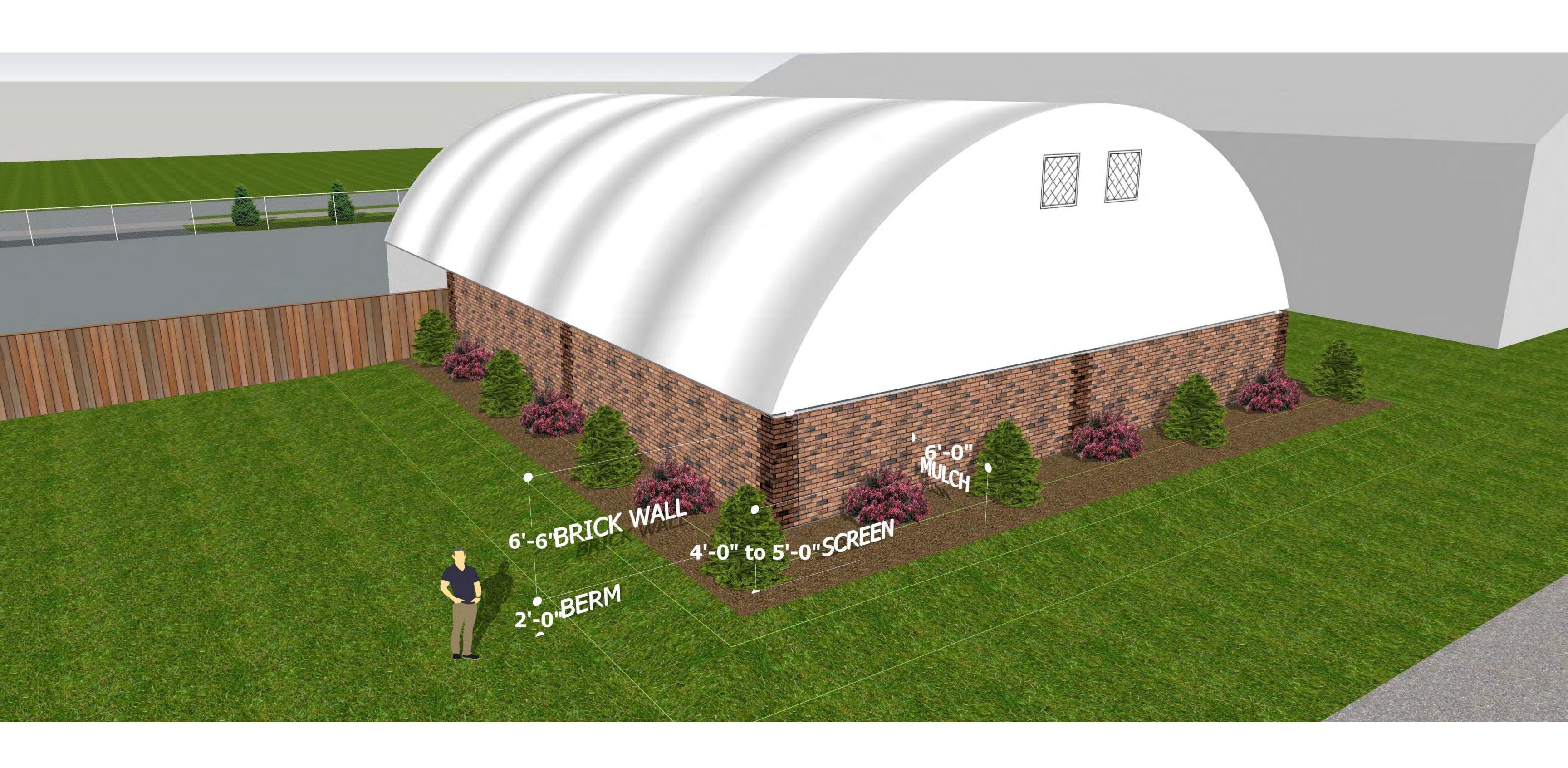
PRIOR TO LANDSCAPE INSTALLATION.

	PLANT LIST - SHRUBS, PERENNIALS, ORNAMENTAL GRASSES & GROUNDCOVER								
	QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	<i>CO</i> MMENT	MATURE SIZE		
ſ	9	₿M	BERBERIS THUNBERGI RUBY CAROUSEL'	RUBY CAROUSEL BERBERRY	5" HT.	CONT.	4' X 5'		
ĺ	10	HA	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	5" HT.	CONT.	6 X 5		

