



North Liberty Planning Commission
Tuesday, September 1, 2020, 6:30 PM

Notice: Due to the COVID-19 pandemic, public health and safety concerns require City of North Liberty public meetings to be held electronically, so as to limit the spread of the virus. The public is invited to submit questions and comments in advance of the meeting for consideration submitting them to the City Clerk Tracey Mulcahey via email at tmulcahey@northlibertyiowa.org.

This meeting may be accessed live by the public as follows:

By internet video:

- northlibertyiowa.org/live.
- Facebook at facebook.com/northliberty.
- YouTube at www.youtube.com/channel/UCrCw6ipAPjJnd-olpRgPJcg.

By phone:

Call 1 (312) 626 6799 with a touch-tone phone and to enter the meeting ID 839 5616 7884 and eight-digit meeting password 93282150.

Meetings are rebroadcast on cable and available on-demand on northlibertyiowa.org.

Call to Order

1. Roll Call

2. Approval of the Agenda

3. Preliminary Plat: Request of Cherry Pig LLC to approve a Preliminary Plat for a two lot subdivision at 135 Cherry Street.

- a. Staff Presentation
- b. Applicants Presentation
- c. Public Comments
- d. Questions and Comments
- e. Recommendation to the City Council

- 4. Site Plan:** Request of Casey's Marketing Company to approve a Site Plan on 1.58 acres for the redevelopment of the property located at 600 Westwood Drive and 230 Sugar Creek.
 - a. Staff Presentation
 - b. Applicants Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council

- 5. Public Hearing for Ordinance:** Request of the City of North Liberty for an ordinance amending Section 167.01 of the North Liberty Code of Ordinances, entitled "Definitions" and various sections in Chapter 169 of the North Liberty Code of Ordinances, entitled "Development Regulations".
 - f. Staff Presentation
 - g. Applicants Presentation
 - h. Public Comments
 - i. Questions and Comments
 - j. Recommendation to the City Council

- 6. Approval of Previous Minutes**

- 7. Old Business**

- 8. New Business**

- 9. Adjournment**



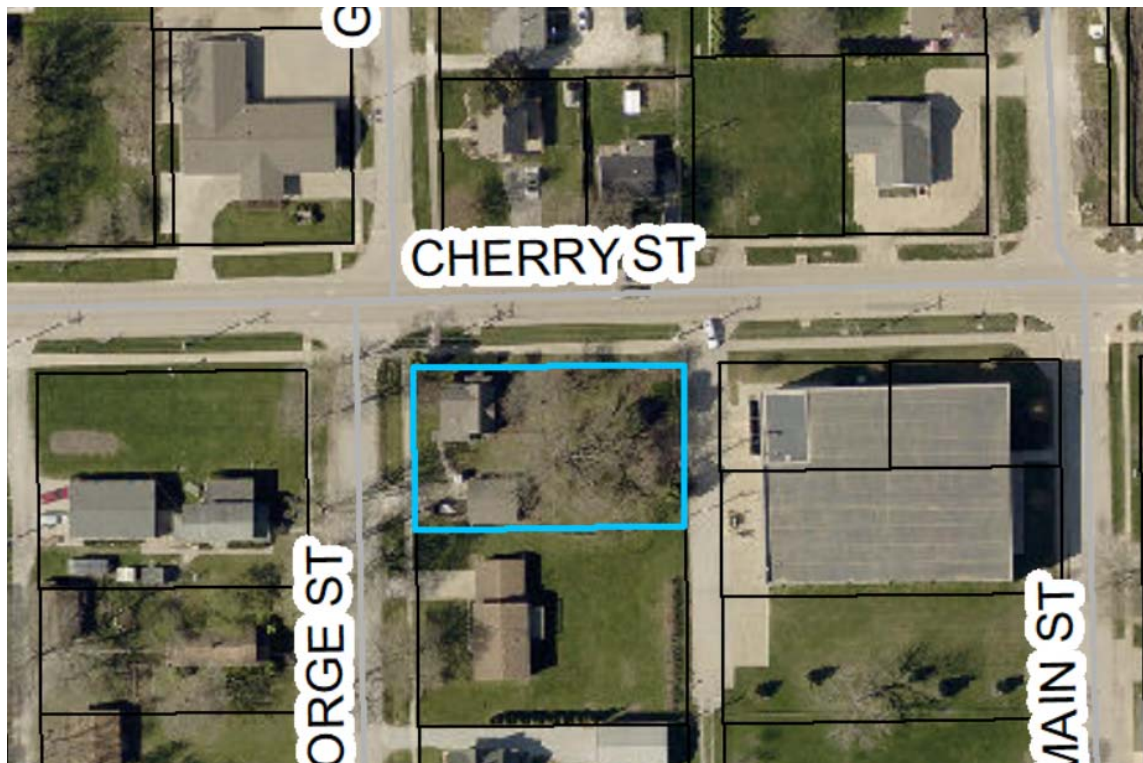
To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **August 28, 2020**
Re **Request of Cherry Pig LLC to approve a Preliminary Plat for a two lot subdivision at 135 Cherry Street.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

Request Summary:

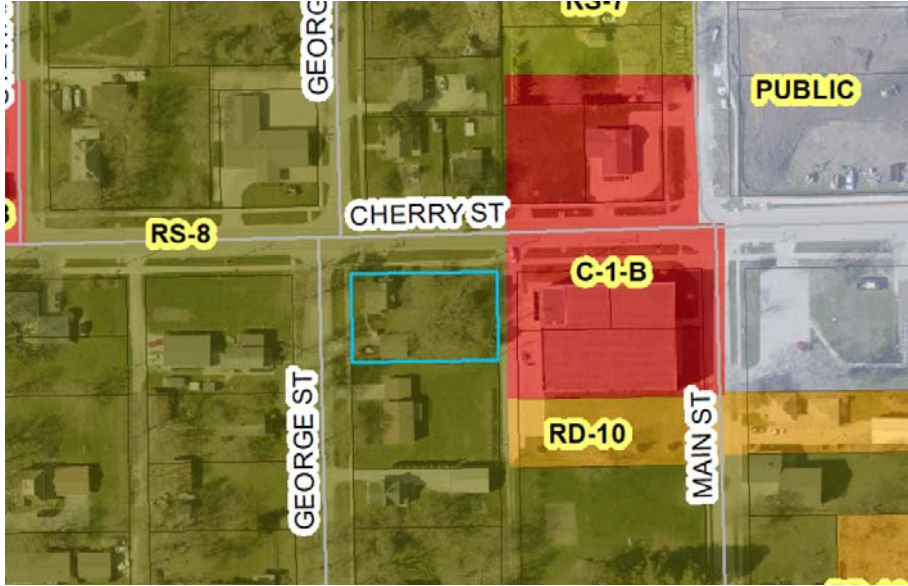
The preliminary plat proposes to re-subdivide Lots 6 and 7, Block 4 of Zeller's 1st Addition into two lots.



 Subject Property

Current Zoning:

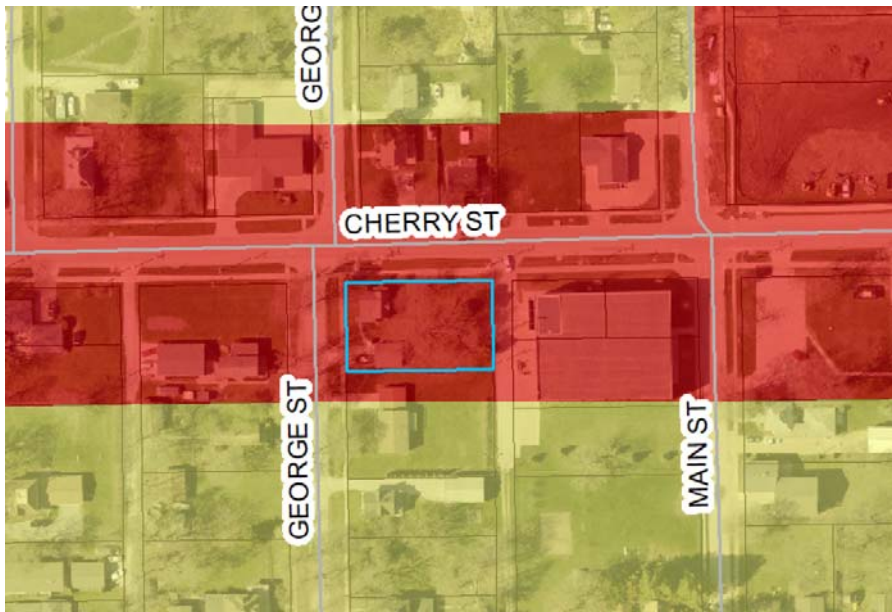
The property is currently zoned RS-8 – Single-Unit Residence District.



 Subject Property

Comprehensive Plan Future Land Use Map Designation:

Commercial.



 Subject Property

The RS-8 zoning is not consistent with the Commercial Land Use Designation.

Comprehensive Plan Excerpt:

Commercial Uses. The highest densities of more locally-oriented commercial uses are generally planned along Penn Street and along Highway 965. Interstate-related large scale office and mixed-use developments are planned for the Kansas Avenue corridor, especially between Kansas and I-380 and near the planned Forevergreen Road interchange. High visibility from the I-380 corridor presents an excellent opportunity to introduce high-quality office and commercial uses in this “front door” area that may serve both the external demand associated with the I-380 proximity and access and the internal demand generated by substantial recent and planned residential development in the area.

It is City staff’s opinion that the Commercial Land Use designation should be re-examined along the Cherry Street corridor.

Public Input:

To date, staff not received any public input on the request.

Approval Standards:

Section 180.11(3)(A) of the North Liberty Code of Ordinances sets forth the preliminary subdivision plat submittal requirements and review (Ordinance language in *italics* and staff analysis in **bold**).

3. *Preliminary Subdivision Plat Submittal Requirements and Review. The preliminary plat, in general, contains more information than the final plat, so that the subdivider and the City can ensure conformance with codes, master facility plans, and good planning and engineering practices. Though the preliminary plat is not recorded, it is approved by resolution of the City Council, and conditions for approval of the plat shall be addressed on any final plats of the same area.*

A. *Preliminary Plat Contents. The application shall include a preliminary plat of the subdivision drawn to a scale of one inch to one hundred feet minimum, and shall show:*

(1) *A location map to provide spatial reference, showing the outline of the area to be subdivided, existing streets and corporate limits in the vicinity, a north arrow and scale or note stating "not to scale," and other information that might help clarify where the plat is located as well as its surroundings and size relative to other City features;*

This has been provided on the Preliminary Plat.

(2) *Name of proposed subdivision and date;*

This has been provided on the Preliminary Plat.

(3) *Legal description and acreage;*

This has been provided on the Preliminary Plat.

(4) *Name and address of owner;*

This has been provided on the Preliminary Plat.

(5) *Names of the persons preparing the plat, owner's attorney, representative or agent, if any;*

This has been provided on the Preliminary Plat.

(6) *Existing and proposed zoning district classification of all land within the proposed subdivision and within about 200 feet of the subdivision;*

Staff is not requiring this information on the Preliminary Plat.

(7) *North point and graphic scale;*

This has been provided on the Preliminary Plat.

(8) *Contours at two-foot intervals or less, both existing and as generally proposed (subject to more refinement in subsequent construction plans);*

This has been provided on the Preliminary Plat.

(9) *Building setback lines as required by the current or proposed zoning district classifications;*

This has been provided on the Preliminary Plat.

(10) *The approximate boundaries of areas of known flood levels or floodplains, areas covered by water, wooded areas, floodways, and all open channel drainage ways;*

This is not applicable.

(11) *Locations, names, and dimensions of existing lot lines, streets, public utilities, water mains, sewers, drainpipes, culverts, watercourses, bridges, railroads and buildings within in the proposed subdivision and within about 200 feet of the subdivision;*

This has been provided on the Preliminary Plat.

(12) *Layout of proposed blocks, if used, and lots, including the dimension of each lot, and the lot and block number in numerical order;*

This has been provided on the Preliminary Plat.

(13) *Layout and dimensions of proposed streets, sidewalks, trails, alleys, utility and other easements, parks and other open spaces or reserved areas;*

Not applicable. No new infrastructure is proposed.

(14) *Grades of proposed streets and alleys;*

Not applicable. No new infrastructure is proposed.

(15) *A cross-section of the proposed streets showing the roadway locations, the type of curb and gutter, the paving, and sidewalks to be installed;*

Not applicable. No new infrastructure is proposed.

(16) *The layout of proposed water mains and sanitary sewer systems;*

Not applicable. No new infrastructure is proposed.

(17) The drainage of the land, including proposed storm sewers, ditches, culverts, bridges and other structures;

Not applicable.

(18) Stormwater management facilities when applicable;

Not applicable.

(19) A signed certificate of the Johnson County Auditor for the subdivision name; and

This information has been provided.

(20) Other special details or features that may be proposed or required.

None required.

Additional Considerations:

The RS-8 Single-Unit Residence District requires a minimum frontage of 35 feet, a minimum width of 60 and minimum lot area of 6,000 square feet. Each lot would meet these minimum requirements.

The existing detached garage on proposed lot 1 is non-conforming by setback. The subdivision would not increase this non-conformity.

Finding:

1. The preliminary plat achieves consistency with Section 180.11(3)(A) of the North Liberty Code of Ordinances, which sets forth the preliminary subdivision plat submittal requirements.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request of Cherry Pig LLC to approve a Preliminary Plat for a two lot subdivision at 135 Cherry Street.

Suggested motion:

I move that the Planning Commission accept the listed condition and forward the preliminary plat to the City Council with a recommendation for approval.



CIVIL ENGINEERS
 LAND PLANNERS
 LAND SURVEYORS
 LANDSCAPE ARCHITECTS
 ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
 IOWA CITY, IOWA 52240
 (319) 351-8282
www.mmsconsultants.net

Date	Revision
08/27/20	PER CITY COMMENT - LSS

PRELIMINARY PLAT

CLIFF JUMPING SHEEP SUBDIVISION

NORTH LIBERTY
 JOHNSON COUNTY
 IOWA

MMS CONSULTANTS, INC.

