



North Liberty Planning Commission
Tuesday, April 7, 2020, 6:30 PM
City Council Chambers, 1 Quail Creek Circle, North Liberty, Iowa

1. Call to Order
2. Roll Call
3. Approval of the Agenda
4. Public Hearing: Request of Harvest Estates, LLC for a zoning map amendment on 8.51 acres, more or less, from ID – Interim Development District to RS-4 PAD Single-Unit Residence District Planned Area Development on Lot 6 Country Pines Subdivision, which is located at 175 South Jones Boulevard.
 - a. Staff Presentation
 - b. Applicants Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council
5. Public Hearing: Request of the City of North Liberty for an ordinance amending several sections of the Code of Ordinances of North Liberty, Iowa, including Section 167.01, entitled “Definitions” by deleting and amending certain definitions, Section 173.02, entitled “Definitions” by amending and adding certain definitions and Section 173.05, entitled “Exempt Signs” by providing regulations for window signs.
 - a. Staff Presentation
 - b. Applicants Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council
6. Approval of Previous Minutes
7. Old Business
8. New Business
9. Adjournment



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **April 3, 2020**
Re **Request of Harvest Estates, LLC for a zoning map amendment on 8.51 acres, more or less, from ID – Interim Development District to RS-4 PAD Single-Unit Residence District Planned Area Development on Lot 6 Country Pines Subdivision, which is located at 175 South Jones Boulevard.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Grant Lientz, City Attorney
Tom Palmer, City Building Official
Kevin Trom, City Engineer
Ryan Rusnak, Planning Director

Current Zoning:

The property is currently zoned ID – Interim Development District.

Proposed Zoning:

The applicant is requesting a zoning map amendment to RS-4 PAD Single-Unit Residence District Planned Area Development to allow the property to be developed with 30 single-family dwellings, a private recreation building and related infrastructure on one lot. The development is proposed to be age restrictive and cooperatively owned. The applicant has developed several age-restricted communities throughout the State of Iowa.

The Planned Area Development is being requested to allow the flexibility of having multiple single-family residences on one lot, which is not permitted in RS Single-Unit Residence Districts or RM Multi-Unit Residence Districts alone.

Section 168.13 of the North Liberty Code of Ordinances entitled “PAD Zone – Planned Area Development Overlay District” reads in part:

1. *Defined. A Planned Area Development Zone District is intended to encourage innovation and flexibility in planning the development of land so development is compatible with the site’s physical and environmental characteristics. This district allows for flexibility in zone district requirements. The Planned Area Development District provides an opportunity for the development of a mixture of uses and housing types in a coordinated manner. The intent of the underlying zone district shall guide the development. It is incumbent upon the person proposing the PAD to justify the project, and any variations from the underlying zone district. A PAD is considered an amendment to the underlying zone district regulations. Section 165.04(2) specifies the PAD requirements.*
2. *General. Planned area developments may be allowed by Council approval in any zoning district. No such planned area development permit shall be granted unless such development either meets the use limitations of the zoning district in which it is located and*

the density and other limitations of such district, except as such requirements may be lawfully modified as provided by this code. Compliance with the regulations of this section in no way excuses the developer from the applicable requirements of a subdivision ordinance, except as modifications thereof are specifically authorized in the approval of the application for the planned area development.

5. *Commission and Council Action.*

A. *Approval. In order that it may approve a planned area development, the Council shall have authority to require that the following conditions (among others it deems appropriate) be met by the applicant:*

- (1) The proponents of the planned area development shall demonstrate to the satisfaction of the Council that they are financially able to carry out the proposed project.*
- (2) The proponents intend to start construction within one year of either approval of the project or of any necessary zoning district change, and intend to complete said construction, or approved stages thereof, within four years from the date construction begins.*

B. *Limitations on Application.*

- (1) Upon approval of a planned area development, construction shall proceed only in accordance with the plans and specifications approved by the Council, and in conformity with any conditions attached by the jurisdiction as to its approval.*
- (2) Amendment to approved plans and specifications to a planned area development shall be obtained only by following procedures here outlined for first approval.*
- (3) The Code Official shall not issue any permit for any proposed building, structure or use within the project unless such building, structure, or use is in accordance with the approved development plan and any conditions imposed in conjunction with its approval.*

Public Input:

Letters were sent to property owners within 200 feet of the subject property notifying them of the February 27, 2020 good neighbor meeting. Approximately 15 people attended the meeting. Many of the people attending appeared to be interested in purchasing into the cooperative. There were a few adjacent property owners who express concerns over storm water.

Due to the Planning Commission meeting being held online, City staff sent letters to property owners within 200 feet of the subject property notifying them of the April 7, 2020 Planning Commission meeting. The letter requested any input via email or written letters, which would be considered by the Planning Commission at the meeting.

Consistency with Comprehensive Plan:

Land Use Plan designation: Residential (Please see attached Land Use Plan Map). The North Liberty Comprehensive Plan articulates the following regarding residential uses:

The plan promotes the development of a diversified housing stock that is affordable to a wide range of incomes. Even though general planning goals include limiting residential uses along arterials and in some cases even collector streets, the miles of such frontages within the City make strict adherence to those goals impractical, and landscape buffers, limited access, and smart neighborhood street layouts are utilized to minimize traffic impacts. Higher density residential development is considered to be somewhat of a transitional buffer between office/commercial development and lower density residential neighborhoods, in part because it is practical to locate the greater numbers of residents found in the higher density developments closer to the commercial services they need.

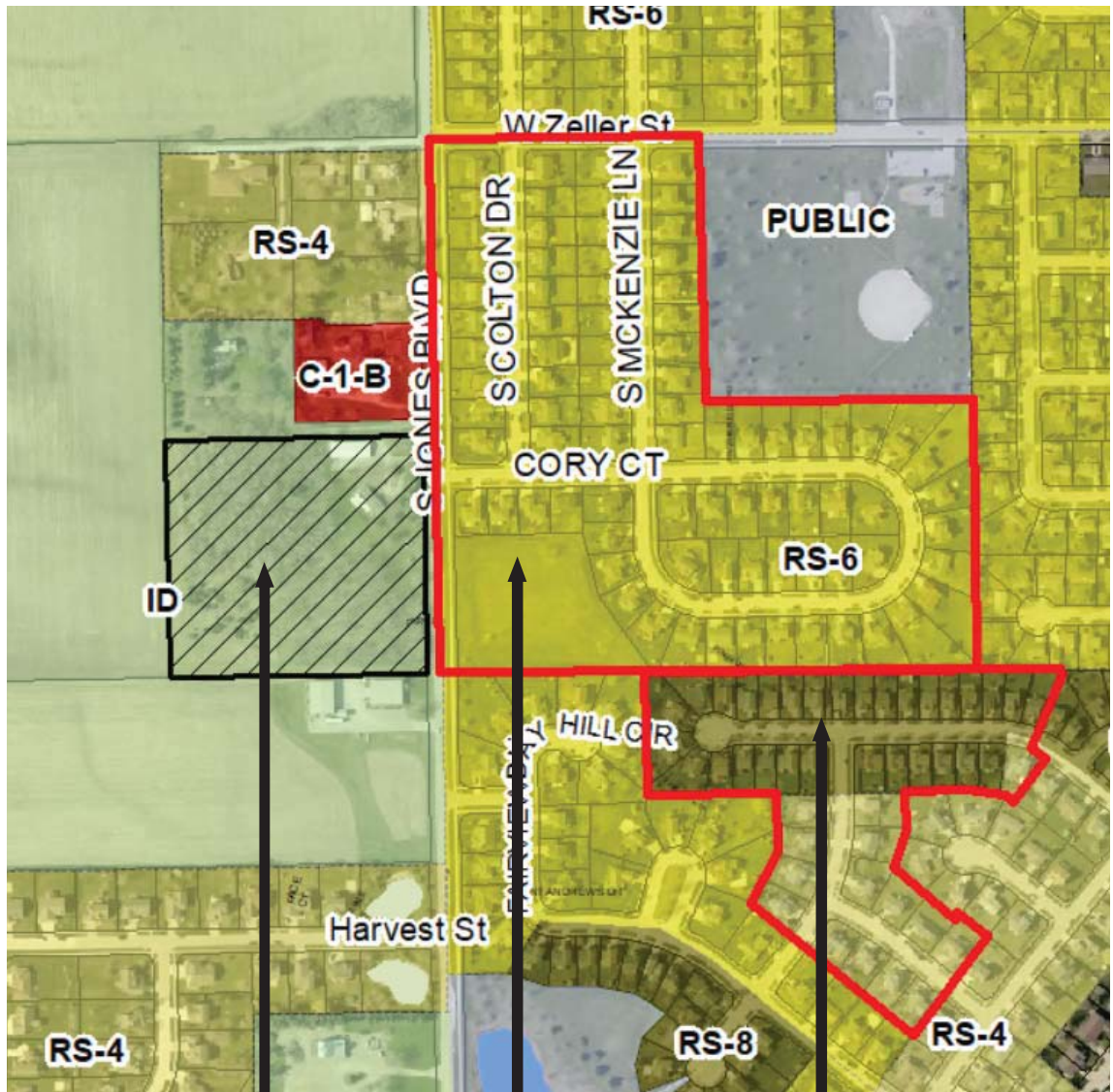
It is staff's opinion that zoning map amendment would be consistent the North Liberty Comprehensive Plan Land Use Plan.

Compatibility with surrounding zoning and land uses:

With respect to residential zoning, this area contains a mixture of RS-4 Single-Unit Residence District, RS-6 – Single-Unit Residence District and RS-8 Single-Unit Residence District. Please see attached Zoning Map. Minimum lot size requirements for RS-4, RS-6 and RS-8 are 10,000 square feet (4.356 units/acre), 7,000 square feet (6.22 units/acre) and 5,000 square feet (8.71 units/acre) respectively.

City staff recognizes that overall density decreases when taking into account right-of-way dedication and outlots dedicated for storm water facilities. The Quail Ridge development on the east side of South Jones Boulevard (RS-6 on the Zoning Map) contains 83 units on 30.22 acres, which equates to 2.74 units/acre. The Quail Creek development contains 44 units on 11.13 acres, which equates to 3.95 units/acre. Please see map on the next page.

The submitted site plan depicts 30 single-family units on 8.42 (after South Jones Boulevard right-of-way dedication), which equates to 3.56 units/acre. It is staff's opinion that the proposed use and density of the development would be compatible with the area.



Subject Property Quail Ridge Quail Creek 7th

Approval standards:

Section 168.12 of the North Liberty Code of Ordinances, entitled “PAD Zone – Planned Area Development Overlay District” sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

3. *Conditions.*

- A. *Area. No planned area development shall have area less than that approved by the Council as adequate for the proposed development.*

It is City staff’s opinion that the land area is adequate for the proposed development.

- B. *Uses. A planned area development that will contain uses not permitted in the zoning district in which it is to be located will require a change of zoning and shall be accompanied by an application for a zoning amendment, except that any residential use shall be considered a permitted use and shall be governed by density, design and other requirements of the planned area development permit.*

The planned area development is being requested to allow the flexibility of having multiple single-family residences (a residential use) on one lot, which is not permitted in RS Single-Unit Residence Districts or RM Multi-Unit Residence Districts alone. It is City staff’s opinion that the requested use would be permitted with approval of the planned area development.

- C. *Ownership. The development shall be in single or corporate ownership at the time of application, or the subject of an application filed jointly by all owners of the property.*

The site plan indicates that the property would be cooperatively owned.

- D. *Design. The Commission and Council shall require such arrangements of structures and open spaces within the site development plan as necessary to ensure that adjacent properties will not be adversely affected.*

- (1) *Density. Density of land use shall in no case be more than 25 percent higher than allowed in the zoning district, except not more than 10 percent higher in residential districts.*

The submitted site plan depicts 30 single-family units on 8.42 (after South Jones Boulevard right-of-way dedication), which equates to 3.56 units/acre. No increase in density is being requested.

- (2) *Arrangement. Where feasible, the least height and density of buildings and uses shall be arranged around the boundaries of the development.*

City staff is requesting that the development be subject to the design standards and maximum height limitations for single-unit dwellings in its recommendations for approval.

- (3) *Specific Regulations. Lot area, width, yard, height, density, and coverage regulations shall be determined by approval of the site plan.*

Please see City staff’s analysis of the site plan.

- E. *Open Spaces. Preservation, maintenance, and ownership of required open spaces within the development shall be accomplished by either:*
- (1) *Dedication of land as a public park or parkway system, or*
 - (2) *Granting to the jurisdiction a permanent, open space easement on and over the said private open space to guarantee that the open space remain perpetually in recreational use, with ownership and maintenance being the responsibility of an owners' association established with articles of association and bylaws which are satisfactory to the Council.*

It is City staff's opinion that open space is not required within the proposed development.

- F. *Landscaping. Landscaping, fencing, and screening related to the uses within the site and as means of integrating the proposed development into its surroundings shall be planned and presented to the Commission and Council for approval, together with other required plans for the development. A planting plan showing proposed tree and shrubbery plantings shall be prepared for the entire site to be developed. A grading and drainage plan shall also be submitted to the Commission and Council with the application.*

A landscaping, fencing and grading and drainage plan has been provided. The applicant has indicated that the design of the entrance gate would be forthcoming. Please see City staff's analysis of the site plan.