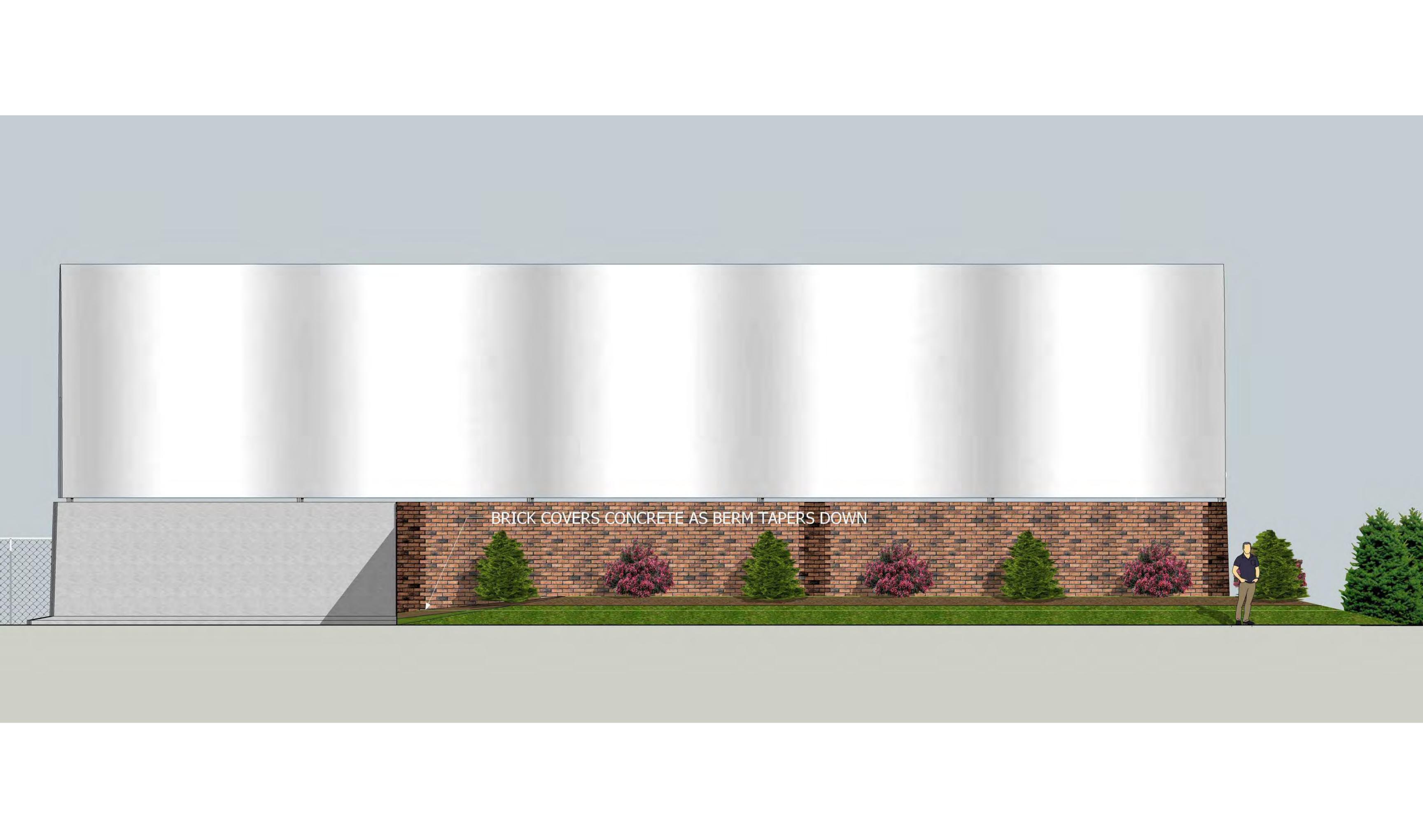




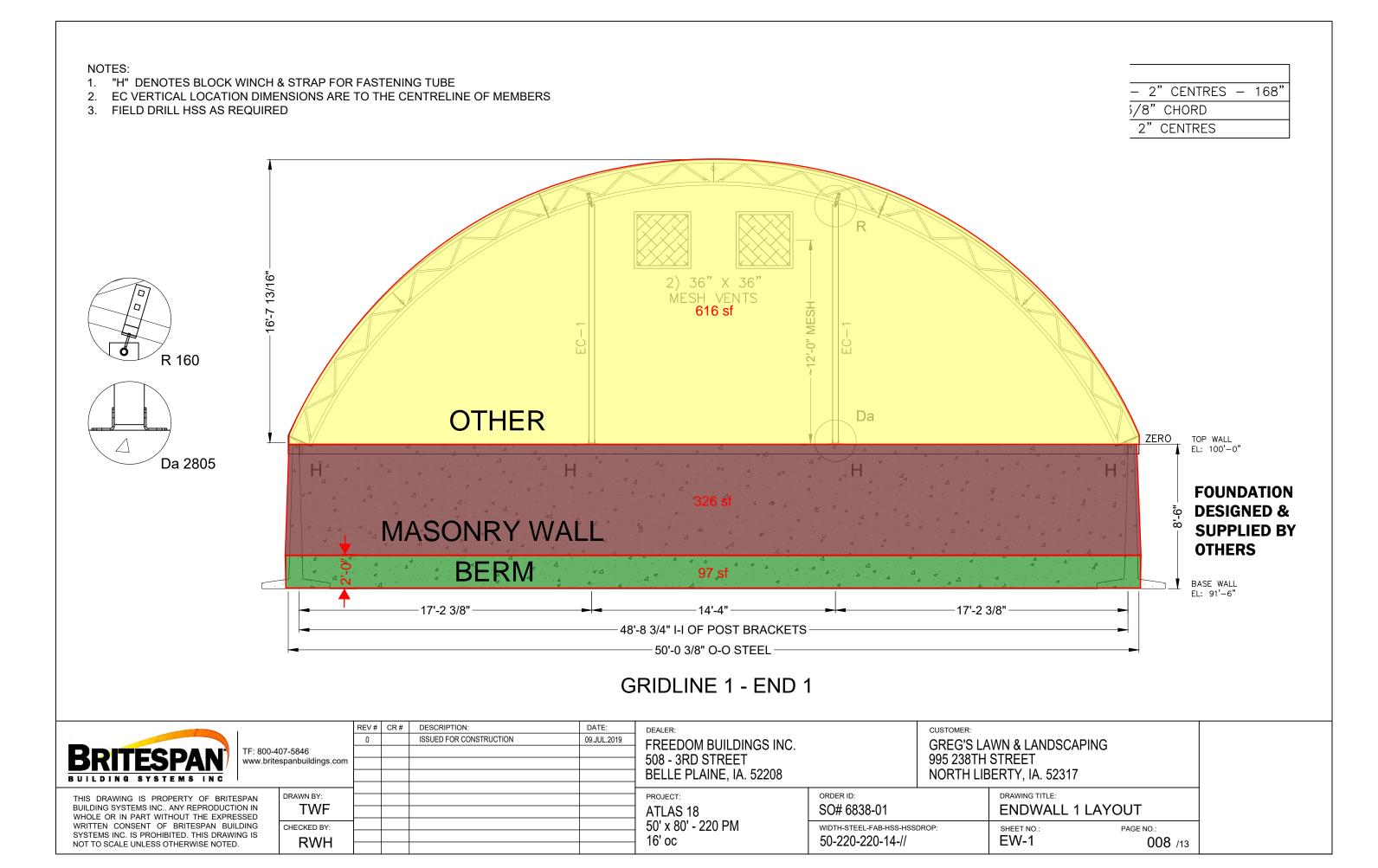


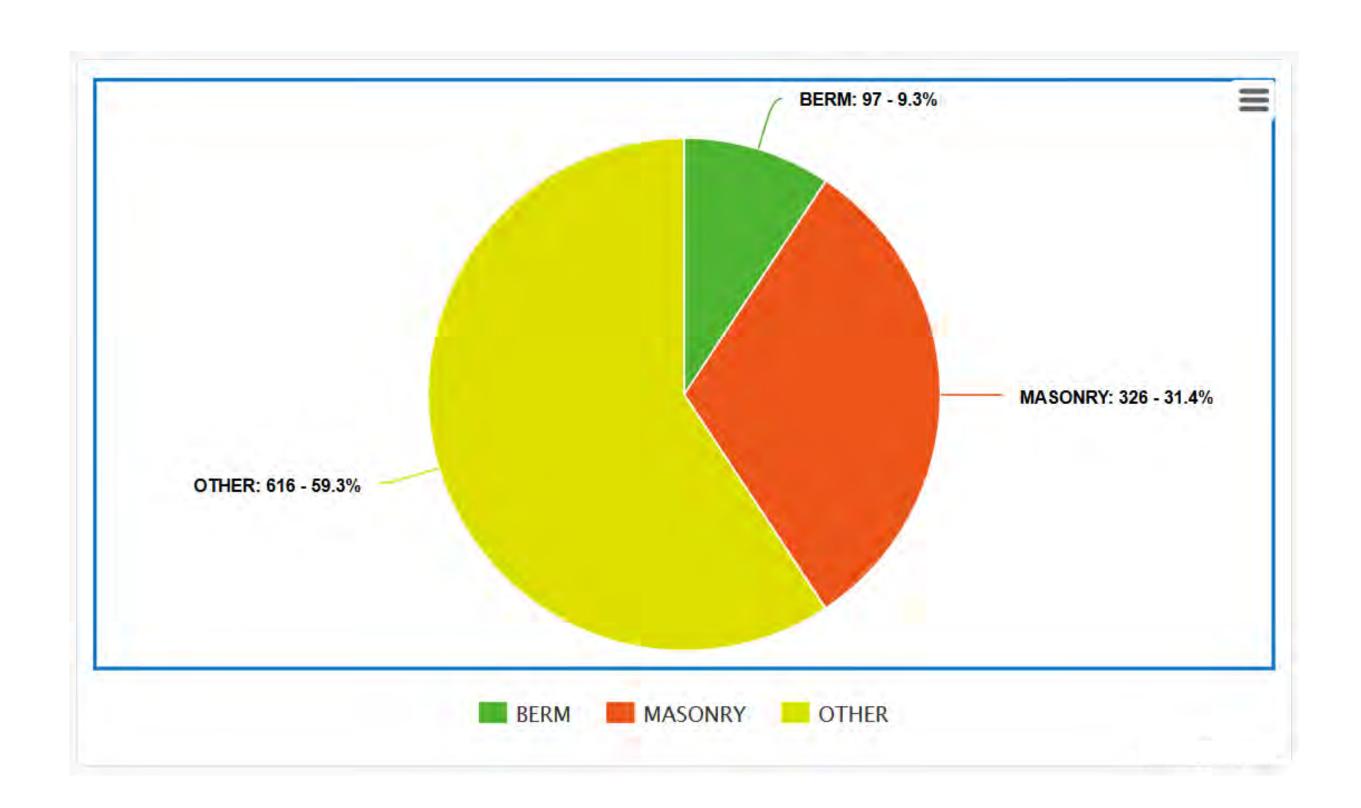


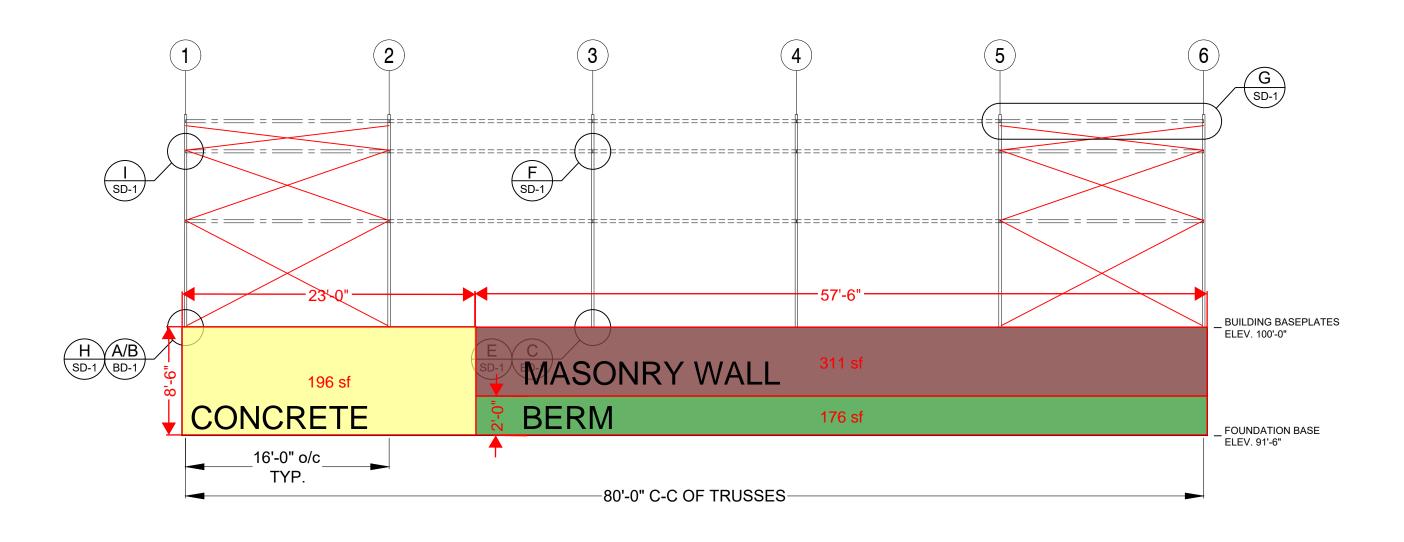










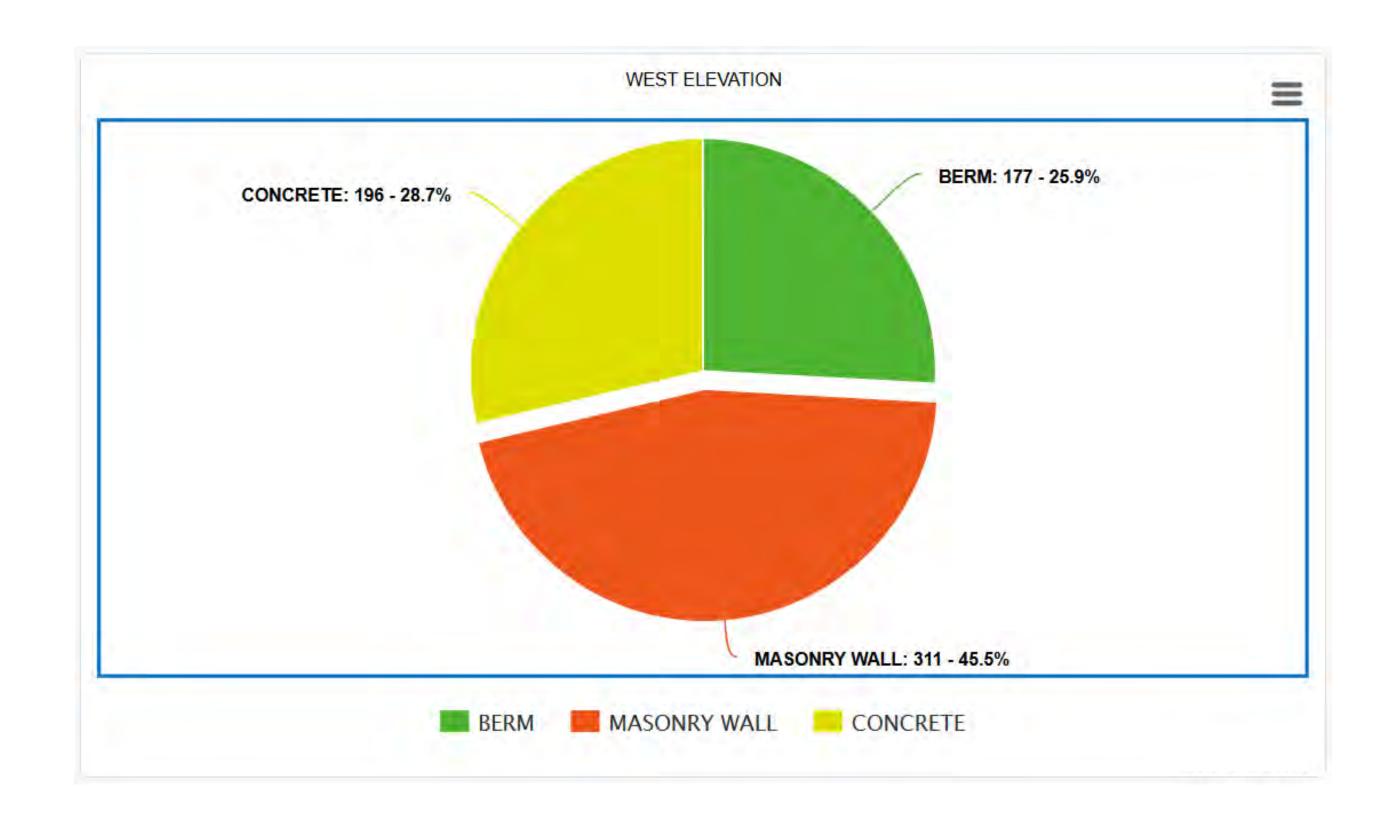


### **ELEVATION**

FOR PURLIN DETAILS SEE: SD-1
FOR CABLE DETAILS SEE: SD-2

PURLIN LEGEND						
ITEM	DESCRIPTION					
	BRACED BAY PURLIN 3 1/2" DIA. X 14 GA.					
	UNBRACED BAY PURLIN 2-7/8" DIA. X 14 GA.					
	CABLE LEGEND					
ITEM	DESCRIPTION					
	CROSS CABLE 5/16"					

	REV#	CR#	DESCRIPTION:	DATE:	DEALER:		CUSTOMER:		
	0		ISSUED FOR CONSTRUCTION	09.JUL.2019	FREEDOM BUILDINGS INC.			WN & LANDSCAPI	NG
BRITESPAN BUILDING SYSTEMS INC  TF: 800-407-5846 www.britespanbuildings.com					508 - 3RD STREET 995 2		995 238TH STREET		
							NORTH LIBERTY, IA. 52317		
THIS DRAWING IS PROPERTY OF BRITESPAN DRAWN BY:		-			PROJECT:	ORDER ID:		DRAWING TITLE:	
BUILDING SYSTEMS INC ANY REPRODUCTION IN TWF						SO# 6838-01		BRACING LAYOUT - ELEVATION	
WHOLE OR IN PART WITHOUT THE EXPRESSED					ATLAS 18	30# 0030-01		DIVIONA DIVIO	51 - EEE V/(1161 <b>1</b>
WRITTEN CONSENT OF BRITESPAN BUILDING CHECKED BY: SYSTEMS INC. IS PROHIBITED. THIS DRAWING IS					50' x 80' - 220 PM	WIDTH-STEEL-FAB-HSS-HSSD	ROP:	SHEET NO.:	PAGE NO.:
NOT TO SCALE UNLESS OTHERWISE NOTED. RWH		-			16' oc	50-220-220-14-//		FB-6	007 /13



This project has been designed and fabricated in accordance with the following: 1. DESCRIPTION

Owner's Name and Address GREG'S LAWN & LANDSCAPING - GREG SCHARE 995 238TH STREET, NORTH LIBERTY, IA, 52317

Building Supplier's Name and Address

FREEDOM BUILDINGS INC 508 - 3RD STREET, BELLE PLAINE, IA. 52208

Manufacturer's Name and Address BRITESPAN BUILDING SYSTEMS INC. 688 JOSEPHINE ST. N. R.R.#1, WINGHAM, ON, NOG 2W0

995 238TH STREET, NORTH LIBERTY, IA, 52317

Site Location 995 238TH STREET, NORTH LIBERTY, IA. 52317

Building Type ΔΤΙ ΔS 18

50' x 80' @ 16' o.c. (4000sq. ft.) Building Size: Applicable Building Code ASCE 7-10 / IBC 2015 Intended Use and Occupancy:

S-2 LOW HAZARD

#### 2. DESIGN STANDARDS

The design as per ASCE 7-10 (SECTION 2.4.1 Allowable Stress Design), IOWA Building Code with 2015 IBC amendments, Minimum Design Loads for Building and Other Structures. SANSI / AISC 360-10, Specification for Structural Steel Buildings AISI-Truss, North American Specification for the Design of Cold-Formed Steel Structural Members NFPA 701, Standard Methods of Fire Tests for Flame Propagation of Textiles and Films, 2015 Edition

#### 3. MANUFACTURING STANDARDS

Fabrication in accordance with ANSI / AISC 360-10 and AISI-Truss, as applicable. Welding in accordance with AWS D1.1 and D1.3 Structural Welding Code and AISI-Truss, as applicable. BRITESPAN Building Systems Inc. is an AWS approved fabricator as per B5.17 and QC17 standards. Welders have been qualified in accordance with QC7-93.