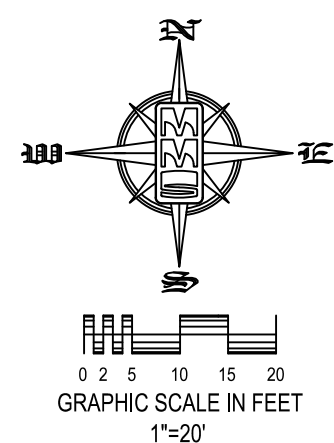
Date:	08-03-20
Designed by:	JDM
Field Book No.:	1286
Drawn by:	JDM
Scale:	1"=20'
Checked by:	RRN
Sheet No.:	1
Project No.:	9425-002
of:	1

PRELIMINARY PLAT CLIFF JUMPING SHEEP SUBDIVISION NORTH LIBERTY, IOWA

PLAT PREPARED BY:
 MMS CONSULTANTS INC.
 1917 S. GILBERT STREET
 IOWA CITY, IOWA 52240

OWNER/APPLICANT:
 CHERRY PIG LLC
 1085 W. PENN STREET
 NORTH LIBERTY, IOWA 52317

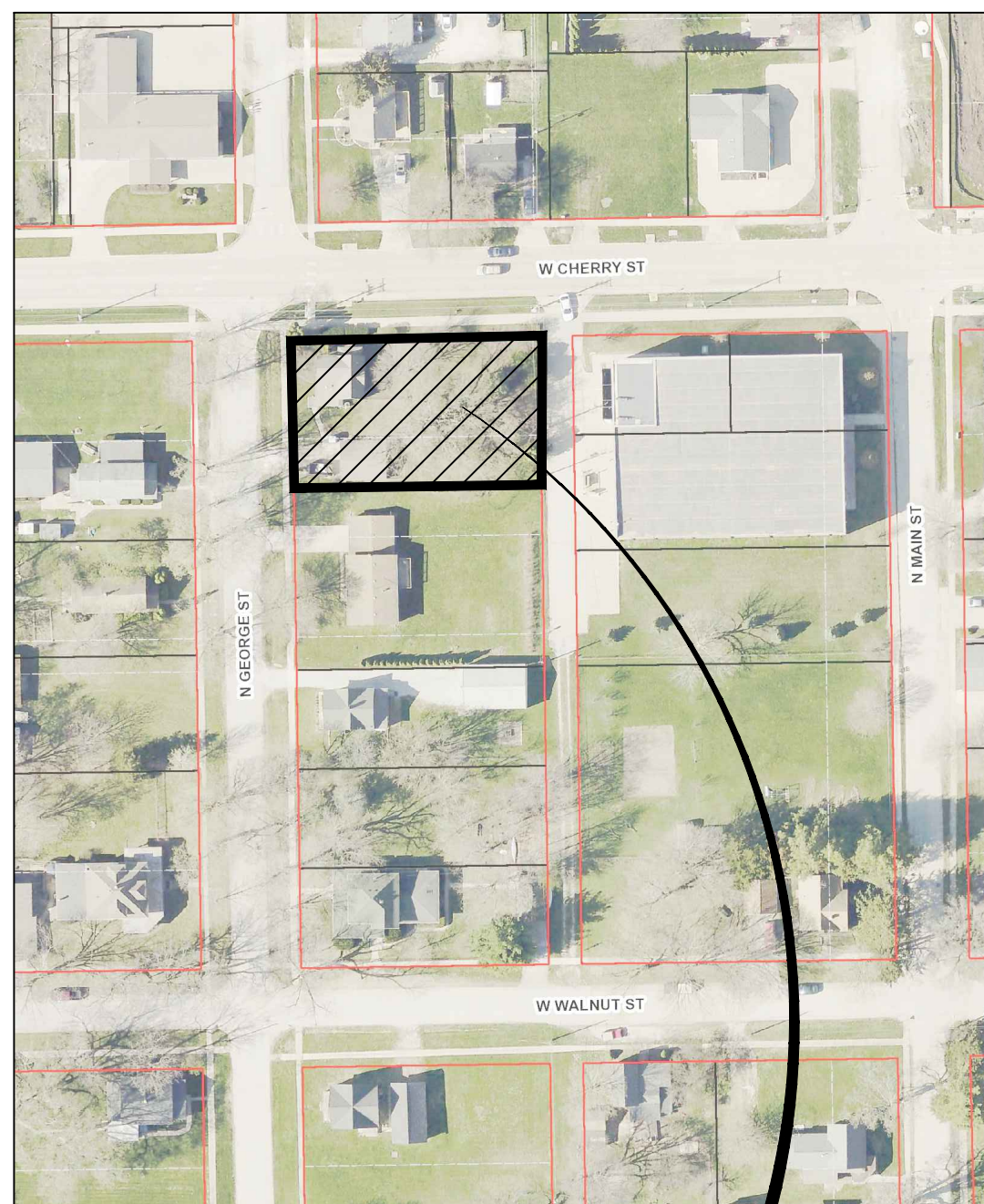
APPLICANT'S ATTORNEY:
 DOUGLAS D. RUPPERT
 122 SOUTH LINN STREET
 IOWA CITY, IOWA 52240



LOTS	ZONING	SETBACKS
LOTS 6 THRU 7	R-8 SINGLE-UNIT RESIDENTIAL	FRONT -20 FEET REAR -25 FEET SIDE -5 FEET

MINIMUM YARD REQUIREMENT:

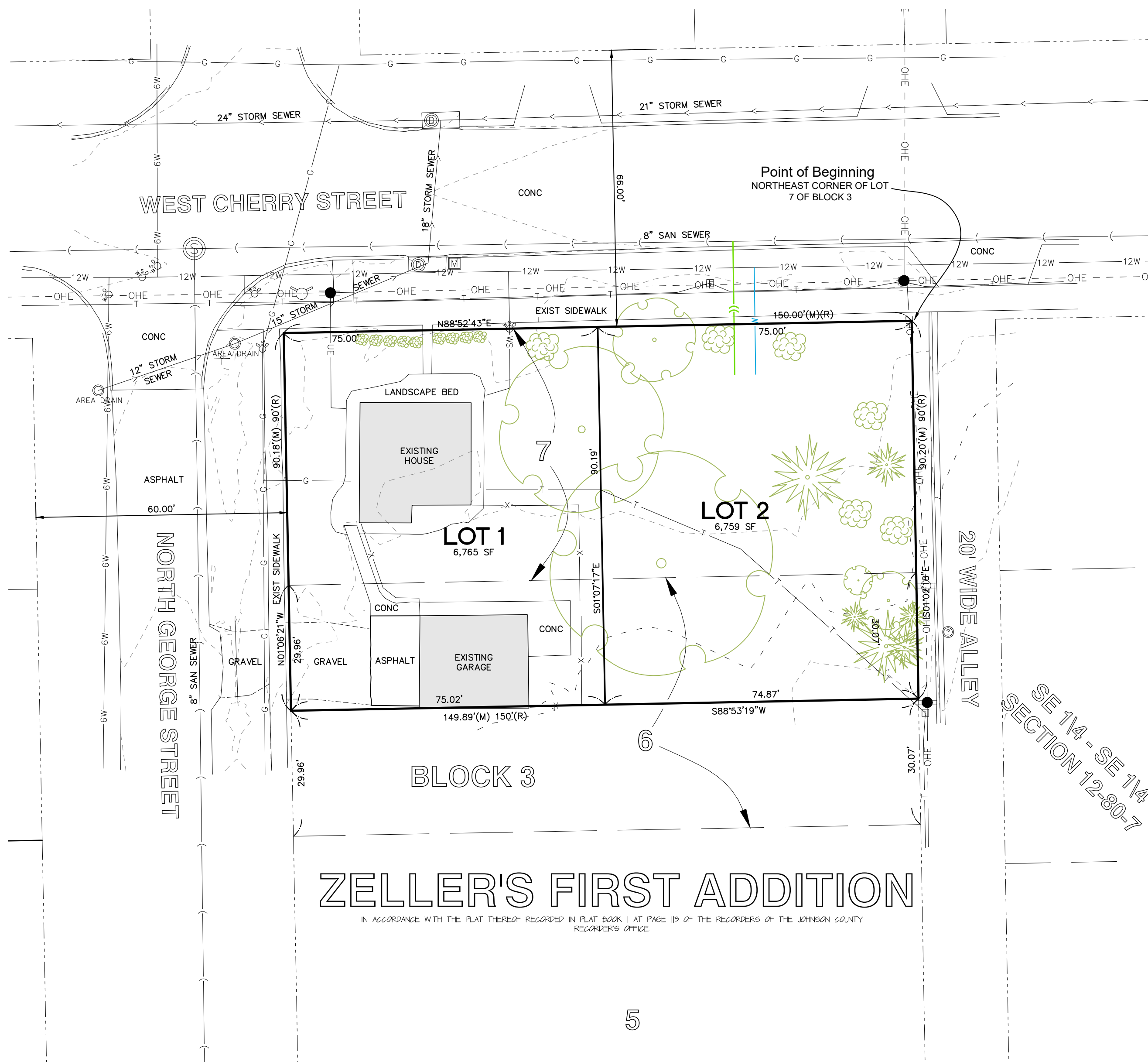
FRONTAGE	35 FEET
WIDTH	60 FEET
AREA	5,000 SQUARE FEET
MAXIMUM HEIGHT	35 FEET OR 2½ STORIES
SINGLE-DWELLING UNIT BUILDINGS, FAMILY HOMES	



LOCATION MAP
 NOT TO SCALE

DESCRIPTION - CLIFF JUMPING SHEEP SUBDIVISION

Beginning at the Northeast Corner of Lot 7 of Block 3 of Zeller's First Addition, to North Liberty, Iowa, in accordance with the Plat thereof Recorded in Plat Book 1 at Page 113 of the Records of the Johnson County Recorder's Office; Thence S01°02'18"E, along the East Line of said Lot 7, and the East Line of Lot 6 of Block 3 of said Zeller's First Addition, 90.20 feet, to the Southeast Corner of the North One-Half of said Lot 6; Thence S88°53'19"W, along the South Line of said North One-Half, 149.89 feet, to the Southwest Corner of said North One-Half; Thence N01°06'21"W, along the West Line of said Lots 6 and 7, a distance of 90.18 feet, to the Northwest Corner of said Lot 7; Thence N88°52'43"E, along the North Line of said Lot 7, a distance of 150.00 feet, to the Point of Beginning. Said Cliff Jumping Sheep Subdivision contains 13,524 square feet, and is subject to easements and restrictions of record.



STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER
- EXIST- 22-1
- PROP- 22-1
- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

ZELLER'S FIRST ADDITION

IN ACCORDANCE WITH THE PLAT THEREOF RECORDED IN PLAT BOOK 1 AT PAGE 113 OF THE RECORDS OF THE JOHNSON COUNTY RECORDER'S OFFICE.

**CERTIFICATE OF COUNTY AUDITOR
CLIFF JUMPING SHEEP SUBDIVISION
JOHNSON COUNTY, IOWA**

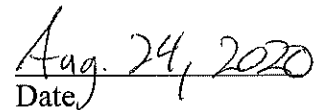
I, Travis Weipert, the Johnson County Auditor, hereby approve Cliff Jumping Sheep Subdivision, Johnson County, Iowa as a succinct and unique name for the subdivision containing the following described real estate located in Johnson County, Iowa

LEGAL DESCRIPTION

Beginning at the Northeast Corner of Lot 7 of Block 3 of Zeller's First Addition, to North Liberty, Iowa, in accordance with the Plat thereof Recorded in Plat Book 1 at Page 113 of the Records of the Johnson County Recorder's Office; Thence S01°02'18"E, along the East Line of said Lot 7, and the East Line of Lot 6 of Block 3 of said Zeller's First Addition, 90.20 feet, to the Southeast Corner of the North One-Half of said Lot 6; Thence S88°53'19"W, along the South Line of said North One-Half, 149.89 feet, to the Southwest Corner of said North One-Half; Thence N01°06'21"W, along the West Line of Said Lots 6 and 7, a distance of 90.18 feet, to the Northwest Corner of said Lot 7; Thence N88°52'43"E, along the North Line of said Lot 7, a distance of 150.00 feet, to the Point of Beginning. Said Cliff Jumping Sheep Subdivision contains 13,524 square feet, and is subject to easements and restrictions of record.


Travis Weipert, Johnson County Auditor

Deputy


Date

(seal)



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **August 28, 2020**
Re **Request of Casey's Marketing Company to approve a Site Plan on 1.58 acres for the redevelopment of the property located at 600 Westwood Drive and 230 Sugar Creek Lane.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

Request Summary:

The site plan proposes to redevelop the existing Liberty Motors and Moxie Solar properties with a 4,160 square foot Casey's convenience store with 12 fueling stations and associated infrastructure.



 **Subject Property**

Existing Zoning:

C-1B – General Commercial District. The C-1B District lists “Convenience Stores with Gas Pumps” as a permitted use.



 Subject Property

Comprehensive Plan Future Land Use Map Designation:

Commercial with Residential.



 Subject Property

The C-1B zoning is consistent with the Commercial with Residential Land Use Designation.

Public Input:

To date, staff not received any public input on the request.

Approval Standards:

Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

2. *Site Plan Requirements. Site plans, which are required for review and approval for any use in any district or elsewhere by this code, shall comply with and illustrate the following:*

D. All site plans shall clearly illustrate the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, relationship to flood overlay zones, and such other information as necessary to show compliance with the requirements of this code. A preliminary site plan may be submitted for preliminary land use approval; however, the final site plan required by this code shall be submitted, reviewed, and approved prior to the issuance of building or construction permits.

It is staff's opinion that the site plan illustrates the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, and such other information as necessary to show compliance with the requirements of this code.

E. The site plan shall include the following legal information:

- (1) Legal property owner's name and description of property.*
- (2) Applicant's name, requested land use, and zoning.*
- (3) If the applicant is other than the legal owner, the applicant's interest shall be indicated and the legal owner's authority to appeal shall be certified.*

This information has been provided on sheet C-001.

F. The site plan shall clearly illustrate in color perspective and enumerate the following information:

- (1) Property boundary lines, dimensions, and total area.*

This information has been provided on sheet C-003.

- (2) Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the final site plan.*

This information has been provided on sheet C-003.