- G. *Signs. The size, location, design, and nature of signs, if any, and the intensity and direction of floodlighting shall be detailed in the application.*

The applicant has indicated that a sign would be installed on the entrance gate, the details of which are forthcoming. Please see City staff's analysis of the site plan.

- H. *Exterior Lighting. The size, material type, location, and intensity of all exterior lighting shall be detailed in the application.*

The applicant has indicated that the development would not have any street lighting and that each building would contain exterior lighting.

- I. *Desirability. The proposed use of the particular location shall be shown, as necessary or desirable, to provide a service or facility which will contribute to the general well-being of the surrounding area. It shall also be shown that under the circumstances of the particular case, the proposed use will not be detrimental to the health, safety, or general welfare of persons residing in the vicinity of the planned area development.*

The site plan indicates that the proposed development would be aged-restricted. It is City staff's opinion that this development would contribute to the general well-being of the City of North Liberty.

4. *Commission and Council Determination. In carrying out the intent of this section, the Commission and Council shall consider the following principles:*
- A. *It is the intent of this section that site and building plans for a planned area development shall be prepared by a designer or team of designers having professional competence in urban planning as proposed in the application. The Commission and Council may require the applicant to engage such expertise as a qualified designer or designer team.*
The planned area development plan has been prepared by a professional engineer.
- B. *The Council may approve or disapprove an application for a planned area development. In approval, the Council may attach such conditions as it may deem necessary to secure compliance with the purpose set forth in this chapter.*
City staff has provided conditions in its recommendation for approval.

The Planned Area Development Overlay District requires submittal of a site plan. Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

2. *Site Plan Requirements. Site plans, which are required for review and approval for any use in any district or elsewhere by this code, shall comply with and illustrate the following:*
- D. *All site plans shall clearly illustrate the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, relationship to flood overlay zones, and such other information as necessary to show compliance with the requirements of this code. A preliminary site plan may be submitted for preliminary land use approval; however, the final site plan required by this code shall be submitted, reviewed, and approved prior to the issuance of building or construction permits.*
This information has been provided on the site plan.
- E. *The site plan shall include the following legal information:*
- (1) *Legal property owner's name and description of property.*
- (2) *Applicant's name, requested land use, and zoning.*
- (3) *If the applicant is other than the legal owner, the applicant's interest shall be indicated and the legal owner's authority to appeal shall be certified.*
This information has been provided on sheets C100 and C101 of the site plan.
- F. *The site plan shall clearly illustrate in color perspective and enumerate the following information:*
- (1) *Property boundary lines, dimensions, and total area.*
This information has been provided on sheets C100 and C101 of the site plan.
- (2) *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the final site plan.*
This information has been provided on sheet C600 of the site plan.

(3) *The availability and location of existing utilities.*

This information has been provided on sheet C300 of the site plan.

(4) *The proposed location, size, shape, color, and material type of all buildings or structures.*

This information has been provided on sheets C101 and C300 of the site plan. Please see attached rendering of the proposed dwellings. A rendering of the clubhouse is forthcoming.

(5) *The total square feet of building floor area, both individually and collectively.*

This information has been provided on sheet C101 of the site plan.

(6) *The number of dwelling units, bedrooms, offices, etc., as required to determine special compliance.*

This information has been provided on sheets C101 and C300 of the site plan.

(7) *The proposed location of identification signs. An identification sign is defined as a sign displaying the name, address, insignia or trademark, and occupant of a building or the name of any building on the premises. Installation shall be in accordance with the Chapter 173 of this code.*

The applicant has indicated that a sign would be installed on the entrance gate, the details of which are forthcoming.

(8) *A vicinity sketch showing detailed adjacent land uses within 500 feet of the property and general existing land uses within 1,000 feet of the property.*

This information has been provided on sheet C100 of the site plan.

(9) *Existing buildings, right-of-way, street improvements, utilities (overhead or underground), easements, drainage courses, vegetation and large trees, etc.*

This information has been provided on sheets C200 and C300 of the site plan.

(10) *Parking areas, number of parking spaces proposed, number of parking spaces required by this code, type of surfacing to be used, etc.*

This information has been provided on sheets C101 and C300 of the site plan.

(11) *Walkways, driveways, outside lighting, walls, fences, signs, monuments, statues and other manmade features to be used in the landscape.*

This information has been provided on sheets C300 and C700 of the site plan.

(12) *Location and type of all plants, grass, trees, or ground cover to be used in the landscape. Landscaping shall be illustrated in elevation and color perspective with the size and exact names of plants, shrubs, or trees to be planted clearly indicated.*

This information has been provided on sheet C700 of the site plan. A color perspective is forthcoming.

(13) Walls, fences or other artificial screens to be used as buffers shall be shown in elevation and color perspective with proposed height and structural material to be used indicated. See Section 169.02 for the guidelines concerning landscaping.

This information has been provided on sheets C300 and C700 of the site plan.

(14) Traffic considerations, architectural themes, pedestrian movement, etc., and all other considerations pertinent to the proposed use may be requested for illustration or statistical purposes.

The development would have a single entrance on South Jones Boulevard, which is a minor arterial roadway. The architectural theme of the buildings is a modern craftsman design. The development would have a pedestrian crossing to the path on the east side of South Jones Boulevard.

(15) The methods of compliance with all applicable flood plain development standards and flood (overlay) districts as contained in this code.

The subject property is not located within a flood hazard area.

Additional Considerations:

The City Engineer has requested additional information, which will be necessary prior to site development. These comments were provided to the applicant in a separate letter. City staff is recommending that the applicant demonstrate consistency with the City's storm water ordinance prior to City Council's consideration of the zoning map amendment.

City staff is recommending that the applicant pay the Jones Boulevard improvement fees, which is \$105 per linear foot along South Jones Boulevard.

Findings:

1. The zoning map amendment would be consistent the North Liberty Comprehensive Plan Land Use Plan;
2. The proposed use and density of the development would be compatible with the area;
3. The zoning map amendment achieves consistency with Section 168.12 of the North Liberty Code of Ordinances, entitled "PAD Zone – Planned Area Development Overlay District and the site plan achieves consistency with Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements".

Recommendation:

Staff recommends the Planning Commission accept the three listed findings and forward the request of Harvest Estates, LLC for a zoning map amendment on 8.51 acres, more or less, from ID – Interim Development District to RS-4 PAD Single-Unit Residence District Planned Area Development on Lot 6 Country Pines Subdivision, which is located at 175 South Jones Boulevard, to the City Council with a recommendation for approval subject to the following conditions:

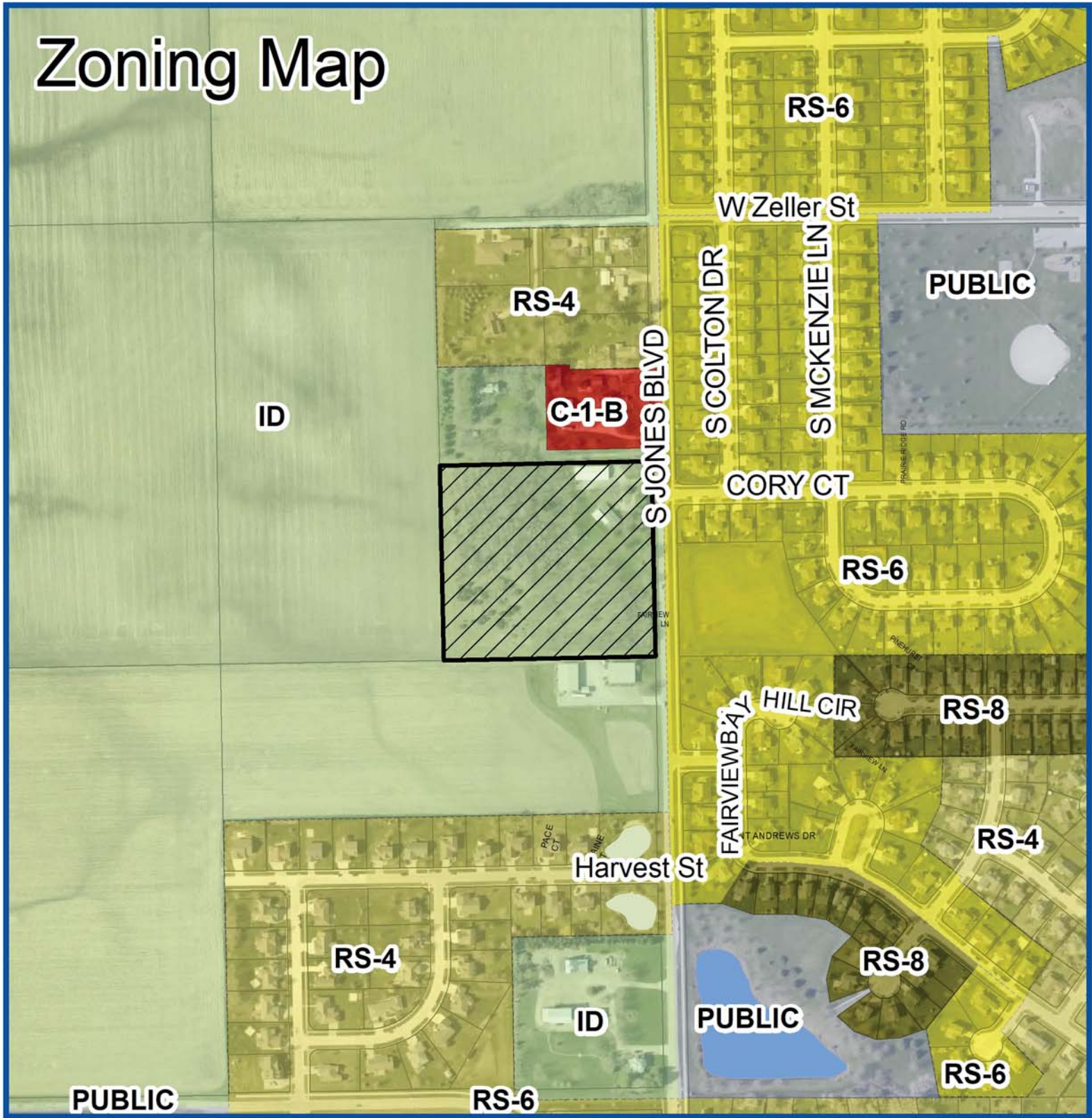
1. That the ingress/egress easement provide for access for public services;

2. That the development be subject to the design standards and maximum height limitations for buildings in the single-unit residence district;
3. That additional detail be provided on the location, style and height of the entrance gate and the sign to be installed on it prior to City Council's consideration of the zoning map amendment;
4. That a rendering depicting the color and material type of the clubhouse be provided prior to City Council's consideration of the zoning map amendment;
5. That a color rendering in elevation of the proposed landscaping prior to City Council's consideration of the zoning map amendment;
6. That applicant demonstrate consistency with the City's post-construction storm water runoff control ordinance prior to City Council's consideration of the zoning map amendment; and
7. That the applicant pay the Jones Boulevard improvement fees, which is \$105 per linear foot along South Jones Boulevard, prior to any site construction or building permit issuance.


Suggested motion:

I move that the Planning Commission accept the three listed conditions and forward the zoning map amendment with the seven listed conditions recommended by City staff to the City Council with a recommendation for approval.