4. DESIGN CRITERIA

Risk Category: RISK CATEGORY I

EXPOSURE C (NON COASTAL)- FULLY EXPOSED Exposure Category PARTIALLY ENCLOSED

Enclosure Category

#### DEAD LOADS Self-weight of Building Components

II) Collateral (hanging) load, not to exceed 0.25 psf as an allowance for mechanical, electrical ceiling, sprinklers, etc, or any combination there of.

#### B) LIVE LOADS

Live Loads determined in accordance with CBC 2013 ASCE 7-10 / IBC 2015 Minimum roof live load.

#### C) SNOW LOADS

Snow loads determined in accordance with ASCE 7-10 / IBC 2015 Ground Snow Load, Pg (1/50) 25

Roof Snow Load Pf 20.57 nsf Exposure Factor, Ce Thermal Factor, Ct

Importance Factor Is Sloped Roof Snow Co-efficient, Cs (0.72 Nominal

#### D) WIND LOADS

Wind loads determined in accordance with ASCE 7-10 / IBC 2015

Wind Speed (Vult) 105 mnh Exposure Coefficient, Kz 0.85 Topographic Factor, Kzt Directionality Factor, Ko

Wind load reducible by 0.6 in allowable stress load combinations that include wind.

#### LOAD COMBINATIONS

Load combinations determined in accordance with ASCE 7-10 / IBC 2015

WIND: PERPENDICULAR

WIND:PARALLEL

THE MAXIMUM FORCES AT THE HINGE SUPPORTS OF TRUSS, DUE TO THE LOADS LISTED ABOVE, ARE AS FOLLOWS: NOTE: REACTIONS AT COMMON (OR INTERIOR) TRUSSES - END TRUSSES HAVE 1/2 TRIBUTARY WIDTH.

SIDE A SIDE B HORIZONTAL VERTICAL HORIZONTAL VERTICAL LOAD CASE: X<sub>A</sub> (kips) Y<sub>4</sub> (kips) X<sub>B</sub> (kips) Y<sub>B</sub> (kips) 0.19 0.38 -0.19 0.38 COLLATERAL 0.07 0.14 -0.07 0.14 -3.52 LIVE 3.52 6.89 6.89 SNOW BALANCED 3.40 4.16 -3.40 4.16 SNOW UNBALANCED 4.84 2.24 1.49 -2.24

-5.48

-6.00

#### Note:

Negative values of Y reactions indicates uplift forces

These foundation reactions are the result of the calculations in the BriteSpan Reaction Calculator and will be either confirmed or revised by the Stamping Engineer as part of the final engineering approval of the site specific building installation

-7.56

-1.72

14-May-19

-7.58

-6.00

4.06

1.55

THIS DRAWING INCLUDES INFORMATION HERE-ON. REMAINS THE PROPERTY OF BRITESPAN BUILDING SYSTEMS. INC. IT IS PROVIDED SOLELY FOR ERECTING THE BUILDING DESCRIBED IN THE SALES ORDER AND SHALL NOT BE MODIFIED REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT PRIOR WRITTEN APPROVAL OF BRITESPAN BUILDING SYSTEMS, INC.

THE GENERAL CONTRACTOR AND/OR ERECTOR IS SOLELY RESPONSIBLE FOR ACCURATE, GOOD QUALITY WORKMANSHIP IN ERECTING THIS BUILDING IN CONFORMANCE WITH THIS DRAWING DETAILS REFERENCED IN THIS DRAWING AND INDUSTRY STANDARDS PERTAINING TO PROPER ERECTION INCLUDING THE PROPER USE OF

THIS BUILDING IS NOT DESIGNED TO BE LIFTED AS AN ASSEMBLED UNIT. BRITESPAN BUILDING SYSTEMS, INC. IS NOT RESPONSIBLE FOR LOSSES AND / OR DAMAGE AS A RESULT OF LIFTING THIS BUILDING, IF, HOWEVER, IT HAS BEEN DETERMINED TO LIFT THIS BUILDING, IT IS THE RESPONSIBILITY OF THE PERSON, FIRM OR COMPANY CONTRACTED TO LIFT THE BUILDING TO SECURE THE SERVICES OF A QUALIFIED ENGINEER TO ENSURE THE LIFT DOES NOT DAMAGE THE BUILDING AND TO DETERMINE AND FINALIZE ALL ASPECTS OF THE LIFT INCLUDING ALL PARTS / CONNECTORS TO BE ADDED TO THE BUILDING TO FACILITATE THE LIFT.

BRITESPAN BUILDING SYSTEMS, INC. IS NOT RESPONSIBLE FOR ERRORS, OMISSION OR DAMAGES INCURRED IN THE ERECTION OF THE COMPONENTS SHOWN ON THIS DRAWING, NOR FOR THE INSPECTION OF ERECTED COMPONENTS

THIS CERTIFICATION AND ENGINEERING SEAL APPLIES ONLY TO PRODUCTS DESIGNED AND FABRICATED BY BRITESPAN BUILDING SYSTEMS, INC. FOR THE LOADING CONDITIONS DESIGNED ON THESE DRAWINGS. CONCRETE FOUNDATIONS, STEEL COMPONENTS BY OTHERS AND ERECTION SUPERVISION ARE NOT THE RESPONSIBILITIES OF BRITESPAN BUILDING SYSTEMS, INC. OR THE CERTIFYING ENGINEER, ALL DOORS, WINDOWS AND ROLL-UP CLIRTAINS MUST BE DESIGNED TO SUPPORT THE SITE WIND LOADING AND ARE RELIED ON TO BE CLOSED IN THE EVENT OF HIGH

ANCHOR BOLT DIAMETERS ARE DETERMINED IN ACCORDANCE WITH ASTM F1554 LISING MINIMUM GRADE 55 EV = 55 KSL (380 MPa). ANCHOR BOLT LENGTHS AND LOAD TRANSFER TO THE FOUNDATION ARE TO BE DETERMINED BY OTHERS.

ANCHOR BOLT PROJECTIONS AND LENGTHS ARE RESPONSIBILITY OF FOUNDATION ENGINEER

FOLINDATION MUST BE LEVEL. SQUARE AND SMOOTH, ANCHOR BOLTS MUST BE ACCURATELY PLACED AS SHOWN ON

FINISHED FLOOR ELEVATIONS AND UNDERSIDE OF BASE PLATE IS 100'-0" UNLESS NOTED.

THE ERECTION MUST PROVIDE SAFE WORKING CONDITIONS AND PRACTICES CONFORMING TO ALL SAFETY REGULATIONS. ALL THE LIFTING DEVICES ARE TO BE SPECIFICALLY DESIGNED TO LIFT THE VARIOUS BUILDING COMPONENTS, SLINGS AND SPREADER BARS ARE TO BE USED TO PREVENT PERMANENT DEFORMATION OF ALL

ERECTION SHOULD START AT A BRACED BAY. ERECT AND TEMPORARILY SUPPORT TRUSSES. USE TEMPORARY BRACING AS REQUIRED TO ENSURE STABILITY OF THE FRAMES. INSTALL PURLINS AND CROSS BRACING. PLUMB AND SQUARE TRUSSES IN ACCORDANCE WITH CAN3-S16.1 AND OSHA 29 CER PART 1926 - SAFETY STANDARD FOR STEEL

ENSURE ALL PURLINS REMAIN PARALLEL

STRUCTURAL FRAMING MEMBERS ARE CONSIDERED PLUMB, LEVEL, AND ALIGNED WHEN THE VARIANCE DOES NOT

#### STRUCTURAL BOLTS

BOLTS IN CONNECTIONS NOT SUBJECT TO TENSION LOADS, OR WHERE LOOSENING DUE TO VIBRATION OR LOAD FLUCTUATIONS ARE NOT DESIGN CONSIDERATIONS NEED ONLY BE SNUG TIGHTENED. WHICH IS DEFINED AS THE TIGHTNESS THAT EXISTS WHEN ALL PLIES IN A JOINT ARE IN FIRM CONTACT. ALL STRUCTURAL BOLT DIAMETERS LESS THAN 1" CONFORM TO SAE J429 GR.5., BE PLATED / GALVANIZED OR JSS00 COATED FINISH. ALL STRUCTURAL NUT DIAMETERS LESS THAN 1" CONFORM TO SAE J995 GR.8., BE PLATED / GALVANIZED OR JS500 COATED FINISH

ALL BOLTS LARGER THAN 1" DIA. CONFORM TO ASTM A325. ALL OTHER DIA. HEX BOLTS CONFORM TO SAE GR.5 OR EQUIVALENT ALL BOLTS SHALL BE PLATED / GALVANIZED OR SUNSEAL COATED. ALL BOLT REFERENCES REQUIRE BOTH BOLT AND NUT

BOLTS IN CONNECTIONS NOT SUBJECT TO TENSION LOADS SHALL BE SNUG TIGHTENED PER RCSC 9.1. THE FOLLOWING TENSION SCHEDULE IS PROVIDED FOR REFERENCE

DATE:

09.JUL.2019

TABLE A - BOLT	TENSION
SIZE	GRADE 5
in	kips
5/8	18
3/4	28
7/8	39
1.0	51
SIZE	A325
1 1/8	56
1 1/4	74
1 1/2	106

STRUCTURAL BOLT TORQUE VALUES (AS REFERENCE ONLY) RSCS APPROVED METHOD REQUIRED WHERE APPROPRIATE. TABLE B LISTS THE BOLT CLAMP WITH SUGGESTED ASSEMBLY TORQUE VALUES.

TABLE B - IMPERIAL											
SIZE	GRADE 5										
DIA.	Threads Per	Tensile ksi	Proof Load	Clamp Load	Torque Dry	Torque Lube					
in	Inch	Min	lbs	lbs	ft-lbs	ft-lbs					
3/8	16	120	6600	4950	15	23					
7/16	14	120	9050	6780	50	35					
1/2	1/2 13		12100	9050	75	55					
5/8	11	120	19200	14400	150	110					
3/4	10	120	28400	21300	260	200					
SIZE			A	325							
1 1/4 7 105			71700	53800	1120	840					
1 1/2	7	135	103000	77300	1775	1330					

MATERIAL SPECIFICATIONS

ROLLED STRUCTURAL SECTIONS CONFORM TO ASTM A36 / A36M-14 (42W / 50W).

STRUCTURAL PLATE CONFORMS TO THE FOLLOWING SPECIFICATIONS: ASTM A572 GR 42 / 50 & CSA G40 20 300W / 350W ASTM A500 GRADE C / CSA G40.21 350W

COATINGS OF STRUCTURAL COUPLER & KINGPIN PLATES ARE HOT-DIP GALVANIZED IN ACCORDANCE WITH A123 / A123M-17.

ALL WELDED COMPONENTS (TRUSSES) ARE HOT-DIP GALVANIZED INSIDE AND OUT IN ACCORDANCE ASTM A123 / A123M-17.

PURLINS AND TIE-DOWN PIPE ARE PRE-GALVANIZED.

DIAGONAL BRACE STEEL CABLES EXTRA HIGH STRENGTH PER ASTM A475-03 (2014) CROSS CABLES - Ø 5/16" TYP U/N.

STRUCTURAL COMPONENTS ARE AS FOLLOWS:

2 3/8" TUBES - 18" O-O USING 1 1/4" DIA. WEBS & 2 7/8" & 3 1/2" PURLINS.

ALL OTHER SIZE / GAUGES - MIN YIELD = 50ksi.

