



North Liberty Planning Commission

Meeting Information

Tuesday, August 6, 2019

6:30 PM

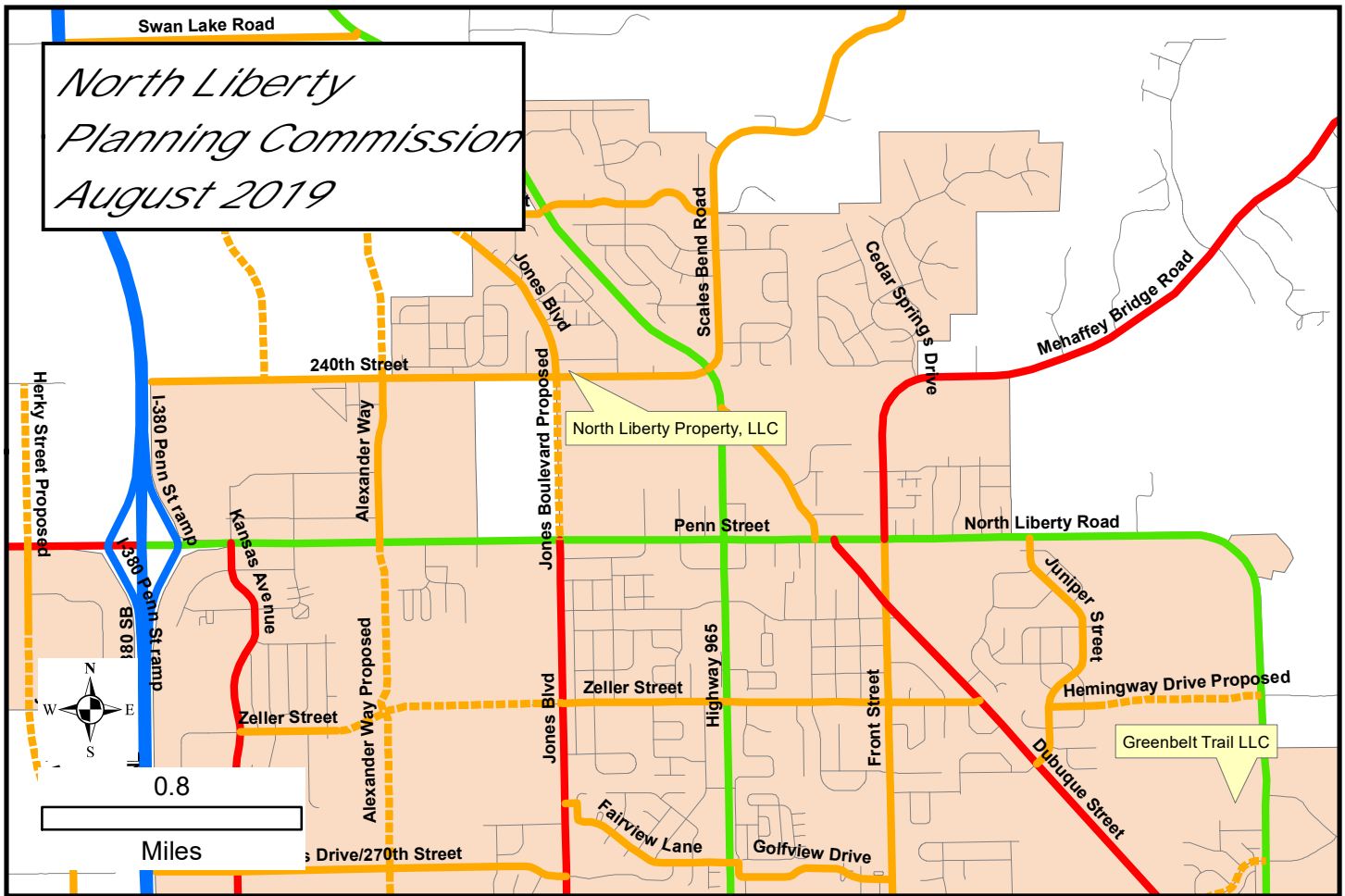
City Council Chambers

If you would like additional information, larger-scale maps, or other information before the meeting, please contact Dean Wheatley at 626-5747 or at dwheatley@northlibertyiowa.org



NORTH LIBERTY PLANNING COMMISSION
MEETING NOTICE AND AGENDA
Tuesday, August 6, 2019, 6:30 PM
North Liberty City Council Chambers, 1 Quail Creek Circle

- 1. ROLL CALL**
- 2. AGENDA APPROVAL**
- 3. PRELIMINARY PLAT:** Request of Greenbelt Trail, LLC to approve a subdivision plat creating 48 single-family lots on 20.28 acres, located adjacent to North Liberty Road immediately north of the Dahnovan Estates subdivision.
 - a. Staff Presentation
 - b. Applicants Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council
- 4. SITE PLAN:** Request of North Liberty Property, LLC to approve a Revised Site Plan at Greg's Lawn Service, 995 238th Street, located between 238th and 240th Streets and adjacent to Jones Boulevard.
 - a. Staff Presentation
 - b. Applicants Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council
- 5. URBAN RENEWAL AMENDMENT:** Request of the City of North Liberty to approve an urban renewal area amendment adding Kansas Avenue from St. Andrews Drive to W Forevergreen Road so that improvement costs can be paid.
 - a. Staff Presentation
 - b. Public Comments
 - c. Questions and Comments
 - d. Recommendation to the City Council
- 6. APPROVAL OF PREVIOUS MINUTES**
- 7. OLD BUSINESS**
- 8. NEW BUSINESS**
- 9. ADJOURNMENT**





August 1, 2019

Memo

To: North Liberty Planning Commission

From: Dean Wheatley, Planning Director

Subject: Request of Greenbelt Trail, LLC to approve a subdivision plat creating 48 single-family lots on 20.28 acres, located adjacent to North Liberty Road immediately north of the Dahnovan Estates subdivision.

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator

Tracey Mulcahey, Assistant City Administrator

Tom Palmer, City Building Official

Grant Lientz, City Attorney

Kevin Trom, City Engineer

Dean Wheatley, Planning Director

This request is to subdivide an existing 20.28 acre parcel into 48 single-family lots sized to meet requirements of the current zoning of RS-6, as well as three common ownership outlots. Outlot A is open space and storm water management areas, outlot B is a stormwater overflow area to accommodate overflow from the Dahnovan Estates pond immediately south of this subdivision, and outlot C contains a sidewalk connection between the Ogden Court cul-de-sac and North Liberty Road. RS-6 lot requirements are:

Width (measured at the setback line): 70 feet

Area: 7,000 square feet

Front Yard Setback: 25 feet (both frontages for corner lots)

Rear Yard Setback: 30 feet

Side Yard Setbacks: 8 feet

A Good Neighbor meeting was held to allow any interested party an opportunity to comment on this plat and associated rezoning prior to submission, and 5 persons signed in. Almost all of the comments were based on concerns by neighbors to the immediate south who had been told by a different builder's representative that this property would not be developed for around 10 years. While not pleased to learn that they were misled, most were positive about the proposal for single-family lots and the accommodations for storm water management. Two objector emails were received, also voicing disappointment that their builder had indicated that development to the north was years away.

This property drops substantially in elevation from south to north, and the proposed grading plan shows accommodations for this elevation change in south-facing lots with walk-out configurations and most north-facing lots with substantial hills in their rear yards.

This plat provides a street connection (with sidewalks) for development of the property to the west, under different ownership. At the eastern end, there is an intersection at Salm Drive, and an additional pedestrian connection at the east end of the proposed cul-de-sac. A connection to Dahnovan Estates is also provided via extension of Anne Boulevard from the south. A substantial drainageway effectively prevents connections to the north.

A large storm water management area is established along the north boundary of the plat, with dry basins at the northeast and northwest corners of the outlot. In addition to accommodating runoff from this development, the subdivision also provides an emergency overland flow route between lots at the southwest corner of the plat from the existing detention pond in Dahnovan Estates.

Buffer landscape easements with planting requirements are identified for lots adjacent to North Liberty Road.

This plat includes a cul-de-sac street. The Subdivision Ordinance addresses cul-de-sacs this way:

Use of cul-de-sacs and other roadways with a single point of access should be avoided. Cul-de-sacs will be considered where it can be clearly demonstrated that environmental constraints, existing development, access limitations along arterial streets, or other unusual features prevent the extension of the street to the property line or to interconnect with other streets within or abutting the subdivision.

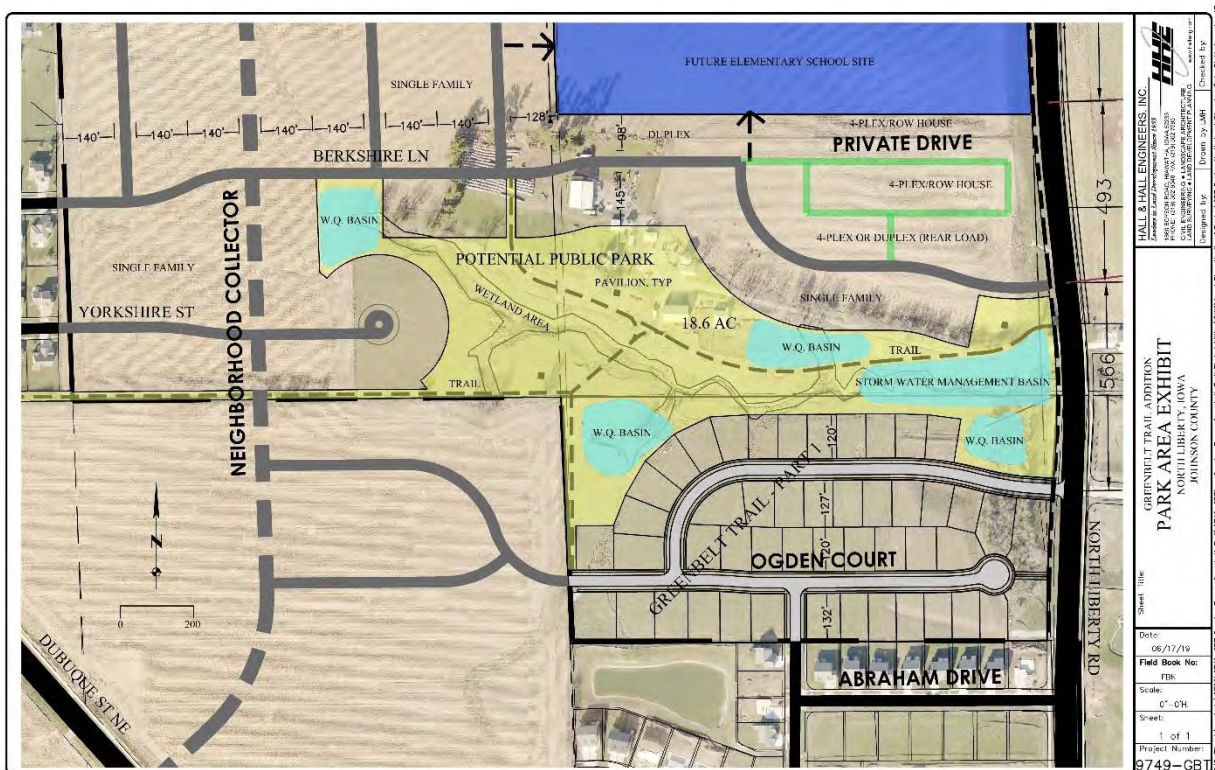
The applicant has submitted the following reasons for retaining the cul-de-sac design:

- Interconnecting Ogden Court and Salm Drive is a challenge due to the amount of vertical grade. The existing grade along the south parcel boundary is roughly elevation 765 – 768 at the rear of Lot 27 (see grading plan). The elevation where Ogden would connect to Salm is roughly 741+/- . This equates to roughly 25' of drop over a span of 428 LF. To make the link, there would be a 16' cut bank along the south side of the subdivision (rear of lots 22 - 28). This deep of a cut would make the lots that back up to Dahnovan Estates non buildable due to the back 64' of the lot consisting of a steep embankment.
- An alternative that was explored included connecting Ogden to North Liberty Road and looping Salm Drive up to Ogden, however there was a City requirement to have Greenbelt Trail access at North Liberty Road align with Salm on the east side.
- To alleviate connectivity issues, we propose that a sidewalk connection be made from NLR to the cul-de-sac head. In addition, we recommend the water main would connect to NLR to avoid a dead end.

Staff feels that the applicant has adequately demonstrated that the City's access limitation along North Liberty Road (new street must align with existing Salm Drive), and the impacts of that restriction on the number and configuration of lots, justifies use of the cul-de-sac in this situation.

The owner of this property as well as lands to the north and northwest is working well with City staff to identify potential property north of this subdivision for establishing a neighborhood park. These discussions have evolved over time as we strive to find a solution that is beneficial for both the developer and for the City. Some of the considerations include a size of 5-10 acres, usable even ground, good pedestrian access, easy maintenance, aesthetic and sales benefits for future residents

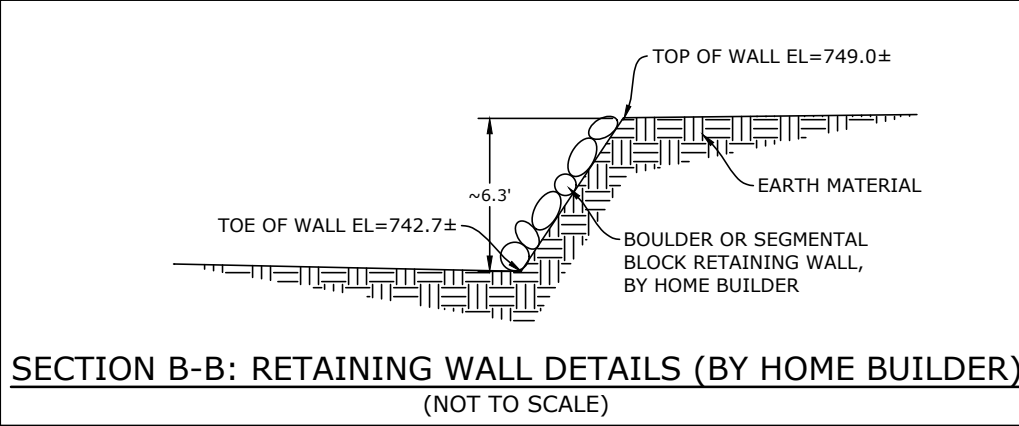
and the developer, centralized location, dedication and/or purchase, and others. A very preliminary concept plan for the much larger area extending to the west of this plat has been developed by the applicant, showing in general the extension of streets in the Major Street network and how internal neighborhood streets might all connect in the future, and that concept plan will continue to be the subject of parkland negotiations.