- (3) The availability and location of existing utilities.*

This information has been provided on sheet C-003.

- (4) *The proposed location, size, shape, color, and material type of all buildings or structures.*
This information has been provided on sheet C-101, on sheets A-201 and A202 and canopy and sign renderings.
- (5) *The total square feet of building floor area, both individually and collectively.*
This information has been provided on sheet C-001. The proposed building would be 4,160 square feet in area and the property would contain 12 fueling stations.
- (6) *The number of dwelling units, bedrooms, offices, etc., as required to determine special compliance.*
This information is not necessary, and therefore, has not been provided.
- (7) *The proposed location of identification signs. An identification sign is defined as a sign displaying the name, address, insignia or trademark, and occupant of a building or the name of any building on the premises. Installation shall be in accordance with the Chapter 173 of this code.*
The ground sign is referenced on sheet C-001 and the location is shown on sheet C-101. Building mounted signage is shown on sheet A-201. A sign package has also been provided.
- (8) *A vicinity sketch showing detailed adjacent land uses within 500 feet of the property and general existing land uses within 1,000 feet of the property.*
This information has been provided on sheet C-001.
- (9) *Existing buildings, right-of-way, street improvements, utilities (overhead or underground), easements, drainage courses, vegetation and large trees, etc.*
This information has been provided on sheet C-100.
- (10) *Parking areas, number of parking spaces proposed, number of parking spaces required by this code, type of surfacing to be used, etc.*
This information is referenced on sheet C-001.
- (11) *Walkways, driveways, outside lighting, walls, fences, signs, monuments, statues and other manmade features to be used in the landscape.*
Walkways and driveways are shown on sheet C-101. Notably, the 4' wide sidewalks would be replaced with 5' wide sidewalks. A lighting plan has been provided. Staff is recommending that the lighting be adjusted so it does not exceed one footcandle along the west property line, consistent with Section 169.12(1)(5) of the North Liberty Code of Ordinances. No walls, fences, monuments or statues are proposed.
- (12) *Location and type of all plants, grass, trees, or ground cover to be used in the landscape. Landscaping shall be illustrated in elevation and color perspective with the size and exact names of plants, shrubs, or trees to be planted clearly indicated.*
This information has been provided on sheet C-701 on the color perspective.

(13) Walls, fences or other artificial screens to be used as buffers shall be shown in elevation and color perspective with proposed height and structural material to be used indicated. See Section 169.02 for the guidelines concerning landscaping.

Walls, fences or other artificial screens are not proposed.

(14) Traffic considerations, architectural themes, pedestrian movement, etc., and all other considerations pertinent to the proposed use may be requested for illustration or statistical purposes.

The driveway entrance on Westwood Drive would line up with the Fareway driveway entrance. There is another driveway entrance on Sugar Creek Lane. There is a dedicated pedestrian walkway from the public sidewalk to the front entrance.

(15) The methods of compliance with all applicable flood plain development standards and flood (overlay) districts as contained in this code.

The subject property is not located within a flood hazard area.

Additional Considerations:

North Liberty Code of Ordinances Section 169.12 entitled, "Design Standards" and Section 169.13 entitled, "Other Design Standards" sets forth certain design standards (applicable Ordinance language in italics and staff analysis in bold).

Section 169.12

1. *Requirements for All Districts. The following requirements shall be observed for all development in all districts:*

A. *Building design shall be visually harmonious and compatible with the neighborhood character.*

The building and gas canopy supports would be brick. This is the commercial architectural style the design standards emphasize.

B. *Buildings located on property with double frontages shall have similar wall design facing both streets.*

Brick would be located on all exterior elevations. Staff requested and the applicant provided additional windows on the south building elevation facing Westwood Drive.

C. *Buildings shall have a consistent architectural style throughout the development on each lot, as defined by repetition of exterior building material and colors, and architectural elements.*

There is a consistent architectural style through the development.

D. *Except for the RS districts, color schemes shall be based on earth tones or other compatible colors.*

The building and gas canopy supports would be brick. This is the commercial architectural style the design standards emphasize.

- E. *Special attention shall be taken to incorporate external mechanical equipment into the design such that it does not detract from the aesthetics of the site and building.*
Rooftop screening is depicted on sheet A-202.
 - F. *Pitched roofs with a minimum slope 5:12 are preferred. The color of the roof should be earth-toned.*
The slope of the roof is 6:12. The color of the roof single would be weathered wood, which is an earth-tone color.
 - G. *Roof top equipment shall be screened.*
Rooftop screening is depicted on sheet A-202.
 - H. *Reflective surfaces that may cause glare or traffic hazards are not acceptable.*
Reflective surfaces are not proposed.
4. *Requirements for Development in Office and Commercial Zoning Districts.*
- A. *Commercial zoning districts are intended to enhance public welfare by providing for safe, convenient, high quality pedestrian-oriented commercial centers that contribute to community identity as energetic and attractive focus points. Through development and redevelopment within these districts, the city recognizes the importance of creating high quality development areas to the quality of life for residents of the city, the impact quality development has on the image of the community, and the need to provide restrictions and guidelines to enhance visual appearance and functionality. The objectives addressed through these regulations include the following:*
 - (1) *Design. To achieve appealing aesthetic design through high quality architecture and construction, with attention to placement, relationship, and orientation of structures and amenities to provide both internal cohesiveness and compatibility with surrounding uses.*
It is staff's opinion that the proposed design achieves consistency with this design standard.
 - (2) *Walkability. To achieve overall development patterns that encourage walking and reduce dependence on the automobile to travel from one business to another, and so reduces the dominance of the automobile within the development.*
A dedicated pedestrian walkway from the Westwood Drive public sidewalk to the building entrance has been provided.
 - (3) *Human-scale Activity. To achieve a sense of place by emphasizing pedestrian interaction with commercial uses rather than sprawling automobile-dominated designs, both in building architecture and public or private outdoor areas.*
It is staff's opinion that the proposed design achieves consistency with this design standard.

(4) *Compatible Uses.* To achieve the right blend of uses, compact and well-designed, that complement each other and provide cohesive overall developments.

This is a single-use site. However, the both the building and canopy support would have a brick veneer.

B. *In addition to requirements of subsection 1 of this section, the following requirements shall be observed for development in the office and commercial zoning districts:*

(1) *Site Layout Requirements.*

(a) *Pedestrian Areas.* Each development shall provide a complete network of paths, plazas, and open spaces that interconnect building entrances, parking, sidewalks, other properties, and other pedestrian amenities. These pedestrian areas are expected to constitute a significant portion of development area, and may include plazas, special paving areas between parking and entrances, and outdoor eating patios. Additionally, portions of pedestrian areas should be at least partly covered so that users are protected from rain and intense sun. New developments will be required to connect to paths and sidewalks established by previously-approved developments.

This is a single-use site. However, there is a dedicated pedestrian walkway from the Westwood Drive public sidewalk to the building entrance.

(b) *Outdoor Infrastructure Design.* Each development shall provide outdoor lighting fixtures, integrated street pavers or patterns, and landscaping that reinforces quality building design and blends with previously-approved developments, when appropriate. Design elements may include decorative lighting, seating with benches, low walls, planters, enhanced paving techniques, and other features complimentary to the development.

It is staff's opinion that the proposed design achieves consistency with this design standard.

(c) *Parking Areas.* Parking areas shall consist of areas that are aesthetically pleasing, landscaped to screen public views, and located so as not to be the dominant feature along any street or within any development. The use of alternate materials to designate pedestrian areas within or adjacent to parking lots is encouraged, and pedestrian areas shall be separated from vehicular traffic with landscaping, decorative posts, special paving, or other measures to clearly define the pedestrian spaces. Property owners are encouraged to establish shared parking zones among uses on one or more lots.

It is staff's opinion that the proposed design achieves consistency with this design standard.

(2) *Building Materials and Design Requirements.*

(a) *Materials. Exterior vertical building elevations in all commercial districts except for the C-3 district shall be composed of at least 60% brick or other masonry products. Exterior vertical building elevations in the C-3 district shall be composed of at least 90% brick or other masonry products. Exterior walls not composed of masonry products shall not be covered with ribbed metal siding commonly referred to as corrugated metal. The required masonry area shall be based on a net wall surface, defined as the total area between ground level and the soffit or roof line, from farthest outside wall left to farthest outside wall right, with window and door areas subtracted out.*

The exterior of the building is a brick veneer with the gable being clad in hardi-shingles. City staff requested some additional design consideration to emphasize quality in architecture. Horizontal and vertical blond color brick has been incorporated into primarily red antique brick design. The corners also have this blonde color and protrude slightly from the wall. It is staff's opinion that this provided visual interest and the building would exceed this design standard.

(b) *Design. Buildings and building features shall be sized and detailed appropriately for pedestrian use. Projected or recessed doorways and windows, awnings, and other architectural features may be used to achieve this design. Traditional strip-retail type frontages featuring long flat frontages with regularly spaced doors and unbroken expanses of concrete approaching the storefronts are specifically disallowed. Side and rear elevations shall be comprised of the same materials and reasonably similar in character and quality as the front elevation unless screened from view from all public streets and residential areas by topography differences, landscaping materials, or other screening devices, in which case building material may be concrete block or tilt-up concrete panels.*

The front of the building protrudes from the main elevation providing architectural relief. Staff requested and the applicant provided additional windows on the south building elevation facing Westwood Drive.

Section 169.13

1. *Signs. Monument signs are preferred, and pole signs are permitted only upon specific approval by the Council after review and recommendation by the Commission.*

A monument sign is being proposed and incorporates the brick from the building and the canopy supports.

2. *Parking Lot Screening. All parking lots shall be screened from public streets utilizing plantings and berms to help maintain visually attractive corridors.*

It is staff's opinion that the parking lot screening achieves consistency with this design standard.

3. *Parking Lot Internal Landscaping.*
 - A. *Parking lots with less than 20 spaces are not required to have interior landscaping islands.*
 - B. *Parking lots less than 49,000 square feet shall retain 3% of their interior for landscaping islands.*
 - C. *Parking lots up to 149,000 square feet shall retain 5% of their interior for landscaping islands.*
 - D. *Parking lots 150,000 square feet and over shall retain 7% of their interior for landscaped islands.*
 - E. *Parking lots shall be required to have one tree placed within 40 feet of each parking space for multi-family, commercial, office park, and industrial districts.*

Interior landscape islands have been provided adjacent to the front of the building.
4. *Yards, Ground Cover, and Landscaping. Established grass, either sod or seed, is required for all yards for all new buildings and additions over 500 square feet in area, in addition to trees and screening that may also be required by other code sections, prior to occupancy.*
 - A. *Tree Requirements for Multi-Family Development. For each Multi-Family development, one tree will be provided for each 750 square feet of building footprint.*
 - B. *Tree Requirements for Commercial, Office Park, or Industrial Development. For each Commercial, Office Park, or Industrial Development, one tree will be shown for every 2,000 square feet of building footprint.*

It is staff's opinion that the parking lot screening achieves consistency with this design standard.
5. *Screening of Nonresidential Uses. A green belt planting strip consisting of evergreen shrubs and trees shall be used to screen any nonresidential use from adjoining residential districts or residential uses. Such planting strip shall be of sufficient width and density, as determined by City staff, to provide an effective and aesthetically pleasing screen with shrubs and trees not less than five feet in height when planted. In lieu of planting strips, a six-foot tall solid vertical fence of masonry or heavy wood construction, or other similar material approved by the City, may be used as a screen, provided that decorative plantings are established on the residential side of the fence. Both a green belt planting strip and a six-foot tall fence may be required at the discretion of City staff.*

It is staff's opinion that the screening achieves consistency with this design standard.

Non-Ordinance Related Considerations:

The City has hired a consultant to design the next phase of Ranshaw Way from Zeller Street to Hawkeye Drive. This will be substantial roadway improvements with trails, a pedestrian tunnel and landscaped medians. Construction is anticipated to begin next year.

Findings:

1. The commercial use of the property would be consistent with the current C-1B General Commercial District zoning and the Comprehensive Plan Future Land Use Map designation of Commercial with Residential; and
2. The site plan would achieve consistency with North Liberty Code of Ordinances Section 165.04(2) entitled, "Site Plan Requirements" Section 169.12 entitled "Design Standards, Section 169.13, entitled "Other Design Standards" and other Code of Ordinance requirements.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request of Casey's Marketing Company to approve a Site Plan on 1.58 acres for the redevelopment of the property located at 600 Westwood Drive and 230 Sugar Creek Lane to the City Council with a recommendation for approval subject to the following conditions:

1. That the lighting be adjusted so it does not exceed one footcandle along the west property line, consistent with Section 169.12(1)(5) of the North Liberty Code of Ordinances;
2. That prior to issuance of a certificate of occupancy the applicant dedicate a sidewalk easement to the City for any portion of the public sidewalk that extends onto private property as are shown on the site plan, subject to approval as to form and content by the City Attorney; and
3. That prior to issuance of a certificate of occupancy a plat of survey formally combining the two lots into one lot in accordance with Section 180.10(2) North Liberty Code of Ordinances be recorded with the Johnson County Recorder, and that applicant is responsible for any costs associated therewith.

Suggested motion:

I move that the Planning Commission accept the two listed conditions and forward the site plan to the City Council with a recommendation for approval subject to the conditions recommended by City staff.

SITE ADDRESS
600 WESTWOOD DR. & 230 SUGAR CREEK LN.
NORTH LIBERTY, IOWA 52317

SITE USE
GAS STATION/CONVENIENCE STORE

SITE AREA
1.58 ACRES (68,785 SQ.FT.)

OPEN SPACE
EXISTING - 44% (30,175 SQ.FT.)
PROPOSED - 47% (32,013 SQ.FT.)

IMPERVIOUS SPACE
EXISTING - 38,610 SQ.FT.
PROPOSED - 36,772 SQ.FT.

ZONING
EXISTING: C-1 B COMMERCIAL GENERAL DISTRICT
PROPOSED: N/A
ADJACENT ZONING:
NORTH: RM-21 RESIDENTIAL MULTI ROOM
EAST: MAJOR ARTERIAL ROAD RAINSHAW WAY
SOUTH: C-1A COMMERCIAL GENERAL
WEST: RD-8 RESIDENTIAL TWO UNIT, RM-21 RESIDENTIAL MULTIROOM

BUILDINGS
EXISTING - USED CAR SALES LOT/SOLAR ENERGY PLANT
PROPOSED - CONVENIENCE STORE/GAS SALES - 39'-0" x 100'-0" - 4,160 SQ.FT.