EXTERIOR FABRIC IS AN INTEGRAL PART OF THE STRUCTURAL SYSTEM: REMOVAL OR ALTERATION WITHOUT PRIOR AUTHORIZATION IS PROHIBITED. ALL TEARS MUST BE PATCHED IMMEDIATELY TO AVOID WARRANTY PROBLEMS

EXTERIOR FABRIC WILL DEFLECT LINDER LOAD, THEREFORE ALL BLIILDING ACCESSORIES (LIGHTING, HVAC, SPRINKLERS, ETC.) MUST BE LOCATED BENEATH THE INNER CORD OF THE TRUSS. ANYTHING ABOVE THIS MUST BE REVIEWED AND APPROVED IN WRITING BY BRITESPAN BUILDING SYSTEMS. INC. SEVERE DAMAGE TO THE BUILDING AND ACCESSORIES MAY RESULT FROM FAILURE TO COMPLY WITH THIS REQUIREMENT

#### FARRIC SPECIFICATIONS

ALL POLYETHYLENE MEMBRANES WILL POSSESS THE FOLLOWING MINIMUM SPECIFICATIONS:

NON-FR - RU88X-6 400

Physical	Properties	Description
WEAVE	Woven clear HDPE scrim	
COATING	4 mil (95 g/m² /side)	
WEIGHT	12 oz/ yd² (407 g/m²) +/-5%	
THICKNESS	23 mil (0.59 mm)	ASTM D-1777
GRAB TENSILE	WARP 370 lb 1664 N	ASTM D-5034
	WEFT 345 lb 1532 N	
STRIP TENSILE (N/5cm)	WARP 245 lb/in (2178)	ASTM D-4851
	WEFT 235 lb/in (2086)	
STRIP TENSILE, standard deviation	WARP 9.8 / WEFT 12.4	ASTM D-4851
FACTORED MEMBRANE	WARP 145 lb/in (1287)	
	WEFT 122lb/in (1083)	
RESISTANCE (Tr) (N/5cm)		
CSA-S367-12 where: $\phi_m =$	WARP 0.88 / WEFT 0.83; H=1.0; U=0.75; V=0.8	ASTM D-4851
TONGUE TEAR	WARP 110 lb 488 N	ASTM D-2261
	WEFT 100 lb 444 N	
TRAPEZOIDAL TEAR	WARP 95 lb 422 N	ASTM D-4533
	WEFT 90 lb 400 N	
MULLEN BURST	655 psi (4512 kPa)	ASTM D-3786
LOW TEMPERATURE BEND	PASS -76°F/-60°C	ASTM D-2136
R PERFORMANCE	RU88X-6 400	ASTM E84-00a

DRAV	VING SCHEDULE	RELEASE						
DWG #	DRAWINGS TITLE	REL.	DATE	REL.	DATE			
FB-1	COVER PAGE	0	09.JUL.2019					
FB-2	BASEPLATE LAYOUT	0	09.JUL.2019					
BD-1	BASEPLATE DETAILS	0	09.JUL.2019					
FB-3	PROJECT LAYOUT	0	09.JUL.2019					
FB-4	PURLIN & X-CABLE LAYOUT	0	09.JUL.2019					
FB-5	BRACING LAYOUT - PLAN VIEW	0	09.JUL.2019					
FB-6	BRACING LAYOUT - ELEVATION	0	09.JUL.2019					
EW-1	ENDWALL 1 LAYOUT	0	09.JUL.2019					
EW-2	ENDWALL 2 LAYOUT	0	09.JUL.2019					
SD-1	STANDARD DETAILS 1	0	09.JUL.2019					
SD-2	STANDARD DETAILS 2	0	09.JUL.2019					
SD-3	STANDARD DETAILS 3	0	09.JUL.2019					
ED-1	ENDWALL DETAILS	0	09.JUL.2019		·			

UNLESS NOTED, USE Ø5/8" BOLTS FOR PURLIN TO TRUSS, CABLE OR ROD BRACING TO TRUSS AND ANGLES TO TRUSS

CABLE / ROD AND PURLIN BRACING ARE AN INTEGRAL PART OF THE TRUSS STRUCTURAL SYSTEMS AND SHOULD BE PROPERLY INSTALLED PRIOR TO ERECTION OF FABRIC ROOF AND ENDWALL PANELS. REMOVAL OR ALTERATION OF ANY BRACING WITHOUT PRIOR AUTHORIZATION FROM BRITESPAN BUILDING SYSTEMS, INC. IS PROHIBITED

HOLES REQUIRED IN HSS COLUMNS, HEADERS OR PURLINS FOR FRAMED OPENINGS - FIELD DRILLED. DOOR OR WINDOW POST CONNECTIONS TO BE BY ERECTOR

WALK DOOR, WINDOW AND FRAMED OPENING POSTS TO BE FIELD ANCHORED TO CONCRETE WITH Ø1/2" "HILTI KWIK-BOLTS" OR SIMILAR

GALVANIZED. ALUMINIZED. AND COLORED MATERIALS ARE SUBJECT TO CORROSION AND DISCOLORATION IF THEY ARE IMPROPERLY STORED. SHORT TERM JOB SITE STORAGE OF STEEL COMPONENTS MAY BE TOLERATED, PROVIDED CARE IS TAKEN TO KEEP THE MATERIALS DRY AT ALL TIMES. WHEN TRUSSES ARE TO BE STORED OUTDOORS, THEY SHOULD BE PLACED AT AN ANGLE SUFFICIENT TO PROMOTE GOOD DRAINAGE. IN ADDITION, SEVERAL INCHES OF CLEARANCE MUST BE PROVIDED BETWEEN THE LOWER END AND THE GROUND TO ALLOW VENTILATION.

NOTE: BRITESPAN BUILDING SYSTEMS, INC. WILL NOT BE HELD RESPONSIBLE FOR MATERIALS WHICH ARE IMPROPERLY PROTECTED AFTER DELIVERY

BRITESPAN BUILDING SYSTEMS, INC. IS AN AWS CERTIFIED DIVISION 2.1 MANUFACTURER OF TRUSSES. ALL WELDS ARE COMPLETED IN SHOP AS PER AWS STANDARD AWS D1.3. AS PART OF OUR AWS CERTIFICATION AN INDEPENDENT THIRD PARTY TESTS OUR WELDERS AND PROCEDURES AND AUDITS OUR FACILITIES. THIS CERTIFICATION MEETS WITH AWS

FOUNDATION DESIGN IS NOT BY ENGINEER OF STRUCTURE UNLESS BY SEPARATE SIGNED CONTRACT.

MINIMUM EDGE DISTANCE OF ANCHOR BOLT CENTRELINE TO EDGE OF CONCRETE FOUNDATION SHALL BE 4 INCHES. ANCHOR DESIGN IS BY FOUNDATION ENGINEER

FOUNDATION DESIGNER SHALL DETERMINE ANCHOR BOLT SIZE AND TYPE FOR BRITESPAN LOADS, PROPER MINIMUM EDGE DISTANCE FROM CENTER OF ANCHORS TO EDGE OF CONCRETE SIDEWALLS AND ENDWALLS SHALL BE PROVIDED FOR THE ANCHOR TYPE. FOUNDATION DESIGN IS NOT BY SE

\*\*\* MAINTENANCE REQUIREMENTS FOR THE STRUCTURE \*\*\*

Years 1 - 2 every 12 months - 100% of all cable tensioning inspected and reported to in writing to BRITESPAN and Engineer of Years 3 - 10 every 24 months - 25% of all cable tensioning (randomly chosen) - where tensioning found not adequate, check all other similar cable tensioning, report in writing to BRITESPAN and Engineer of structure.

TEMPORARY BRACING / SUPPORTS REQUIRED DURING ERECTION OF BUILDING. BRACING MUST REMAIN IN PLACE UNTIL STRUCTURE AND ALL PERMANENT BRACING IS COMPLETELY INSTALLED

TEMPORARY BRACING DESIGN AND SUPPLY IS NOT THE RESPONSIBILITY OF BRITESPAN BUILDING SYSTEMS INC

001/13



TF: 800-407-5846 www.britespanbuildings.com

DRAWN BY:

TWF

RWH

CHECKED BY:

DESCRIPTION:

ISSUED FOR CONSTRUCTION

FREEDOM BUILDINGS INC. **508 - 3RD STREET** BELLE PLAINE, IA, 52208

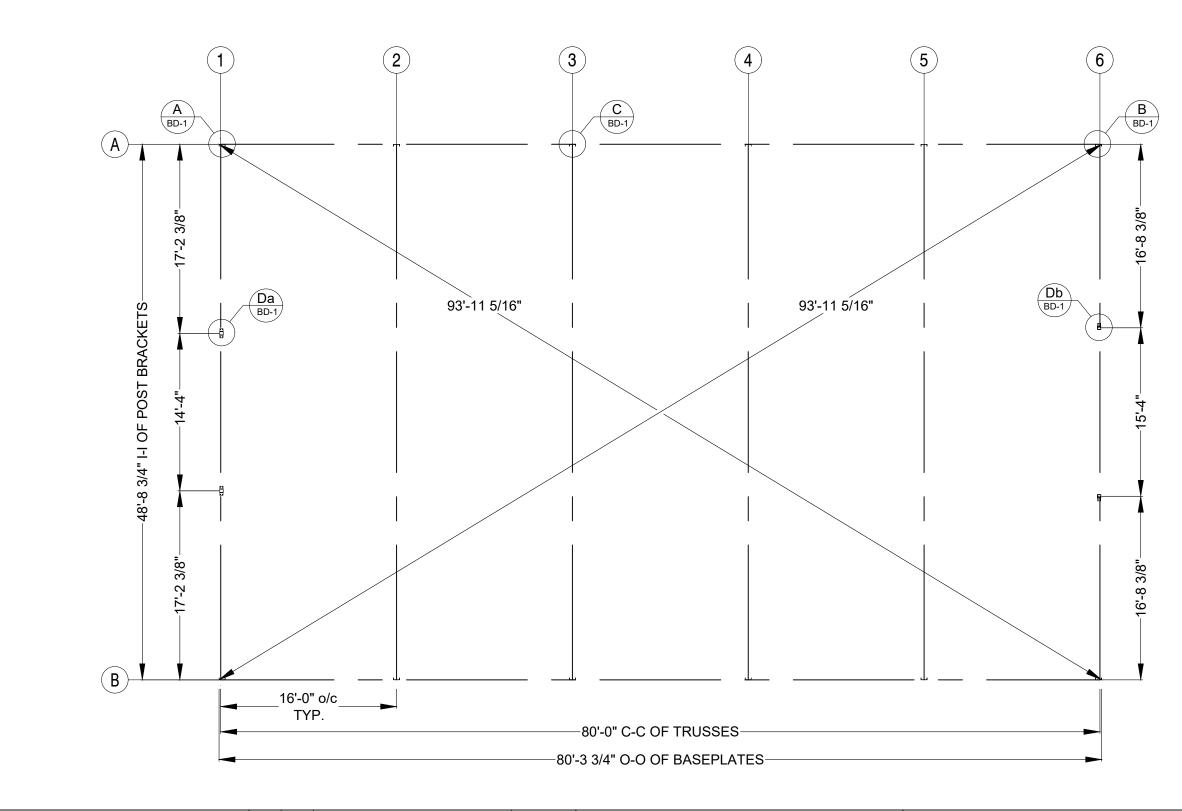
**GREG'S LAWN & LANDSCAPING** 995 238TH STREET NORTH LIBERTY, IA, 52317

PROJECT ATLAS 18 50' x 80' - 220 PM 16' oc

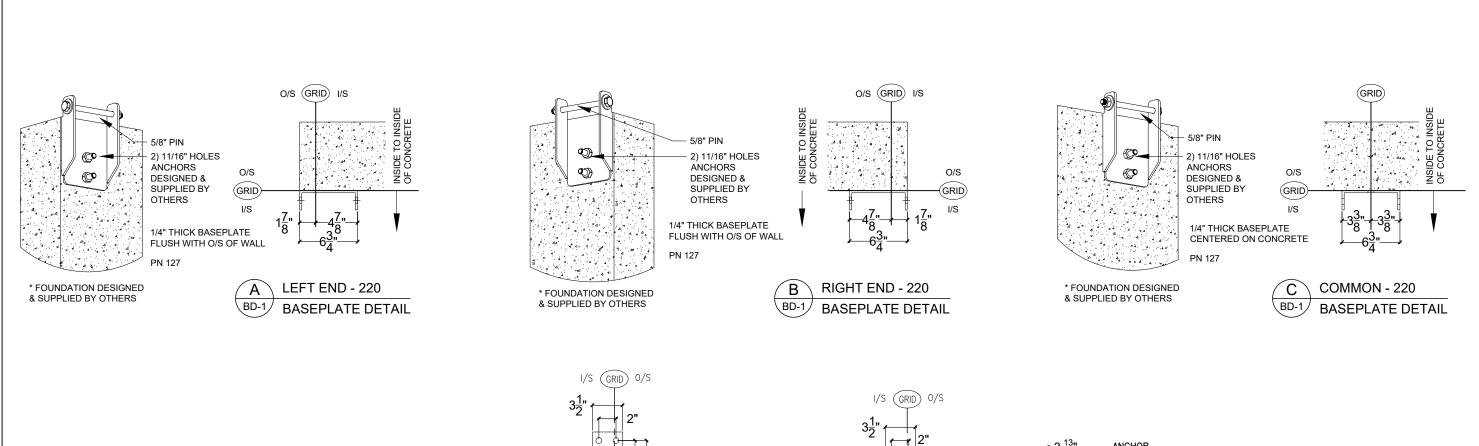
ORDER ID: DRAWING TITLE: SO# 6838-01 **COVER PAGE** WIDTH-STEEL-FAB-HSS-HSSDROP: PAGE NO.: SHEET NO 50-220-220-14-// FB-1