Zoning Map

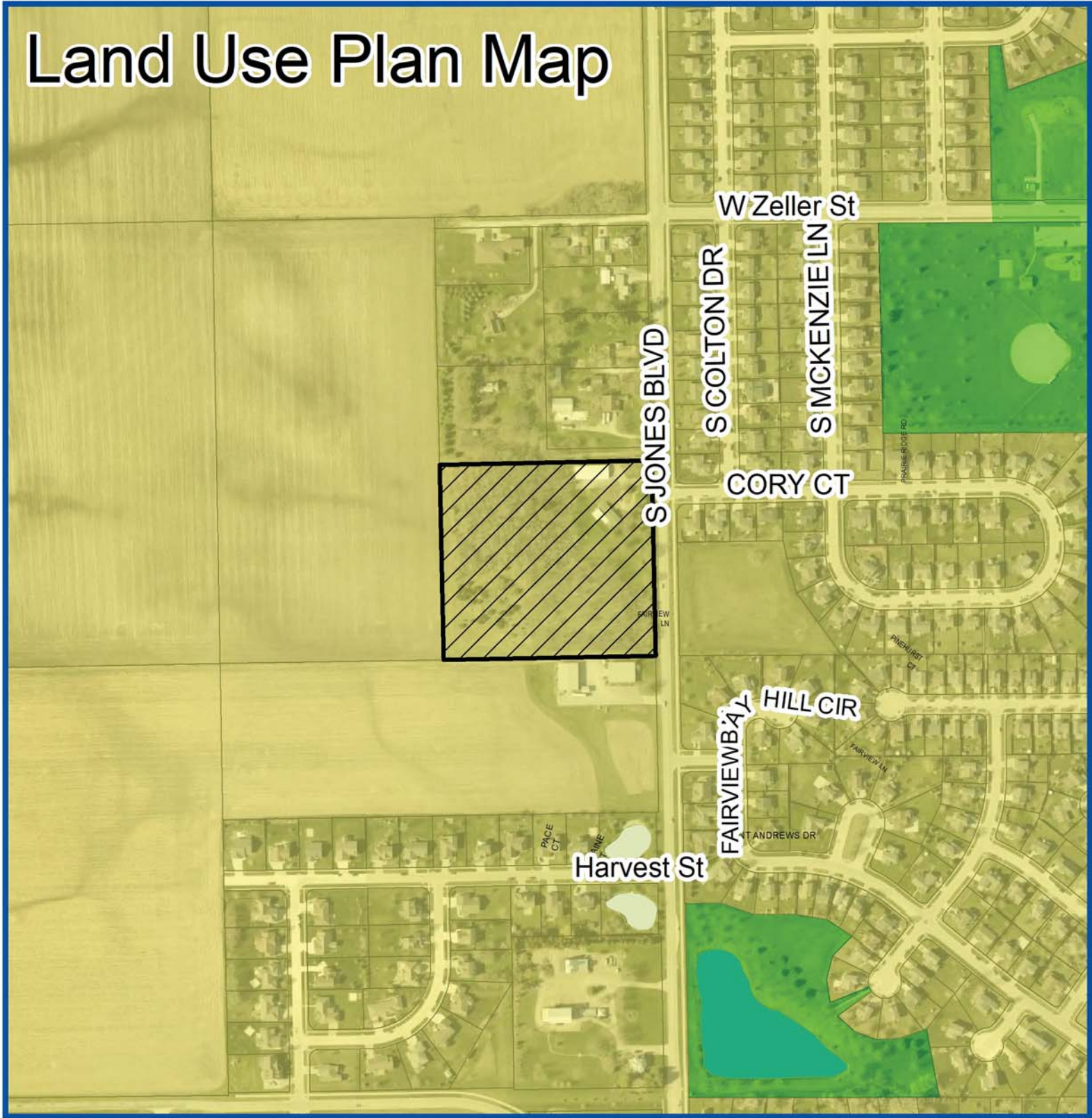


 175 S. Jones Blvd


 1 inch = 400 feet

- | | |
|--|---|
|  Public Use |  RS-6: Residential Single-Unit |
|  ID: Interim Development |  RS-8: Residential Single-Unit |
|  RS-3: Residential Single-Unit |  C-1-B: Commercial, General |
|  RS-4: Residential Single-Unit | |

Land Use Plan Map



 175 S. Jones Blvd

 1 inch = 400 feet

Land Use Plan Designations

	Parks & Recreation		Commercial with Residential
	Public		Commercial
	Residential		Industrial

PAD SITE PLAN
FOR
VINTAGE ESTATES
CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

CONTRACT PURCHASER/APPLICANT
HARVEST INVESTMENT, LLC.
2521 WASHINGTON STREET
PELLA, IOWA 50219
CONTACT: RAY BISBEE
PHONE: (641) 780-3408



VICINITY MAP

Sheet List Table	
Sheet Number	Sheet Title
C100	TITLE SHEET
C101	PROJECT INFORMATION
C200	DEMOLITION PLAN
C300	DIMENSION PLAN
C400	UTILITY PLAN
C500	STORM SEWER PLAN
C600	GRADING PLAN
C700	PLANTING PLAN

2	AS PER PLANNING AND ZONING	04/03/20 LMM
	AS PER CITY COMMENTS	03/27/20 RMM
1	REVISION	DATE
MARK	Engineer: LBW	Checked By: JAL
Technician: RMM	Date: 3-27-2020	Scale: 1" = SCALE
T-R-S: TTN-RRW-SS		Project No: 119,1037
Sheet C100		

VINTAGE ESTATES

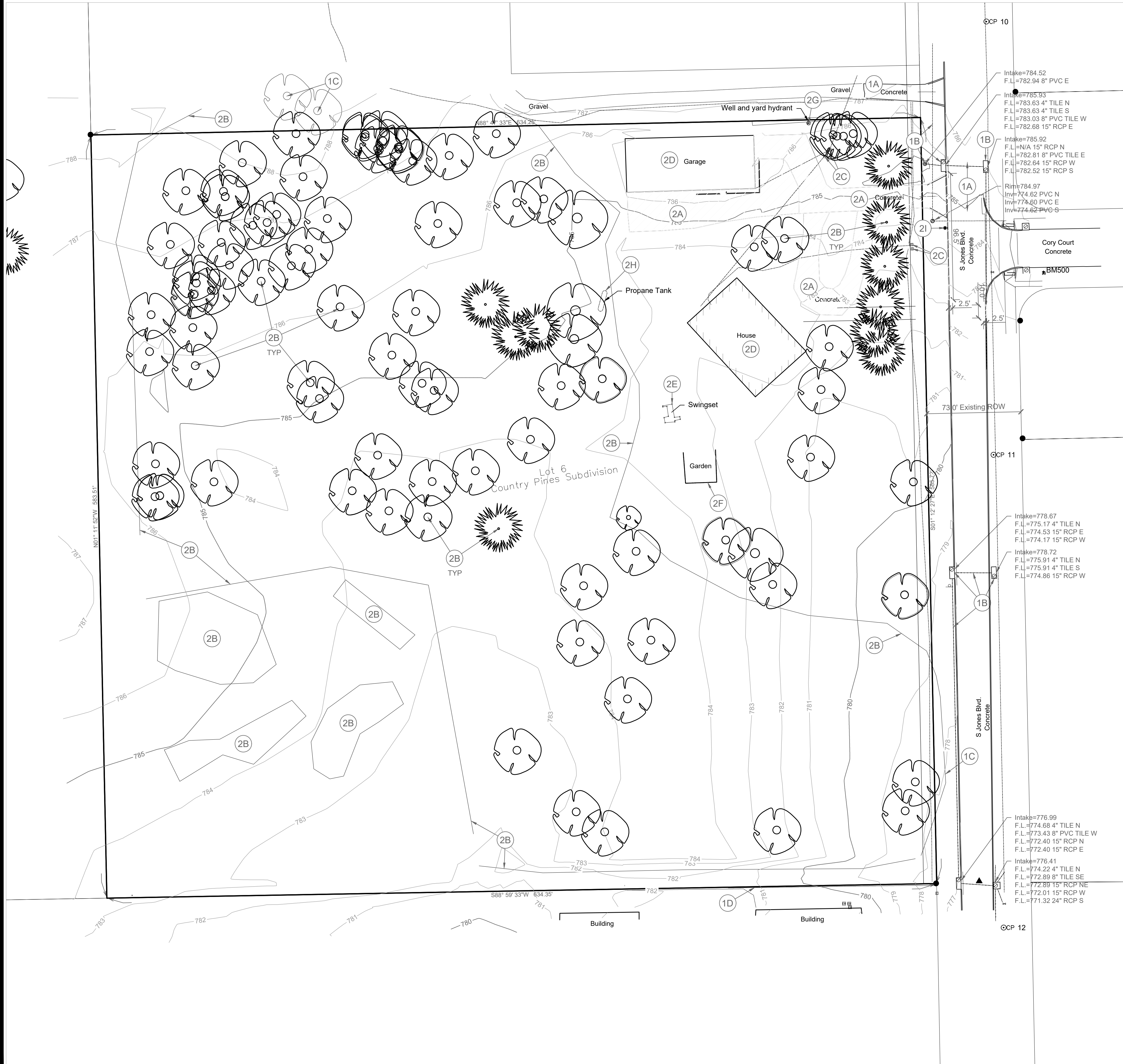
TITLE SHEET

NORTH LIBERTY, IOWA

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

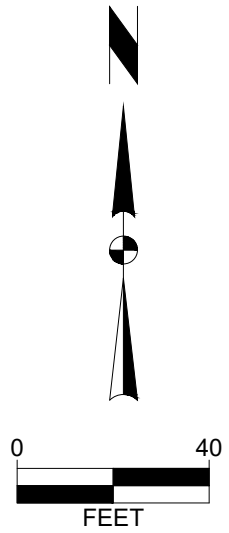
SNYDER & ASSOCIATES, INC. |





DEMOLITION PLAN CONSTRUCTION NOTES

1. EXISTING FEATURES, PROTECT THE FOLLOWING:
- A. PAVEMENTS TO REMAIN. SAW CUT ALL PAVEMENTS TO FULL DEPTH AT REMOVAL LIMIT TO AVOID DAMAGE TO ADJACENT PAVEMENTS. ANY DAMAGE TO PAVEMENT SHALL BE REPAIRED AT CONTRACTORS EXPENSE.
 - B. PROTECT EXISTING UTILITIES. VERIFY LOCATION PRIOR TO CONSTRUCTION. ANY DAMAGE TO UTILITIES DUE TO CONSTRUCTION SHALL BE REPAIRED AT CONTRACTORS EXPENSE. ADJUST EXISTING UTILITIES WHEN REQUIRED TO MATCH PROPOSED GRADE.
 - C. EXISTING PLANT MATERIAL.
 - D. EXISTING FENCE.
2. DEMOLITION, REMOVE THE FOLLOWING:
- A. EXISTING PAVEMENT TO LIMITS SHOWN.
 - B. EXISTING TREES AND SHRUBS INCLUDING STUMPS AND ROOT BALL.
 - C. EXISTING UTILITIES. COORDINATE DISCONNECT AND REMOVAL LIMIT WITH UTILITY PROVIDER PRIOR TO REMOVAL.
 - D. EXISTING BUILDING.
 - E. EXISTING SWING SET.
 - F. EXISTING FENCE.
 - G. ABANDON EXISTING WELL. WORK TO BE COMPLETED BY A CERTIFIED WELL DRILLER.
 - H. EXISTING PROPANE TANK PER IOWA DNR REQUIREMENTS.
 - I. EXISTING MAILBOX.
 - J. RELOCATE EXISTING COMMUNICATION PEDESTALS. COORDINATE WITH FRANCHISE UTILITY PROVIDER PRIOR TO CONSTRUCTION.



VINTAGE ESTATES

DEMOLITION PLAN

NORTH LIBERTY, IOWA

SNYDER & ASSOCIATES, INC. |



Project No: 119.1037

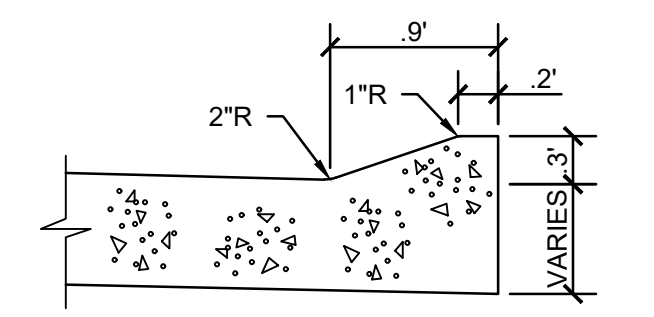
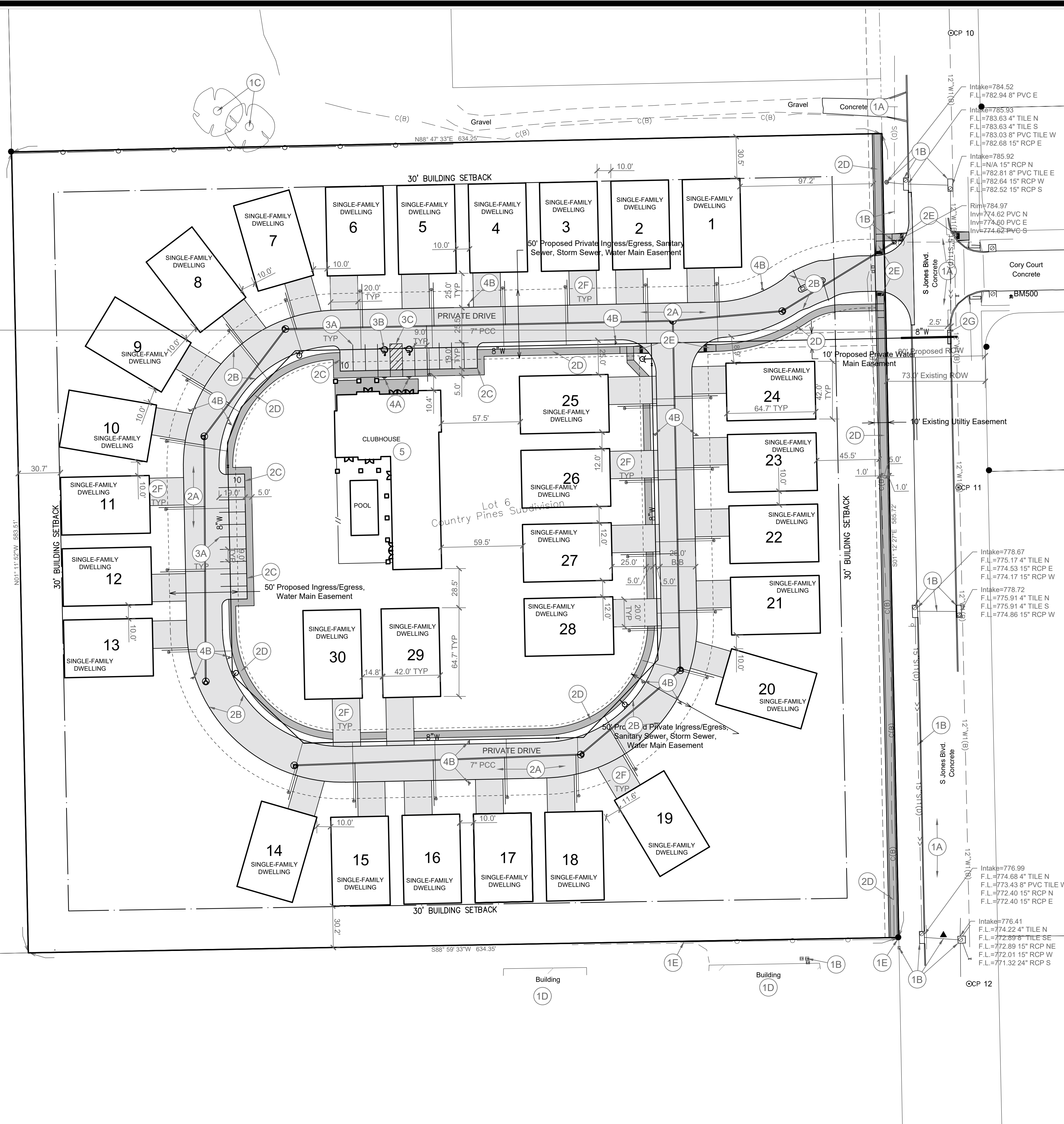
Sheet C200