BUILDING USES
CONVENIENCE STORE/GAS SALES

MAX BUILDING HEIGHT
REQUIRED - 3 STOREYS OR 45 FT
PROPOSED - 24'-1-18"

MAX FLOOR AREA RATIO
NONE

PAVING
APPROACHES: 6" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE***
TRUCK ROUTES: 6" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE***
PARKING LOT: 6" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE***
PROPOSED CURB: 6" STANDARD CURB
UGEST: 6" THICK REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE***

***6" CRUSHED ROCK SUBBASE THAT COMPLIES WITH AASHTO M147 GRADE C OR GRADE D AND SUBGRADE THAT IS COMPACTED TO 95% STANDARD PROCTOR DENSITY. GEOTECHNICAL REPORT UNAVAILABLE AT THE TIME OF CIVIL SET PREPARATION. VERIFY SUBBASE DEPTH WITH ENGINEER PRIOR TO CONSTRUCTION.

PARKING
REQUIRED: 14 SPACES (4160 SQ.FT. BLDG. + 4160/300)
18 PARKING SPACES (INCLUDING 1 HANDICAP PARKING STALL)
12 FUEL PUMP ISLAND SPACES

SIGN
PROPOSED CASEY'S 4 PRODUCT MONUMENT SIGN AT SOUTHEAST CORNER OF SITE ALONG HWY 965

DISTURBED AREAS
ESTIMATED - 59,383 SQ.FT.
ALL DISTURBED PERVIOUS AREAS SHALL BE SOODED.
THE DISTURBED AREA FOR THIS SITE IS GREATER THAN 1 ACRE, THEREFORE A NPDES PERMIT IS REQUIRED.

FLOODPLAIN
PER FEMA MAP #19103C0180E, THE SITE IS LOCATED IN ZONE X, AREAS IN WHICH AREA OF MINIMUM FLOOD HAZARD

FAA
PER FAA NOTICE CRITERIA TOOL, SITE EXCEEDS NOTICE CRITERIA UP TO 100 FT HEIGHT (FOR POSSIBLE GRADE HEIGHT) AND THEREFORE FILING WITH THE FAA IS REQUIRED

SITE IMPROVEMENTS

FOR

CASEY'S GENERAL STORES

600 WESTWOOD DR. & 230 SUGAR CREEK LN.

NORTH LIBERTY, IOWA

LEGAL DESCRIPTION:
PER TITLE OPINION A418197
LOT 4, COUNTRY LIVING SUBDIVISION PART II, AND ADDITION TO THE CITY OF NORTH LIBERTY IOWA, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 19, PAGE 9, OF THE PLAT RECORDS OF JOHNSON COUNTY, IOWA

PER TITLE OPINION A41902
LOT 5 IN COUNTRY LIVING SUBDIVISION PART III, IN NORTH LIBERTY, IOWA, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 19, PAGE 9, PLAT RECORDS OF JOHNSON COUNTY, IOWA.



SHEET INDEX

- C-001 - COVER SHEET
- C-002 - NOTE SHEET
- C-003 - ALTA 1
- C-100 - DEMO PLAN
- C-101 - LAYOUT PLAN
- C-103 - SITE PLAN
- C-201 - GRADING PLAN
- C-301 - UTILITY PLAN
- C-401 - EROSION CONTROL PLAN
- C-601 - DETAIL SHEET
- C-602 - DETAIL SHEET
- C-603 - DETAIL SHEET
- C-604 - DETAIL SHEET
- C-701 - LANDSCAPING PLAN

OWNERS

RALOS EKOM, LLC
1625 GRIZZLY TRAIL
NORTH LIBERTY, IOWA 52317

BROGOSOLO, LLC
1131 MEADOWLARK DR
NORTH LIBERTY, IOWA 52317

ALBERHASKY WESTWOOD, LLC
1131 MEADOWLARK DR
NORTH LIBERTY, IOWA 52317

DEVELOPER

CASEY'S MARKETING COMPANY
1 SE CONVENIENCE BLVD
ANKENY, IOWA 50021
PROJECT CONTACT: NICK HALFHILL
PHONE: 515-381-5723
EMAIL: NICK.HALFHILL@CASEYS.COM

CITY CONTACT

CITY OF NORTH LIBERTY
QUAL CREEK CIRCLE, 3.2 HWY 965
NORTH LIBERTY, IOWA 52317
PROJECT CONTACT: RYAN RUSNAK
PHONE: 319-628-3747
EMAIL: RRUSNAK@CITYOFNORTHLIBERTYIOWA.ORG

ENGINEER/ LAND SURVEYOR

PELDS DESIGN SERVICES
2323 DIXON ST
DES MOINES, IOWA 50318
PROJECT CONTACT: ELARA JONDLE
PHONE: (515) 265-8196
EMAIL: ELARA@PELDS.COM

ARCHITECT

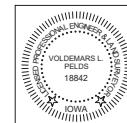
PELDS DESIGN SERVICES
2323 DIXON STREET
DES MOINES, IOWA 50318
PROJECT CONTACT: DANIEL WALRICH
PHONE: 515-265-8196
EMAIL: DANIEL@PELDS.COM

ITEM	QUANTITY INFORMATION*	UNITS
6 CONCRETE PAVEMENT	ON-SITE: 27,510 - OFF-SITE: NONE	SQ. FT.
7 CONCRETE PAVEMENT	NONE	SQ. FT.
8 CONCRETE PAVEMENT	ON-SITE/APPROACHES: 3,645 - OFF-SITE: NONE	SQ. FT.
CONCRETE CURB	ON-SITE/APPROACHES: 866 - OFF-SITE: NONE	LIN. FT.
SIDEWALK, NOT ADJACENT TO STORE	482	SQ. FT.
DETECTION SYSTEM	11,813	CU. FT.
STORMWATER TREATMENT DEVICES	NONE	EACH
WATER MAIN	NONE	LIN. FT.
SEWER MAIN	NONE	LIN. FT.
SEWER SERVICE	DIRECT BURY: 80 - BORE: NONE	LIN. FT.
WATER SERVICE	DIRECT BURY: 102 - BORE: 30	LIN. FT.
STRUCTURES - SW-501	2	EACH
STRUCTURES - SW-503	1	EACH
STRUCTURES - SW-512	2	EACH
STRUCTURES - 18" FLARED END SECTION	1	EACH
STRUCTURES - STORM CLEANOUT	13	EACH
STRUCTURES - SANITARY CLEANOUT	1	EACH
STRUCTURES - WATER VALVE	1	EACH
EARTHWORK - CUT & HAUL	1,218	CU. FT.
EARTHWORK - CUT & RESPREAD	323	CU. FT.
EARTHWORK - IMPORT & PLACE	0	CU. FT.
FENCING	NONE	LIN. FT.
SOO AREA	31,475	SQ. FT.
SEED AREA	NONE	SQ. FT.
ASPHALT PAVEMENT DEMOLITION	14,007	SQ. FT.
CONCRETE PAVEMENT DEMOLITION	ON-SITE: 12,188 - OFF-SITE: 729	SQ. FT.
SIDEWALK DEMOLITION	1,545	SQ. FT.
BUILDING DEMOLITION	STORES: 2 - 11,815	SQ. FT.

IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN

IOWA ONECALL CONTACT LIST:

- (ASE) ALLIANT ENERGY
Contact Name: Allant Energy Field Engineer
Contact Phone: 8002542628
Contact Email: locode_jfl@alliantenergy.com
- (LOK) LANK COUNTY REC
Contact Name: Jolene Nussmeier
Contact Phone: 3193771567
Contact Email: nussmeier@lankcountyrrec.com
- (M42G) MIDAMER-GAS
Contact Name: Carolyn Hemphill
Contact Phone: 3193414461
Contact Email: chemphill@midamerican.com
- (MCI) VERIZON
Contact Name: Dean Boyers
Contact Phone: 4088864238
Contact Email: dean.boyers@verizon.com
- (NRA) NORTH LIBERTY, CITY OF
Contact Name: Tom Palmer
Contact Phone: 3192667336
Contact Email: tpalmer@northlibertyiowa.org
- (SSC) SOUTH SLOPE TELEPHONE
Contact Name: Brian Freese
Contact Phone: 3192277111
Contact Email: brianf@southslope.com
- (T13) MEDICOM IOWA CITY
Contact Name: Carl Norton
Contact Phone: 3195946205
Contact Email: carlnorton@medicominc.com
- (UOI) UNIVERSITY OF IOWA
Contact Name: Chris Holland
Contact Phone:
Contact Email: chris-holland@uiowa.edu
- (WCI) CENTURYLINK
Contact Name: Leah On Duty
Contact Phone: 8773688344
Contact Email: National.Support@centurylink.com
- (WINA) WINDSTREAM COMMUNICATIONS
Contact Name: LOCATE DESK
Contact Phone: 8002891901
Contact Email: LOCATEDESK@WINDSTREAM.COM



I HEREBY CERTIFY THAT THIS ENGINEERING WORK WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

VOLDEMAR'S L. PELDS, P.E.
I.A.C.E. NO. 18842 DATE _____
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2021
ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL NONE
UNLESS INDICATED HEREIN: C-001 - C-701



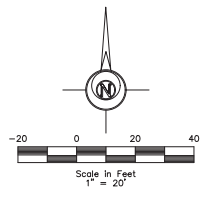
CASEY'S GENERAL STORES
600 WESTWOOD DR. & 230 SUGAR CREEK LN.
NORTH LIBERTY, IOWA

DATE: 8.27.2020
N. DAY
20-019

REVISIONS:

LEGEND:

- | | | | | | | | |
|---|---|--|---------------------------------------|--|--|---|--|
| F.F. FINISHED FLOOR
+/- MORE OR LESS | 123.456 TOP OF CURB ELEVATION
123.456 EXISTING/ PROPOSED ELEVATION | FL FLOWLINE ELEVATION
CONTROL POINT | ○ CALCULATED CORNER
● FOUND CORNER | △ CALCULATED SECTION CORNER
▲ FOUND SECTION CORNER
▷ PARKING SPACE
▽ SIGN
▽ STREET LIGHT
123.456 TIC TOP OF CURB ELEVATION
▽ LIGHT POLE
▽ AREA LIGHT
▽ ELEC. TRANSFORMER
▽ ELEC. METER
▽ ELEC. BOX | ○ ELEC. MANHOLE
○ ELEC. VAULT
○ GUY ANCHOR
+ TEL. JUNCTION BOX
+ CABLE TV JUNCTION BOX
+ GAS VALVE
+ GAS METER
+ SANITARY SEWER MANHOLE
+ STORM SEWER MANHOLE
+ CLEANOUT
+ DOWNSPOUT | ○ SINGLE INTAKE
○ AREA INTAKE
○ THROAT INTAKE
○ FLARED END SECTION
○ VALVE
○ FIRE HYDRANT
○ WATER METER
○ WATER VALVE
○ WATER TEE
○ PROPOSED UTILITY LINE
○ EXISTING UTILITY LINE | — CATV — CABLE TELEVISION
— FO — FIBER OPTIC
— G — GAS LINE
— OHE — OVERHEAD ELEC.
— OHT — OVERHEAD TEL.
— SAN — SANITARY SEWER
— ST — STORM SEWER
— UGE — UNDERGROUND ELEC.
— UGT — UNDERGROUND TEL.
— W — WATER
— FENCE LINE |
|---|---|--|---------------------------------------|--|--|---|--|



LEGAL DESCRIPTION: PER TITLE OPINION A41897

Lot 4, Country Living Subdivision Part III, and addition to the City of North Liberty Iowa, according the plat thereof recorded in Plat Book 19, Page 9, of the Plat Records of Johnson County, Iowa.

PER TITLE OPINION A41902

Lot 5 in Country Living Subdivision Part III, in North Liberty, Iowa according to the plat thereof recorded in Plat Book 19, Page 9, Plat Records of Johnson County, Iowa.

CONTROL POINTS:

CP#10 North 640047.96' East 2156797.01' Elev 770.21' RED CONTROL CAP	CP#12 North 640289.94' East 2156488.51' Elev 774.36' RED CONTROL CAP
CP#11 North 6399991.18' East 2156510.83' Elev 770.17' RED CONTROL CAP	CP#13 North 640253.04' East 2156790.19' Elev 768.21' RED CONTROL CAP

EXCEPTIONS PER TITLE OPINION A41897

- Entry 102 of the abstract shows the plat was filed August 8, 1979, in Book 19 Page 9 of the Johnson County records. Item affects the property and is shown
- A Permanent Landscape Easement Agreement filed March 15, 2002, in Book 3232 Page 194 of the Johnson County records. Item affects the property and is shown.
- Entry 26 of the Abstract Shows a Conditional Use Permit from the board of adjustment, City of North Liberty, filed April 26, 2007, in Book 4151 Page 422 of the Johnson County records. This permit allowed a conditional use to sell and display used vehicles on the subject property. Item affects the property and cannot be shown.

EXCEPTION PER TITLE OPINION A41902

- Entry 102 of the abstract shows the plat was filed August 8, 1979, in Book 19 Page 9 of the Johnson County Records. Item affects the property and is shown.

To: Casey's Marketing Company, (name of lender, if known), (name of lessee, if known).

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6a, 7a, 7b1, 8, 9, 11 of Table A thereof.