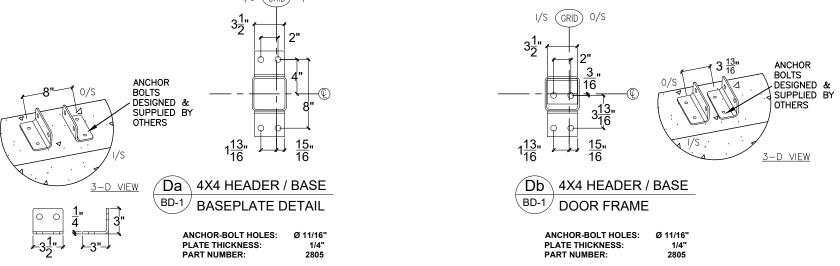
BUILDING SYSTEMS INC., ANY REPRODUCTION IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF BRITESPAN BUILDING SYSTEMS INC. IS PROHIBITED. THIS DRAWING IS NOT TO SCALE UNLESS OTHERWISE NOTED.

THIS DRAWING IS PROPERTY OF BRITESPAN



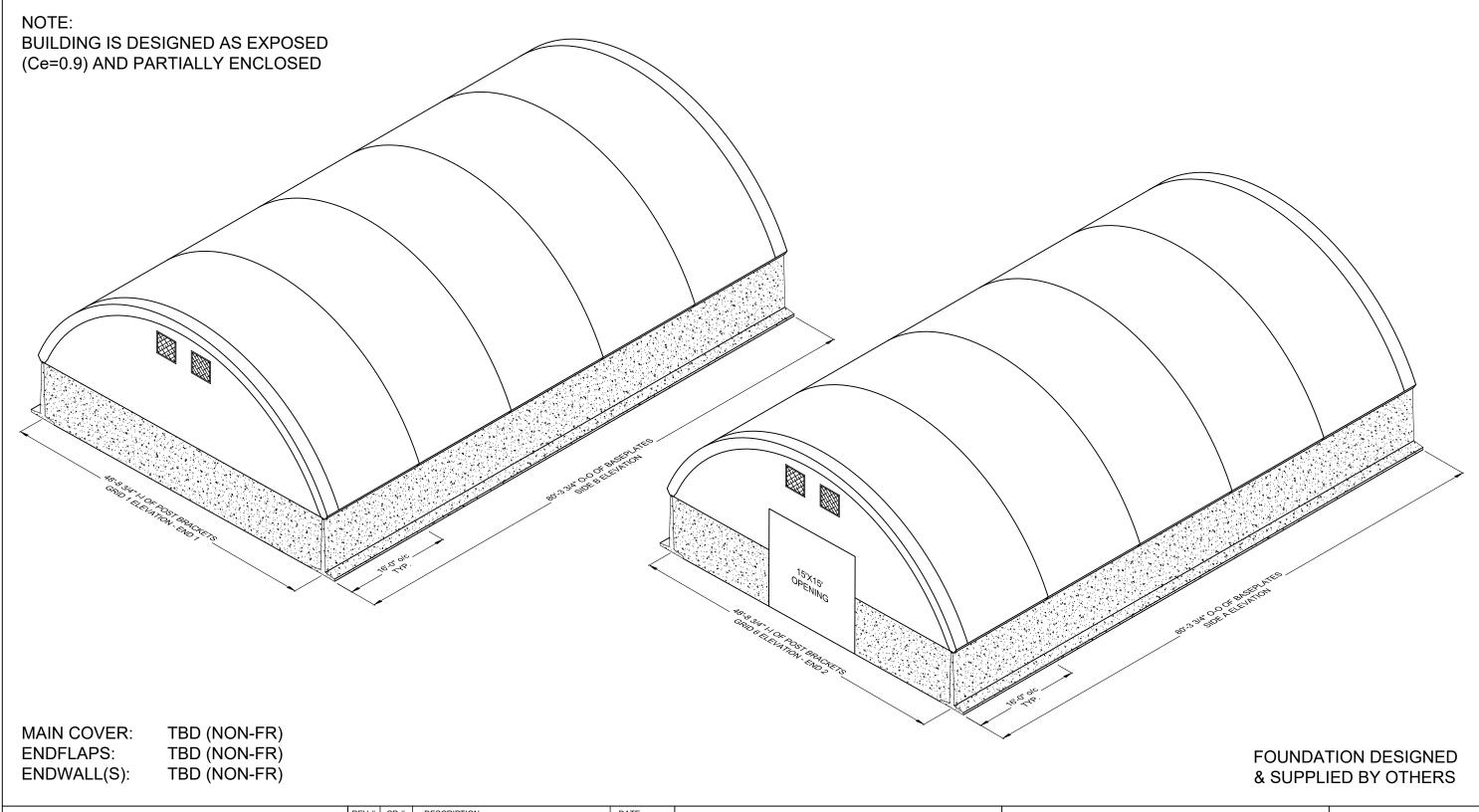
	907-5846 espanbuildings.com	REV# CR#	DESCRIPTION: ISSUED FOR CONSTRUCTION	DATE: 09.JUL.2019	DEALER: FREEDOM BUILDINGS INC. 508 - 3RD STREET BELLE PLAINE, IA. 52208		995 238TH	WN & LANDSCA STREET BERTY, IA. 52317	
THIS DRAWING IS PROPERTY OF BRITESPAN BUILDING SYSTEMS INC ANY REPRODUCTION IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF BRITESPAN BUILDING	DRAWN BY: TWF CHECKED BY:				PROJECT: ATLAS 18 50' x 80' - 220 PM	ORDER ID: SO# 6838-01	DOD.	DRAWING TITLE: BASEPLATE	
SYSTEMS INC. IS PROHIBITED. THIS DRAWING IS NOT TO SCALE UNLESS OTHERWISE NOTED.	RWH				- 16' oc	width-steel-fab-hss-hsse 50-220-220-14-//	ROP:	SHEET NO.: FB-2	PAGE NO.: 002 /13



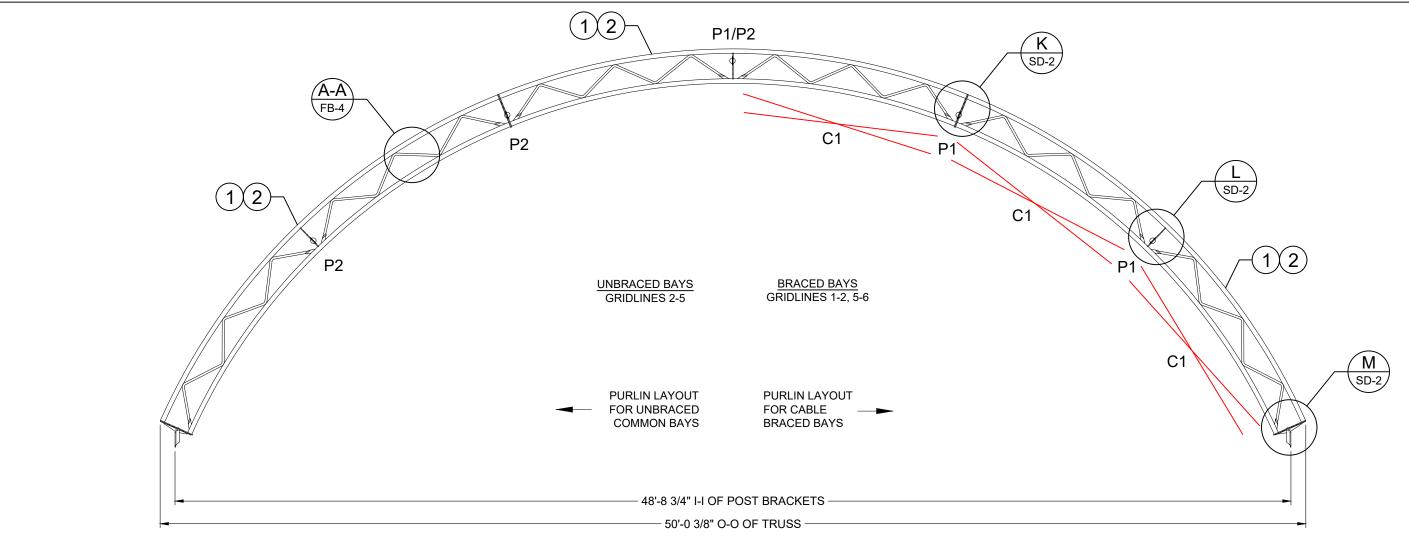


# FOUNDATION DESIGNED & SUPPLIED BY OTHERS

	407-5846 tespanbuildings.com	0 0	CR#	DESCRIPTION: ISSUED FOR CONSTRUCTION	DATE: 09.JUL.2019	DEALER: FREEDOM BUILDINGS INC. 508 - 3RD STREET BELLE PLAINE, IA. 52208		995 238TH	AWN & LANDSC STREET BERTY, IA. 5231		
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WRITTEN CONSENT OF BRITESPAN BUILDING SYSTEMS INC. IS PROHIBITED. THIS DRAWING IS NOT TO SCALE UNLESS OTHERWISE NOTED.	CHECKED BY:					50' x 80' - 220 PM 16' oc	width-steel-fab-hss-hssi 50-220-220-14-//	DROP:	SHEET NO.: BD-1	PAGE NO.: 003 /13	



		REV#	CR#	DESCRIPTION:	DATE:	DEALER:		CUSTOMER:		
		0		ISSUED FOR CONSTRUCTION	09.JUL.2019	FREEDOM BUILDINGS INC. GREG'S LAWN & LANDSCAPING			IC	
DOITECDANI TF: 800-4	107-5846									
BRITESPAN TF: 800-4 www.brite	espanbuildings.com					508 - 3RD STREET 995 238TH STREET  BELLE PLAINE, IA. 52208 NORTH LIBERTY, IA. 52317				
BUILDING SYSTEMS INC										
BOILDING GIGIEMO ING						,				
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BUILDING SYSTEMS INC ANY REPRODUCTION IN	l TWF					ATLAS 18			PROJECT LAYOUT	
WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF BRITESPAN BUILDING SYSTEMS INC. IS PROHIBITED. THIS DRAWING IS		-				1				
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NOT TO SCALE UNLESS OTHERWISE NOTED.	RWH					16' oc	50-220-220-14-//		FB-3	004 /13



# **ATLAS 18 - 50' WIDE**

CABLE LEGEND

ITEM DESCRIPTION

CROSS CABLE 5/16"

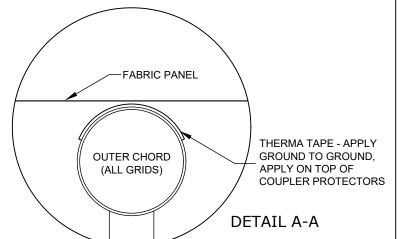
	BRACING LEGEND									
ITE	M	DESCRIPTION								
Х	X = CROSS CABLE 5/16"									
P1	P1 = PURLIN - 3-1/2" DIA. X 14 GA.									
P2	P2 = PURLIN - 2-7/8" DIA X 14 GA									