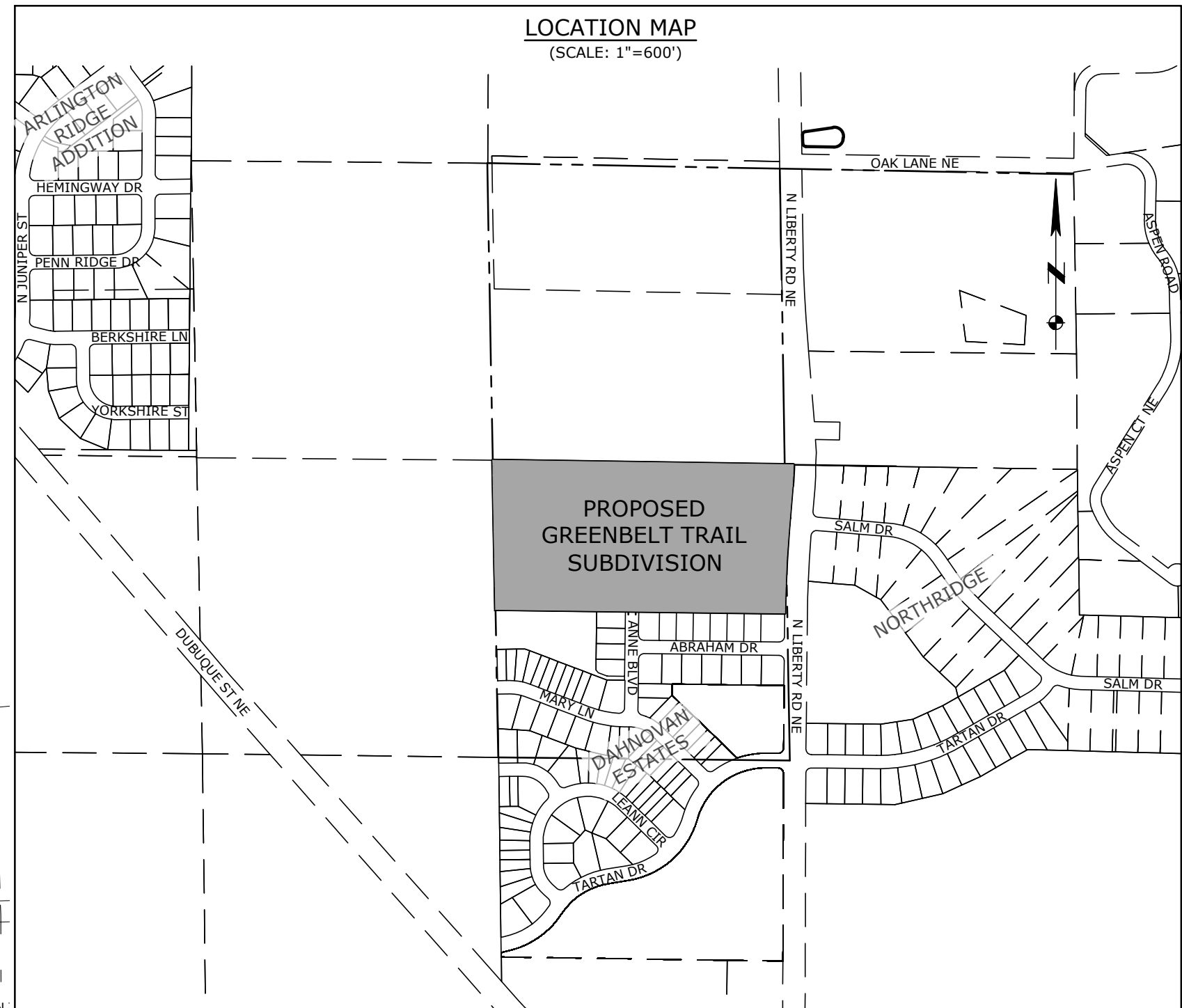
There has been a very good working relationship between the City staff and this developer in finding solutions to access, storm water management, and other issues for development. Staff recommends approval of the plat subject to the following:

Notes:

- A Developer's Agreement is required, to include at least the following provisions:
 - Payment of the 40% local match for the North Liberty Road trail adjacent to the site.
 - Arrangements for creation of an HOA to manage the outlots, and providing for City staff review of the HOA documents prior to recording.
 - Payment to the City of the cost for extension of Ogden Drive and adjacent sidewalks to the west property boundary.
 - Payment of sanitary sewer hookup fees, water hookup fees, and North Liberty Road improvement fees.
- On-street parking will be allowed on only one side of the streets, and "No Parking" signs are required on opposite side of street.
- "No Parking" signs shall be installed in the cul-de-sac.
- Any new agricultural fence erected needs to meet City code and requires a fence permit.



GRAPHIC SCALE IN FEET
SCALE: 1"=60'



- NOTES:**
1. ALL EXISTING UNDERGROUND FIELD TILES SHALL BE REMOVED BY DEVELOPER OR RE-ROUTED TO CONNECT TO STORM SEWER SYSTEM.
 2. APPROXIMATE FIELD TILE LOCATION.
 3. NATIVE SEED MIX SHALL BE 'DRY SITE/SHORT PRAIRIE SEED MIX' PER ION EXCHANGE, OR APPROVED EQUAL. MIX IS TO BE PLANTED AS RECOMMENDED BY SEED SUPPLIER.

UTILITY LEGEND		UTILITY LEGEND (CONTINUED)	
EXISTING	PROPOSED	EXISTING	PROPOSED
SS8	SS8	HORSESHOE CATCH BASIN W/O FLUME	HORSESHOE CATCH BASIN W/ FLUME
S115	S118	GAS VALVE	GAS VALVE
FM6	FM6	FLARED END SECTION	FLARED END SECTION
WB	W12	CLEANOUT, STORM OR SANITARY	CLEANOUT, STORM OR SANITARY
(OHE)	(OHE)	BENCHMARK	BENCHMARK
(E)	(E)	STREET SIGN	STREET SIGN
(C)	(C)	WELL	WELL
(OHT)	(OHT)	FIRE HYDRANT	FIRE HYDRANT
(F)	(F)	WATER VALVE	WATER VALVE
(OHF)	(OHF)	WATER SHUTOFF	WATER SHUTOFF
(T)	(T)	WATER BLOWOFF	WATER BLOWOFF
//	//	SURVEY CONTROL MONUMENT AS NOTED	SURVEY CONTROL MONUMENT AS NOTED
(CORP)	(CORP)		
(CORP)	(CORP)		
800	800		
☆	☆	SET REBAR W/CAP ____	SET REBAR W/CAP ____
☆	☆	FOUND SURVEY MONUMENT AS NOTED	FOUND SURVEY MONUMENT AS NOTED
⚡	⚡	FOUND RIGHT OF WAY RAIL	FOUND RIGHT OF WAY RAIL
⚡	⚡	SECTION CORNER SET AS NOTED	SECTION CORNER SET AS NOTED
⚡	⚡	SECTION CORNER FOUND AS NOTED	SECTION CORNER FOUND AS NOTED
⚡	⚡	CUT "X" IN CONCRETE	CUT "X" IN CONCRETE
⚡	⚡	RECORDED AS	RECORDED AS
⚡	⚡	PLAT OR SURVEY BOUNDARY	PLAT OR SURVEY BOUNDARY
⚡	⚡	PLAT LOT LINE	PLAT LOT LINE
⚡	⚡	CENTERLINE	CENTERLINE
⚡	⚡	SECTION LINE	SECTION LINE
⚡	⚡	1/4 SECTION LINE	1/4 SECTION LINE
GR	GR	1/4-1/4 SECTION LINE	1/4-1/4 SECTION LINE
RA-3	RA-3	BUILDING SETBACK LINE	BUILDING SETBACK LINE
RA-5	RA-5		
RA-6	RA-6		
RA-8	RA-8		

NOTES:
1. THIS IS A STANDARD LEGEND. SOME ITEMS MAY NOT APPEAR ON DRAWINGS.



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The logo consists of the letters 'HHE' in a stylized, bold, blue font with red horizontal stripes. To the right of the letters is a large, thin, grey oval that encircles the text.

www.halleng.com

GREENBELT TRAIL SUBDIVISION

IN THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

PRELIMINARY GRADING PLAN
PR

SHEET
2

SCAD File: I:\projects\9700\9749-GBT Scanlon Farms Greenbelt Trail\9749-GBT1_ Scanlon Farms Greenbelt Trail First Addition\DWG\Plats\9749-GBT - RCS 10 - PRELIMINARY PLAT-GRADING.dwg Date Plotted: Tuesday, August 01, 2010 9:45:27 AM Plotted By: Jason Hoffman



August 1, 2019

Memo

To: North Liberty Planning Commission

From: Dean Wheatley, Planning Director

Subject: Request of North Liberty Property, LLC to approve a Revised Site Plan at Greg's Lawn Service, 995 238th Street, located between 238th and 240th Streets and adjacent to Jones Boulevard. (Legal: Lot 18 Deerfield Fourth Addition)

Your North Liberty city staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator

Tracey Mulcahey, Assistant City Administrator

Tom Palmer, City Building Official

Grant Lientz, City Attorney

Kevin Trom, City Engineer

Dean Wheatley, Planning Director

This is a request to add a new salt storage building to the existing site, zoned industrial and located at the northeast corner of 240th Street and Jones Boulevard.

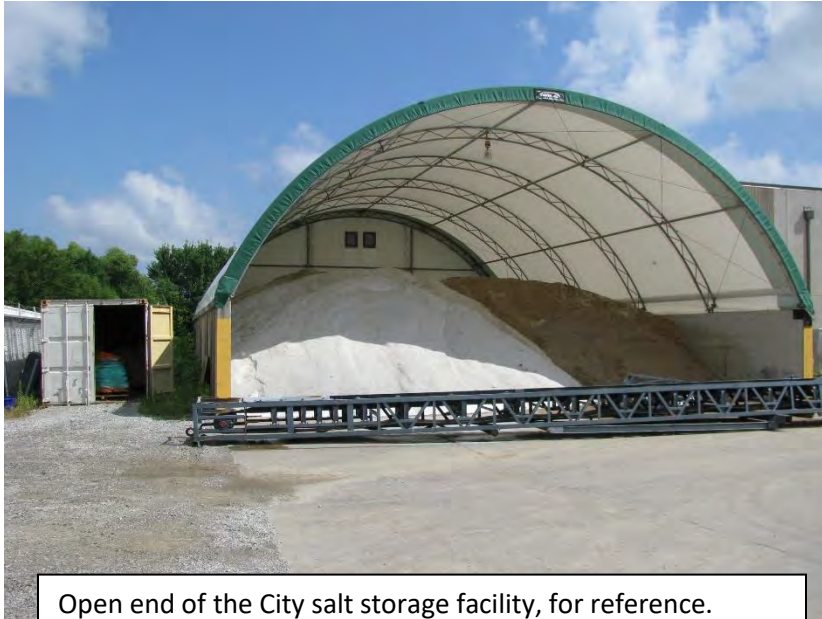
The original site plan for this location was approved and constructed in 2006 and has since changed ownership several times. Conditional uses were approved in 2011 and 2012 for outside storage. In 2012 the conditional use approved a 21'x31' salt bunker for use by the current owner, and this application is to replace that crude structure with a new much larger commercial hoop structure on a concrete base.

The new proposed salt storage bunker is very large, at about 50'x80' and 25' tall. The City's salt bunker, very similar in construction, is used to store salt for the entire city street network for an average winter and is about 50'x70'. The City Streets Superintendent has noted for reference that salt storage is difficult to manage because of the corrosive effects salt dust and the product itself has on metal.

This proposal represents a substantial change from typical building design, because its appearance is different and because the roof membrane itself has a limited life. Staff is recommending approval of this revised site plan based on the following considerations:

1. The property is zoned for industrial uses. We would not recommend a hoop structure in any other district.
2. The applicant has made several upgrades to the original submission to address staff concerns, including

- a. Adding masonry to three sides of the exposed concrete foundation (masonry is required, but the applicant is proposed more than required);
 - b. Softening the scale of the wall somewhat by proposing a 2' berm against the exposed sides of the structure; and
 - c. Proposing landscaping around the exposed sides of the structure, again to soften the size impact.
3. Alternatives to the hoop building would likely be no more aesthetically agreeable and would likely be less functional, leading to maintenance problems and possibly run-down appearance over time because of corrosion.
4. The proposed structure is commercial grade in construction. It is not similar to hoop-style structures commonly available at big-box home stores.



Open end of the City salt storage facility, for reference.

This applicant, along with the applicant's engineering firm, have worked well with staff in making numerous improvements to the original submission that will lead to the best possible solution for this industrial site addition.

Note: DNR approval will be required for salt storage at this location prior to issuance of building permit.



Enclosed end of the City salt storage facility. Boards were added along the bottom edge of the roof membrane because salt corroded the original metal supports enough to make them unusable.



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ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date Revision

LANDSCAPE PLAN

GREG'S LAWN CARE
& LANDSCAPING

NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date: 07-01-2019

Designed by: BJC Field Book No:

Drawn by: KLE Scale: 1"=20'

Checked by: RLA Sheet No:

Project No: 4

NORTH LIBERTY

10770-001 of: 4

AMENDED SITE PLAN GREG'S LAWN CARE & LANDSCAPING NORTH LIBERTY, IOWA

PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IA 52240

OWNER/APPLICANT:
NORTH LIBERTY PROPERTY LLC
1200 CONTINENTAL PLACE NE
CEDAR RAPIDS, IA 52402

APPLICANT'S ATTORNEY:
MARK PARMENTER
LEDERERVESTON CRAIG PLC
118 THIRD AVENUE SE, SUITE 700
CEDAR RAPIDS, IA 52401

LANDSCAPE LEGEND:

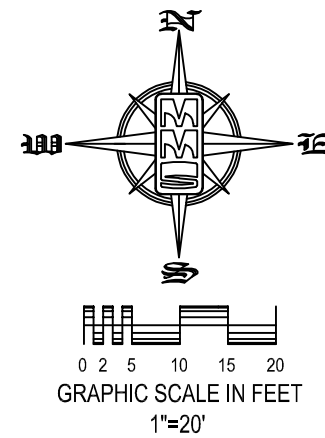


MULCH

NO PORTION OF THIS SITE RESIDES WITHIN THE FEMA 100-YR FLOOD BOUNDARY

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLANS AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.