The fieldwork was completed on January 20, 2020.
Date of Plat or Map: 03-16-2020



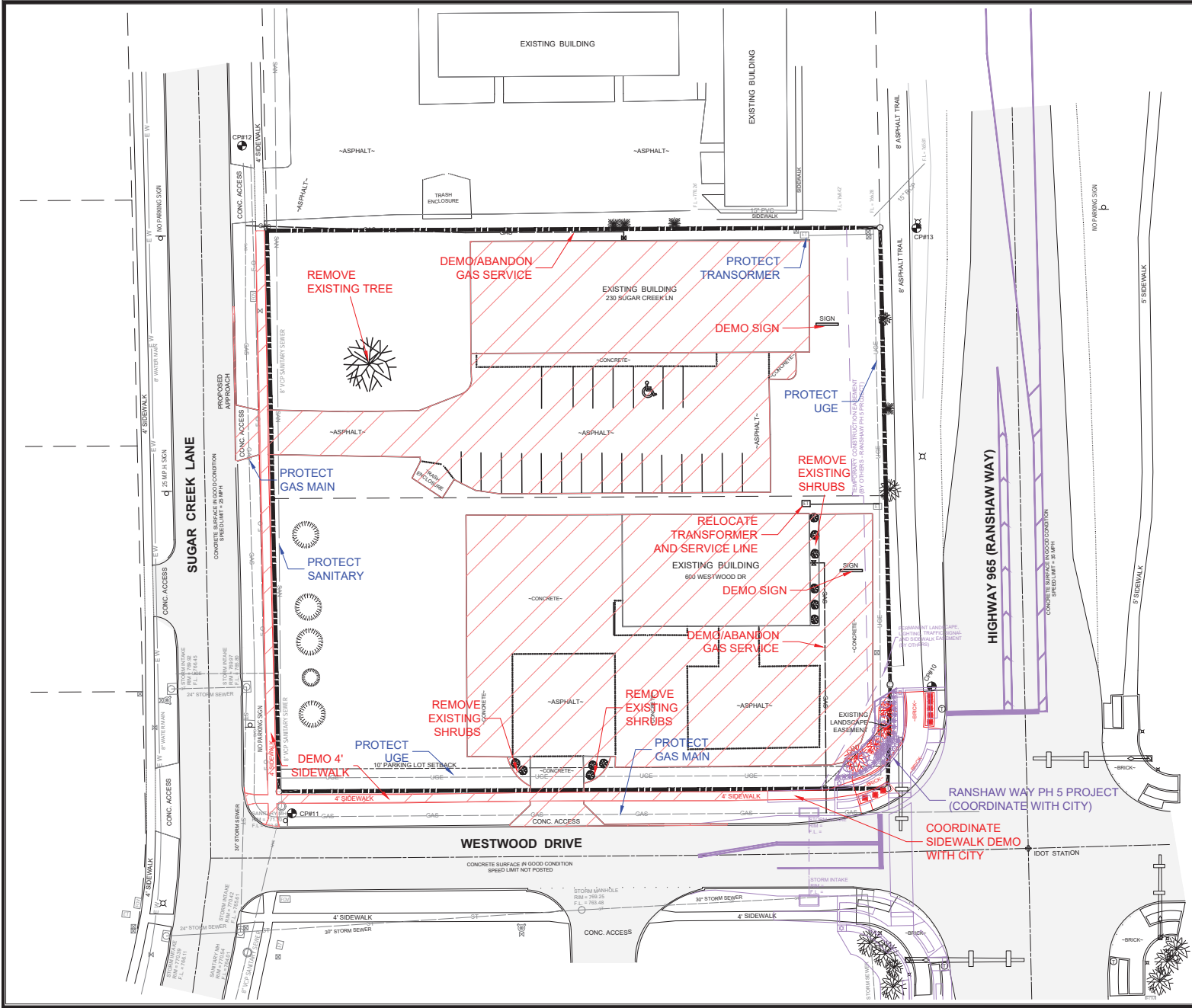
Voldemars Pelds License # 18842

LEGEND:

AC	AIR CONDITIONER UNIT	EG	GAS LINE
MB	MAILBOX	ES	SANITARY SEWER MANHOLE
FL	FINISHED FLOOR	ESS	SANITARY SEWER LINE
±	MORE OR LESS	SM	STORM SEWER MANHOLE
FL	EXISTING ELEVATION	SSL	STORM SEWER LINE
FL	FLOWLINE ELEVATION	FD	FIRE HYDRANT
UL	EXISTING UTILITY LINE	WV	WATER VALVE
UL	EXISTING UTILITY LINE	WL	WATER LINE
UL	EXISTING UTILITY LINE	FWL	FIBER OPTIC LINE
ET	ELEC. TRANSFORMER	○	SIGN
UL	UNDERGROUND ELEC. LINE	○	CALCULATED CORNER
UL	UTILITY PEDESTAL	○	FOUND CORNER
UL	FIBER OPTIC VAULT	○	CONTROL POINT

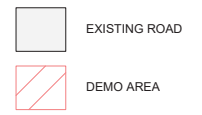
CASEY'S GENERAL STORES
600 WESTWOOD DR. & 230 SUGAR CREEK LN.
NORTH LIBERTY, IOWA

DATE	03-16-2020
PROJECT	2020-019
SCALE	1"=20'
DATE	6.22.2020
DATE	20-019
DATE	03-16-2020



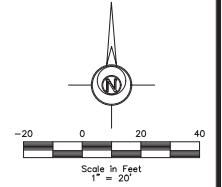
CONTROL POINTS:

CP#10 North 640047.96' East 2156797.01' Elev 770.21' RED CONTROL CAP	CP#12 North 640289.94' East 2156488.51' Elev 774.36' RED CONTROL CAP
CP#11 North 639991.18' East 2156510.83' Elev 770.17' RED CONTROL CAP	CP#13 North 640253.04' East 2156790.19' Elev 768.21' RED CONTROL CAP



LEGEND:

- F.F. FINISHED FLOOR
- +/- MORE OR LESS
- FL FLOWLINE ELEVATION
- CONTROL POINT
- CALCULATED CORNER
- FOUND CORNER
- CALCULATED SECTION CORNER
- FOUND SECTION CORNER
- SIGN
- STREET LIGHT
- AREA LIGHT
- ELEC. TRANSFORMER
- FIBER OPTIC VAULT
- TRAFFIC MANHOLE
- TEL. JUNCTION BOX
- GAS VALVE
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- THROAT INTAKE
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- FIRE HYDRANT
- WATER METER
- WATER VALVE
- WATER TEE
- PROPOSED UTILITY LINE
- EXISTING UTILITY LINE
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- SANITARY SEWER
- STORM SEWER
- UNDERGROUND ELEC.
- WATER
- FENCE LINE

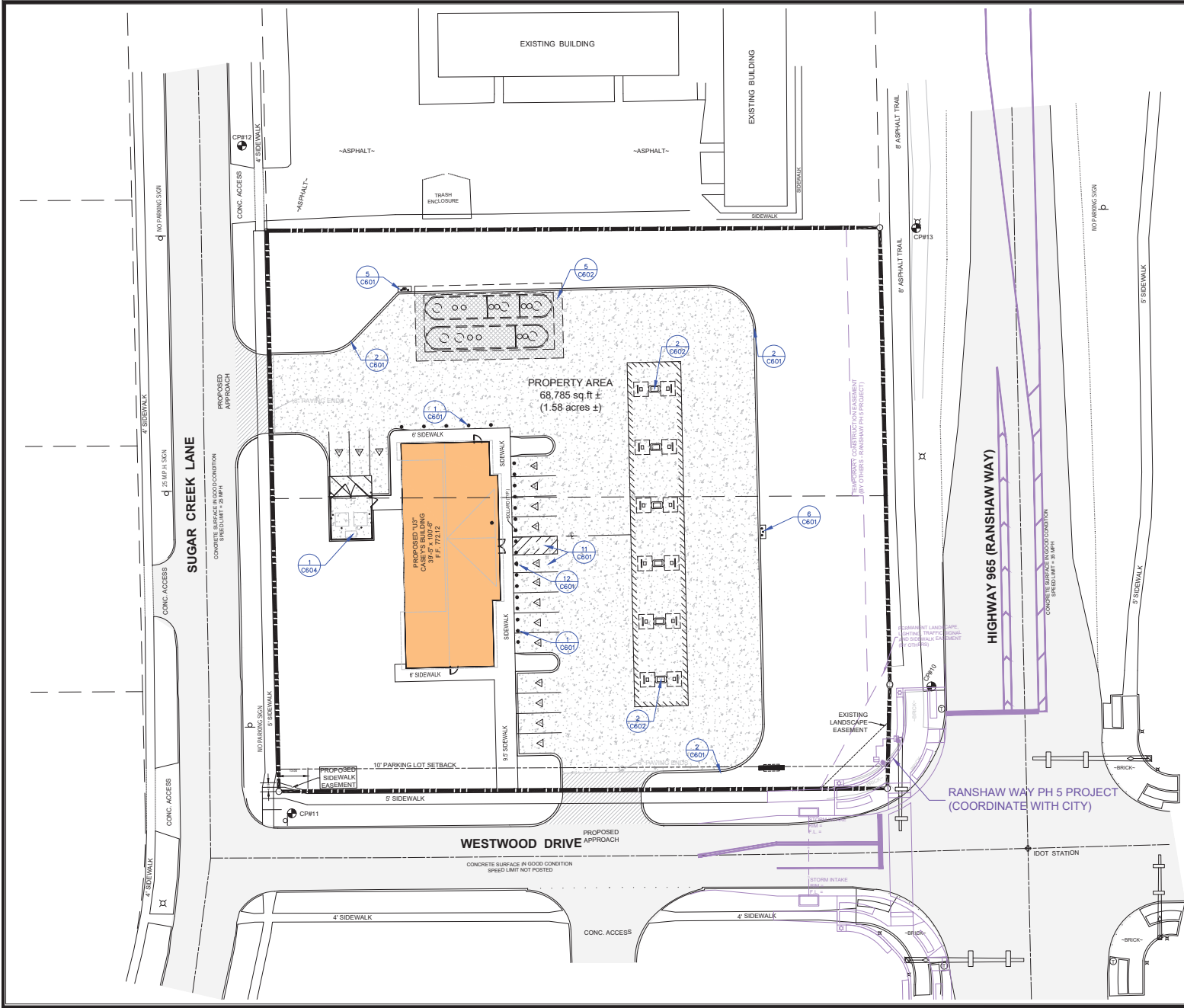


Architectural | Engineering | Surveying
 2323 Olson Street, One Mallon, Iowa 50319 | P.O. Box 4624, One Mallon, Iowa 50319 | Ph. 515 265 8198

CASEY'S GENERAL STORES
600 WESTWOOD DR. & 230 SUGAR CREEK LN.
NORTH LIBERTY, IOWA

N. DAY	1"=20'	8.27.2020
C-100 - DEMO PLAN		20-019

©2020 Project 20-019 - Casey's North Liberty 600 Westwood Dr Engineering Site Plan/Sheet Set



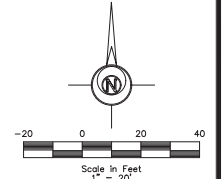
CONTROL POINTS:

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CP#11 North 639991.18' East 2156510.83' Elev 770.17' RED CONTROL CAP	CP#13 North 640253.04' East 2156790.19' Elev 768.21' RED CONTROL CAP

- PROPOSED BUILDING
- EXISTING ROAD
- 8" REINFORCED P.C.C.
- 8" NON-REINFORCED P.C.C.
- 6" NON-REINFORCED P.C.C.

LEGEND:

F.F.	FINISHED FLOOR
+/-	MORE OR LESS
123.456	CUTTER ELEVATION
123.45TC	TOP OF CURB ELEVATION
123.45	EXISTING/ PROPOSED ELEVATION
FL	FLOWLINE ELEVATION
○	CONTROL POINT
●	CALCULATED CORNER
○	FOUND CORNER
○	CALCULATED SECTION CORNER
○	FOUND SECTION CORNER
○	PARKING SPACE
○	STREET LIGHT
○	AREA LIGHT

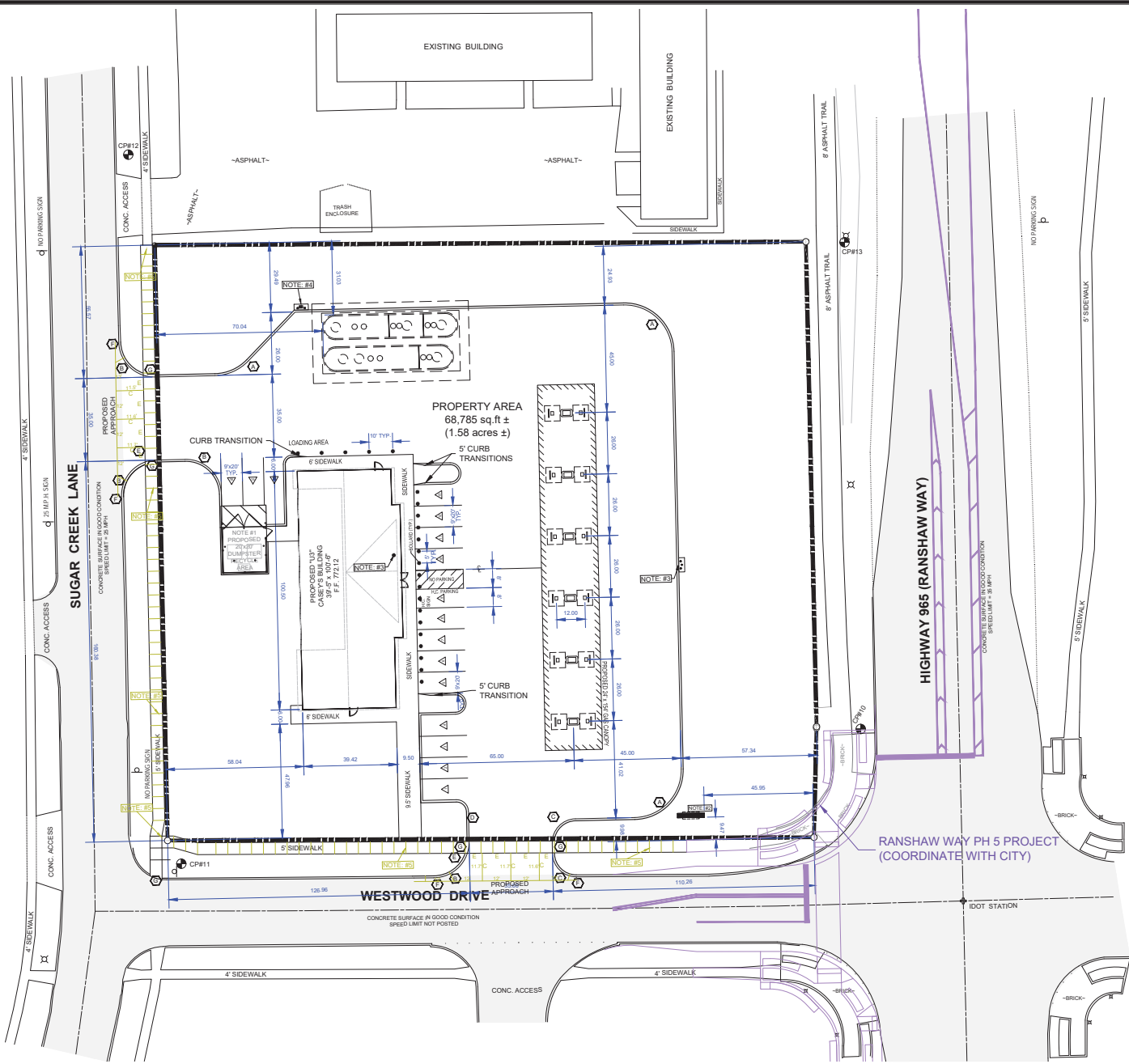


Architectural | Engineering | Surveying
 2323 Olson Street, One Mallon, Iowa 50316 | P.O. Box 4624, One Mallon, Iowa 50305 | Ph. 515 265 8198