2	AS PER PLANNING AND ZONING	04/30/20 LMM
1	AS PER CITY COMMENTS	03/27/20 RMM
MARK	REVISION	DATE
Engineer: LBW	Checked By: JAL	Scale: 1" = 40'
Technician: RMM	Date: 3-27-2020	T-R-S: TTN-RRW-SS

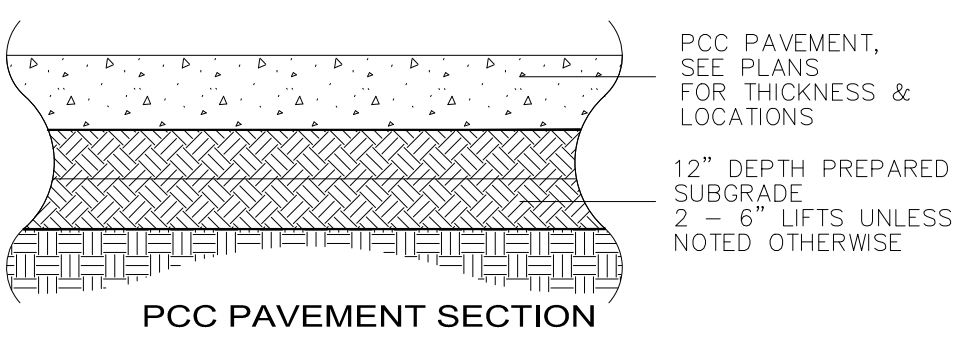
Project No: 119.1037

Sheet C200

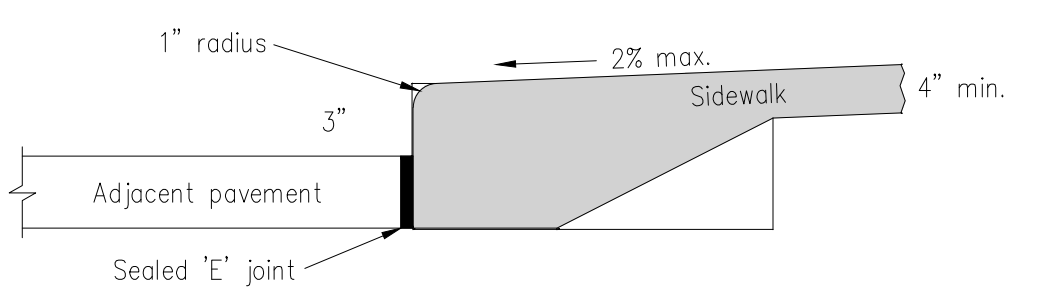
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com



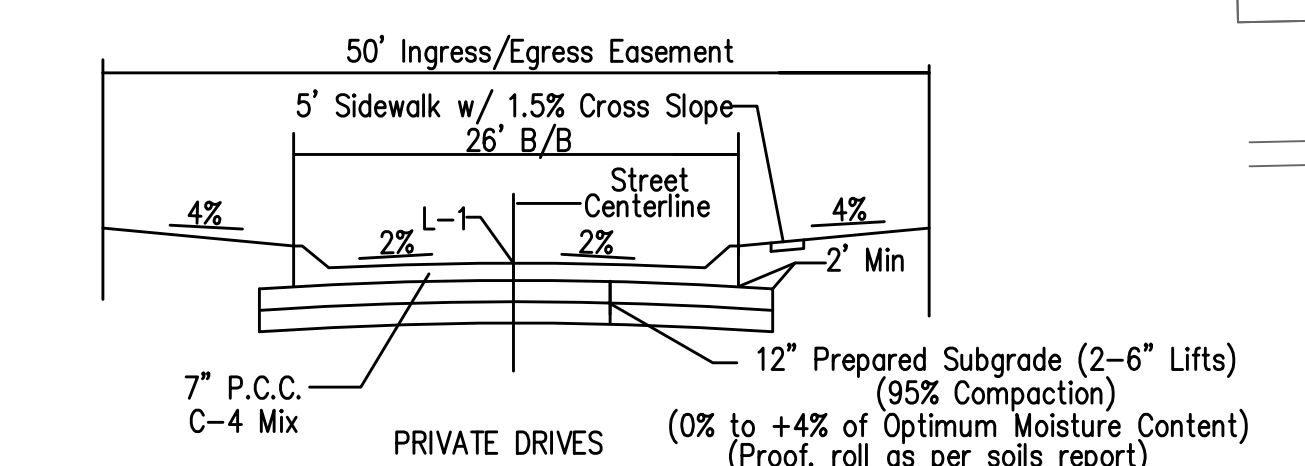
1 3" PCC ROLLED CURB
C300 NOT TO SCALE



2 TYPICAL PAVEMENT CROSS SECTIONS
C300 NOT TO SCALE

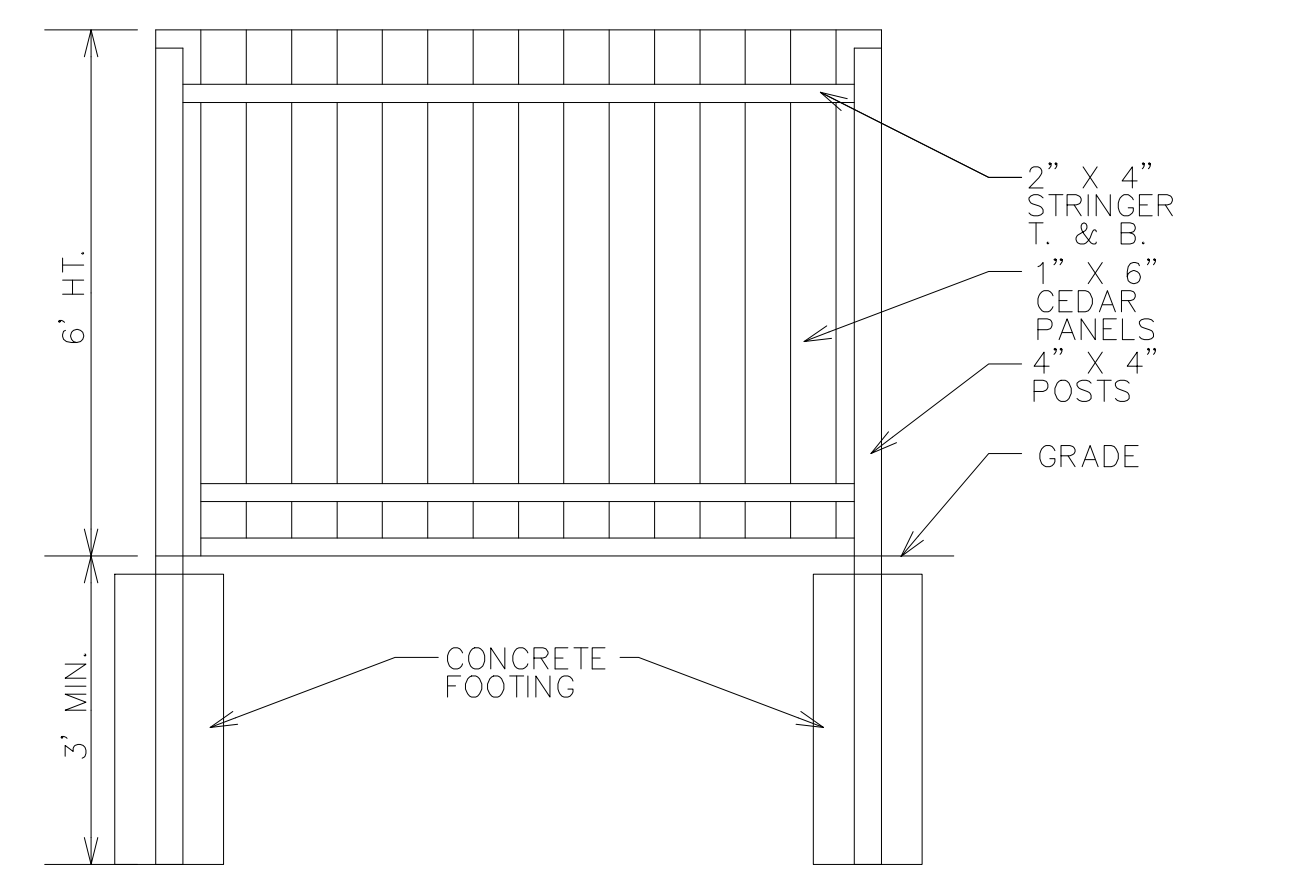


3 INTEGRAL SIDEWALK AND CURB DETAIL
C300 NOT TO SCALE



NOTE:
A GEOTECHNICAL ENGINEER SHALL INSPECT THE SUBGRADE PRIOR TO CONCRETE PLACEMENT TO VERIFY SUBGRADE COMPACTION, MOISTURE CONTENT, AND DEPTH.

4 TYPICAL PRIVATE STREET CROSS SECTION
C300 NOT TO SCALE



5 6' HT CEDAR FENCE DETAIL
C300 NOT TO SCALE

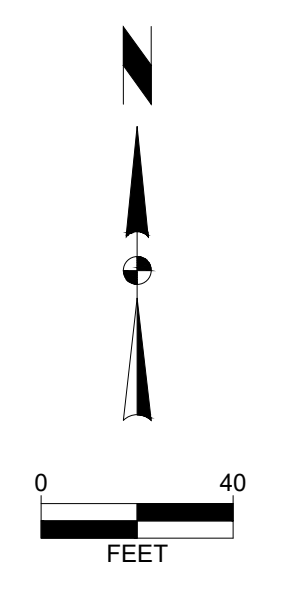
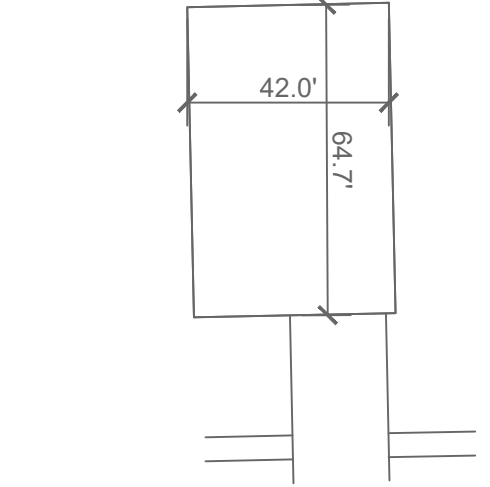
DIMENSION PLAN CONSTRUCTION NOTES

- EXISTING FEATURES, PROTECT THE FOLLOWING:
A. EXISTING PAVEMENTS TO REMAIN.
B. EXISTING UTILITIES. ANY DAMAGES TO EXISTING UTILITIES THAT ARE NOT SCHEDULED FOR MODIFICATION OR DEMOLITION SHALL BE REMEDIATED AT THE CONTRACTOR'S EXPENSE WITH THE WORK BEING PERFORMED TO THE UTILITY OWNER'S SPECIFICATIONS.
C. EXISTING TREES, NOT SCHEDULED FOR DEMOLITION OR AS NECESSARY FOR CONSTRUCTION.
D. EXISTING BUILDING.
E. EXISTING FENCE.
- PAVEMENTS, PROVIDE THE FOLLOWING:
A. 7" DEPTH PCC PAVEMENT ON 12" DEPTH PREPARED SUBGRADE IN TWO 6" LIFTS COMPACTED TO 95% STANDARD PROCTOR DENSITY.
B. 3" ROLL CURB.
C. INTEGRAL CURB.
D. PCC SIDEWALKS, 4" DEPTH PAVEMENT.
E. PEDESTRIAN RAMP WITH A MAXIMUM SLOPE OF 8.33% AND DETECTABLE WARNING PANELS WHERE SHOWN.
F. 7" DEPTH PCC DRIVEWAY TO BE BUILT WITH CONSTRUCTION OF HOME.
G. PAVEMENT PATCH TO MATCH EXISTING DEPTH.
- PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
A. PAINTED PARKING STALL LINES.
B. PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
C. ACCESSIBLE AISLE. 45' STRIPING AT 3' ON CENTER WHERE SHOWN.
- SIGNAGE, PROVIDE THE FOLLOWING:
A. PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS.
B. NO PARKING SIGN.
- SEE ARCHITECTURAL PLANS FOR DETAILED POOL AND CLUBHOUSE DESIGN INFORMATION AND ELEVATIONS.
- ENTRANCE GATE WITH KEY PAD TO BE SELECTED BY OWNER.