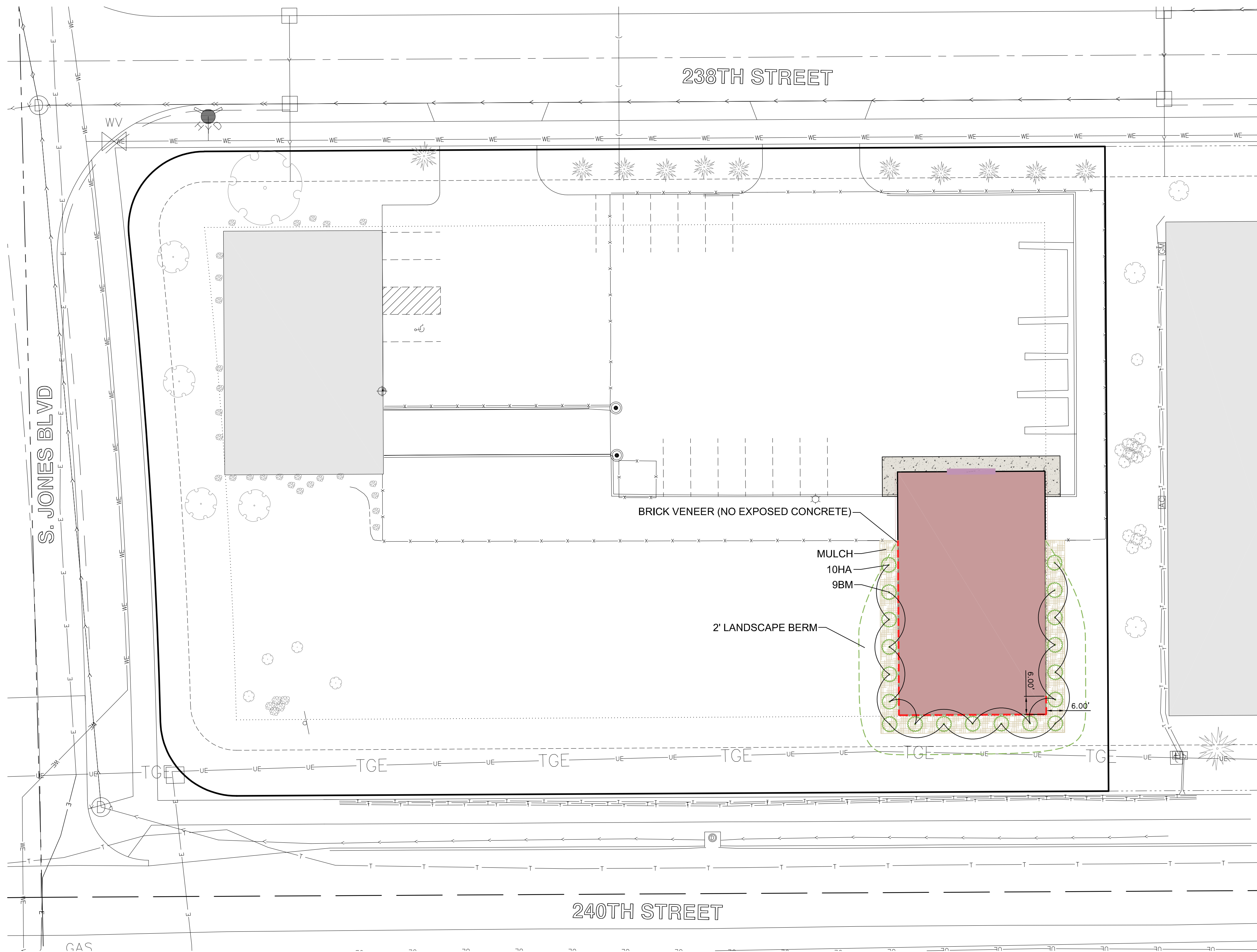
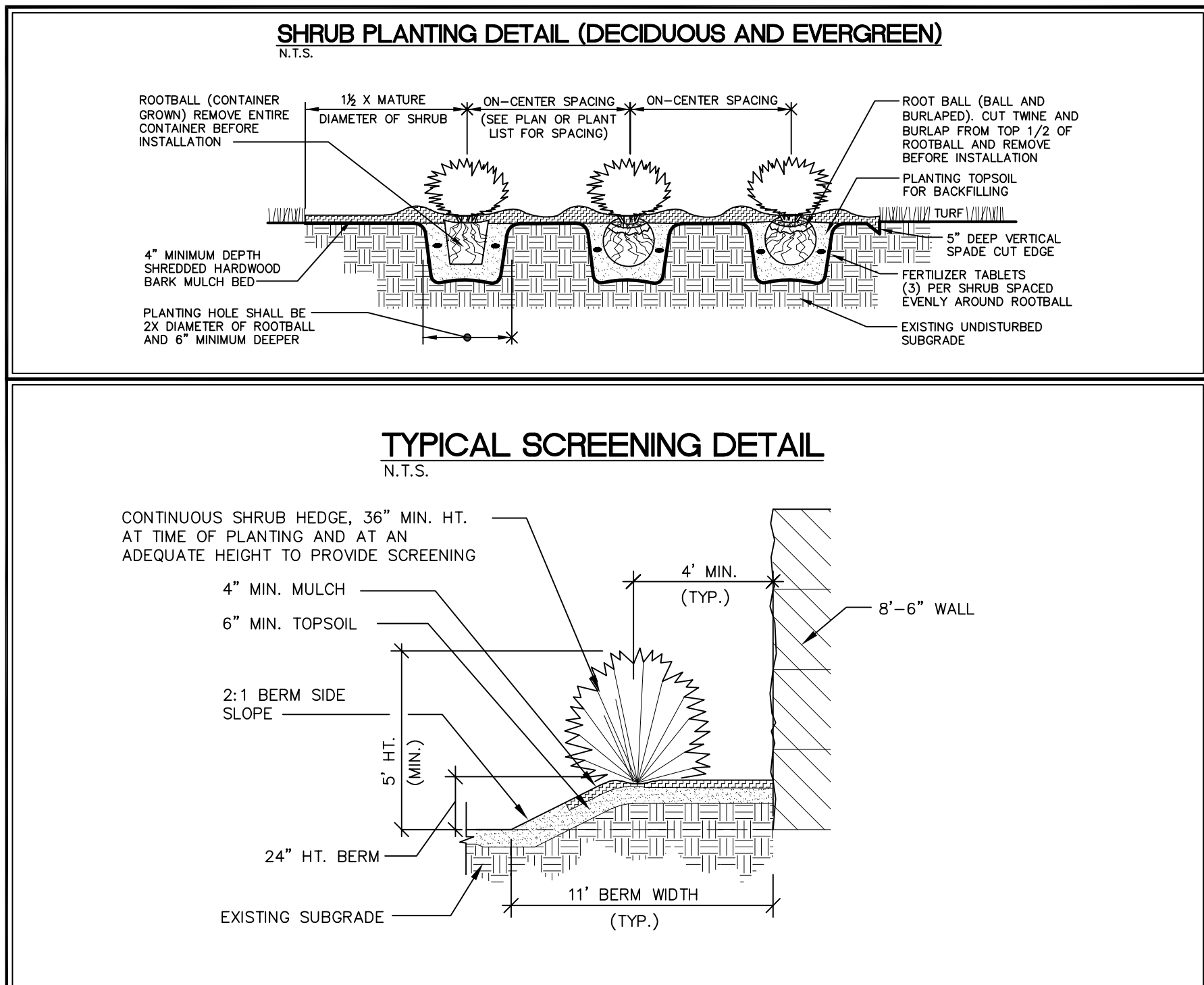
SHEET INDEX
1 OVERALL SITE LAYOUT PLAN
2 SITE PLAN, GRADING & EROSION CONTROL PLAN AND SWPPP
3 DEMOLITION PLAN
4 LANDSCAPE PLAN

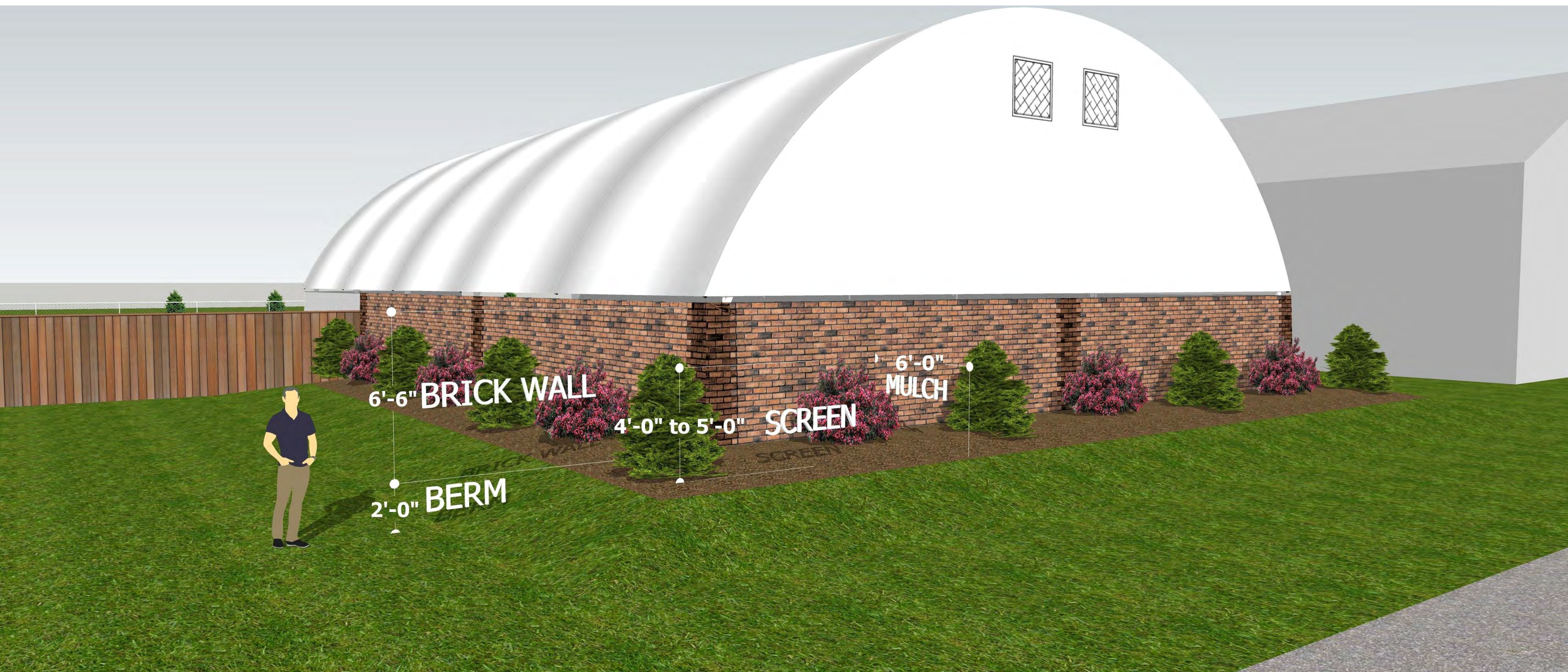
STANDARD LEGEND AND NOTES	
	PROPERTY &/or BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLATTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	POWER POLE
	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	GUY POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	ELECTRICAL LINES
	TELEPHONE LINES
	GAS LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES ON SITE PRIOR TO LANDSCAPE INSTALLATION.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY; DRAWING SHALL PREVAIL IF CONFLICT OCCURS.
- KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60 - 1990, OR MOST RECENT ADDITION.
- LAYOUT OF PLANT MATERIAL AT SITE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING BED AREAS SHALL HAVE QUALITY TOPSOIL ADDED (IF NEEDED) BY LANDSCAPE CONTRACTOR TO BRING BED GRADES 3" - 4" BELOW EXISTING CONCRETE AREAS AND TOP OF DECORATIVE WALLS. (PRIOR TO BIDDING, CONTRACTOR IS RECOMMENDED TO VISIT SITE)
- FINISH GRADING OF PLANT BED AND SOD AREAS SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
- ALL SHRUB AND PERENNIAL PLANTING AREAS SHALL HAVE A MINIMUM 3 INCH DEEP BED OF DOUBLE SHREDDED HARDWOOD BARK MULCH AND AN APPLICATION OF A PRE-EMERGENT ("PREEN" OR APPROVED EQUAL) FOR WEED CONTROL.
- LANDSCAPE EDGING BETWEEN BARK MULCH AND LAWN AREAS SHALL BE A SPADE CUT EDGE. EDGE SHALL BE INSTALLED VERTICAL AND ACCORDING TO DETAILS.
- STAKING SHALL BE REQUIRED ON ALL TREES (EXCEPT MULTI-STEM VARIETIES) STAKE USING (2) OR (3) 6" STEEL "T" POST PLACED OUTSIDE OF ROOT-BALL AND ADHERED TO TRUNK OF TREE WITH 16 GAUGE CABLE AND WOVEN NYLON TREE STRAPS.
- ALL TREES FREE-STANDING IN LAWN AREAS AND IN PLANTING BEDS SHALL BE WRAPPED WITH A STANDARD MANUFACTURED TREE WRAP AND FASTENED WITH TWINE OR APPROVED METHOD.
- ALL TREES FREE-STANDING WITHIN LAWN AREAS SHALL HAVE A MINIMUM 4 FT. DIA. RING OF DOUBLE SHREDDED HARDWOOD BARK MULCH AT A 3 INCH DEPTH.
- ALL LANDSCAPE PLANTINGS AND SOD AREAS SHALL BE THOROUGHLY WATERED UPON INSTALLATION AND A TOTAL OF (3) WATERINGS BEFORE INITIAL ACCEPTANCE. AFTER ACCEPTANCE, SOD SHALL BE MAINTAINED FOR (30) DAYS OR UNTIL ROOTED IN.
- LANDSCAPE CONTRACTOR MUST FOLLOW ALL DETAILS PROVIDED ON SHEETS DESCRIBING LANDSCAPE CONSTRUCTION TECHNIQUES.
- ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.
- SEED ALL REMAINING AREAS WITH IDOT URBAN MIX.

PLANT LIST - SHRUBS, PERENNIALS, ORNAMENTAL GRASSES & GROUNDCOVER						
QTY	KEY	POTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
9	BM	BERBERIS THUNBERGII 'RUBY CAROUSEL'	RUBY CAROUSEL BERBERRY	15" HT.	CONT.	4' X 5'
10	HA	THUJA OCCIDENTALIS 'HOLMSTRUP'	HOLMSTRUP ARBORVITAE	15" HT.	CONT.	6' X 5'