CASEY'S GENERAL STORES
600 WESTWOOD DR. & 230 SUGAR CREEK LN.
NORTH LIBERTY, IOWA

DATE	SCALE	DATE	SCALE
N. DAY	1"=20'	8.27.2020	20-019

C:\2020 Projects\20-019 - Casey's North Liberty 600 Westwood Dr\Engineering\Site Plan\Sheet Set C-101 - LAYOUT PLAN



NOTES

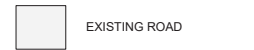
1. BRICK DUMPSTER ENCLOSURE - SEE DETAIL SHEET C-604
2. 4 PRODUCT MONUMENT PRICE SIGN - REFER TO SIGN PACKET
3. ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED INSIDE AT THE SALES COUNTER FOR THE CONVENIENCE STAFF. A SECONDARY SHUT-OFF SHALL BE INSTALLED ON A POST AT THE CURB IF ALL FUEL DISPENSERS DO NOT FALL WITHIN A 100 RADIUS.
4. AIR COMPRESSOR BOX, MOUNTED TO STEEL POLE, INSTALLED ON 3' x 6' CONCRETE PAD 16" FROM BACK OF CURB. 110 VOLT-60HZ-5.5 AMP. 8 GAUGE MINIMUM RECOMMENDED.
5. ISOLATION 12" PERFORMED EXPANSION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 100-FOOT INTERVALS AND AT EVERY PROPERTY LINE.

KEYED CONSTRUCTION NOTES

- NOTICE:** ALL WORK ON THE R.O.W. AREA IS SUBJECT TO THE CITY OF NORTH LIBERTY APPROVAL AND SPECIFICATIONS.
- Ⓐ PROPOSED 20' RADIUS
 - Ⓑ PROPOSED 15' RADIUS
 - Ⓒ PROPOSED 10' RADIUS
 - Ⓓ PROPOSED 5' RADIUS
 - Ⓔ DEMO EXISTING DRIVE
 - Ⓝ TIE INTO AND MATCH EXISTING CURB & FLOW LINE
 - Ⓞ 5' x 2' DETECTABLE SIDEWALK MAT, DARK RED, CAST IRON MATERIAL, PER N. SUDAS SUPPLEMENT

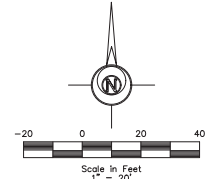
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LEGEND:

- F.F. FINISHED FLOOR
- +/- MORE OR LESS
- 123.456 CUTTER ELEVATION
- 123.45TC TOP OF CURB ELEVATION
- 123.45 EXISTING/PROPOSED ELEVATION
- FL FLOWLINE ELEVATION
- CONTROL POINT
- CONTROL POINT
- CALCULATED CORNER
- FOUND CORNER
- CALCULATED SECTION CORNER
- FOUND SECTION CORNER
- PARKING SPACE
- SIGN
- STREET LIGHT
- AREA LIGHT

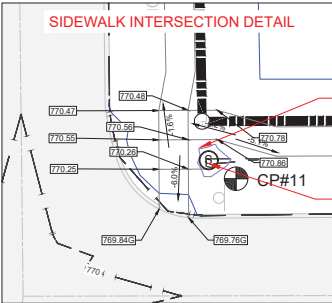
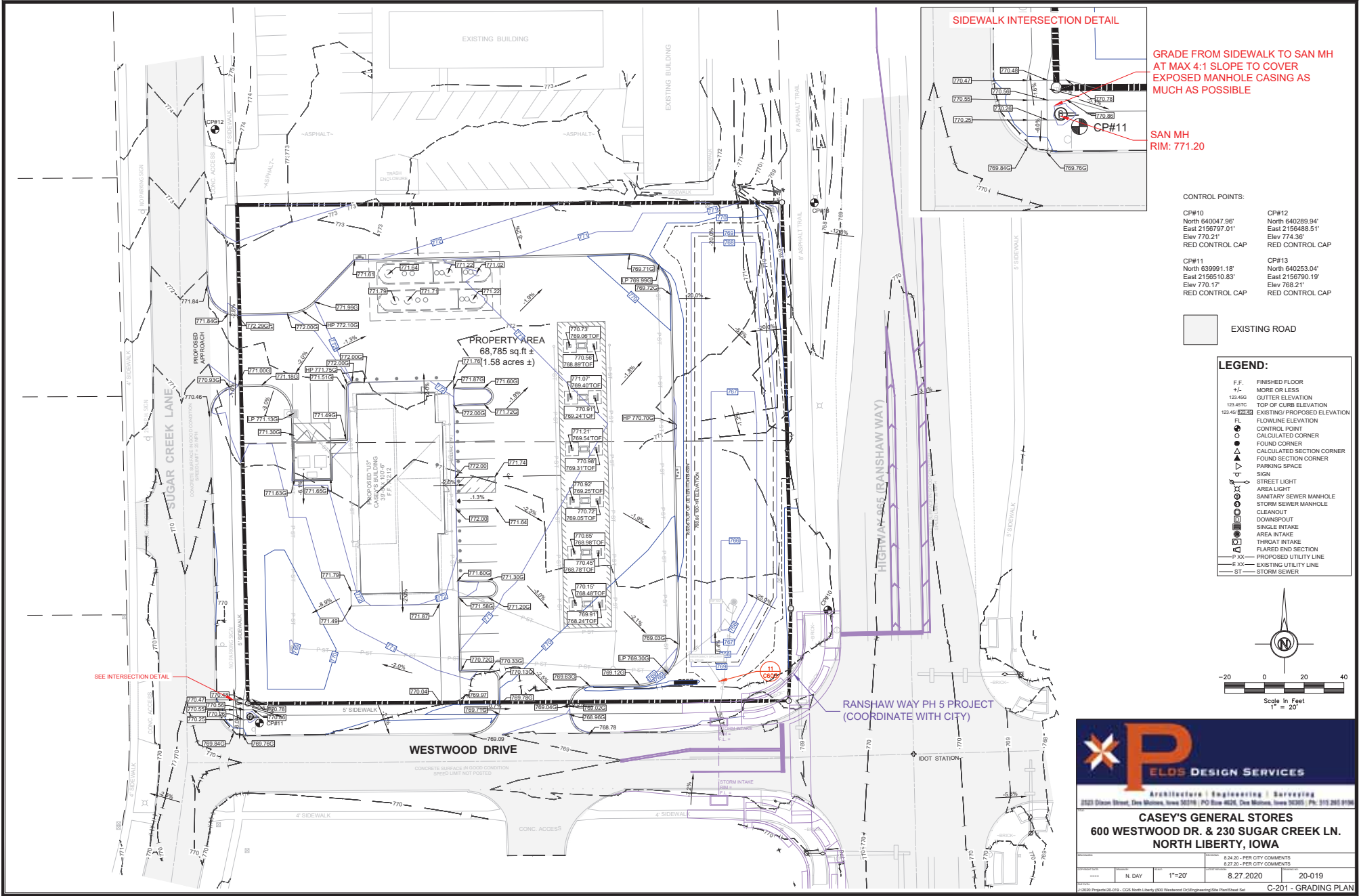




Casey's General Stores
600 WESTWOOD DR. & 230 SUGAR CREEK LN.
NORTH LIBERTY, IOWA

DATE	SCALE	DATE	SCALE
---	N. DAY	1"=20'	7.24.2020
PROJECT		20-019	

C:\2020\Projects\20-019 - CCS North Liberty 600 Westwood Dr\Engineering\Site Plan\Sheet Set C-103 - SITE PLAN



GRADE FROM SIDEWALK TO SAN MH
AT MAX 4:1 SLOPE TO COVER
EXPOSED MANHOLE CASING AS
MUCH AS POSSIBLE

SAN MH
RIM: 771.20

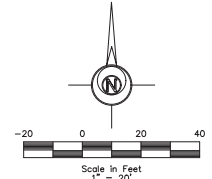
CONTROL POINTS:

CP#10 North 640047.96' East 2156797.01' Elev 770.21' RED CONTROL CAP	CP#12 North 640289.94' East 2156488.51' Elev 774.36' RED CONTROL CAP
CP#11 North 639991.18' East 2156790.19' Elev 770.17' RED CONTROL CAP	CP#13 North 640253.04' East 2156790.19' Elev 768.21' RED CONTROL CAP

EXISTING ROAD

LEGEND:

F.F.	FINISHED FLOOR
+/-	MORE OR LESS
123.450	GUTTER ELEVATION
123.451C	TOP OF CURB ELEVATION
123.45	EXISTING/PROPOSED ELEVATION
FL	FLOWLINE ELEVATION
CP	CONTROL POINT
○	CALCULATED CORNER
●	FOUND CORNER
○	CALCULATED SECTION CORNER
●	FOUND SECTION CORNER
○	PARKING SPACE
○	SIGN
○	STREET LIGHT
○	AREA LIGHT
○	SANITARY SEWER MANHOLE
○	STORM SEWER MANHOLE
○	CLEANOUT
○	DOWNSPOUT
○	SINGLE INTAKE
○	AREA INTAKE
○	THROAT INTAKE
○	FLARED END SECTION
- - - -	PROPOSED UTILITY LINE
- - - -	EXISTING UTILITY LINE
- - - -	STORM SEWER

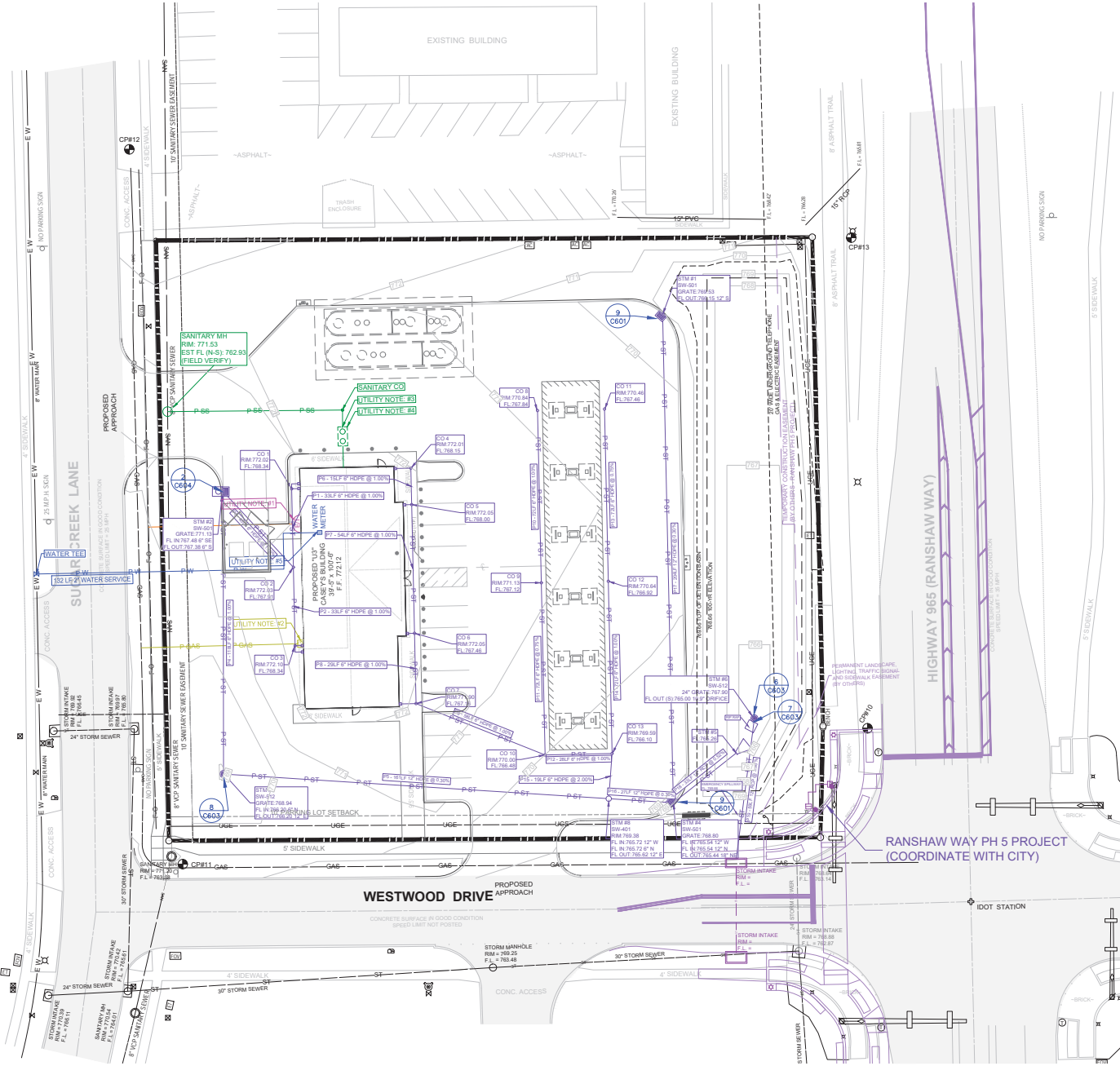


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CASEY'S GENERAL STORES
600 WESTWOOD DR. & 230 SUGAR CREEK LN.
NORTH LIBERTY, IOWA