LEGEND

- 4" PCC SIDEWALK
- 6" PCC PAVEMENT

MAXIMUM BUILDING FOOTPRINT



VINTAGE ESTATES

DIMENSION PLAN

SNYDER & ASSOCIATES

NORTH LIBERTY, IOWA

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-364-2020 | www.snyder-associates.com

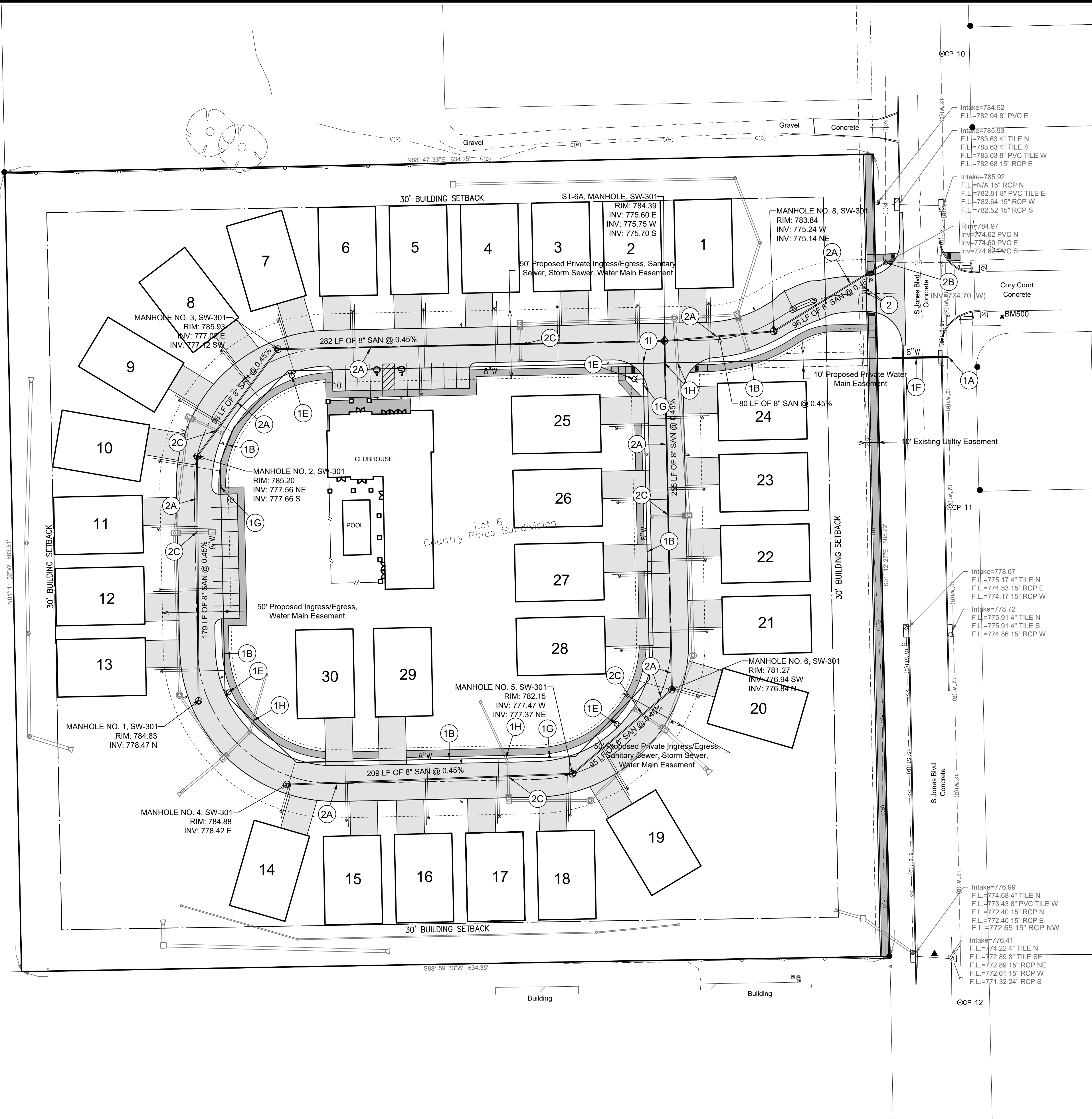
SNYDER & ASSOCIATES, INC.

Project No: 119.1037

Sheet C300

AS PER PLANNING AND ZONING	04/03/20 LMM	DATE	1" = 40'
AS PER CITY COMMENTS	03/27/20 RMM	REVISION	
MARK	BY	Engineer: LBM	Checked By: JAL
		Technician: RMM	Date: 3-27-2020
			T-R-S: TTN-RRW-SS

Sheet C300



UTILITY PLAN CONSTRUCTION NOTES

1. PRIVATE WATER SERVICES, PROVIDE THE FOLLOWING PER NORTH LIBERTY SPECIFICATIONS:
- A. CONNECT TO EXISTING 12" WATER MAIN WITH TAPPING SLEEVE AND VALVE. CONTRACTOR TO VERIFY EXISTING WATER MAIN SIZE PRIOR TO CONSTRUCTION.
 - B. 8" PVC WATER MAIN WITH FITTINGS AND BENDS PER CITY OF NORTH LIBERTY STANDARDS AND SPECIFICATIONS.
 - C. 1" WATER SERVICE WITH CURB STOP.
 - D. CONNECT TO PROPOSED BUILDING SERVICE. COORDINATE WITH PLUMBING PLANS FOR EXACT SIZE, LOCATION AND ELEVATION.
 - E. HYDRANT ASSEMBLY.
 - F. DIRECTIONAL BORE WATER MAIN UNDER EXISTING PAVEMENT TO LIMITS SHOWN.
 - G. 8" VALVE.
 - H. CRITICAL CROSSING. CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN 18" VERTICAL CLEARANCE BETWEEN UTILITIES. IN LOCATIONS WHERE WATERMAIN IS TO BE PLACED BELOW STORM SEWER, STORM SEWER IS TO BE GASKETED JOINTS WITHIN 10' OF WATERMAIN CROSSING.
 - I. 8"x8" TEE.
2. PRIVATE SANITARY SEWER SERVICES; PROVIDE THE FOLLOWING AS PER CITY OF NORTH LIBERTY STANDARDS AND SPECIFICATIONS:
- A. 8" SANITARY SEWER MAIN.
 - B. CORE DRILL AND CONNECT TO EXISTING SANITARY SEWER MANHOLE.
 - C. CRITICAL CROSSING.
3. RELOCATE EXISTING COMMUNICATION PEDESTAL OUTSIDE OF PROPOSED PAVEMENT AND ADJUST TO GRADE AS NECESSARY.

VINTAGE ESTATES

UTILITY PLAN

NORTH LIBERTY, IOWA

SNYDER & ASSOCIATES, INC. |



Project No: 119.1037

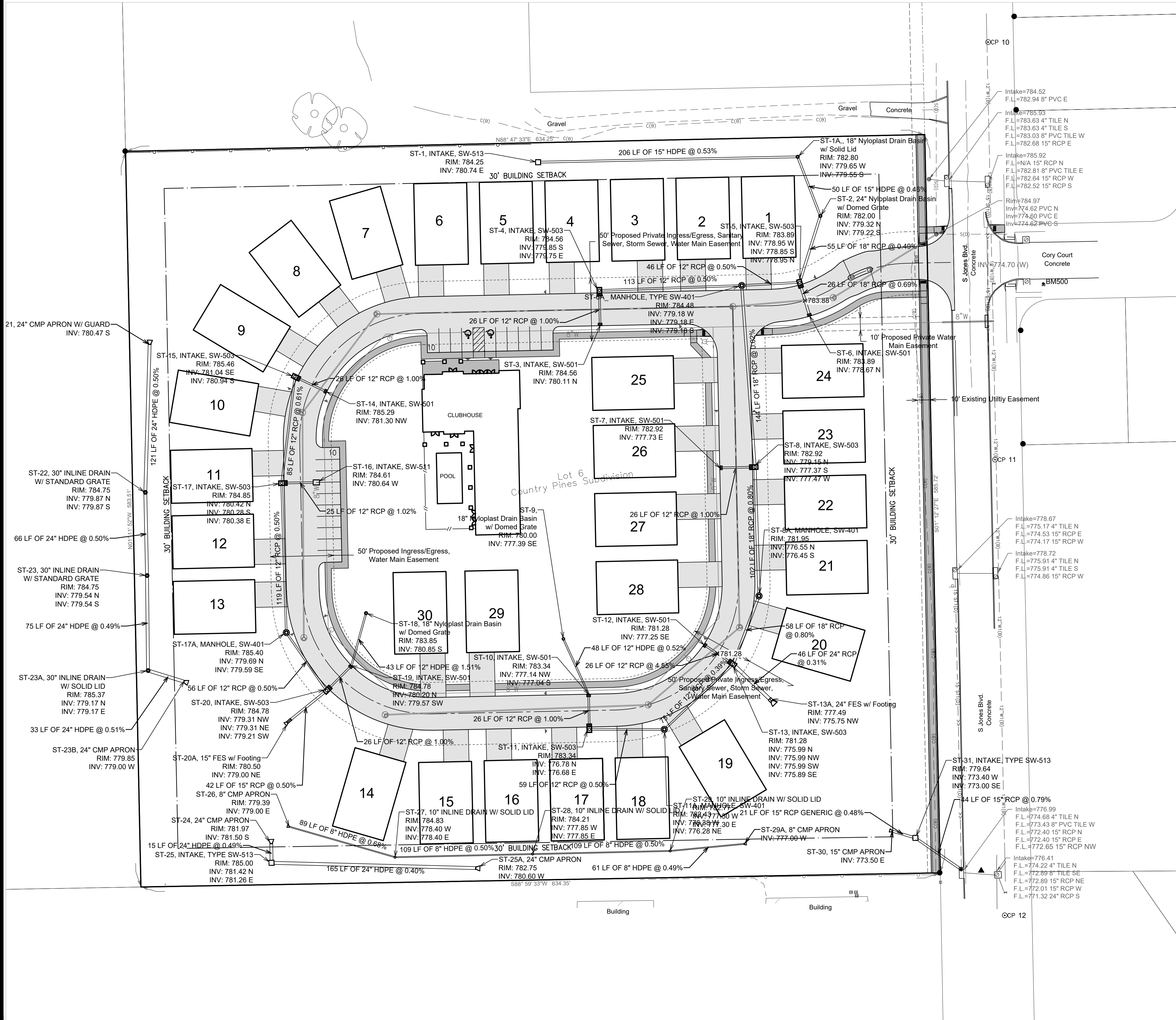
Sheet C400

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

Project No: 119.1037

Sheet C400

					04/03/20 LNW	
2		AS PER PLANNING AND ZONING				
1		AS PER CITY COMMENTS			03/27/20 RMM	
MARK		REVISION			DATE	BY
Engineer: LBW		Checked By: JAL			Scale: 1" = 40'	
Technician: RMM		Date: 3-27-2020			T-R-S: TTN-RRW-SS	



STORM SEWER PLAN CONSTRUCTION NOTES

1. PRIVATE SANITARY SEWER SERVICES; PROVIDE THE FOLLOWING AS PER CITY OF NORTH LIBERTY STANDARDS AND SPECIFICATIONS:
- A. 8" SANITARY SEWER MAIN.
 - B. CORE DRILL AND CONNECT TO EXISTING SANITARY SEWER MANHOLE.
 - C. CONNECT TO PROPOSED BUILDING SERVICE. COORDINATE LOCATION, INVERT ELEVATION AND SIZE WITH PLUMBING PLANS. UTILIZE RISER AS NECESSARY.
 - D. SANITARY SEWER CLEANOUT.
 - E. CRITICAL CROSSING.