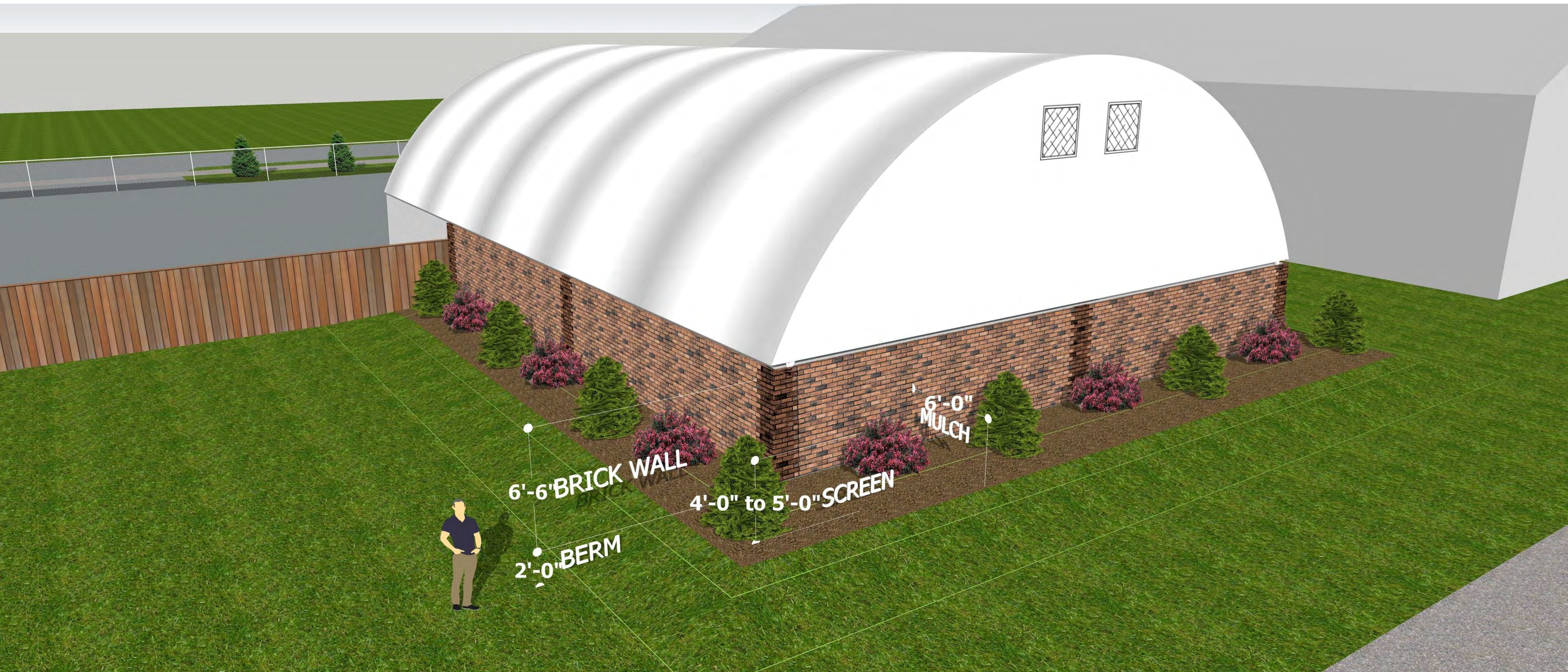


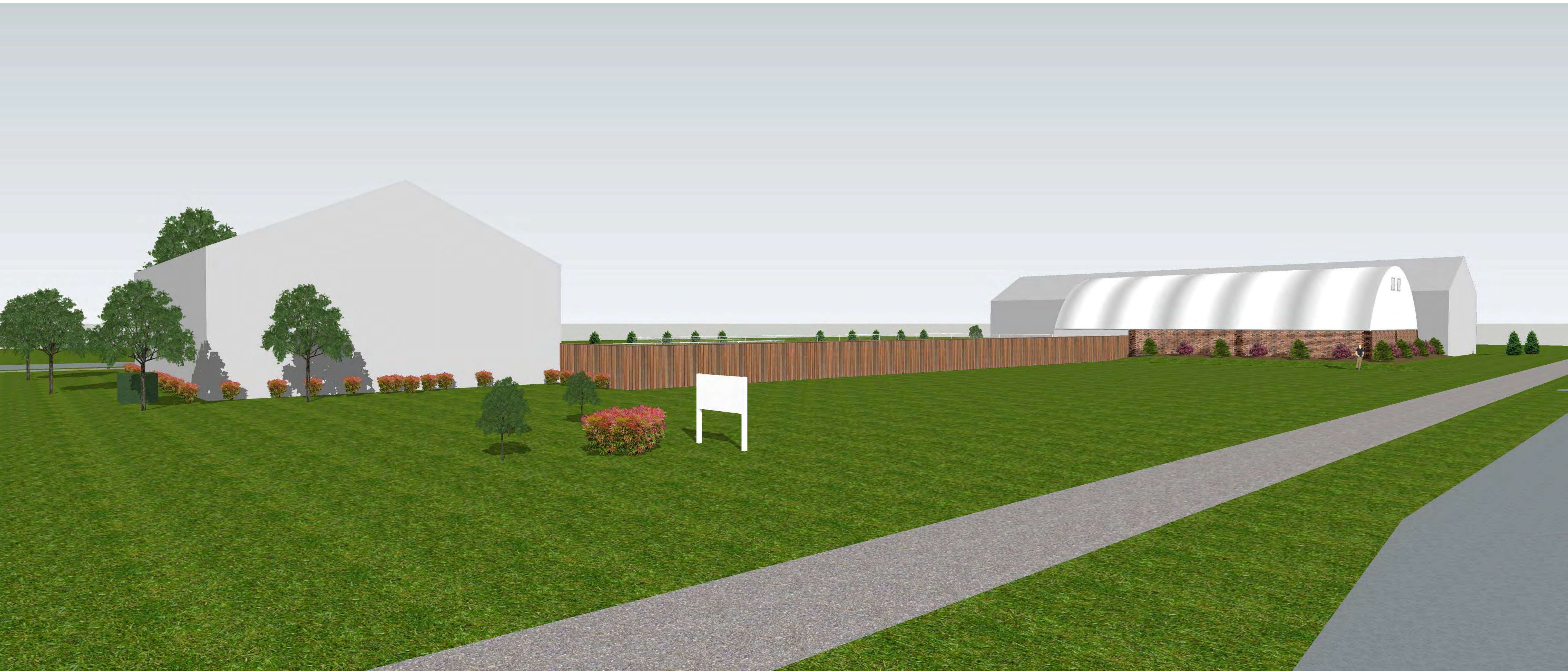
6'-6" BRICK WALL

2'-0" BERM

4'-0" to 5'-0" SCREEN

6'-0" MULCH







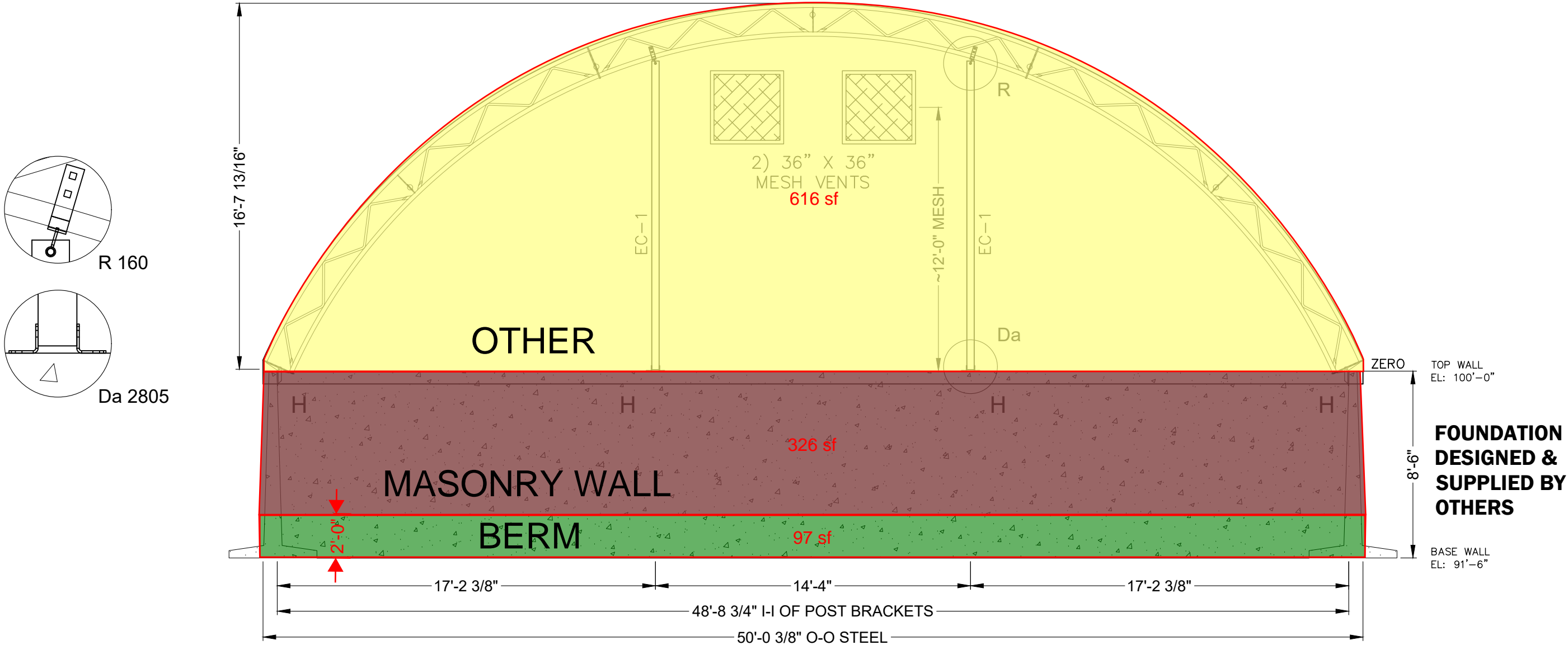
BRICK COVERS CONCRETE AS BERM TAPERS DOWN




NOTES:

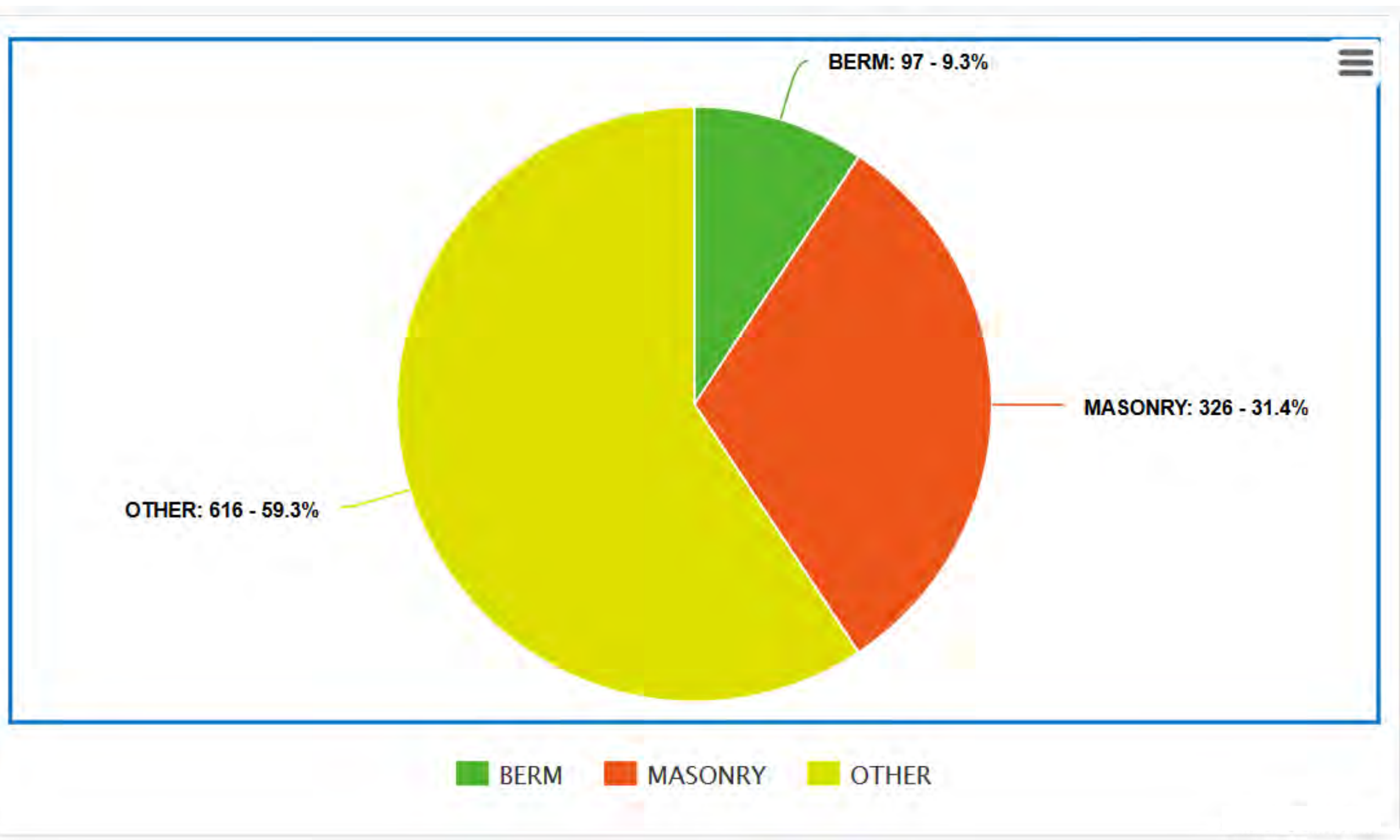
- 1. "H" DENOTES BLOCK WINCH & STRAP FOR FASTENING TUBE
- 2. EC VERTICAL LOCATION DIMENSIONS ARE TO THE CENTRELINE OF MEMBERS
- 3. FIELD DRILL HSS AS REQUIRED

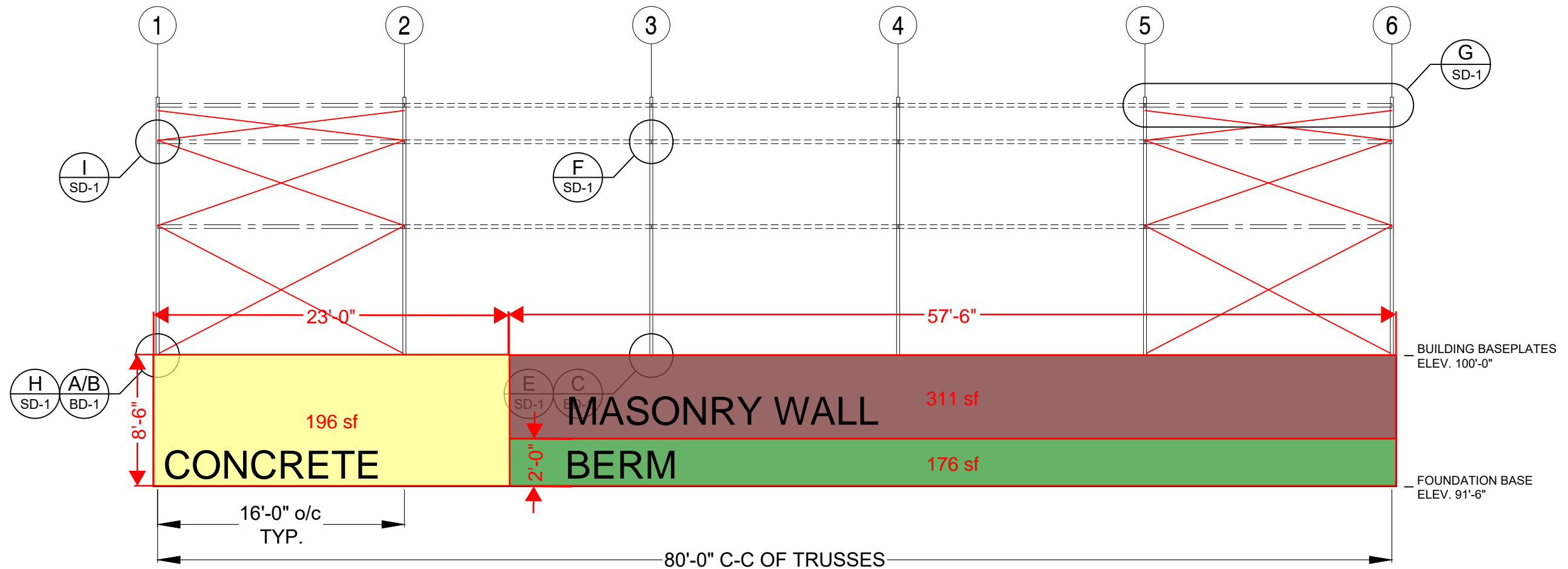
– 2" CENTRES – 168"
5/8" CHORD
2" CENTRES



GRIDLINE 1 - END 1

<div></div> <div>TF: 800-407-5846 www.britespanbuildings.com</div>		REV #		CR #	DESCRIPTION:	DATE:	DEALER: FREEDOM BUILDINGS INC. 508 - 3RD STREET BELLE PLAINE, IA. 52208		CUSTOMER: GREG'S LAWN & LANDSCAPING 995 238TH STREET NORTH LIBERTY, IA. 52317					
		0			ISSUED FOR CONSTRUCTION	09.JUL.2019								
THIS DRAWING IS PROPERTY OF BRITESPAN BUILDING SYSTEMS INC.. ANY REPRODUCTION IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF BRITESPAN BUILDING SYSTEMS INC. IS PROHIBITED. THIS DRAWING IS NOT TO SCALE UNLESS OTHERWISE NOTED.		DRAWN BY:						PROJECT:		ORDER ID:		DRAWING TITLE:		
		TWF						ATLAS 18		SO# 6838-01		ENDWALL 1 LAYOUT		
		CHECKED BY:						50' x 80' - 220 PM		WIDTH-STEEL-FAB-HSS-HSSDROP:		SHEET NO.: PAGE NO.:		
		RWH						16' oc		50-220-220-14-//		EW-1 008 /13		

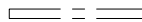
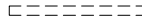





ELEVATION

FOR PURLIN DETAILS SEE: SD-1

FOR CABLE DETAILS SEE: SD-2

PURLIN LEGEND	
ITEM	DESCRIPTION
	BRACED BAY PURLIN 3 1/2" DIA. X 14 GA.
	UNBRACED BAY PURLIN 2-7/8" DIA. X 14 GA.
CABLE LEGEND	
ITEM	DESCRIPTION
	CROSS CABLE 5/16"