	TRUSS COMPONENTS FOR ATLAS 18 - 50' PM											
LOCATION	ITEM#	PART#	QTY.	DESCRIPTION								
INTERIOR	1	106	3	TRUSS - 50'/55' COMMON								
END	2	108	3	TRUSS - 50'/55' END								

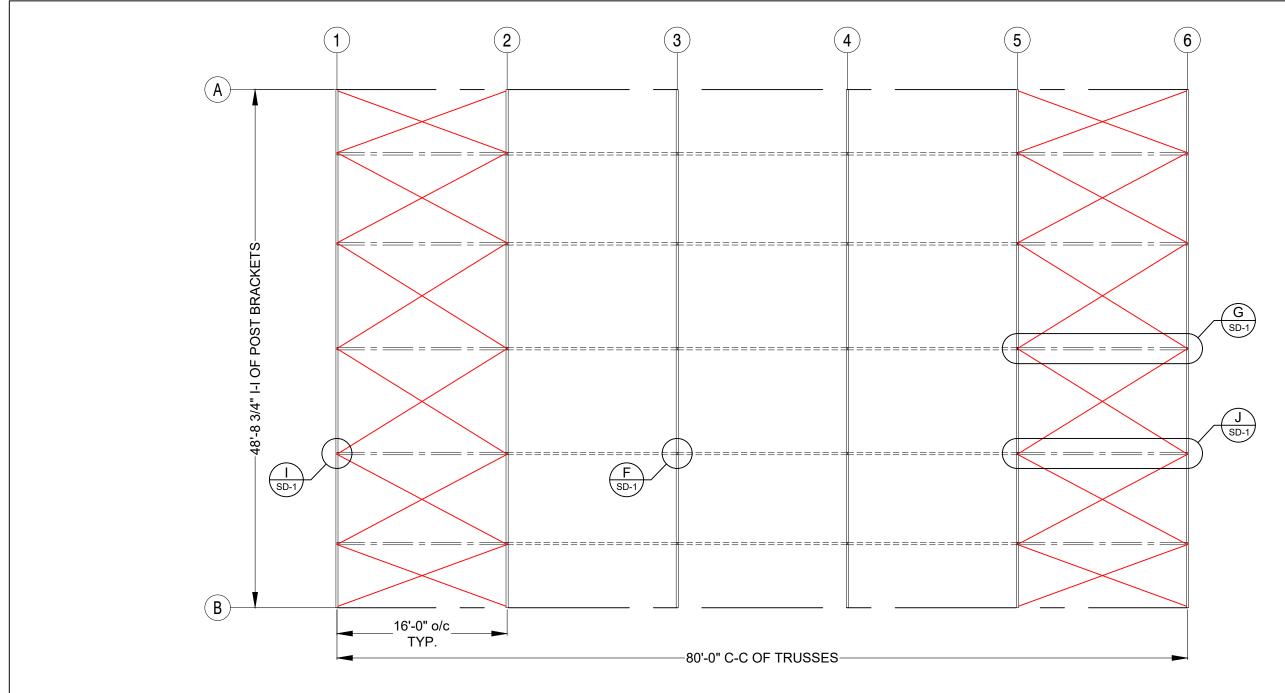
ZERO-TO-ZERO OF BASE PLATES = 63'-10 3/4"

ASSEMBLED TRUSS WEIGHT w/ BASEPLATES ~ 505 lbs (each)

ATLAS 18	16' BA	Y
50' PM	ITEM#	LENGTH
C1 CABLE	861230-9	230"



	REV#	CR#	DESCRIPTION:	DATE:	DEALER:		CUSTOMER:			
BRITESPAN TF: 800-407-5846 www.britespanbuildings.com		0		ISSUED FOR CONSTRUCTION	09.JUL.2019	FREEDOM BUILDINGS INC.	CDECISIA		AWN & LANDSCAPING	
						508 - 3RD STREET 995 238TH STREET			NG	
BUILDING SYSTEMS INC						BELLE PLAINE, IA. 52208		NORTH LIB	ERTY, IA. 52317	
THIS DRAWING IS PROPERTY OF BRITESPAN	DRAWN BY:					PROJECT:	ORDER ID:		DRAWING TITLE:	
BUILDING SYSTEMS INC ANY REPRODUCTION IN	TWF					ATLAS 18 SO# 6838-01	SO# 6838-01	PURLIN & X-CABLE LAY	CABLE LAYOUT	
WHOLE OR IN PART WITHOUT THE EXPRESSED		<u>.</u>				1	3011 0000 01		TOTALITAR	# IDEE E/ 11 00 1
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SYSTEMS INC. IS PROHIBITED. THIS DRAWING IS	RWH					16' oc	50-220-220-14-//		FB-4	005 /13
NOT TO SCALE UNLESS OTHERWISE NOTED.	LZVVII					10 00	00-220-220-17-//		1 D-7	003/13



#### PLAN VIEW

FOR PURLIN DETAILS SEE: SD-1
FOR CABLE DETAILS SEE: SD-2

	PURLIN LEGEND
ITEM	DESCRIPTION
	BRACED BAY PURLIN 3 1/2" DIA. X 14 GA.
	UNBRACED BAY PURLIN 2-7/8" DIA. X 14 GA.
	CABLE LEGEND
ITEM	DESCRIPTION
	CROSS CABLE 5/16"

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<b>-</b> 3		<b>4</b> 1	1
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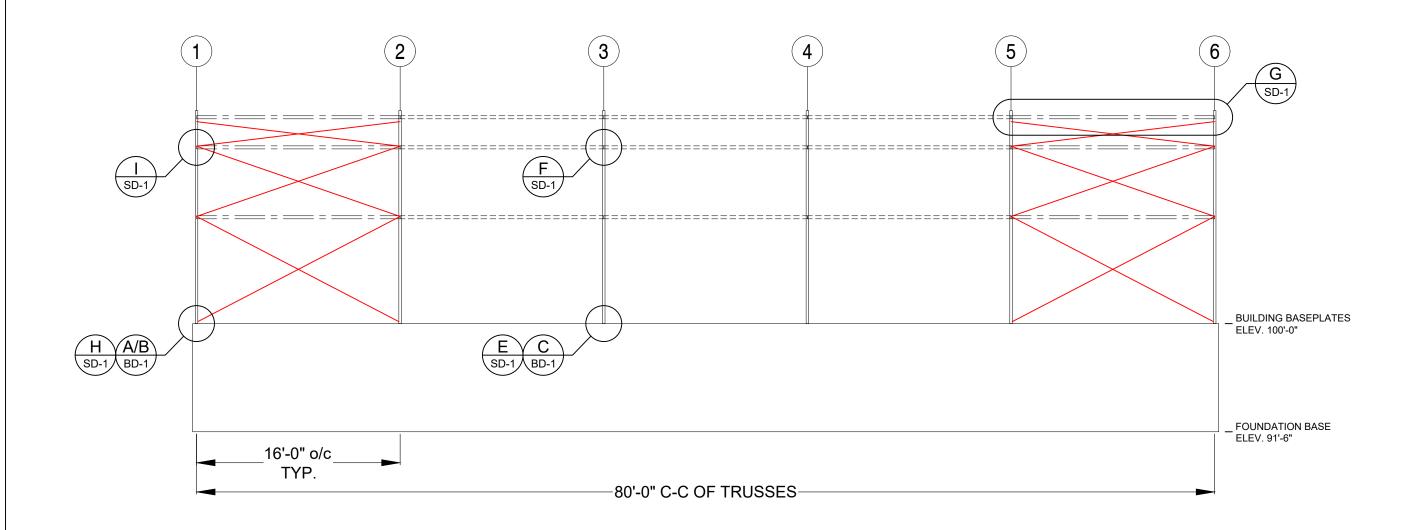
FREEDOM BUILDINGS INC. 508 - 3RD STREET BELLE PLAINE, IA. 52208 GREG'S LAWN & LANDSCAPING 995 238TH STREET NORTH LIBERTY, IA. 52317

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ATLAS 18 50' x 80' - 220 PM 16' oc ORDER ID: DRAWING TITLE:
SO# 6838-01 BRACING LAYOUT - PLAN VIEW

WIDTH-STEEL-FAB-HSS-HSSDROP: SHEET NO.: PAGE NO.:
50-220-220-14-// FB-5 006 /13



# **ELEVATION**

FOR PURLIN DETAILS SEE: SD-1
FOR CABLE DETAILS SEE: SD-2

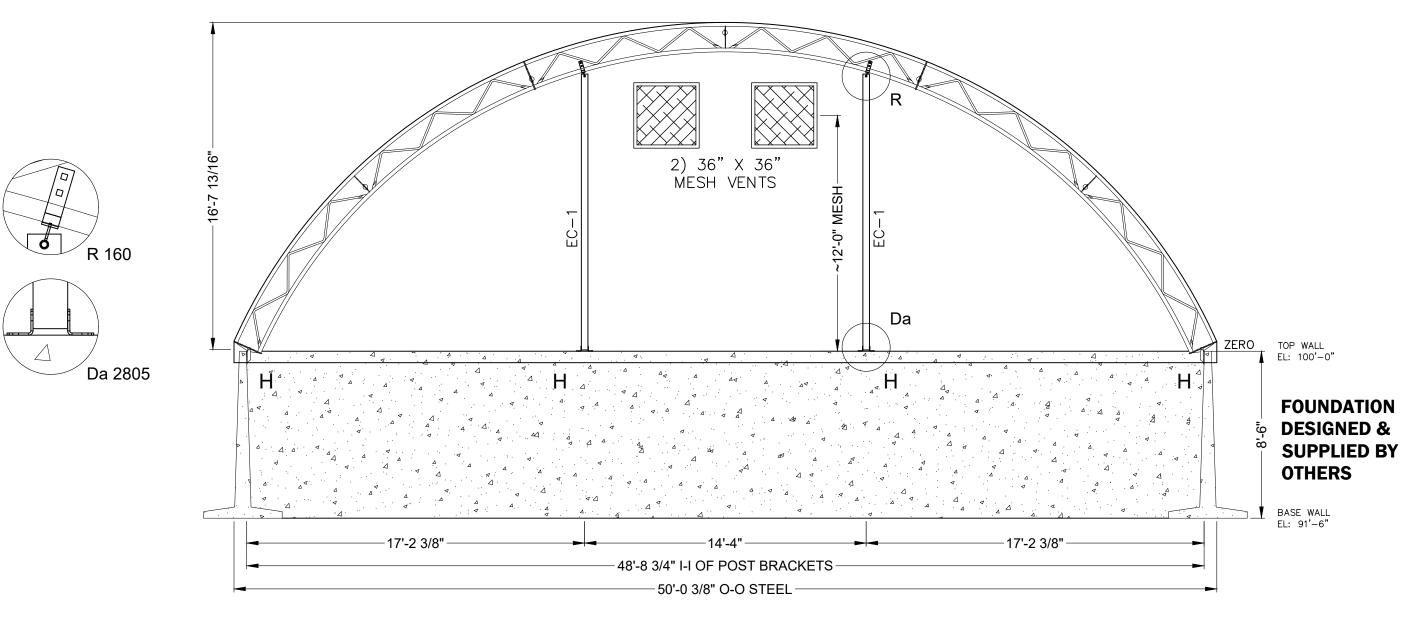
	PURLIN LEGEND
ITEM	DESCRIPTION
	BRACED BAY PURLIN 3 1/2" DIA. X 14 GA.
	UNBRACED BAY PURLIN 2-7/8" DIA. X 14 GA.
	CABLE LEGEND
ITEM	DESCRIPTION
	CROSS CABLE 5/16"

		REV#	CR#	DESCRIPTION:	DATE:	DEALER:		CUSTOMER:		
BRITESPAN TF: 800-407-5846 www.britespanbuildings.com		0		ISSUED FOR CONSTRUCTION	09.JUL.2019	FREEDOM BUILDINGS INC.		GREG'S LAWN & LANDSCAPING		
BRILES PAN www.britespar	anbuildings.com					508 - 3RD STREET		995 238TH		
BUILDING SYSTEMS INC	Ī					BELLE PLAINE, IA. 52208		NORTH LIB	BERTY, IA. 52317	
BUILDING STSTEMS INC						,,				
THIS DRAWING IS PROPERTY OF BRITESPAN DR.	RAWN BY:					PROJECT:	ORDER ID:		DRAWING TITLE:	
BUILDING SYSTEMS INC ANY REPRODUCTION IN	TWF					ATLAS 18	SO# 6838-01		BRACING LAYO	UT - ELEVATION
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SYSTEMS INC. IS PROHIBITED. THIS DRAWING IS	RWH					16' oc	50-220-220-14-//		FB-6	007 /13
NOT TO SCALE UNLESS OTHERWISE NOTED.						10 00	00-220-220-1 <del>1-</del> //		ים ו	<b>UU1</b> /13