DATE	DESCRIPTION	BY	DATE
8.24.20	PER CITY COMMENTS		
8.27.20	PER CITY COMMENTS		
N. DAY	1"=20'	8.27.2020	20-019

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CONTROL POINTS:

CP#10 North 640047.96' East 2156797.01' Elev 770.21' RED CONTROL CAP	CP#12 North 640289.94' East 2156488.51' Elev 774.36' RED CONTROL CAP
CP#11 North 639991.18' East 2156510.83' Elev 770.17' RED CONTROL CAP	CP#13 North 640253.04' East 2156790.19' Elev 768.21' RED CONTROL CAP

EXISTING ROAD

LEGEND:

F.F.	FINISHED FLOOR
MORE OR LESS	MORE OR LESS
FL	FLOWLINE ELEVATION
○	CONTROL POINT
○	CALCULATED CORNER
○	FOUND CORNER
○	CALCULATED SECTION CORNER
○	FOUND SECTION CORNER
○	PARKING SPACE
○	SIGN
○	STREET LIGHT
○	LIGHT POLE
○	AREA LIGHT
○	ELEC. TRANSFORMER
○	ELEC. MANHOLE
○	FIBER OPTIC
○	FIBER OPTIC VAULT
○	TEL. JUNCTION BOX
○	GAS VALVE
○	GAS METER
○	SANITARY SEWER MANHOLE
○	STORM SEWER MANHOLE
○	CLEANOUT
○	DOWNPOUT
○	SINGLE INTAKE
○	AREA INTAKE
○	THROAT INTAKE
○	FLARED END SECTION
○	VALVE
○	FIRE HYDRANT
○	WATER METER
○	WATER VALVE
○	WATER TEE
P-XX	PROPOSED UTILITY LINE
E-XX	EXISTING UTILITY LINE
FO	FIBER OPTIC
GS	GAS LINE
SAN	SANITARY SEWER
ST	STORM SEWER
UGS	UNDERGROUND ELEC.
W	WATER

UTILITY NOTES:

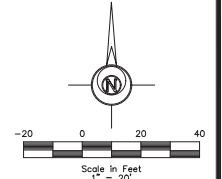
UTILITY NOTE #1: ELECTRICAL (C-STORE); ELECTRICAL SERVICE ENTRANCE
ELECTRIC 3 PHASE, 1200 AMP, 120/208 VOLTS, 4 WIRE.

UTILITY NOTE #2: GAS (C-STORE); 1.5" SCHEDULE 40 IRON PIPE GAS SERVICE CONNECTION, CONNECTION LOAD IS 600 MBH, TOTAL CONNECTED LOAD IS 680,000 BTU 618 CUFT. HR. HOUSE PRESSURE IS 7" W.C.

UTILITY NOTE #3: SANITARY SEWER (C-STORE); 6" SCHEDULE 40 PVC SANITARY SEWER CONNECTION

UTILITY NOTE #4: SANITARY SEWER (C-STORE); 1,000 GALLON BELOW GRADE GREASE INTERCEPTOR WITH 2 MANHOLES.

UTILITY NOTE #5: WATER (C-STORE); 2" CTS. HOPE, SORS CS-200 PSI WATER SERVICE CONNECTION.

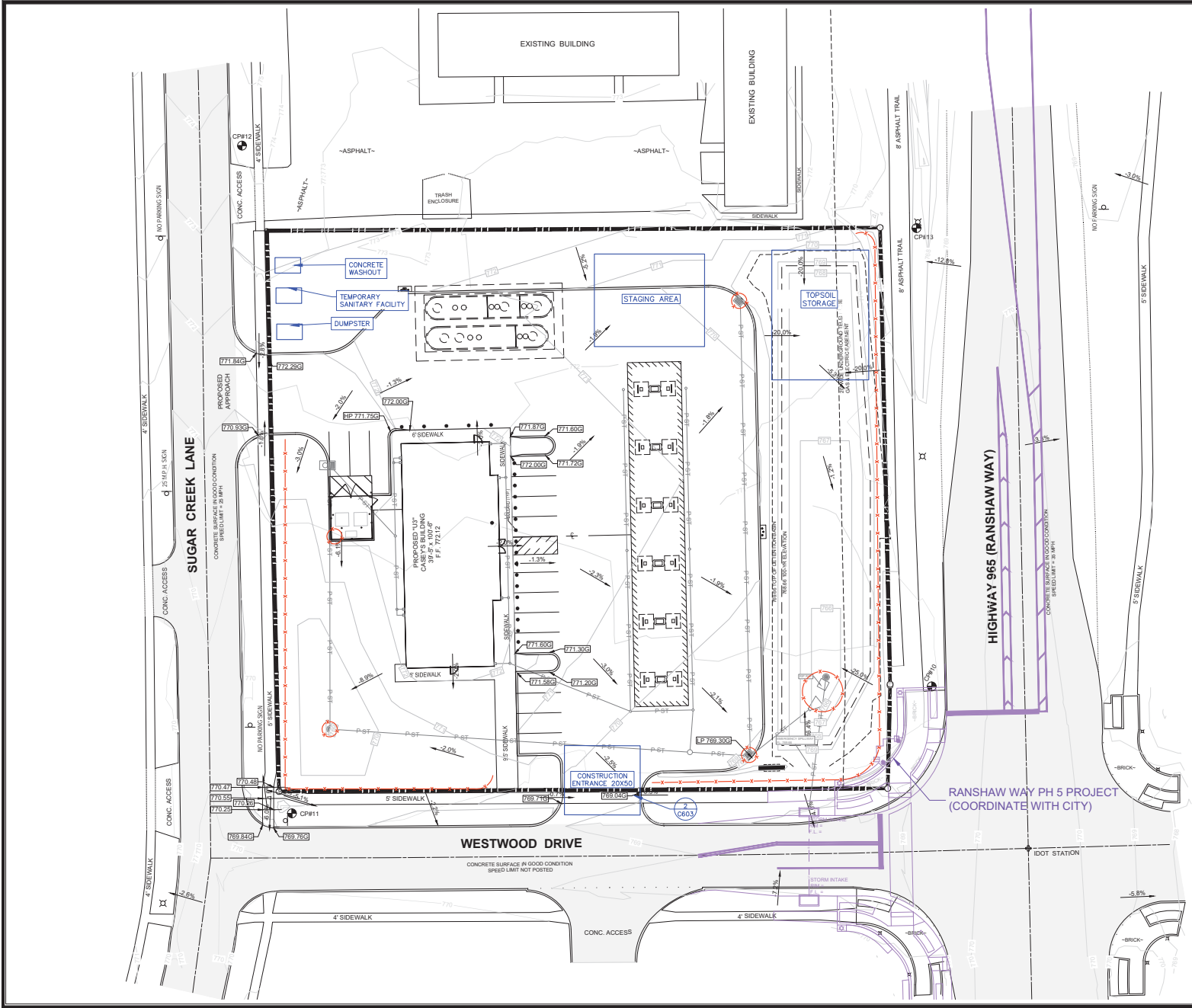


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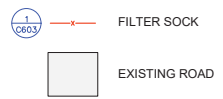
CASEY'S GENERAL STORES
 600 WESTWOOD DR. & 230 SUGAR CREEK LN.
 NORTH LIBERTY, IOWA

DATE	DESCRIPTION
08/27/2020	1"=20'
08/27/2020	20-019

C:\2020\Projects\20-019 - Casey North Liberty 600 Westwood Dr\Engineering\Site Plan\Casey C-301 - UTILITY PLAN

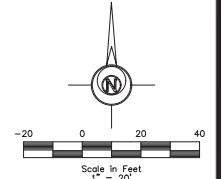


- SWPPP NOTES:
1. LOCATION OF STAGING AREAS TO CONTAIN: JOB TRAILERS, FUELING LOCATION, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, CONCRETE WASHOUT AREA, CONTROL RUNOFF WITH DIVERSION BERMES OR SILT FENCE AND DIRECT TO SEDIMENT BASIN WHERE POSSIBLE.
 2. ALL INTERIOR & PERIMETER SILT FENCE NOT SHOWN. SEE EROSION CONTROL PLAN.
 3. SEED/MULCH OR SOD ALL DISTURBED AREAS NOT PAVED OR DEVELOPED.
 4. ADDITIONAL CONTROLS MAY BE REQUIRED DEPENDING ON PHASING & SITE CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING, NOTING & IMPLEMENTING.
 5. A 4" LAYER OF TOPSOIL SHALL BE RESPIRED FROM THE STOCKPILE ONSITE TO PEROUS SURFACES THAT WERE DISTURBED DURING CONSTRUCTION, UNLESS FINANCIALLY OR TECHNOLOGICALLY INFEASIBLE.



LEGEND:

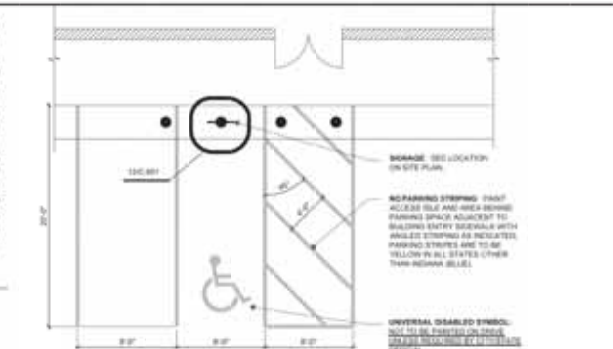
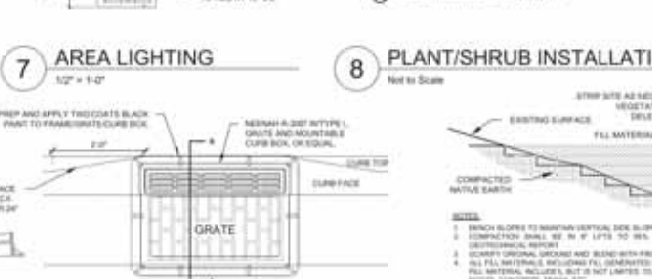
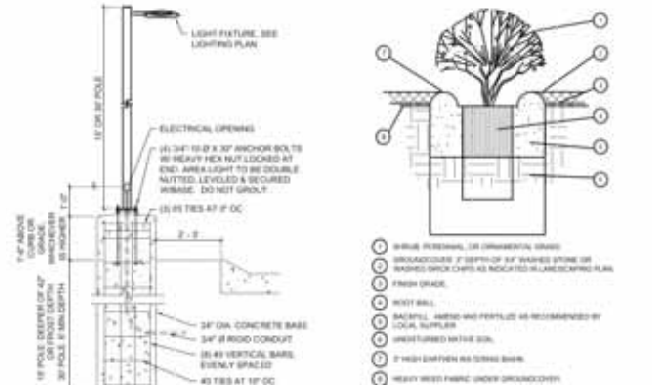
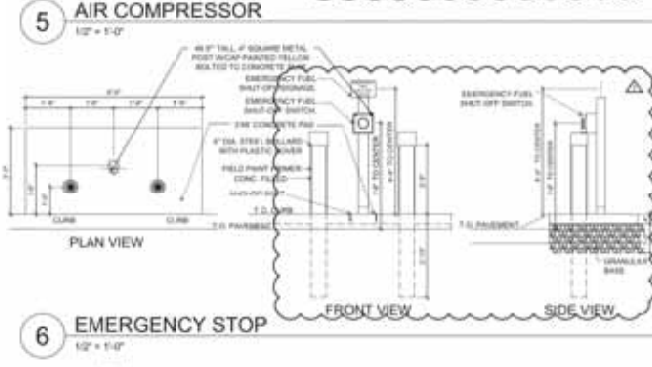
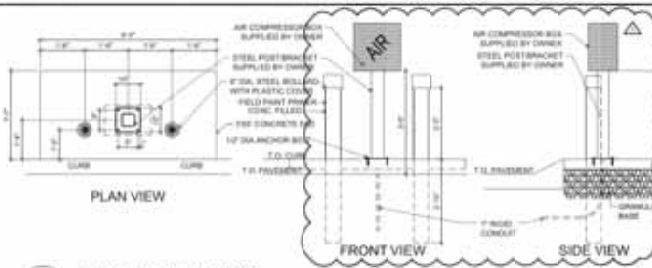
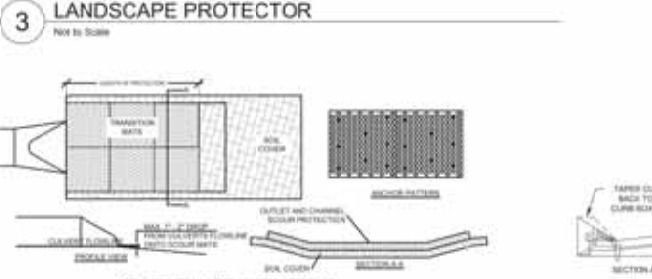
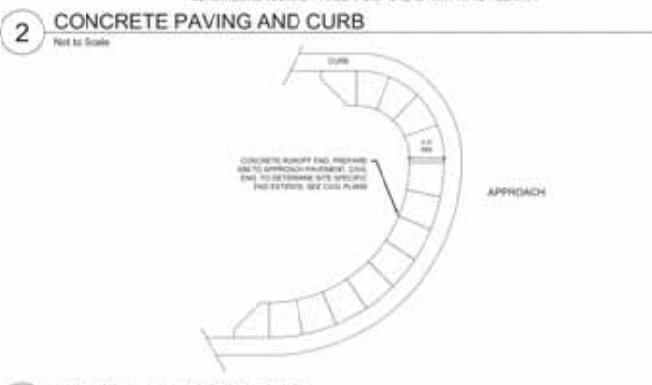
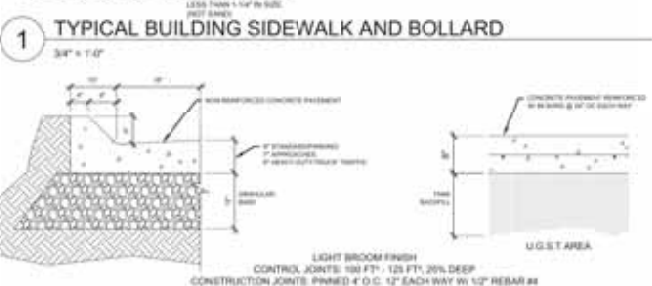
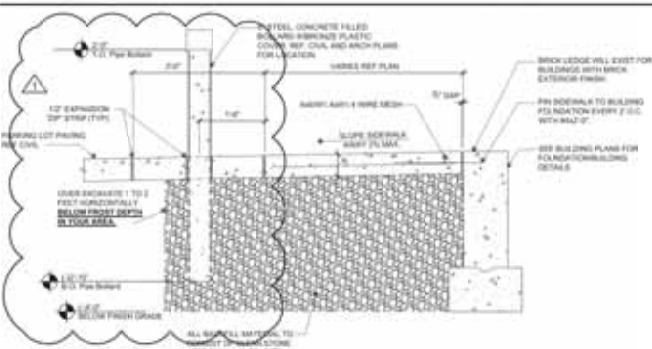
F.F.	FINISHED FLOOR
+/-	MORE OR LESS
123.45G	CUTTER ELEVATION
123.45TC	TOP OF CURB ELEVATION
123.45E	EXISTING / PROPOSED ELEVATION
FL	FLOWLINE ELEVATION
CP	CONTROL POINT
○	CALCULATED CORNER
●	FOUND CORNER
△	CALCULATED SECTION CORNER
▲	FOUND SECTION CORNER
□	PARKING SPACE
⊕	STREET LIGHT
⊙	LIGHT POLE
⊗	AREA LIGHT
⊘	ELEC. TRANSFORMER
⊙	TRAFFIC MANHOLE
⊙	FIBER OPTIC VAULT
⊙	TEL. JUNCTION BOX
⊙	GAS VALVE
⊙	GAS METER
⊙	SANITARY SEWER MANHOLE
⊙	STORM SEWER MANHOLE
⊙	CLEANOUT
⊙	DOWNSPOUT
⊙	SINGLE INTAKE
⊙	AREA INTAKE
⊙	THROAT INTAKE
⊙	FLARED END SECTION
⊙	VALVE
⊙	FIRE HYDRANT
⊙	WATER METER
⊙	WATER VALVE
⊙	WATER TEE
⊙	PROPOSED UTILITY LINE
E XX	EXISTING UTILITY LINE
ST	STORM SEWER