TF: 800-407-5846
www.britespanbuildings.com

REV #	CR #	DESCRIPTION:	DATE:
0		ISSUED FOR CONSTRUCTION	09.JUL.2019

DEALER:
FREEDOM BUILDINGS INC.
508 - 3RD STREET
BELLE PLAINE, IA. 52208

CUSTOMER:
GREG'S LAWN & LANDSCAPING
995 238TH STREET
NORTH LIBERTY, IA. 52317

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DRAWN BY:
TWF

CHECKED BY:
RWH

PROJECT:
ATLAS 18
50' x 80' - 220 PM
16' oc

ORDER ID:
SO# 6838-01

WIDTH-STEEL-FAB-HSS-HSSDROP:
50-220-220-14-//

DRAWING TITLE:
BRACING LAYOUT - ELEVATION

SHEET NO.: FB-6
PAGE NO.: 007 /13

WEST ELEVATION



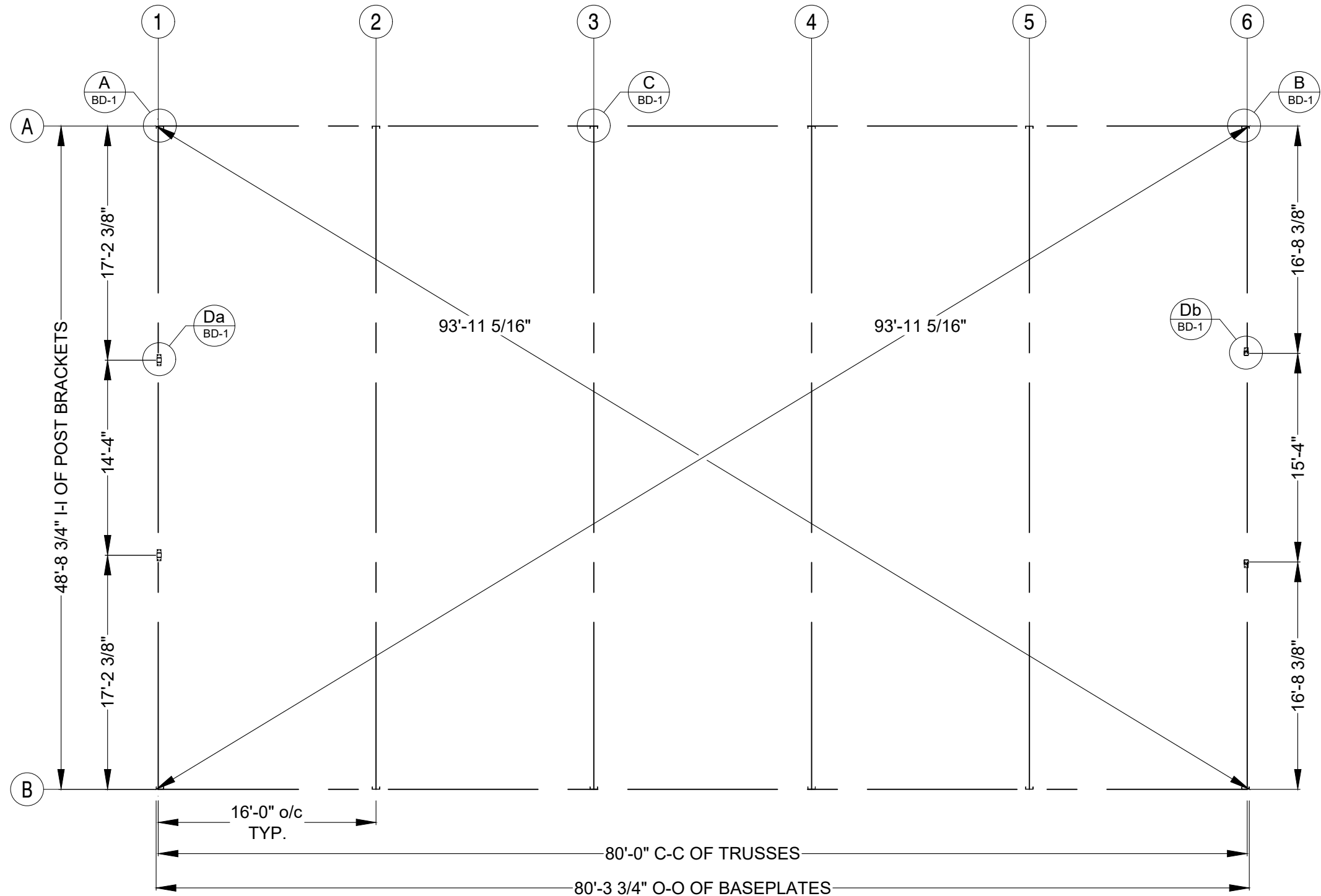
CONCRETE: 196 - 28.7%

BERM: 177 - 25.9%

MASONRY WALL: 311 - 45.5%

BERM MASONRY WALL CONCRETE





TF: 800-407-5846
www.britespanbuildings.com

REV #	CR #	DESCRIPTION:	DATE:
0		ISSUED FOR CONSTRUCTION	09.JUL.2019

DEALER:
FREEDOM BUILDINGS INC.
508 - 3RD STREET
BELLE PLAINE, IA. 52208

CUSTOMER:
GREG'S LAWN & LANDSCAPING
995 238TH STREET
NORTH LIBERTY, IA. 52317

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DRAWN BY:
TWF

CHECKED BY:
RWH

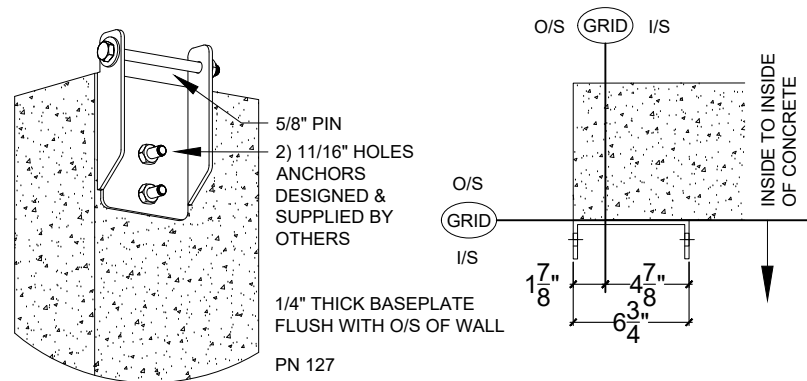
PROJECT:
ATLAS 18
50' x 80' - 220 PM
16' oc

ORDER ID:
SO# 6838-01

WIDTH-STEEL-FAB-HSS-HSSDROP:
50-220-220-14-//

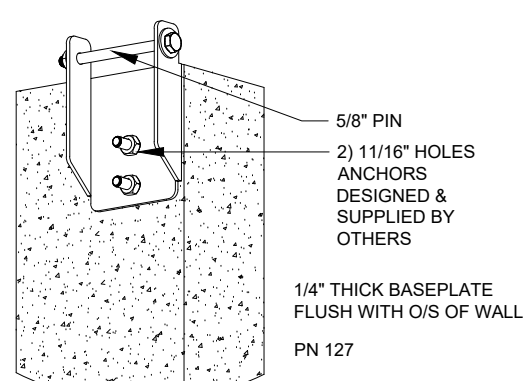
DRAWING TITLE:
BASEPLATE LAYOUT

SHEET NO.: FB-2
PAGE NO.: 002 /13



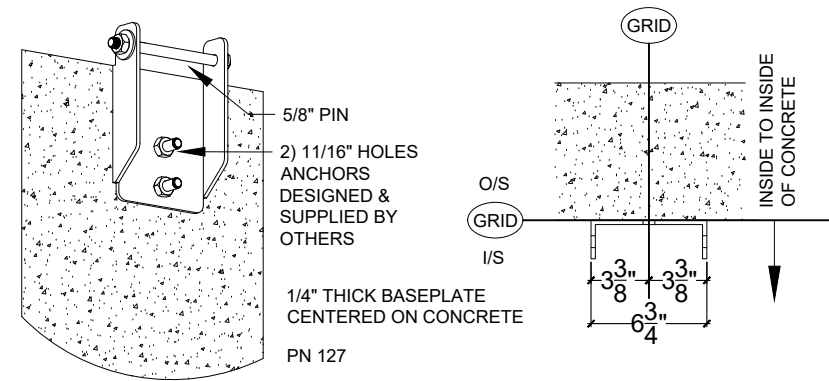
* FOUNDATION DESIGNED & SUPPLIED BY OTHERS

A LEFT END - 220
BD-1 BASEPLATE DETAIL



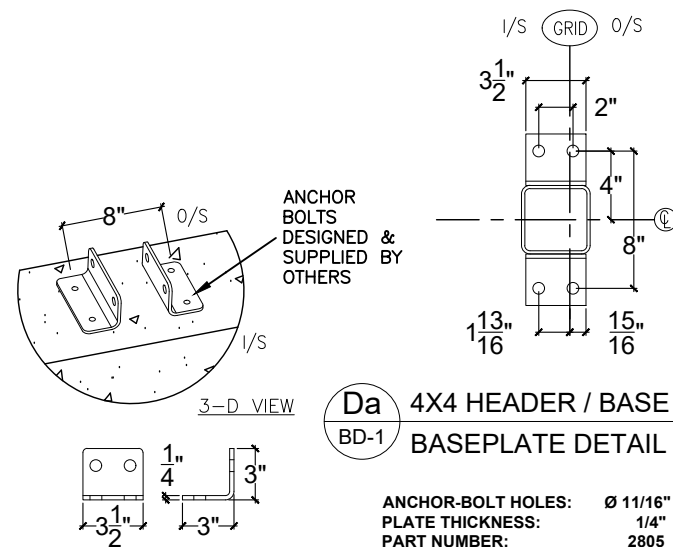
* FOUNDATION DESIGNED & SUPPLIED BY OTHERS

B RIGHT END - 220
BD-1 BASEPLATE DETAIL

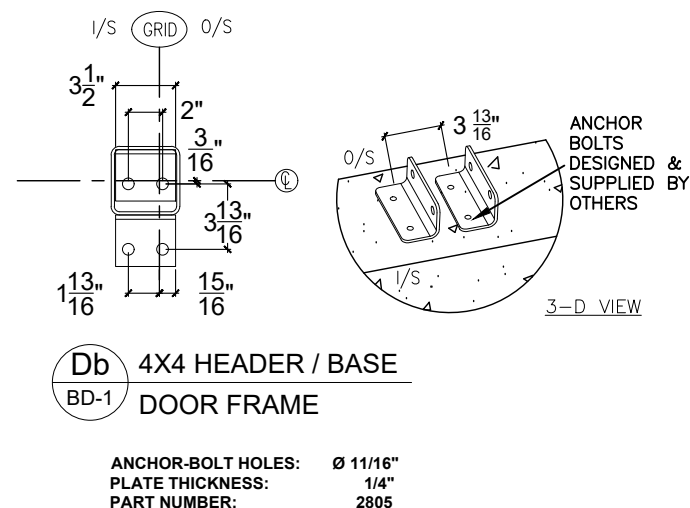


* FOUNDATION DESIGNED & SUPPLIED BY OTHERS

C COMMON - 220
BD-1 BASEPLATE DETAIL



Da 4X4 HEADER / BASE
BD-1 BASEPLATE DETAIL



Db 4X4 HEADER / BASE
BD-1 DOOR FRAME

FOUNDATION DESIGNED
& SUPPLIED BY OTHERS



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REV #	CR #	DESCRIPTION:	DATE:
0		ISSUED FOR CONSTRUCTION	09.JUL.2019