#### NOTES:

- 1. "H" DENOTES BLOCK WINCH & STRAP FOR FASTENING TUBE
- 2. EC VERTICAL LOCATION DIMENSIONS ARE TO THE CENTRELINE OF MEMBERS
- 3. FIELD DRILL HSS AS REQUIRED

MARK #	QTY.	COMPONENTS (in)
EC-1	2	1518-HSS- VERTICAL- 4" X 4" X 1/8"- 2" CENTRES - 168"
160	2	BRKT- 4" DEEP HSS TOP SADDLE- 2-3/8" CHORD
2805	4	HEADER/ BASE ANGLE- 4" X 4" HSS - 2" CENTRES



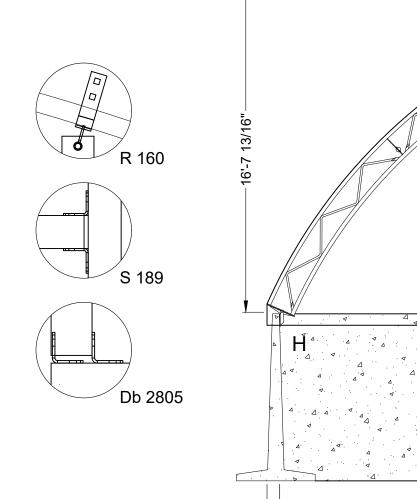
# **GRIDLINE 1 - END 1**

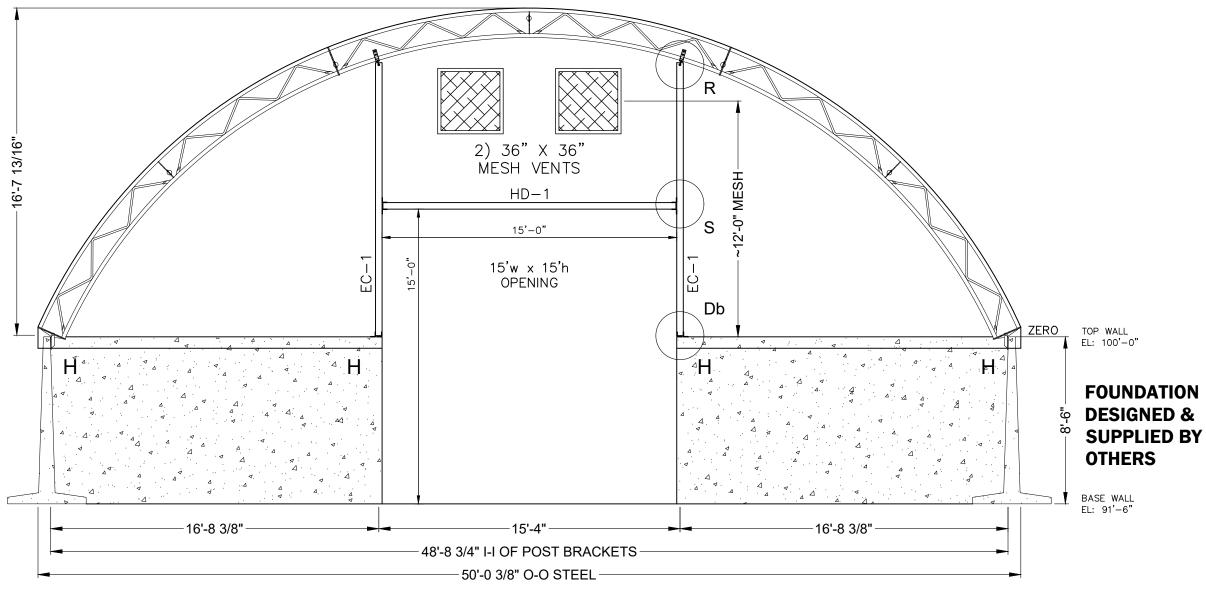
	-407-5846 tespanbuildings.com	REV# CR#	DESCRIPTION: ISSUED FOR CONSTRUCTION	DATE: 09.JUL.2019	DEALER: FREEDOM BUILDINGS INC. 508 - 3RD STREET BELLE PLAINE, IA. 52208		995 238TH	AWN & LANDSC STREET BERTY, IA. 5231	
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WRITTEN CONSENT OF BRITESPAN BUILDING SYSTEMS INC. IS PROHIBITED. THIS DRAWING IS NOT TO SCALE UNLESS OTHERWISE NOTED.	CHECKED BY:				50' x 80' - 220 PM 16' oc	width-steel-fab-hss-hss 50-220-220-14-//	DROP:	SHEET NO.: EW-1	PAGE NO.: 008 /13

#### NOTES:

- 1. "H" DENOTES BLOCK WINCH & STRAP FOR FASTENING TUBE
- 2. EC VERTICAL LOCATION DIMENSIONS ARE TO THE CENTRELINE OF MEMBERS
- 3. FIELD DRILL HSS AS REQUIRED

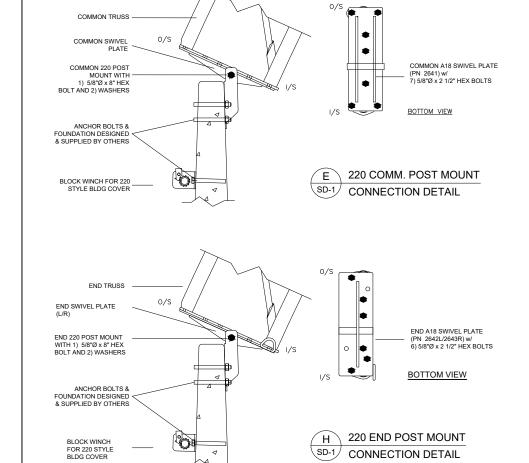
_			
	MARK #	QTY.	COMPONENTS (in)
	EC-1	2	1518-HSS- VERTICAL- 4" X 4" X 1/8"- 2" CENTRES - 167"
Ī	160	2	BRKT- 4" DEEP HSS TOP SADDLE- 2-3/8" CHORD
	2805	4	HEADER/ BASE ANGLE- 4" X 4" HSS - 2" CENTRES
Ī	HD-1	1	1523- HSS- HEADER- 4" X 4" X 1/8"- 179"
	189	4	HEADER ANGLE- 4" X 4" HSS - 2" CENTRES



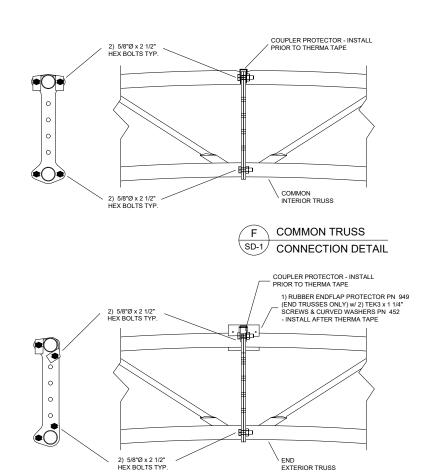


# GRIDLINE 6 - END 2

	REV	# CR#	DESCRIPTION:	DATE:	DEALER:		CUSTOMER:		
	0		ISSUED FOR CONSTRUCTION	09.JUL.2019	FREEDOM BUILDINGS INC.		CDEC'S I A	.WN & LANDSCAF	DINIC
TF: 800-407-5846									TING
BRITESPAN TF: 800-407-5846 www.britespanbuildings	com				508 - 3RD STREET		995 238TH		
BUILDING SYSTEMS INC					BELLE PLAINE, IA. 52208		NORTH LIB	ERTY, IA. 52317	
THIS DRAWING IS PROPERTY OF BRITESPAN DRAWN BY:					PROJECT:	ORDER ID:		DRAWING TITLE:	
BUILDING SYSTEMS INC ANY REPRODUCTION IN WHOLE OR IN PART WITHOUT THE EXPRESSED					ATLAS 18	SO# 6838-01		ENDWALL 2	LAYOUT
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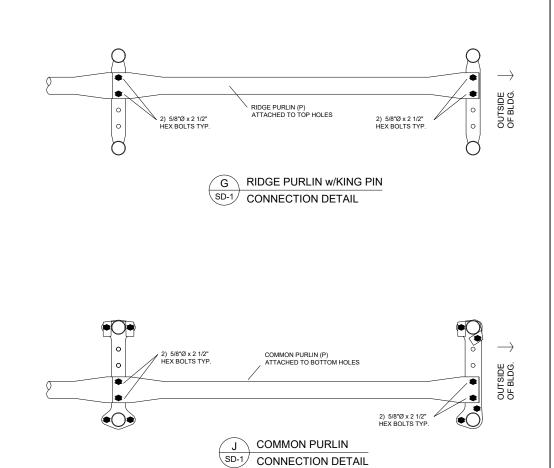


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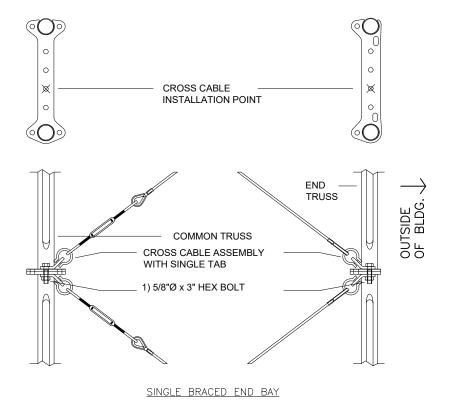


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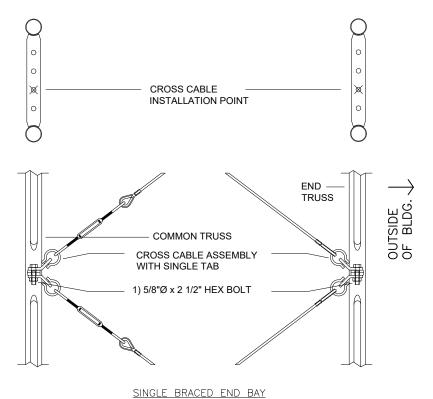
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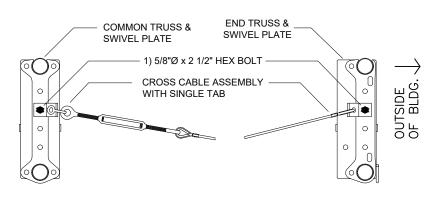
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K CROSS CABLES AT DOGBONE SD-2 CONNECTION DETAILS