AS PER CITY COMMENTS	03/27/20	RMM
MARK	REVISION	DATE
1		
Engineer: LBW	Checked By: JAL	Scale: 1" = 40'
Technician: RMM	Date: 3-27-2020	T-R-S: TTN+RRW+SS
Project No: 119 / 1037		
Sheet C500		

VINTAGE ESTATES

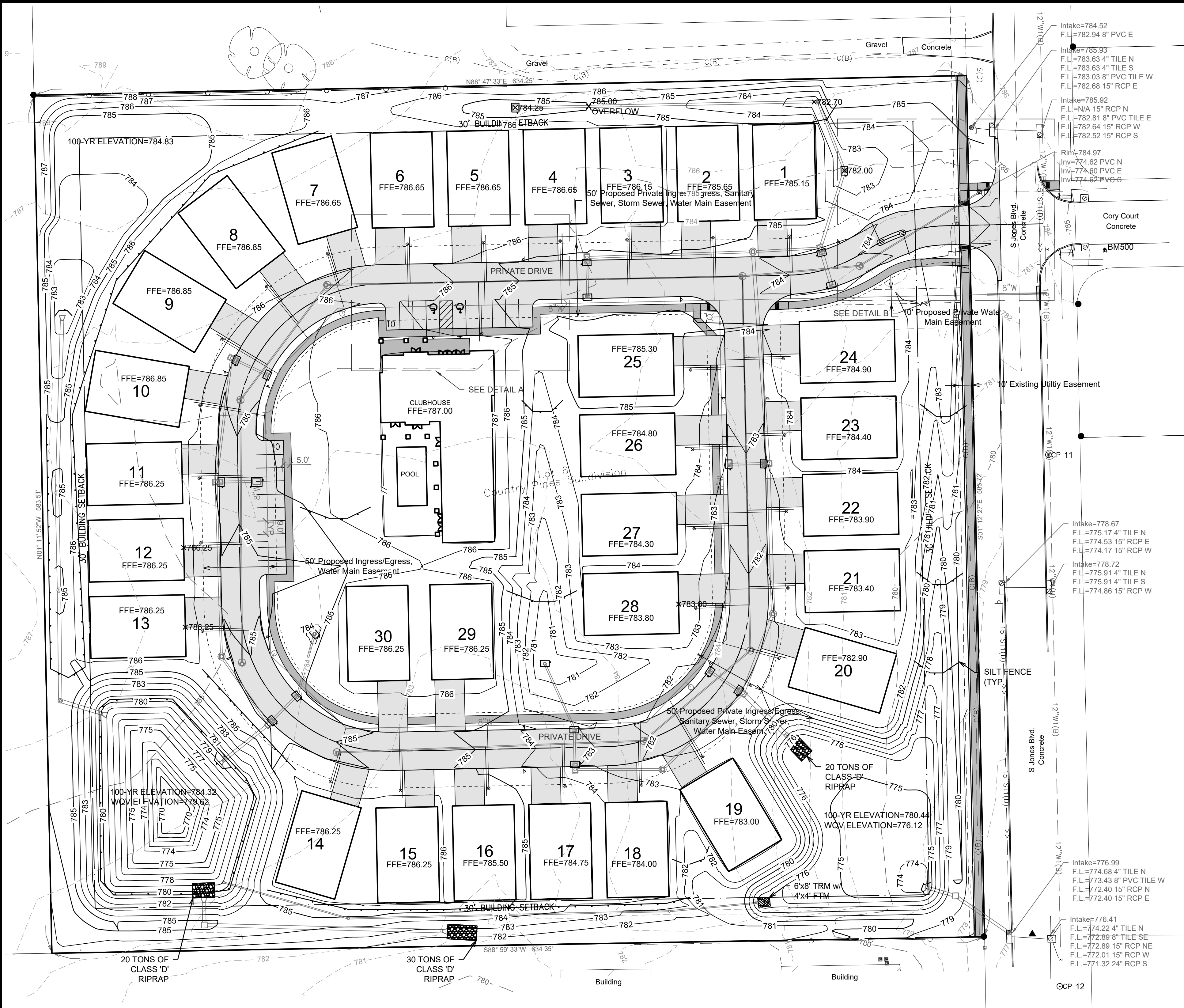
STORM SEWER PLAN

NORTH LIBERTY, IOWA

SNYDER & ASSOCIATES, INC. |

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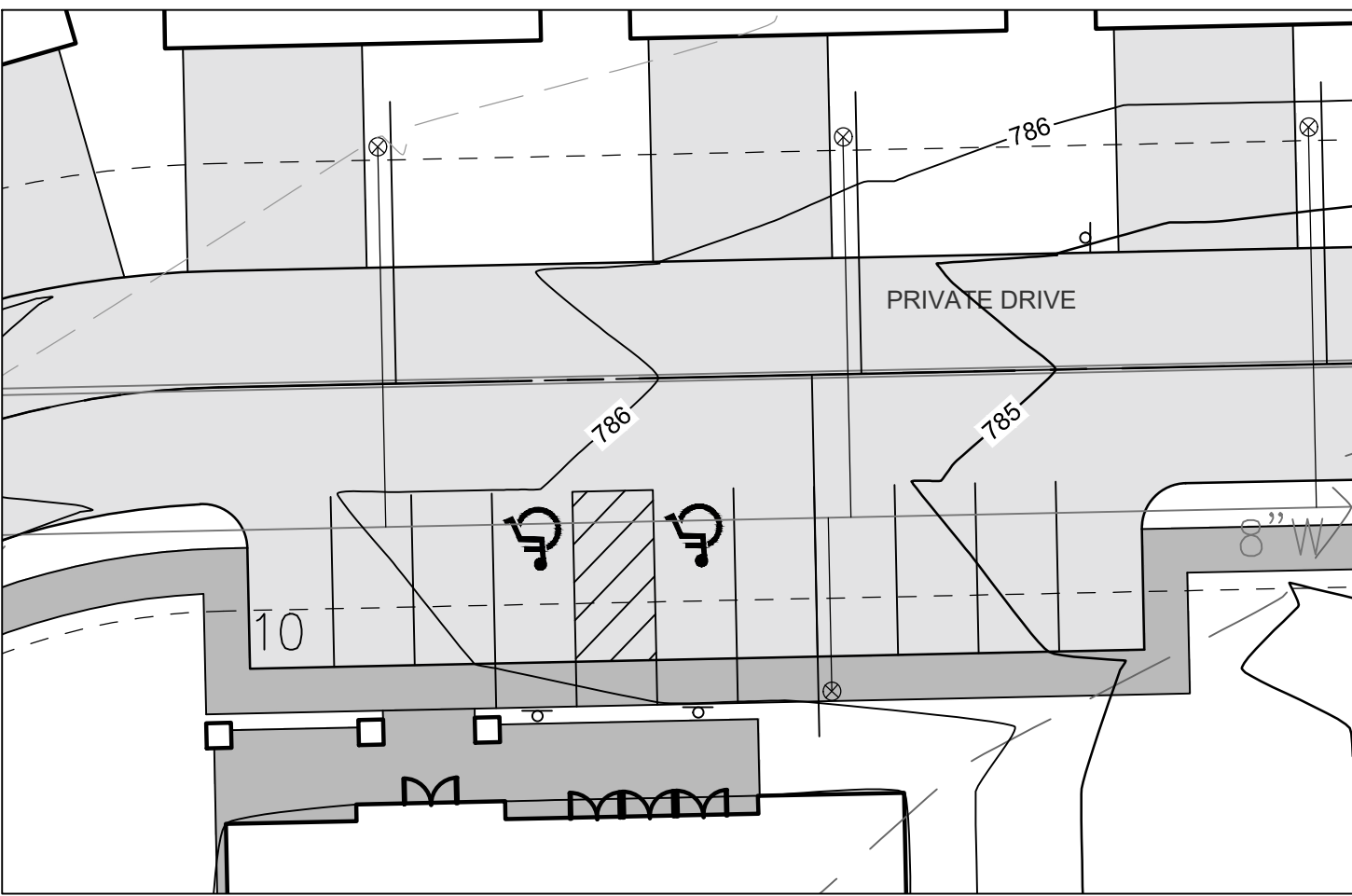
GRADING NOTES

- CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 6" DEPTH TO FINISH GRADES.
- ANY EXCESS CUT TO BE SPREAD ON SITE AS DIRECTED BY ENGINEER DURING CONSTRUCTION. PLACE TOPSOIL OVER ALL AREAS DISTURBED.
- ALL DRAINAGE SWALES AND SLOPES 5 TO 1 OR GREATER TO BE SEEDED USING COMMERCIALLY AVAILABLE EROSION CONTROL SEED. MIXTURE APPLIED AT RATE RECOMMENDED BY SUPPLIER.
- EROSION CONTROL: SEED THE SITE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE SILT FENCE AND MAINTAIN IN PROBLEM AREAS AFTER GROUND COVER HAS BEEN ESTABLISHED. COMPLY WITH EROSION CONTROL LAW.
- PROVIDE BELOW GRADE INLET PROTECTION IN PAVED AREAS FOLLOWING PAVING OPERATIONS.
- POST CONSTRUCTION VOLUME OF THE DETENTION BASINS WILL NEED TO BE VERIFIED AND PROVIDED TO THE CITY BEFORE FINAL CERTIFICATE OF OCCUPANCY (CO) CAN BE ISSUED.

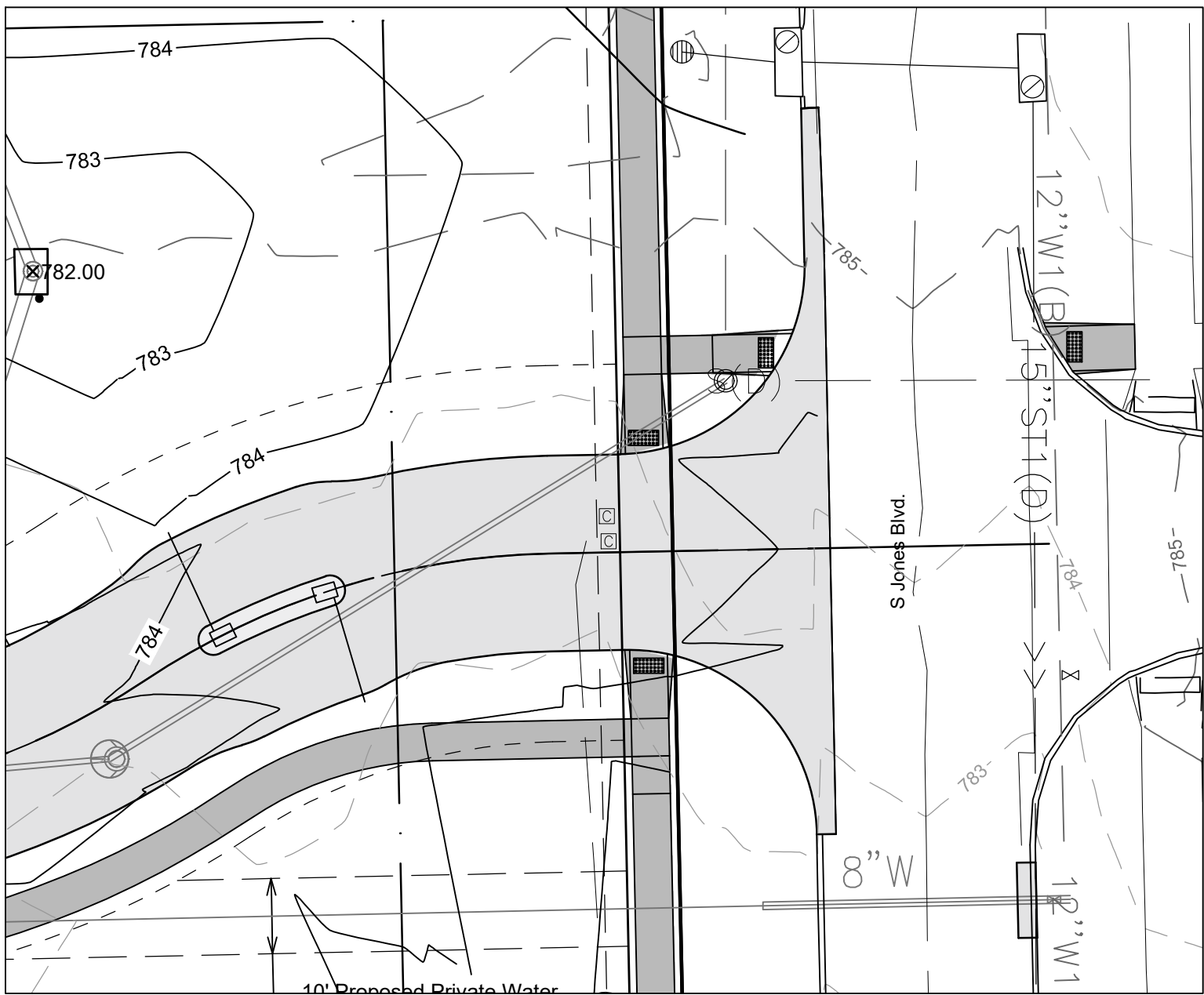
QUANTITIES

SILT FENCE
BELOW GRADE INLET PROTECTION
CLASS 'D' RIPRAP
TRM

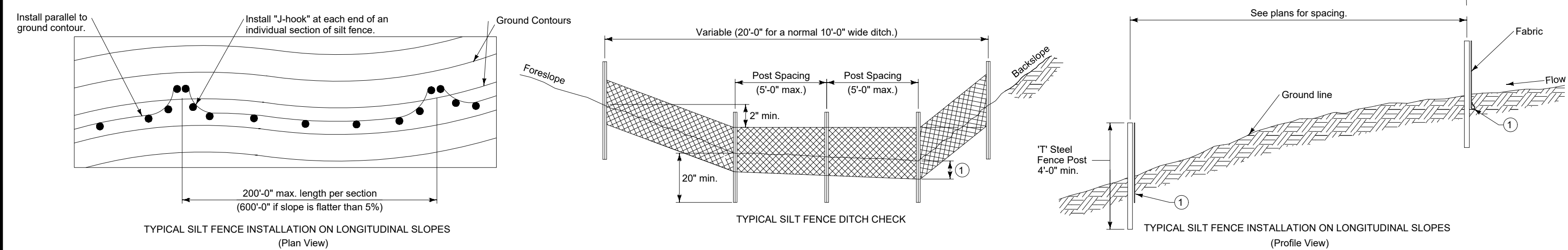
2190 LF
19 EA
70 TON
48 SF



DETAIL A
1"=20'