DEALER:
FREEDOM BUILDINGS INC.
508 - 3RD STREET
BELLE PLAINE, IA. 52208

CUSTOMER:
GREG'S LAWN & LANDSCAPING
995 238TH STREET
NORTH LIBERTY, IA. 52317

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DRAWN BY:
TWF

CHECKED BY:
RWH

PROJECT:
ATLAS 18
50' x 80' - 220 PM
16' oc

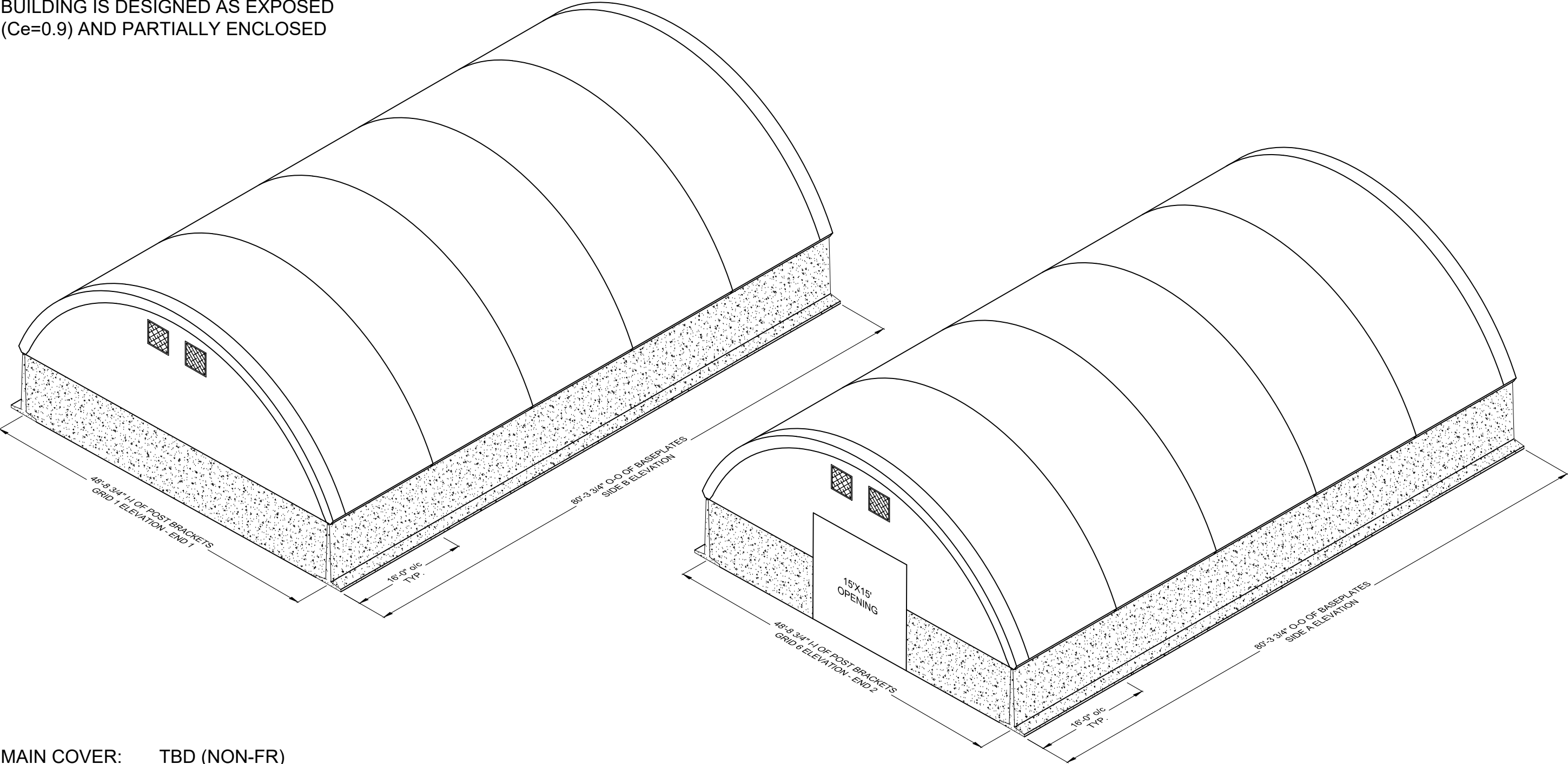
ORDER ID:
SO# 6838-01

WIDTH-STEEL-FAB-HSS-HSSDROP:
50-220-220-14-//

DRAWING TITLE:
BASEPLATE DETAILS


SHEET NO.: **BD-1** PAGE NO.: **003 /13**

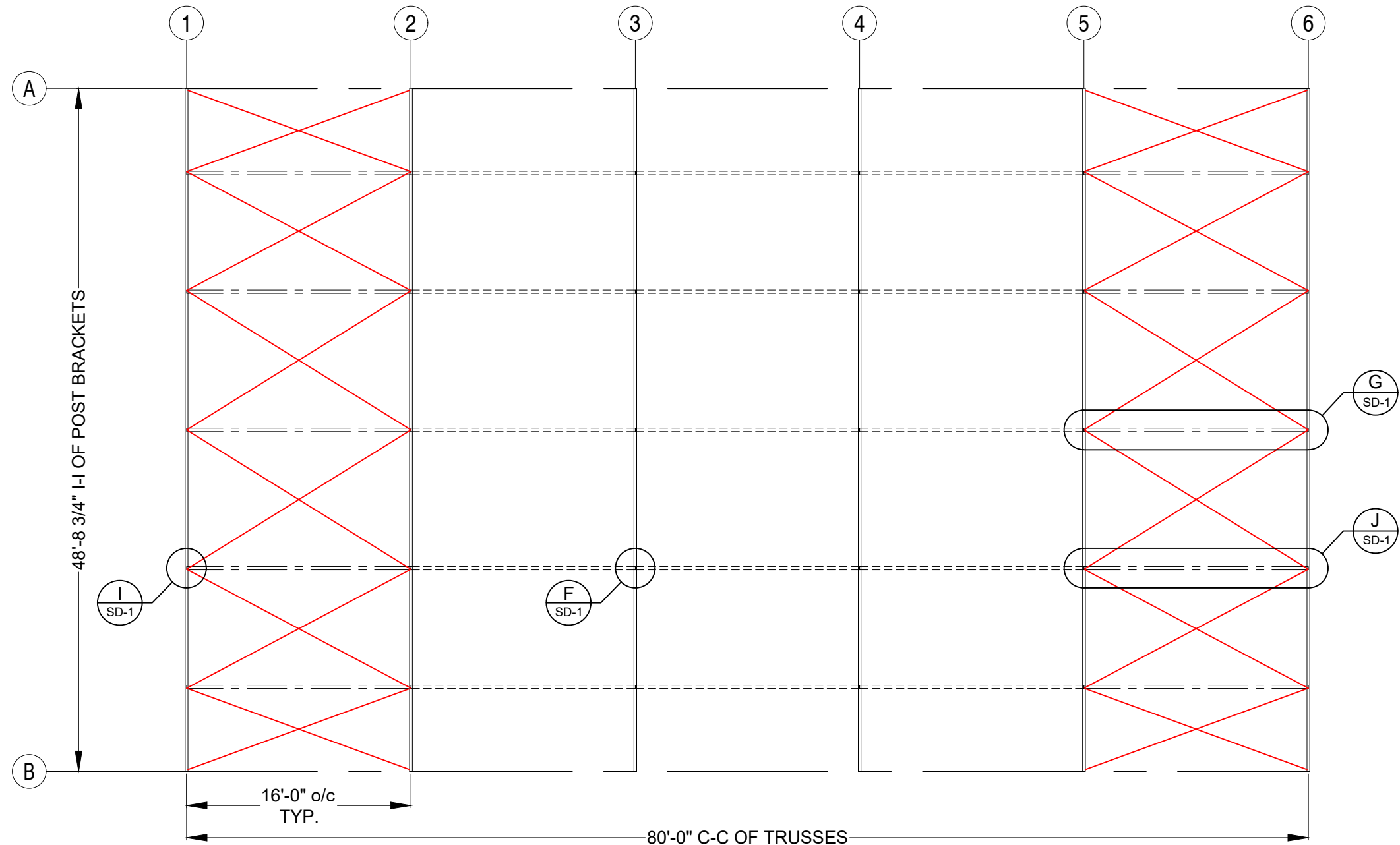
NOTE:
BUILDING IS DESIGNED AS EXPOSED
(Ce=0.9) AND PARTIALLY ENCLOSED



MAIN COVER: TBD (NON-FR)
ENDFLAPS: TBD (NON-FR)
ENDWALL(S): TBD (NON-FR)

FOUNDATION DESIGNED
& SUPPLIED BY OTHERS

<div><div></div><div>TF: 800-407-5846 www.britespanbuildings.com</div></div> <div>THIS DRAWING IS PROPERTY OF BRITESPAN BUILDING SYSTEMS INC.. ANY REPRODUCTION IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT OF BRITESPAN BUILDING SYSTEMS INC. IS PROHIBITED. THIS DRAWING IS NOT TO SCALE UNLESS OTHERWISE NOTED.</div>		REV #	CR #	DESCRIPTION:	DATE:	<div>DEALER:</div> <div>FREEDOM BUILDINGS INC. 508 - 3RD STREET BELLE PLAINE, IA. 52208</div>		<div>CUSTOMER:</div> <div>GREG'S LAWN & LANDSCAPING 995 238TH STREET NORTH LIBERTY, IA. 52317</div>		<div>DRAWING TITLE:</div> <div>PROJECT LAYOUT</div>	
		0		ISSUED FOR CONSTRUCTION	09.JUL.2019						
<div>DRAWN BY:</div> <div>TWF</div> <div>CHECKED BY:</div> <div>RWH</div>						PROJECT:	ORDER ID:	PAGE NO.: 004 /13			
						ATLAS 18 50' x 80' - 220 PM 16' oc	SO# 6838-01				
							WIDTH-STEEL-FAB-HSS-HSSDROP: 50-220-220-14-//	SHEET NO.: FB-3			



PLAN VIEW

FOR PURLIN DETAILS SEE: SD-1

FOR CABLE DETAILS SEE: SD-2

PURLIN LEGEND	
ITEM	DESCRIPTION
	BRACED BAY PURLIN 3 1/2" DIA. X 14 GA.
	UNBRACED BAY PURLIN 2-7/8" DIA. X 14 GA.
CABLE LEGEND	
ITEM	DESCRIPTION
	CROSS CABLE 5/16"



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REV #	CR #	DESCRIPTION:	DATE:
0		ISSUED FOR CONSTRUCTION	09.JUL.2019

DEALER:
FREEDOM BUILDINGS INC.
508 - 3RD STREET
BELLE PLAINE, IA. 52208

CUSTOMER:
GREG'S LAWN & LANDSCAPING
995 238TH STREET
NORTH LIBERTY, IA. 52317

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DRAWN BY:
TWF

CHECKED BY:
RWH

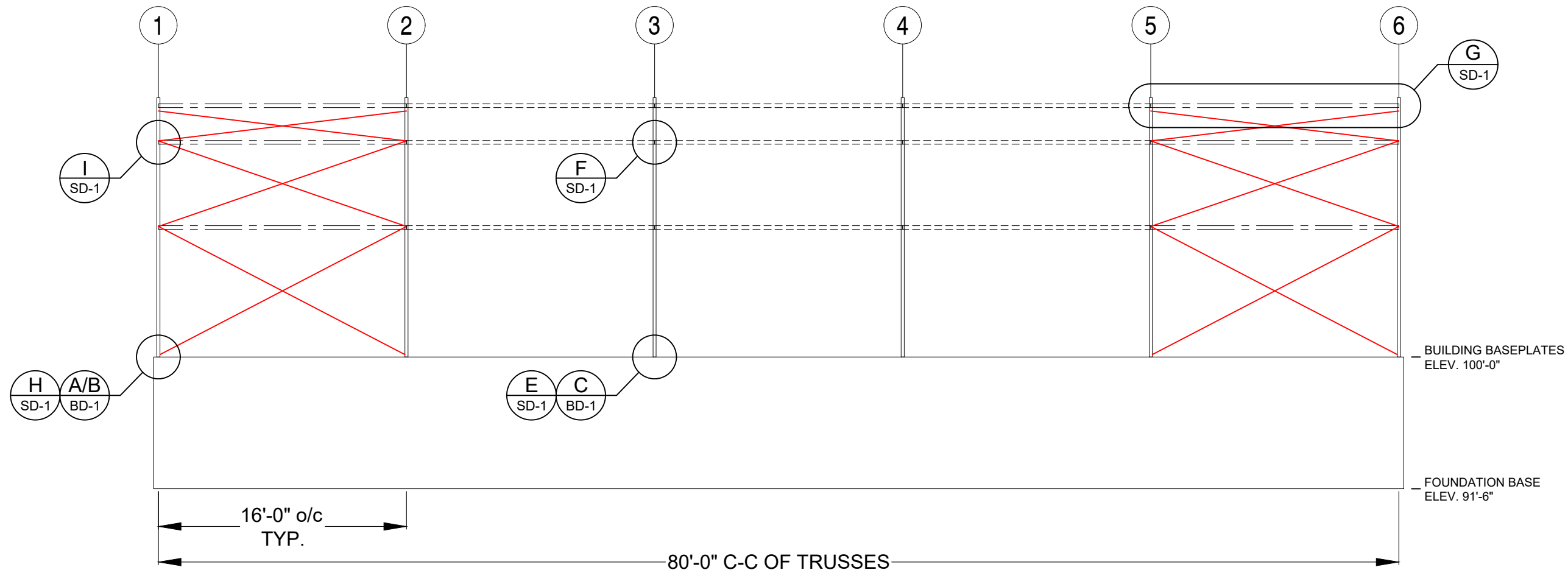
PROJECT:
ATLAS 18
50' x 80' - 220 PM
16' oc

ORDER ID:
SO# 6838-01

WIDTH-STEEL-FAB-HSS-HSSDROP:
50-220-220-14-//

DRAWING TITLE:
BRACING LAYOUT - PLAN VIEW

SHEET NO.: FB-5
PAGE NO.: 006 /13




ELEVATION

FOR PURLIN DETAILS SEE: SD-1

FOR CABLE DETAILS SEE: SD-2

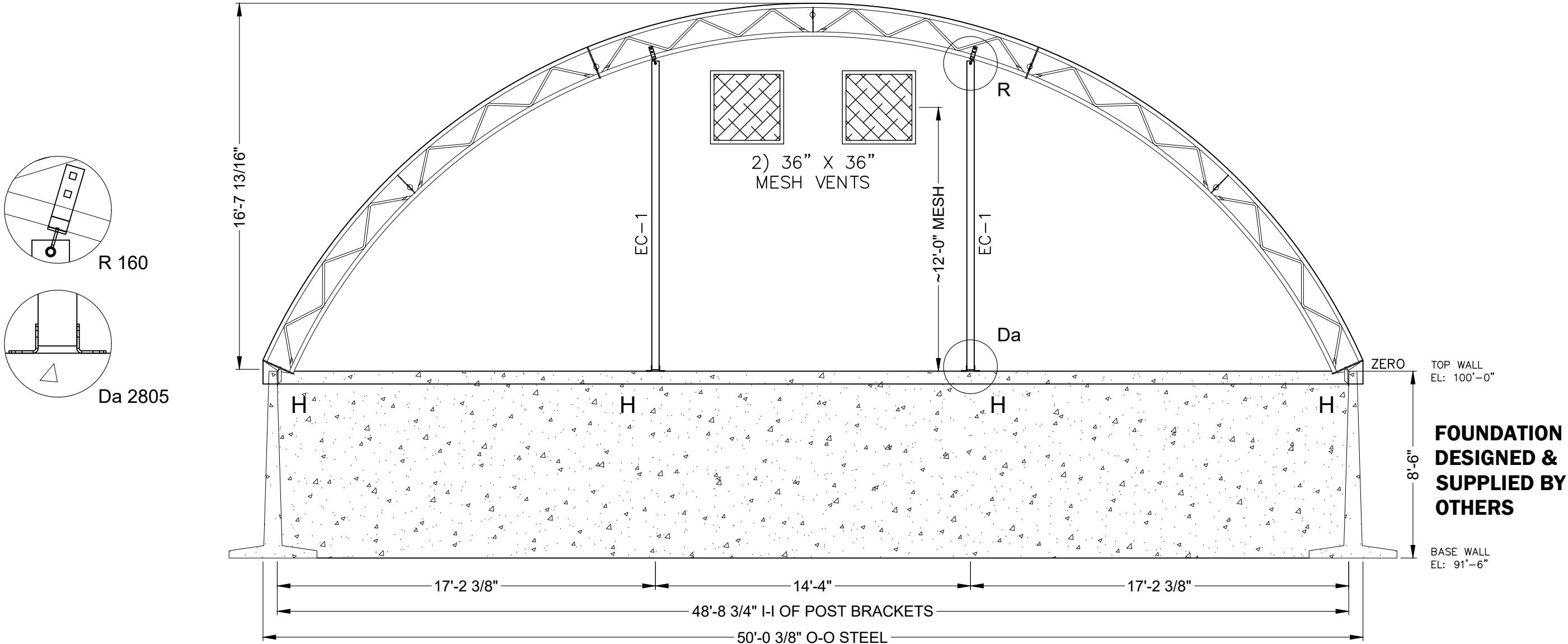
PURLIN LEGEND	
ITEM	DESCRIPTION
	BRACED BAY PURLIN 3 1/2" DIA. X 14 GA.
	UNBRACED BAY PURLIN 2-7/8" DIA. X 14 GA.
CABLE LEGEND	
ITEM	DESCRIPTION
	CROSS CABLE 5/16"

<div><div>TF: 800-407-5846 www.britespanbuildings.com</div></div>	DRAWN BY: TWF	REV #	CR #	DESCRIPTION:	DATE:	DEALER: FREEDOM BUILDINGS INC. 508 - 3RD STREET BELLE PLAINE, IA. 52208		CUSTOMER: GREG'S LAWN & LANDSCAPING 995 238TH STREET NORTH LIBERTY, IA. 52317	
		0		ISSUED FOR CONSTRUCTION	09.JUL.2019				
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						ATLAS 18	SO# 6838-01	BRACING LAYOUT - ELEVATION	
						50' x 80' - 220 PM	WIDTH-STEEL-FAB-HSS-HSSDROP:	SHEET NO.:	PAGE NO.:
						16' oc	50-220-220-14-//	FB-6	007 /13


NOTES:

- 1. "H" DENOTES BLOCK WINCH & STRAP FOR FASTENING TUBE
- 2. EC VERTICAL LOCATION DIMENSIONS ARE TO THE CENTRELINE OF MEMBERS
- 3. FIELD DRILL HSS AS REQUIRED

MARK #	QTY.	COMPONENTS (in)
EC-1	2	1518-HSS- VERTICAL- 4" X 4" X 1/8"- 2" CENTRES - 168"
160	2	BRKT- 4" DEEP HSS TOP SADDLE- 2-3/8" CHORD
2805	4	HEADER/ BASE ANGLE- 4" X 4" HSS - 2" CENTRES