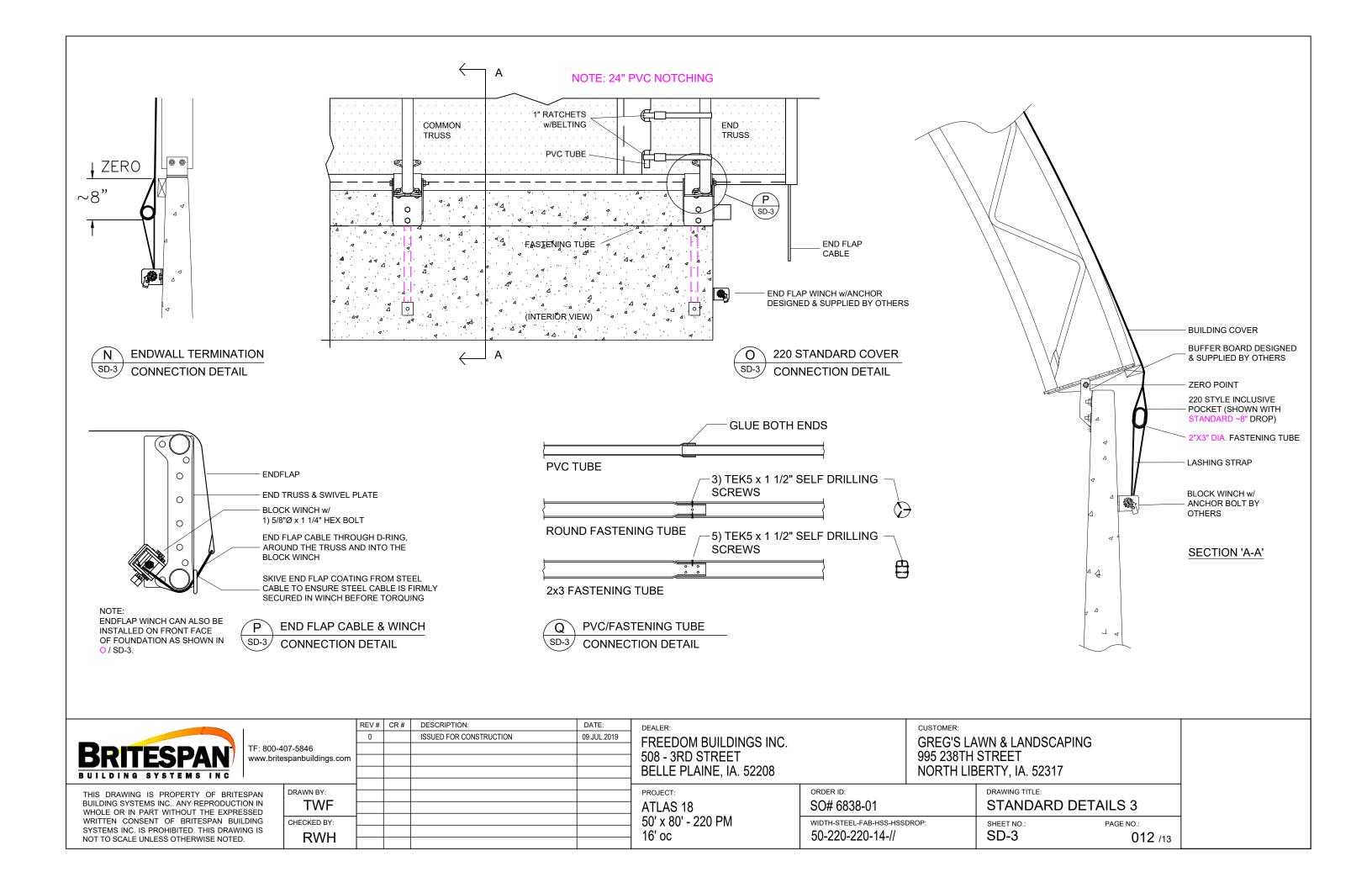
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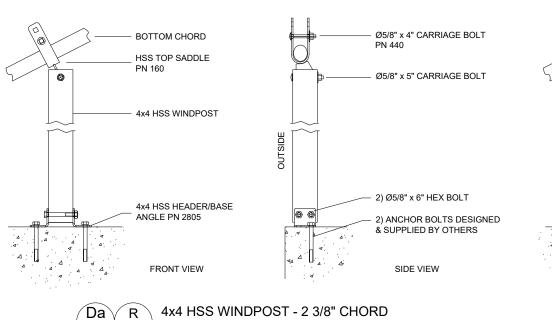


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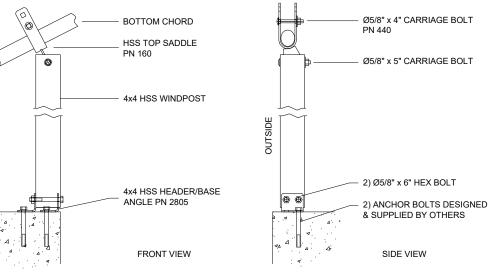
M CROSS CABLES AT SWIVEL PLATE SD-2 CONNECTION DETAILS

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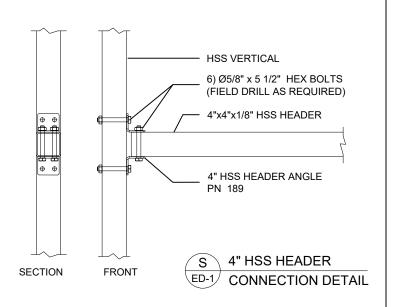


BD-1 ED-1 CONNECTION DETAILS



Db R 4x4 HSS WINDPOST - 2 3/8" CHORD

BD-1 ED-1 CONNECTION DETAILS



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#### CITY OF NORTH LIBERTY, IOWA

#### URBAN RENEWAL PLAN AMENDMENT NORTH LIBERTY URBAN RENEWAL AREA

#### August, 2019

The Urban Renewal Plan (the "Plan") for the North Liberty Urban Renewal Area (the "Urban Renewal Area") is being amended for the purpose of identifying new urban renewal projects to be undertaken therein.

- 1) Addition of Property. The real property (the "Property") legally described on Exhibit A hereto is, by virtue of this Amendment, being added as the August, 2019 Addition to the Urban Renewal Area. With the adoption of this Amendment, the City will designate the Property as an economic development area. The Property will become subject to the provisions of the Plan for the Urban Renewal Area.
- **2) Identification of Projects.** By virtue of this amendment, the list of authorized urban renewal projects in the Plan is hereby amended to include the following project descriptions:

#### A.

**Name of Project:** North Liberty Park and Recreational Improvements Project (the "Park Improvements Project")

Name of Urban Renewal Area: North Liberty Urban Renewal Area

**Date of Council Approval of the Project:** August 27, 2019

**Description of Project and Project Site:** The Park Improvements Project will consist of the construction of improvements to the North Liberty parks system situated in the Urban Renewal Area as described as follows:

Centennial Park: The City will undertake (i) the construction of recreational trail improvements; and (ii) the installation of playground equipment.

**Penn Meadows Park:** The City will undertake the (i) installation of playground equipment improvements; (ii) construction of improvements to Babe Ruth ballfield; (iii) construction of recreational trails; and (iv) installation of shade structures.

It is anticipated that the completed Park Improvements Project will have a positive impact on commerce in the Area through the provision of enhanced recreational amenities.

**Description of Use of TIF for the Project:** It is anticipated that the City will pay for the Park Improvements Project with either borrowed funds and/or the proceeds of an internal

advance of City funds on-hand. In any case, the City's obligation will be repaid with incremental property tax revenues derived from the Urban Renewal Area. It is anticipated that the City's use of incremental property tax revenues for the Park Improvements Project will not exceed \$555,000.

В.

Name of Project: Kansas Avenue Improvements Project (the "Kansas Ave Project")

Name of Urban Renewal Area: North Liberty Urban Renewal Area

**Date of Council Approval of Project:** August 27, 2019

**Description of Project and Project Site:** The Kansas Ave Project will consist of the acquisition of the Property (as defined in Section 1 above) and the construction of improvements thereon, including road paving; the construction of storm water drainage improvements; the installation of water mains; and the incidental utility, landscaping, site clearance and cleanup work related thereto.

It is expected that the completed Kansas Ave Project will cause increased and improved ability of the City to provide adequate transportation infrastructure for the growth and retention of commercial and industrial enterprises in the City.

**Description of Properties to be Acquired in Connection with Project:** The City will acquire easement territory and rights-of-way as are necessary to successfully undertake the Kansas Ave Project.

**Description of Use of TIF for the Project:** It is anticipated that the City will pay for the Kansas Ave Project with either borrowed funds and/or the proceeds of an internal advance of City funds on-hand. In any case, the City's obligation will be repaid with incremental property tax revenues derived from the Urban Renewal Area. It is anticipated that the City's use of incremental property tax revenues for the Kansas Ave Project will not exceed \$2,000,000.

C.

Name of Project: Ranshaw Way Improvements Project (the "Ranshaw Way

Project")

Name of Urban Renewal Area: North Liberty Urban Renewal Area

**Date of Council Approval of Project:** August 27, 2019

**Description of Project and Project Site:** The Ranshaw Way Project will consist of street reconstruction and widening; the construction of curb and gutter improvements; the construction of sidewalk improvements; the addition of a turn lane; bridge reconstruction; the construction of storm water drainage improvements; and the incidental utility, landscaping, site clearance and cleanup work related thereto on and along the public

right-of-way of Ranshaw Way, commencing at its intersection with 10<sup>th</sup> Street on the north and continuing to and including its intersection with Zeller Street on the south.

It is expected that the completed Ranshaw Way Project will cause increased and improved ability of the City to provide adequate transportation infrastructure for the growth and retention of commercial and industrial enterprises in the City.

**Description of Properties to be Acquired in Connection with Project:** The City will acquire easement territory and rights-of-way as are necessary to successfully undertake the Ranshaw Way Project.

**Description of Use of TIF for the Project:** It is anticipated that the City will pay for the Ranshaw Way Project with either borrowed funds and/or the proceeds of an internal advance of City funds on-hand. In any case, the City's obligation will be repaid with incremental property tax revenues derived from the Urban Renewal Area. It is anticipated that the City's use of incremental property tax revenues for the Ranshaw Way Project will not exceed \$2,200,000.

**3) Required Financial Information.** The following information is provided in accordance with the requirements of Section 403.17 of the Code of Iowa:

Constitutional debt limit of the City:	\$84,128,790
Outstanding general obligation debt of the City:	\$
Proposed debt to be incurred under the August, 2019	
Amendment*:	\$ 4,755,000

<sup>\*</sup> It is anticipated that some or all of the debt incurred hereunder will be subject to annual appropriation by the City Council.

#### **EXHIBIT A**

Legal Description
Expanded North Liberty Urban Renewal Area
(August, 2019 Addition)

Certain real property situated in Johnson County, State of Iowa, more particularly described as follows:

All of the public right-of-way of Kansas Avenue from and including its intersection with St. Andrews Drive on the north and continuing south to and including its intersection with West Forevergreen Road.



#### NORTH LIBERTY PLANNING COMMISSION

# Minutes July 2, 2019

North Liberty City Council Chambers, 1 Quail Creek Circle

#### Roll Call

Chair Ronda Detlefsen called the July 2, 2019 Planning Commission meeting to order at 6:30 p.m. Commission members present: Ronda Detlefsen, Adam Gebhart, Jason Heisler, Rebecca Keogh, Kyle Pentecost, Patrick Staber and Josey Bathke.

Others present: Dean Wheatley, Ryan Heiar, Grant Lientz, Mary Byers, Carter Kudrle, Joel Miller and Brian Platz.

#### Agenda Approval

Staber moved, seconded by Gebhart to approve the agenda. The vote was all ayes. Agenda approved.

**ORDINANCE AMENDMENT:** Request of City staff to approve changes to the Zoning Ordinance related to the sale of fireworks.

City Attorney Lientz and Fire Chief Platz discussed the changes with the commission.

#### **Public Comment**

No public comment was offered.

#### Recommendation to the City Council

Heisler moved, seconded by Koegh to recommend approval of the Ordinance Amendment. The vote was: ayes-Gebhart, Staber, Bathke, Keogh, Pentecost, Heisler, Detlefsen; nays—none. Motion carried.

**STREETS NAME CHANGE**: Request of City staff to approve changes to the names of two streets to avoid emergency services confusion.

#### Staff Presentation

Wheatley discussed with the Commission why the street names need to changed.

#### **Public Comments**

No public comment was offered.

#### Recommendation to the City Council

Pentecost moved, seconded by Staber, to recommend approval of the street name changes. The vote was: ayes--Heisler, Keogh, Detlefsen, Gebhart, Staber, Pentecost, Bathke; nays—none. Motion carried.

Minutes version: 7/3/2019

#### **APPROVAL OF PREVIOUS MINUTES**

Staber moved, seconded by Keogh, to approve the minutes of June 4, 2019 Planning Commission meeting. The vote was all ayes. Motion carried.

#### **OLD BUSINESS**

Wheatley discussed with the Commission why the meetings have been so light the last couple of months, and also went over upcoming cases.

#### **NEW BUSINESS – Election of Officers for FY2020**

Chair

Staber moved, seconded by Gebhart to appoint Keogh Chair of the Planning Commission. The vote was all ayes. Motion carried.

Vice-Chair

Gebhart moved, seconded by Heisler, to appoint Staber Vice-Chair of the Planning Commission. The vote was all ayes. Motion carried.

#### **ADJOURNMENT**

At 6:50 p.m. Staber moved, seconded by Gebhart to adjourn the meeting. All ayes. Meeting adjourned.

Mary Byers, Deputy City Clerk

Minutes version: 7/3/2019