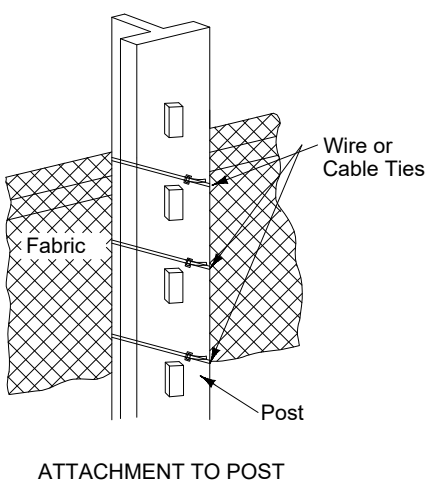
DETAIL B
1"=20'



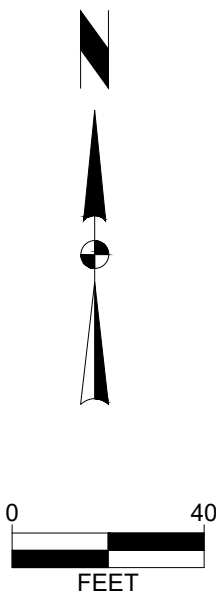
SILT FENCE DETAIL

NOT TO SCALE

- Insert 12 inches of fabric a minimum of 6 inches deep (fabric may be folded below the ground line).
- Reduce post spacing to 5'-0" at water concentration areas, or as required to adequately support fence.



ATTACHMENT TO POST



VINTAGE ESTATES

GRADING AND EROSION CONTROL PLAN

NORTH LIBERTY, IOWA

SNYDER & ASSOCIATES, INC.



Project No: 119.1037

Sheet C600

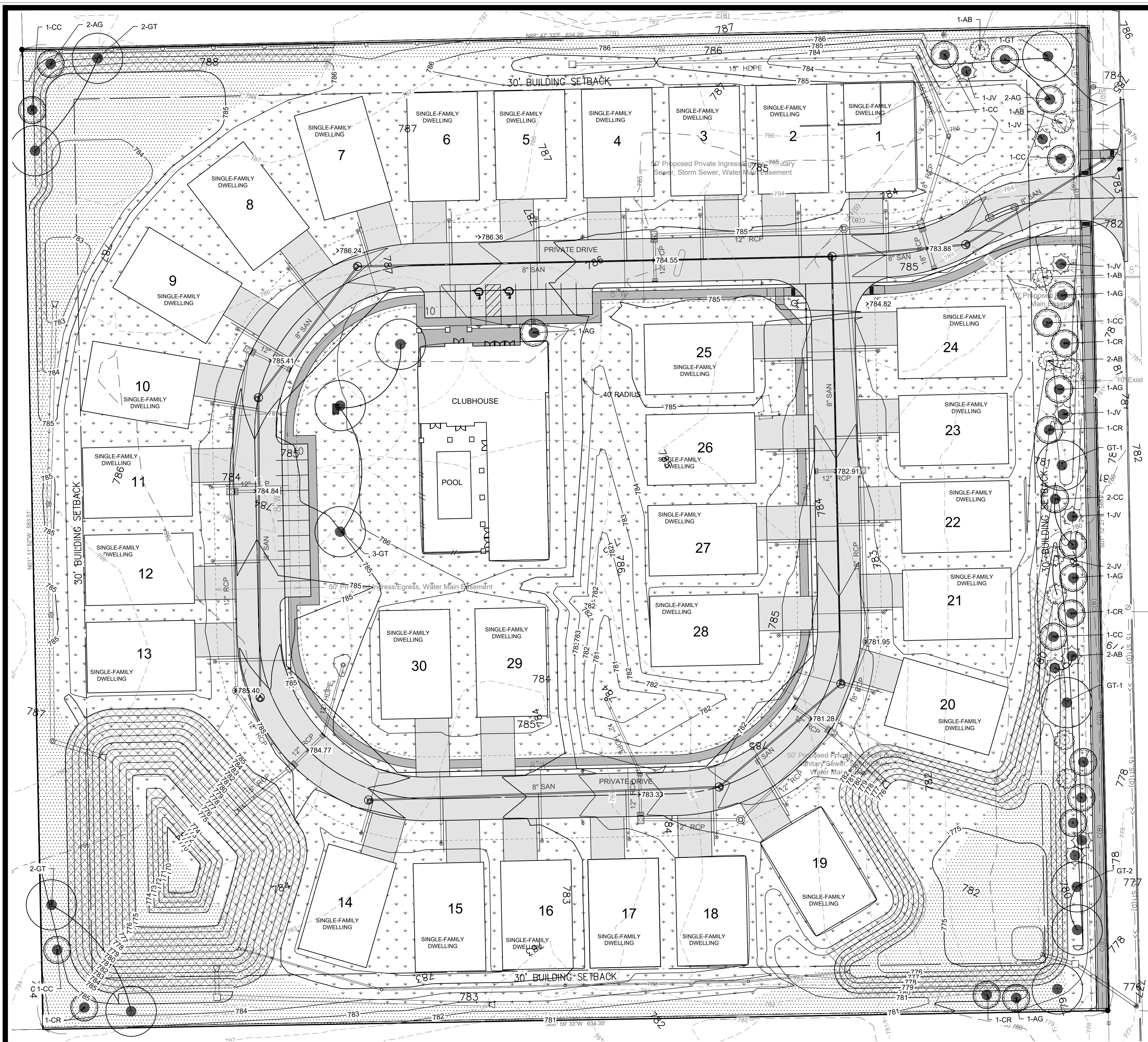
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-364-2020 | www.snyder-associates.com

Project No: 119.1037

Sheet C600

NO.	DATE	BY	REVISION
2	04/03/20	LMW	AS PER PLANNING AND ZONING
1	03/27/20	RMW	AS PER CITY COMMENTS

Engineer: LBW	Checked By: JAL	Scale: 1" = 40'
Technician: RMW	Date: 3-27-2020	T-R-S: TTN-RRW-SS



LEGEND	
	DECIDUOUS OVERSTORY TREES
	DECIDUOUS ORNAMENTAL TREES
	EVERGREEN OVERSTORY TREES
	SOD
	SEED
	EROSION CONTROL MATTING

PLANTING PLAN GENERAL NOTES

- A. UTILITY WARNING:
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET AND BE INSTALLED PER MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- E. PROVIDE A MIN 3-FOOT PERIMETER RING OF SHREDDED HARDWOOD MULCH, 3" DEPTH MAXIMUM AROUND ALL TREES. PROVIDE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4-INCHES.
- F. SEED ALL AREAS DISTURBED BY CONSTRUCTION WITH TYPE 1 SUDAS PERMANENT LAWN SEED MIX, UNLESS NOTED OTHERWISE.
- G. PROVIDE DETENTION BASIN SEED MIX AS PROVIDED BY PRAIRIE MOON NURSERY. WWW.PRAIRIEMOON.COM, 32115 PRAIRIE LANE, WINONA, MN 55987, OR APPROVED EQUAL. SEEDING RATE: 11.48 LBS/ACRE. INSTALL AS PER SUDAS SPECIFICATIONS 9010 SEEDING.
- PROVIDE REGREEN, *Triticum aestivum*, SHORT-LIVED STERILE PERENNIAL WHEAT/WHEAT GRASS HYBRID OR APPROVED EQUAL. APPLY AT 30 LBS/ACRE

PLANT SCHEDULE				
TREES	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
AB	<i>Abies balsamea</i>	BALASM FIR	7 HT.	B&B
AG	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	AUTUMN BRILLIANCE SERVICEBERRY	1/2" CAL.	B&B
CC	<i>Cercis canadensis</i>	EASTERN REDBUD	1/2" CAL.	B&B
CC	<i>Crataegus mollis</i>	DOWNY HAWTHORN	1/2" CAL.	B&B
GT	<i>Gleditsia triacanthos</i> v. <i>inermis</i> 'Shademaster'	SHADEMASTER HONEYLOCUST	1/2" CAL.	B&B
JV	<i>Juniperus virginiana</i>	EASTERN REDCEDAR	7 HT.	B&B

NOTE: QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY PLANT MATERIAL PRIOR TO BIDDING. IN THE CASE OF A DISCREPANCY, THE PLAN QUANTITY SHALL GOVERN.

VINTAGE ESTATES

PLANTING PLAN

SNYDER & ASSOCIATES

Project No: 119.1037

Sheet C700

NORTH LIBERTY, IOWA

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ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

AS PER PLANNING AND ZONING

04/03/20 LMW

AS PER CITY COMMENTS

03/27/20 RMW

MARK

REVISION

DATE

BY

Engineer: LMW

Checked By: JAL

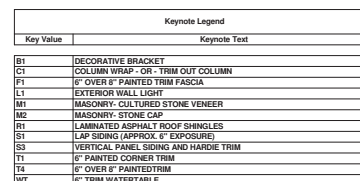
Date: 2/28/2020

T-R-S: TTN-RRW-SS

Scale: 1" = 40'

Project No: 119.1037

Sheet C700



1 SCALE: 1/4" = 1'-0"

R1

F1

T4

T1

S1

W1

B1

S3

L1

M2

M1

Architectural elevation drawing of the front of a house. The drawing includes a scale bar at the top left indicating 1/4" = 1'-0". Callout lines point to various features labeled R1, S1, Y4, B1, C1, T1, W1, and M1.

4 RIGHT
SCALE: 1/8" = 1'-0"



A200

imprint
ARCHITECTS

leave your mark

1001 S. MONROE AVE. #100
SUNNYVALE, CA 94086
TEL: 415.336.6000
FAX: 415.336.6001
WWW.PRINTARCHITECTS.COM

PROJECT:
NAPA ESTATE PLAN - MS

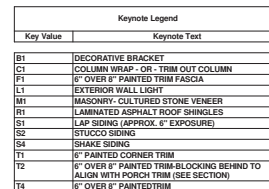
PELLA COOP

ELEVATIONS

DATE:

DATE	REVISION	BY	DATE

DATE: 8/26/19



PRELIMINARY NOT FOR CONSTRUCTION



Keynote Legend	
Key Value	Keynote Text
C1	COLUMN WRAP - OR - TRIM OUT COLUMN
F1	6" OVER 8" PAINTED TRIM FASCIA
L1	EXTERIOR WALL LIGHT
M1	MASONRY CULTURED STONE VENEER
M2	MASONRY - STONE CAP
R1	LAMINATED ASPHALT ROOF SHINGLES
S1	LAP SIDING (APPROX. 8" EXPOSURE)
S3	VERTICAL PANEL SIDING AND HARDIE TRIM
S4	SHAKE SIDING
T1	6" PAINTED CORNER TRIM
T3	PAINTED WINDOW/DOOR TRIM
T4	6" OVER 8" PAINTED TRIM
WT	6" TRIM WATERTABLE



1 FRONT
SCALE: 1/4" = 1'-0"



2 BACK
SCALE: 1/4" = 1'-0"



3 LEFT
SCALE: 1/8" = 1'-0"



4 RIGHT
SCALE: 1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

19-137

imprint
ARCHITECTS
leave your mark

ELEVATIONS

PROJECT:
TUSCANY ESTATE - MS
PELLA COOP

DATE:	10-3-19
DESIGNER:	
CHECKER:	
DATE:	
DATE:	
DATE:	
DATE:	
DATE:	
DATE:	
DATE:	
DATE:	

A200

imprint
ARCHITECTS



Keynote Legend	
Key Value	Keynote Text
B1	DECORATIVE BRACKET
C1	COLUMN WRAP - OR - TRIM OUT COLUMN
F1	6" OVER 8" PAINTED TRIM FASCIA
L1	EXTERIOR WALL LIGHT
M1	MASONRY - CULTURED STONE VENEER
R1	LAMINATED ASPHALT ROOF SHINGLES
S1	LAP SIDING (APPROX. 6" EXPOSURE)
S4	SHAKE SIDING
T1	6" PAINTED CORNER TRIM
T2	6" OVER 8" PAINTED TRIM BLOCKING BEHIND TO ALIGN WITH PORCH TRIM (SEE SECTION)



1 FRONT
SCALE: 1/4" = 1'-0"



2 BACK
SCALE: 1/4" = 1'-0"



3 LEFT
SCALE: 1/8" = 1'-0"



4 RIGHT
SCALE: 1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

19-137

imprint
ARCHITECTS
leave your mark

ELEVATIONS

PROJECT:
VENETO ESTATE - MS
MB
PELLA CO-OP

DATE: 5/28/19

SCALE: 1/4" = 1'-0"

SCALE: 1/8" = 1'-0"

A200

imprint
ARCHITECTS



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **April 3, 2020**
Re **Request of the City of North Liberty for an ordinance amending Chapter 167 Code of Ordinances of North Liberty, Iowa, entitled "Zoning Code – Definitions" by amending Section 167.01, entitled "Definitions" by deleting the definitions "congregate residence", "family" and "sign" and by amending the definition "dwelling unit" and amending Chapter 173 Code of Ordinances of North Liberty, Iowa, entitled "Zoning Code – Sign Regulations" by amending Section 173.02, entitled "Definitions" by amending the definition "sign" and adding the definition "sign, window" and by amending Section 173.05, entitled "Exempt Signs" by amending subsection 12 pertaining to window informational signs.**

North Liberty City staff offers comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Grant Lientz, City Attorney
Tom Palmer, City Building Official
Kevin Trom, City Engineer
Ryan Rusnak, Planning Director

Proposed Zoning Ordinance amendments:

Section 167.01, entitled "Definitions.