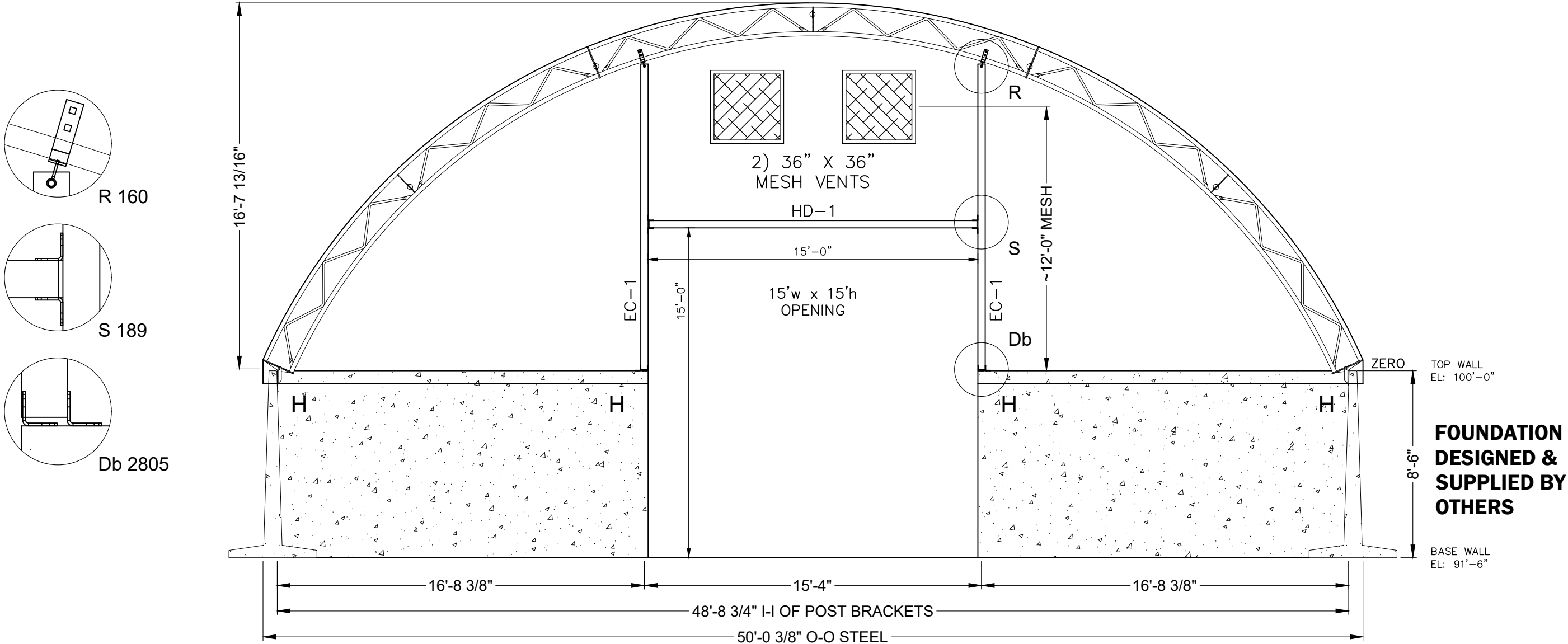
GRIDLINE 1 - END 1

<div><div>TF: 800-407-5846 www.britespanbuildings.com</div></div>		REV #	CR #	DESCRIPTION:	DATE:	DEALER: FREEDOM BUILDINGS INC. 508 - 3RD STREET BELLE PLAINE, IA. 52208		CUSTOMER: GREG'S LAWN & LANDSCAPING 995 238TH STREET NORTH LIBERTY, IA. 52317				
		0		ISSUED FOR CONSTRUCTION	09.JUL.2019							
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NOTES:

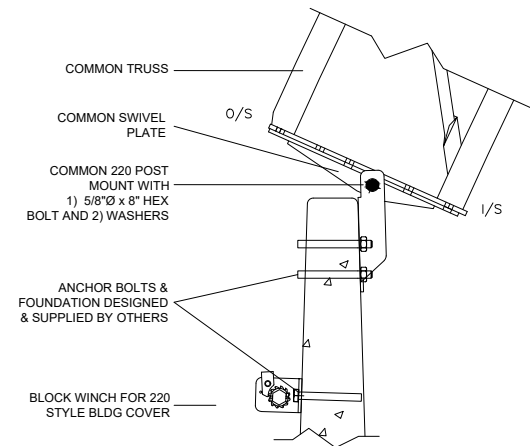
- 1. "H" DENOTES BLOCK WINCH & STRAP FOR FASTENING TUBE
- 2. EC VERTICAL LOCATION DIMENSIONS ARE TO THE CENTRELINE OF MEMBERS
- 3. FIELD DRILL HSS AS REQUIRED

MARK #	QTY.	COMPONENTS (in)
EC-1	2	1518-HSS- VERTICAL- 4" X 4" X 1/8"- 2" CENTRES - 167"
160	2	BRKT- 4" DEEP HSS TOP SADDLE- 2-3/8" CHORD
2805	4	HEADER/ BASE ANGLE- 4" X 4" HSS - 2" CENTRES
HD-1	1	1523- HSS- HEADER- 4" X 4" X 1/8"- 179"
189	4	HEADER ANGLE- 4" X 4" HSS - 2" CENTRES

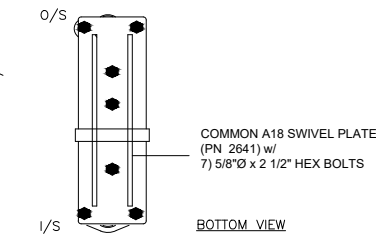


GRIDLINE 6 - END 2

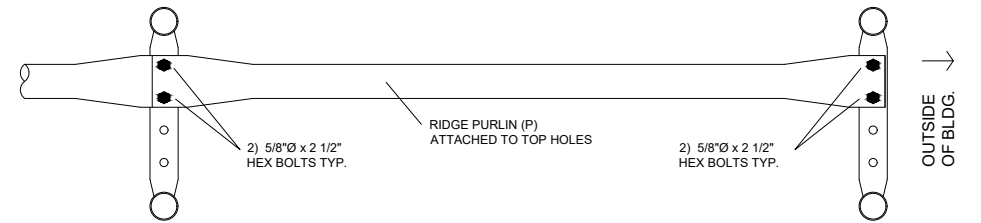
<div></div> <div>TF: 800-407-5846 www.britespanbuildings.com</div>		REV #	CR #	DESCRIPTION:	DATE:	DEALER: FREEDOM BUILDINGS INC. 508 - 3RD STREET BELLE PLAINE, IA. 52208		CUSTOMER: GREG'S LAWN & LANDSCAPING 995 238TH STREET NORTH LIBERTY, IA. 52317		
		0		ISSUED FOR CONSTRUCTION	09.JUL.2019					
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									PAGE NO.: 009 /13	



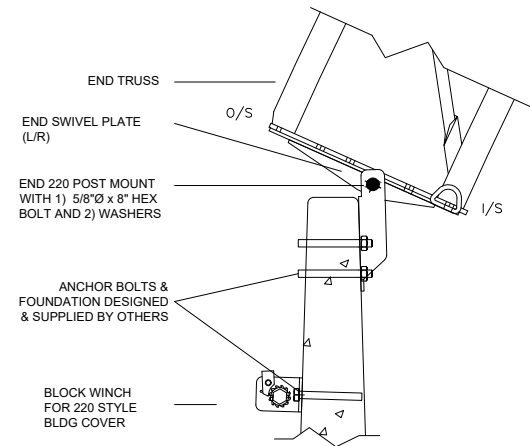
E 220 COMM. POST MOUNT
SD-1 CONNECTION DETAIL



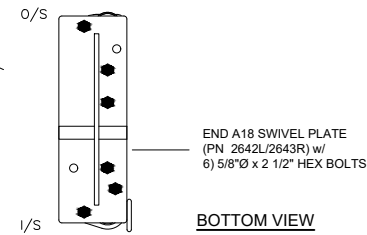
F COMMON TRUSS
SD-1 CONNECTION DETAIL



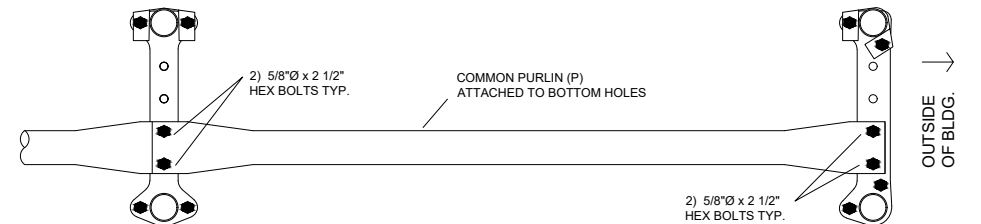
G RIDGE PURLIN w/KING PIN
SD-1 CONNECTION DETAIL




H 220 END POST MOUNT
SD-1 CONNECTION DETAIL

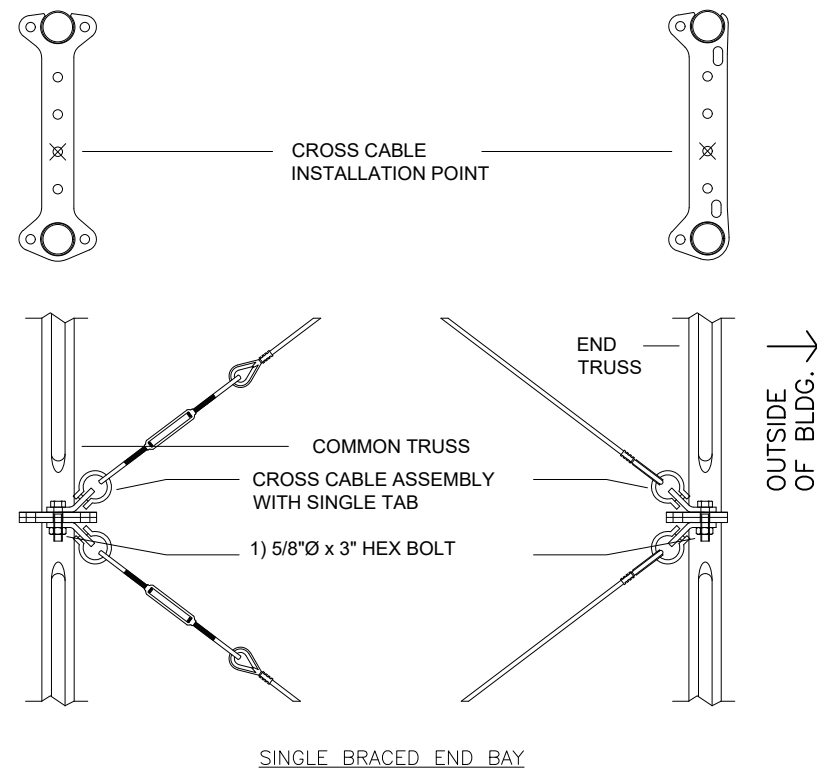


I END TRUSS
SD-1 CONNECTION DETAIL



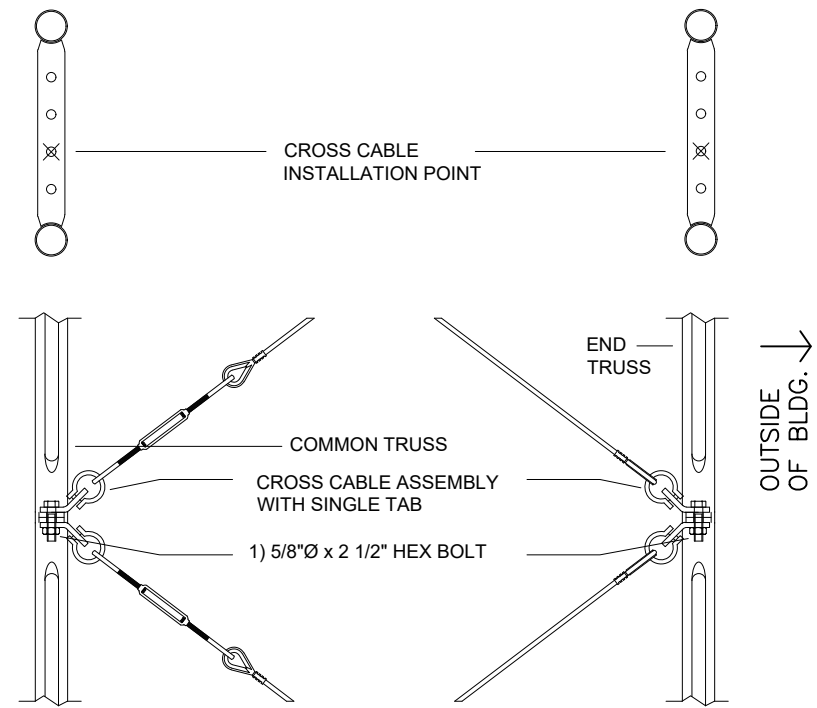
J COMMON PURLIN
SD-1 CONNECTION DETAIL

<div></div> <div>TF: 800-407-5846 www.britespanbuildings.com</div>		REV #	CR #	DESCRIPTION:	DATE:	DEALER: FREEDOM BUILDINGS INC. 508 - 3RD STREET BELLE PLAINE, IA. 52208		CUSTOMER: GREG'S LAWN & LANDSCAPING 995 238TH STREET NORTH LIBERTY, IA. 52317	
		0		ISSUED FOR CONSTRUCTION	09.JUL.2019				
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	TWF								
	CHECKED BY:								
	RWH								



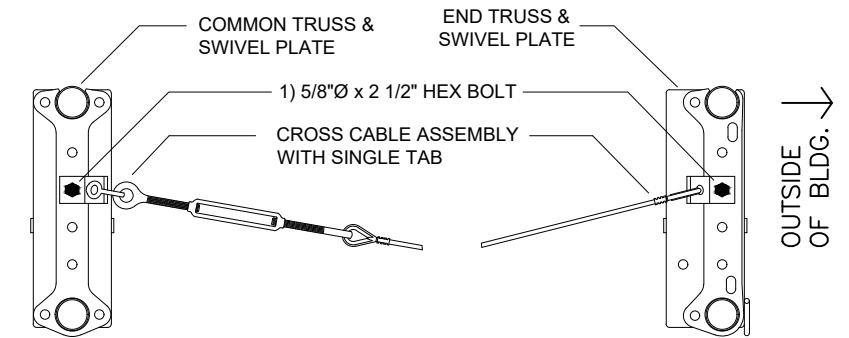
SINGLE BRACED END BAY

K CROSS CABLES AT DOGBONE
SD-2 CONNECTION DETAILS



SINGLE BRACED END BAY

L CROSS CABLES AT KINGPIN
SD-2 CONNECTION DETAILS



SINGLE BRACED END BAY

M CROSS CABLES AT SWIVEL PLATE
SD-2 CONNECTION DETAILS



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RWH

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0		ISSUED FOR CONSTRUCTION	09.JUL.2019

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FREEDOM BUILDINGS INC.
508 - 3RD STREET
BELLE PLAINE, IA. 52208

PROJECT:
ATLAS 18
50' x 80' - 220 PM
16' oc

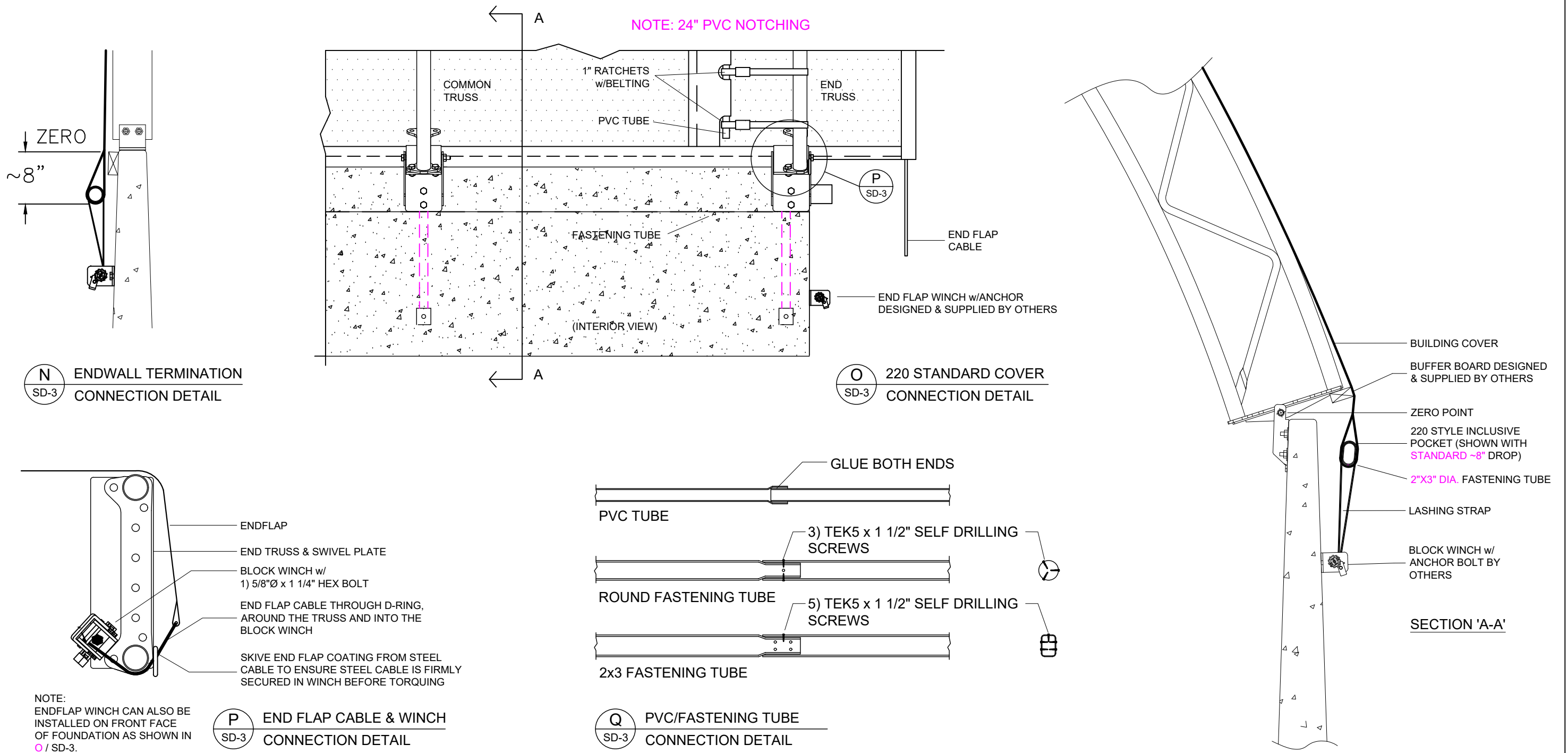
ORDER ID:
SO# 6838-01

WIDTH-STEEL-FAB-HSS-HSSDROP:
50-220-220-14-//

CUSTOMER:
GREG'S LAWN & LANDSCAPING
995 238TH STREET
NORTH LIBERTY, IA. 52317

DRAWING TITLE:
STANDARD DETAILS 2

SHEET NO.: **SD-2** PAGE NO.: **011 /13**



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DRAWN BY:
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CHECKED BY:
RWH

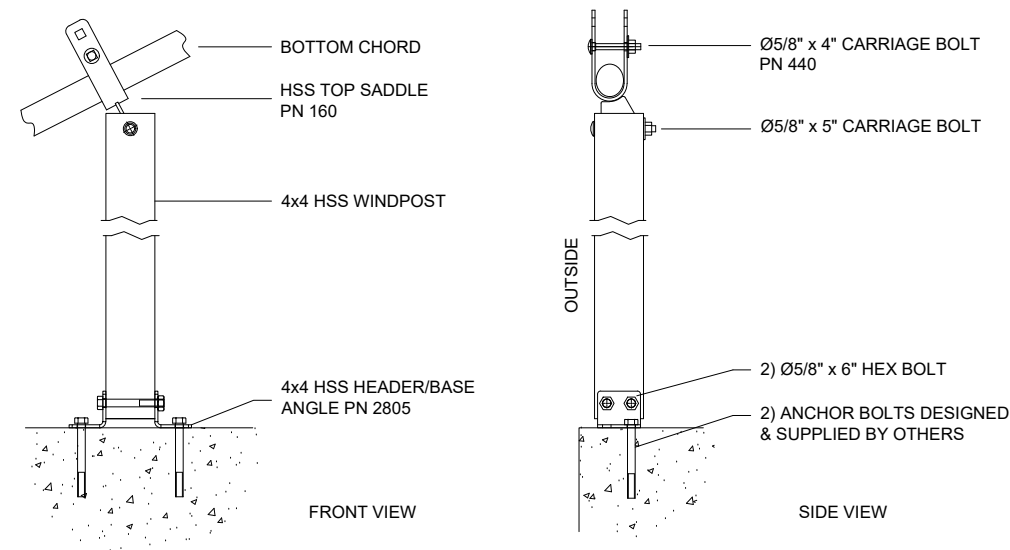
PROJECT:
ATLAS 18
50' x 80' - 220 PM
16' oc

ORDER ID:
SO# 6838-01

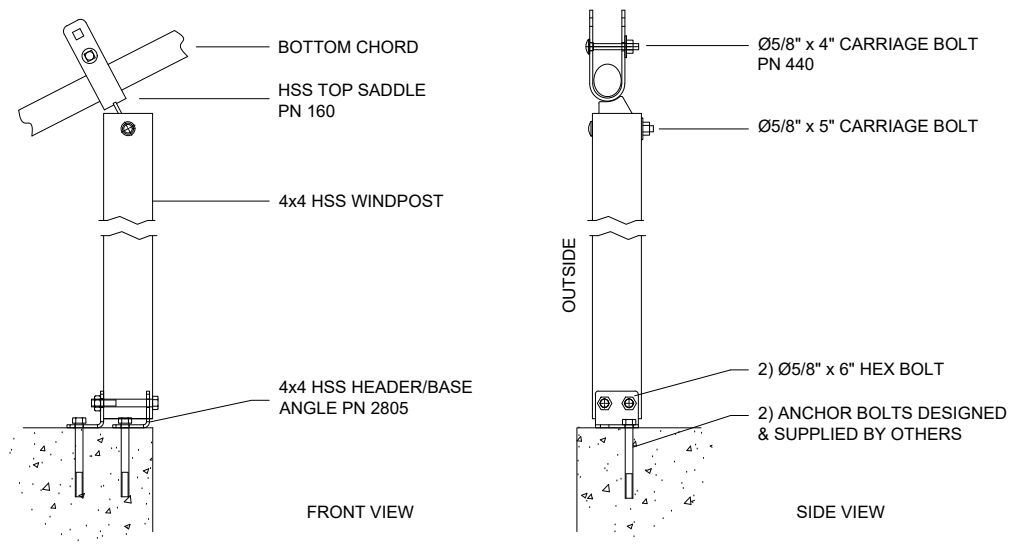
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DRAWING TITLE:
STANDARD DETAILS 3

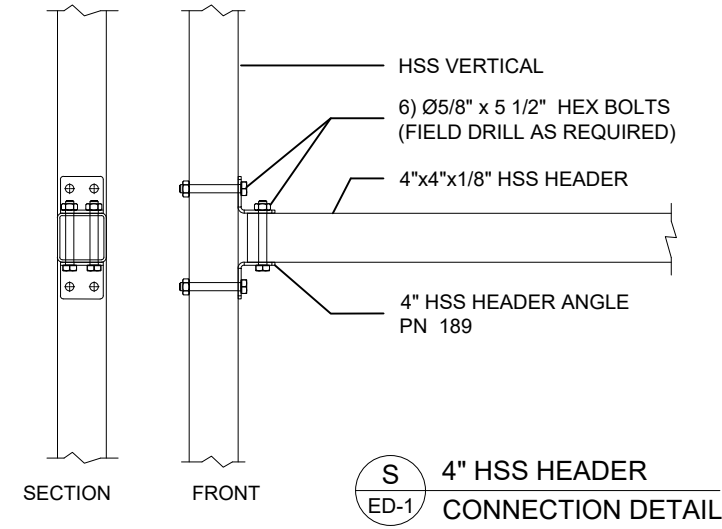
SHEET NO.: **SD-3** PAGE NO.: **012 /13**




Da **R** 4x4 HSS WINDPOST - 2 3/8" CHORD
BD-1 ED-1 CONNECTION DETAILS



Db **R** 4x4 HSS WINDPOST - 2 3/8" CHORD
BD-1 ED-1 CONNECTION DETAILS



S 4" HSS HEADER
ED-1 CONNECTION DETAIL

<div></div> <div>TF: 800-407-5846 www.britespanbuildings.com</div>		REV #	CR #	DESCRIPTION:	DATE:	DEALER: FREEDOM BUILDINGS INC. 508 - 3RD STREET BELLE PLAINE, IA. 52208		CUSTOMER: GREG'S LAWN & LANDSCAPING 995 238TH STREET NORTH LIBERTY, IA. 52317		
		0		ISSUED FOR CONSTRUCTION	09.JUL.2019					
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	TWF									
	CHECKED BY:									
		RWH								

CITY OF NORTH LIBERTY, IOWA
URBAN RENEWAL PLAN AMENDMENT
NORTH LIBERTY URBAN RENEWAL AREA

August, 2019

The Urban Renewal Plan (the “Plan”) for the North Liberty Urban Renewal Area (the “Urban Renewal Area”) is being amended for the purpose of identifying new urban renewal projects to be undertaken therein.

1) Addition of Property. The real property (the "Property") legally described on Exhibit A hereto is, by virtue of this Amendment, being added as the August, 2019 Addition to the Urban Renewal Area. With the adoption of this Amendment, the City will designate the Property as an economic development area. The Property will become subject to the provisions of the Plan for the Urban Renewal Area.

2) Identification of Projects. By virtue of this amendment, the list of authorized urban renewal projects in the Plan is hereby amended to include the following project descriptions:

A.

Name of Project: North Liberty Park and Recreational Improvements Project (the “Park Improvements Project”)

Name of Urban Renewal Area: North Liberty Urban Renewal Area

Date of Council Approval of the Project: August 27, 2019

Description of Project and Project Site: The Park Improvements Project will consist of the construction of improvements to the North Liberty parks system situated in the Urban Renewal Area as described as follows:

Centennial Park: The City will undertake (i) the construction of recreational trail improvements; and (ii) the installation of playground equipment.

Penn Meadows Park: The City will undertake the (i) installation of playground equipment improvements; (ii) construction of improvements to Babe Ruth ballfield; (iii) construction of recreational trails; and (iv) installation of shade structures.

It is anticipated that the completed Park Improvements Project will have a positive impact on commerce in the Area through the provision of enhanced recreational amenities.

Description of Use of TIF for the Project: It is anticipated that the City will pay for the Park Improvements Project with either borrowed funds and/or the proceeds of an internal

advance of City funds on-hand. In any case, the City's obligation will be repaid with incremental property tax revenues derived from the Urban Renewal Area. It is anticipated that the City's use of incremental property tax revenues for the Park Improvements Project will not exceed \$555,000.

B.

Name of Project: Kansas Avenue Improvements Project (the "Kansas Ave Project")

Name of Urban Renewal Area: North Liberty Urban Renewal Area

Date of Council Approval of Project: August 27, 2019

Description of Project and Project Site: The Kansas Ave Project will consist of the acquisition of the Property (as defined in Section 1 above) and the construction of improvements thereon, including road paving; the construction of storm water drainage improvements; the installation of water mains; and the incidental utility, landscaping, site clearance and cleanup work related thereto.

It is expected that the completed Kansas Ave Project will cause increased and improved ability of the City to provide adequate transportation infrastructure for the growth and retention of commercial and industrial enterprises in the City.

Description of Properties to be Acquired in Connection with Project: The City will acquire easement territory and rights-of-way as are necessary to successfully undertake the Kansas Ave Project.

Description of Use of TIF for the Project: It is anticipated that the City will pay for the Kansas Ave Project with either borrowed funds and/or the proceeds of an internal advance of City funds on-hand. In any case, the City's obligation will be repaid with incremental property tax revenues derived from the Urban Renewal Area. It is anticipated that the City's use of incremental property tax revenues for the Kansas Ave Project will not exceed \$2,000,000.

C.

Name of Project: Ranshaw Way Improvements Project (the "Ranshaw Way Project")

Name of Urban Renewal Area: North Liberty Urban Renewal Area

Date of Council Approval of Project: August 27, 2019

Description of Project and Project Site: The Ranshaw Way Project will consist of street reconstruction and widening; the construction of curb and gutter improvements; the construction of sidewalk improvements; the addition of a turn lane; bridge reconstruction; the construction of storm water drainage improvements; and the incidental utility, landscaping, site clearance and cleanup work related thereto on and along the public

right-of-way of Ranshaw Way, commencing at its intersection with 10th Street on the north and continuing to and including its intersection with Zeller Street on the south.

It is expected that the completed Ranshaw Way Project will cause increased and improved ability of the City to provide adequate transportation infrastructure for the growth and retention of commercial and industrial enterprises in the City.

Description of Properties to be Acquired in Connection with Project: The City will acquire easement territory and rights-of-way as are necessary to successfully undertake the Ranshaw Way Project.

Description of Use of TIF for the Project: It is anticipated that the City will pay for the Ranshaw Way Project with either borrowed funds and/or the proceeds of an internal advance of City funds on-hand. In any case, the City's obligation will be repaid with incremental property tax revenues derived from the Urban Renewal Area. It is anticipated that the City's use of incremental property tax revenues for the Ranshaw Way Project will not exceed \$2,200,000.

3) Required Financial Information. The following information is provided in accordance with the requirements of Section 403.17 of the Code of Iowa:

Constitutional debt limit of the City:	<u>\$84,128,790</u>
Outstanding general obligation debt of the City:	<u>\$</u>
Proposed debt to be incurred under the August, 2019 Amendment*:	<u>\$ 4,755,000</u>

* It is anticipated that some or all of the debt incurred hereunder will be subject to annual appropriation by the City Council.

EXHIBIT A
Legal Description
Expanded North Liberty Urban Renewal Area
(August, 2019 Addition)

Certain real property situated in Johnson County, State of Iowa, more particularly described as follows:

All of the public right-of-way of Kansas Avenue from and including its intersection with St. Andrews Drive on the north and continuing south to and including its intersection with West Forevergreen Road.



NORTH LIBERTY PLANNING COMMISSION

Minutes

July 2, 2019

North Liberty City Council Chambers, 1 Quail Creek Circle

Roll Call

Chair Ronda Detlefsen called the July 2, 2019 Planning Commission meeting to order at 6:30 p.m. Commission members present: Ronda Detlefsen, Adam Gebhart, Jason Heisler, Rebecca Keogh, Kyle Pentecost, Patrick Staber and Josey Bathke.

Others present: Dean Wheatley, Ryan Heiar, Grant Lientz, Mary Byers, Carter Kudrle, Joel Miller and Brian Platz.

Agenda Approval

Staber moved, seconded by Gebhart to approve the agenda. The vote was all ayes. Agenda approved.

ORDINANCE AMENDMENT: Request of City staff to approve changes to the Zoning Ordinance related to the sale of fireworks.

City Attorney Lientz and Fire Chief Platz discussed the changes with the commission.

Public Comment

No public comment was offered.

Recommendation to the City Council

Heisler moved, seconded by Keogh to recommend approval of the Ordinance Amendment. The vote was: ayes-Gebhart, Staber, Bathke, Keogh, Pentecost, Heisler, Detlefsen; nays—none. Motion carried.

STREETS NAME CHANGE: Request of City staff to approve changes to the names of two streets to avoid emergency services confusion.

Staff Presentation

Wheatley discussed with the Commission why the street names need to be changed.

Public Comments

No public comment was offered.

Recommendation to the City Council

Pentecost moved, seconded by Staber, to recommend approval of the street name changes. The vote was: ayes--Heisler, Keogh, Detlefsen, Gebhart, Staber, Pentecost, Bathke; nays—none. Motion carried.

APPROVAL OF PREVIOUS MINUTES

Staber moved, seconded by Keogh, to approve the minutes of June 4, 2019 Planning Commission meeting. The vote was all ayes. Motion carried.

OLD BUSINESS

Wheatley discussed with the Commission why the meetings have been so light the last couple of months, and also went over upcoming cases.

NEW BUSINESS – Election of Officers for FY2020

Chair

Staber moved, seconded by Gebhart to appoint Keogh Chair of the Planning Commission. The vote was all ayes. Motion carried.

Vice-Chair

Gebhart moved, seconded by Heisler, to appoint Staber Vice-Chair of the Planning Commission. The vote was all ayes. Motion carried.

ADJOURNMENT

At 6:50 p.m. Staber moved, seconded by Gebhart to adjourn the meeting. All ayes. Meeting adjourned.

Mary Byers, Deputy City Clerk