- Delete the definition "congregate residence".
Rational for amendment: the Iowa State Code prohibits the City from enforcing land use regulations based on a family.
- Delete the definition "family".
Rational for amendment: the Iowa State Code prohibits the City from enforcing land use regulations based on a family.
- Delete the definition "sign".
Rational for amendment: the definition is redundant as there is a definition for "sign" in Chapter 173, entitled "Sign Regulations".
- Amend the definition "dwelling unit".
Rational for amendment: the Iowa State Code prohibits the City from enforcing land use regulations based on a family.

Section 173.02, entitled "Definitions.

- Amend the definition "sign".
Rational for amendment: The definition was modeled after the International Municipal Layers Association Model Sign Ordinance with some language deleted.
- Add the definition "sign, window".
Rational for amendment: the Zoning Ordinance does not define window signs.

Section 173.05(12).

- Amend the definition “Window Information Signs”.
Rational for amendment: the Zoning Ordinance does not allow windows signs other than minor informational signs. The amendment allows for a reasonable amount of signage on a window.

Findings:

1. The Zoning Ordinance amendments would achieve consistency with the Iowa State Code, which prohibits the City from enforcing land use regulations based on a family; and
2. The Zoning Ordinance amendments would omit redundant language and revise language to reflect a common noncommercial sign practice.

Recommendation:

City staff recommends the Planning Commission accept the two listed findings and forward the following request to the City Council with a recommendation for approval:

Request of the City of North Liberty for an ordinance amending Chapter 167 Code of Ordinances of North Liberty, Iowa, entitled “Zoning Code – Definitions” by amending Section 167.01, entitled “Definitions” by deleting the definitions “congregate residence”, “family” and “sign” and by amending the definition “dwelling unit” and amending Chapter 173 Code of Ordinances of North Liberty, Iowa, entitled “Zoning Code – Sign Regulations” by amending Section 173.02, entitled “Definitions” by amending the definition “sign” and adding the definition “sign, window” and by amending Section 173.05, entitled “Exempt Signs” by amending subsection 12 pertaining to window informational signs.

Suggested motion:

I move that the Planning Commission accept the two listed conditions and forward the Zoning Ordinance amendments to the City Council with a recommendation for approval.

ORDINANCE NO. 2020-

AN ORDINANCE AMENDING CHAPTER 167 CODE OF ORDINANCES OF NORTH LIBERTY, IOWA, ENTITLED "ZONING CODE – DEFINITIONS" BY AMENDING SECTION 167.01, ENTITLED "DEFINITIONS" BY DELETING THE DEFINITIONS "CONGREGATE RESIDENCE", "FAMILY" AND "SIGN" AND BY AMENDING THE DEFINITION "DWELLING UNIT" AND AMENDING CHAPTER 173 CODE OF ORDINANCES OF NORTH LIBERTY, IOWA, ENTITLED "ZONING CODE – SIGN REGULATIONS" BY AMENDING SECTION 173.02, ENTITLED "DEFINITIONS" BY AMENDING THE DEFINITION "SIGN" AND ADDING THE DEFINITION "SIGN, WINDOW" AND BY AMENDING SECTION 173.05, ENTITLED "EXEMPT SIGNS" BY AMENDING SUBSECTION 12 PERTAINING TO WINDOW INFORMATIONAL SIGNS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT. That Section 167.01 Code of Ordinances of North Liberty, Iowa, entitled "definitions" (definitions for congregate residence, dwelling unit, family and sign only) is hereby amended by deleting the definitions "congregate residence", "family" and "sign" and by amending the definition "dwelling unit" as follows:

~~"Congregate residence" means any building or portion thereof which contains facilities for living, sleeping, and sanitation as required by this code, and may include facilities for eating and cooking, for occupancy by other than a family. A congregate residence may be a shelter, convent, monastery, dormitory, fraternity, or sorority house, but does not include jails, hospitals, nursing homes, hotels, or lodging houses.~~

~~"Dwelling unit" means any building or portion thereof which contains living facilities, including provisions for sleeping, eating, cooking, and sanitation, as required by this code, for not more than one family, or a congregate residence for six or fewer persons. A dwelling unit shall have a minimum width of 20 feet over 75 percent of its length and a minimum roof pitch of 4:12. Also see definition of "Dwelling Unit, Rental" and occupancy limitations of rental housing units in Chapter 169.~~

~~"Family" means one person or two or more persons related by blood, marriage, adoption, or placement by a governmental social service agency, occupying a dwelling unit as an individual housekeeping organization. A family may also be two (but not more than two) persons not related by blood, marriage, or adoption.~~

~~"Sign" means an advertising message, announcement, declaration, demonstration, display, illustration, insignia, surface, or space erected or maintained in view of the observer thereof for identification, advertisement, or promotion of the interests of any person, entity, product or service, including the sign structure, supports, lighting system, and any attachments, ornaments, or other features used to draw the attention of observers.~~

SECTION 2. AMENDMENT. That Section 173.02 Code of Ordinances of North Liberty, Iowa, entitled “Definitions” is hereby amended by amending the definition “sign” and adding the definition “sign, window” as follows:

“Sign” means any medium, including its structure and component parts, which is used or intended to be used to attract attention to the subject matter for advertising or other purpose a name, identification, description, display or illustration, which is affixed to, painted or represented directly or indirectly upon a building, or other outdoor surface which directs attention to or is designed or intended to direct attention to the sign face or to an object, product, place, activity, person, institution, organization or business.

“Sign, window” means a sign that is attached to, placed upon, or printed on the interior or exterior of a window or door of a building, or displayed on the interior within two feet of a window intended for viewing from the exterior of such a building. A window sign may be either permanent or temporary. Shadowbox design within display windows, where the window display is designed with a background enclosure against which signs are mounted that blocks view into the establishment, is considered a window sign and the entire area of the shadowbox is subject to the maximum sign area limitation.

SECTION 3. AMENDMENT. That Section 173.05(12) Code of Ordinances of North Liberty, Iowa is hereby amended as follows:

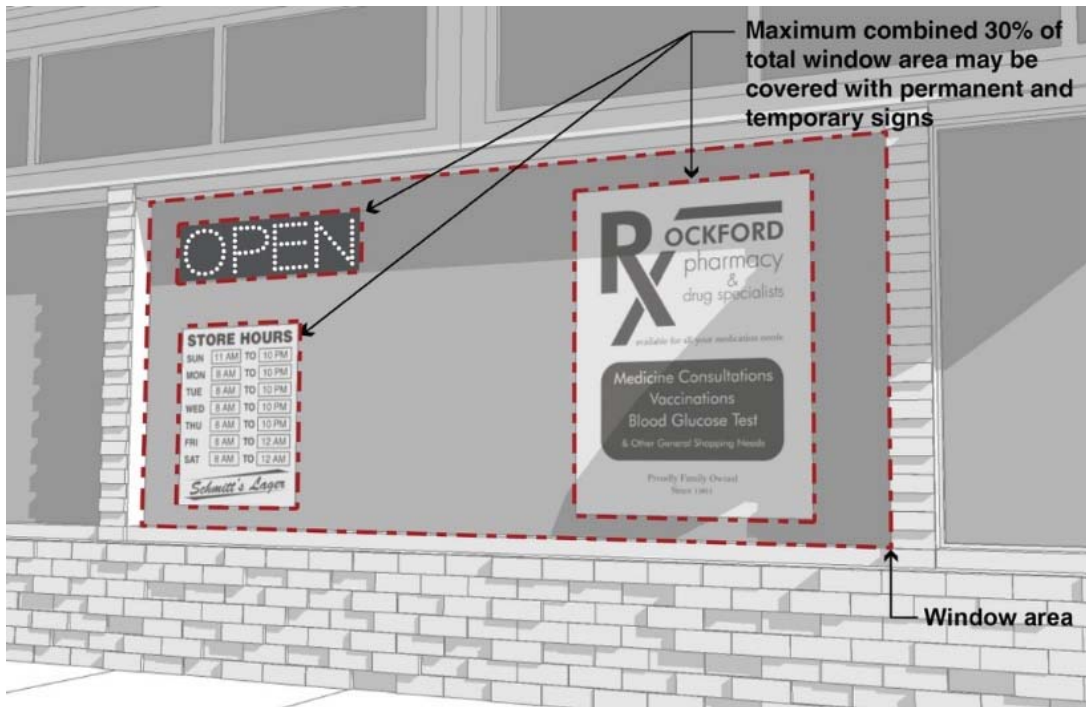
12. ~~Window Informational Signs. Window informational sign displaying information about the operation of the business, such as days and hours of operation, telephone number, and credit cards accepted. Such signs shall not exceed a maximum area of two square feet.~~

A. Window signs are permitted for all nonresidential uses in all districts.

B. All window signs, whether temporary or permanent, are limited to no more than 30% of the surface of each window area. Window area is counted as a continuous surface until divided by an architectural or structural element. Mullions are not considered an element that divides window area.

C. Window signs include neon or LED signs. Flashing neon or LED is prohibited.

Window Sign



SECTION 4. REPEALER. All Ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 5. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 6. WHEN EFFECTIVE. This Ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____.

Second reading on _____.

Third reading _____.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

North Liberty Planning Commission
Minutes
March 3, 2020
City Council Chambers
100 Walnut Creek Circle, North Liberty, Iowa

Roll Call

Chair Becky Keogh called the March 3, 2020 Regular Session of the North Liberty Planning Commission to order at 6:30 p.m. Commission members present: Josey Bathke, Ronda Detlefsen, Adam Gebhart, Jason Heisler, Becky Keogh, Kyle Pentecost and Patrick Staber.

Others present: Ryan Rusnak, Ryan Heier, Tracey Mubahey, Joel Miller and other interested parties.

Agenda Approval

Gebhart moved, Staber seconded to approve the agenda. The vote was all ayes. Agenda approved.

Urban Renewal Area Amendment

Staff Presentation

Rusnak and Heier presented the request of the City of North Liberty for an amendment to the North Liberty Urban Renewal Area.

Questions and Comments

The Commission discussed the application including the Diamond Dream project details including the provision of 120 annual hours of service to underprivileged youth.

Recommendation to City Council

Detlefsen moved, Pentecost seconded to recommend approval of the amendment to the City Council. Bathke moved to amend the motion to include commentary to Council of the requirement of 120 hours per year with priority being given to North Liberty children. The vote on the amendment was: ayes - Gebhart, Detlefsen, Bathke, Keogh, Pentecost, Heisler, Staber; nays - none. Amendment approved. The vote on the original motion including the amendment was: ayes - Detlefsen, Bathke, Keogh, Pentecost, Heisler, Staber, Gebhart; nays - none. Motion carried.

Consideration of the January 7, 2020 Meeting Minutes

Detlefsen moved, Gebhart seconded to approve the minutes of the January 7, 2020 Planning Commission meeting. The vote was all ayes. Minutes approved.

Old Business

No old business was presented.

New Business

Rusnak reported that he has received one case for April, the rezoning request for Vintage Estates. He is reviewing the zoning ordinances and may be bringing an amendment. The Commission discussed the recent good neighbor meeting. Bathke requested clarification on procedural requirements with possible remote attendance by phone.

Adjournment

At 6:53 p.m., Stabern moved, Heiser seconded to adjourn. The vote was all ayes. Meeting adjourned.