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CASEY'S GENERAL STORES
 600 WESTWOOD DR. & 230 SUGAR CREEK LN.
 NORTH LIBERTY, IOWA

N. DAY: 7.23.2020
 20-019
 C-401 - EROSION CONTROL PLAN



GENERAL NOTES

Concrete:

- For complete and accurate work shall conform to the latest edition of the National Concrete Contractors' Standard Building Code Requirements for Reinforced Concrete ("ACI 308") and "Specifications for Structural Concrete for Buildings" ("ACI 308.2").
- Concrete shall use type I cement. Concrete mix design shall meet the following requirements:

Concrete Required (min)	MINIMUM AIR	MINIMUM WATER	MAXIMUM SAND	MAXIMUM GRAVEL
4" or less	5.0% ± 0.2	28.0 ± 0.5	65.0 ± 1.0	35.0 ± 0.5
4" to 8"	5.0% ± 0.2	28.0 ± 0.5	65.0 ± 1.0	35.0 ± 0.5
8" to 12"	5.0% ± 0.2	28.0 ± 0.5	65.0 ± 1.0	35.0 ± 0.5

- If Contractor desires to increase slump above allowable limits to facilitate placement of concrete, the staff for work shall allow a superintendent approved by the Ready Mix Contractor as a change has provided by Ready Mix Contractor.
- The Contractor shall report any concrete that exceeds the slump limits noted above prior to placing superplasticizer or concrete that can not be placed without the use of concrete admixtures.
- No admixture shall be placed in concrete.
- All concrete admixtures shall be used in accordance with the manufacturer's instructions and approved by the engineer.
- During hot weather (80 degrees F and above), the Contractor shall comply with the recommendations of ACI 308.2 for "Shrinkage Control". Cracking can occur with all slabs and beams. The Contractor shall comply with the recommendations of ACI 308.2 for "Shrinkage Control". Cracking can occur with all slabs and beams. The Contractor shall comply with the recommendations of ACI 308.2 for "Shrinkage Control".
- The concrete mix design can be submitted as a formal addendum to the Owner for acceptance PRIOR to mobilization being initiated in the field.
- Verify with field authority the required tolerances of placed concrete for placement and setting lot.

Sub-Base:

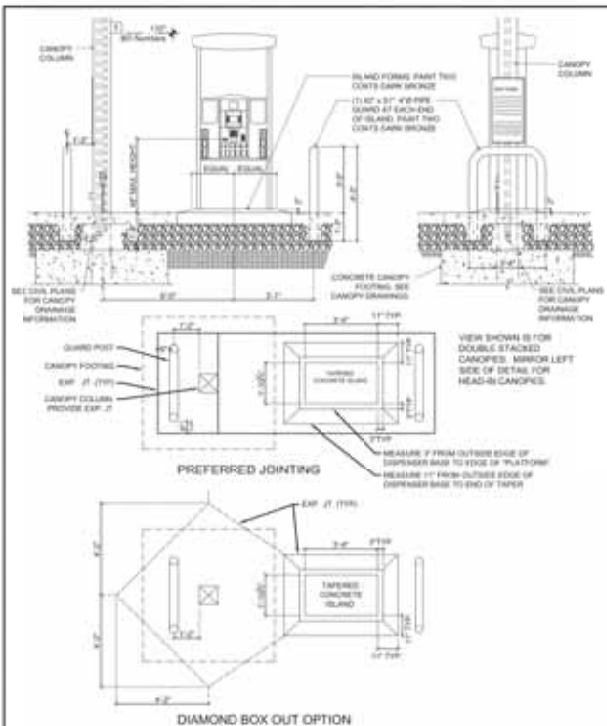
Sub-base Cover Under Existing Concrete Pavement Surface. Normal and compacted sub-base is 8" of No. 57a compacted to 95% Standard Proctor.

CASEY'S CONSTRUCTION DIVISION
One Commerce Blvd., P.O. Box 3001, Albany, NY 12212-0301

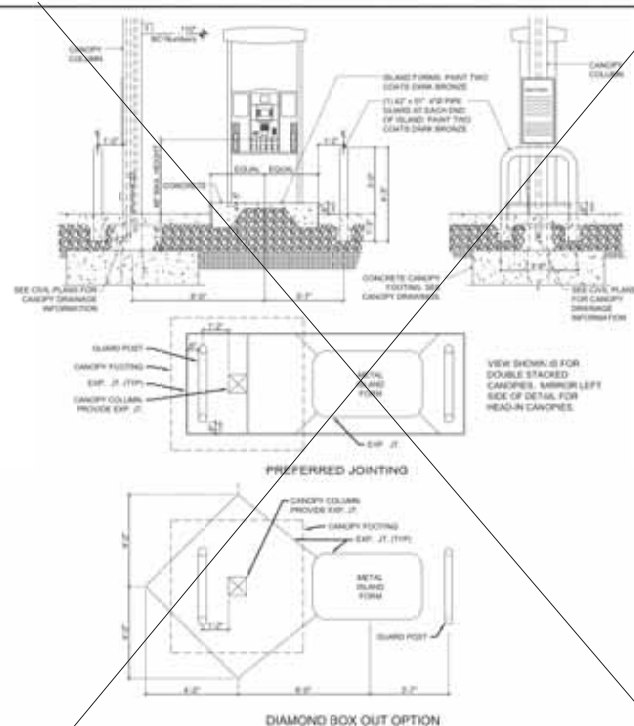
2019 Civil Details

03.27.19	CIVIL DETAILS
08.09.19	

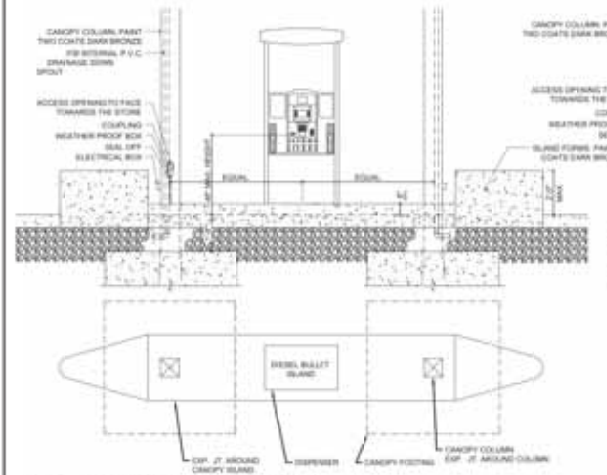
C-601



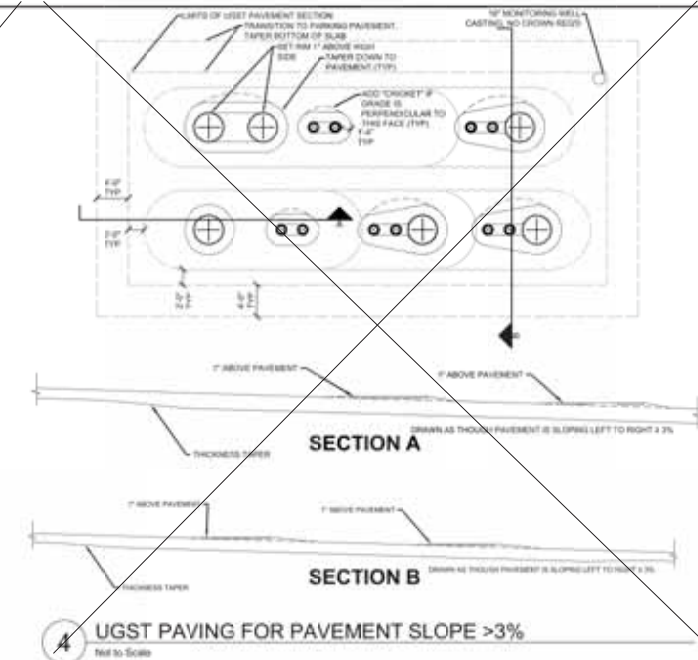
1 GAS TAPERED FUEL ISLAND (PREFERRED OPTION)
3'0" x 1'-0"



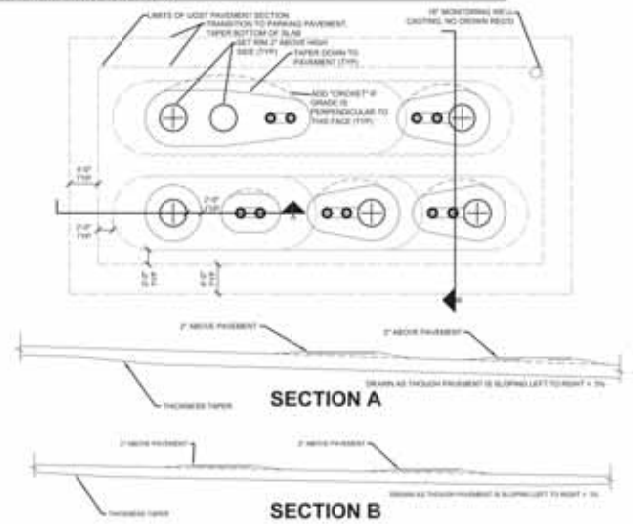
2 GAS METAL FORM ISLAND
3'0" x 1'-0"



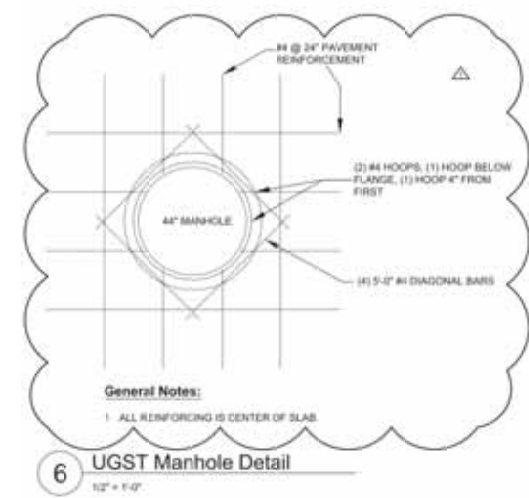
3 DIESEL BULLET ISLAND
3'0" x 1'-0"



4 UGST PAVING FOR PAVEMENT SLOPE >3%
Not to Scale

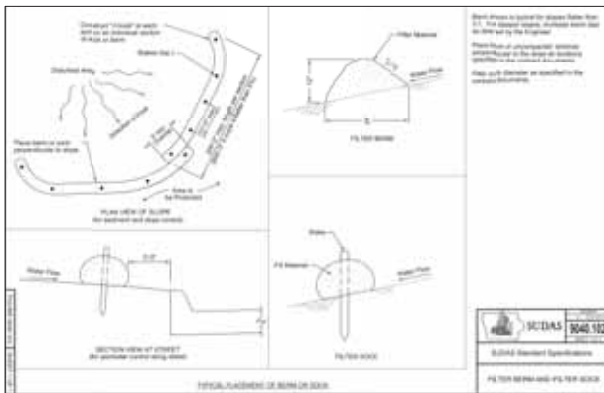


5 UGST PAVING FOR PAVEMENT SLOPE <3%
Not to Scale

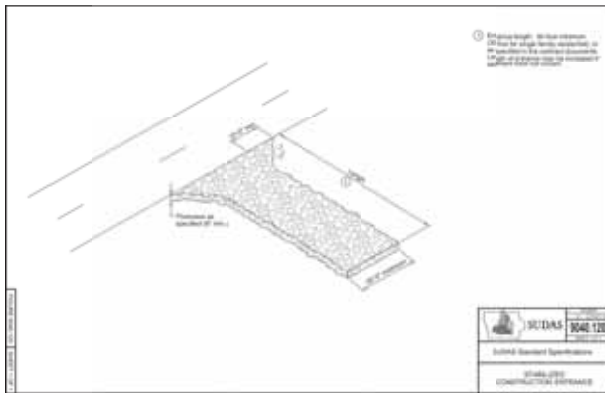


6 UGST Manhole Detail
1'0" x 1'-0"

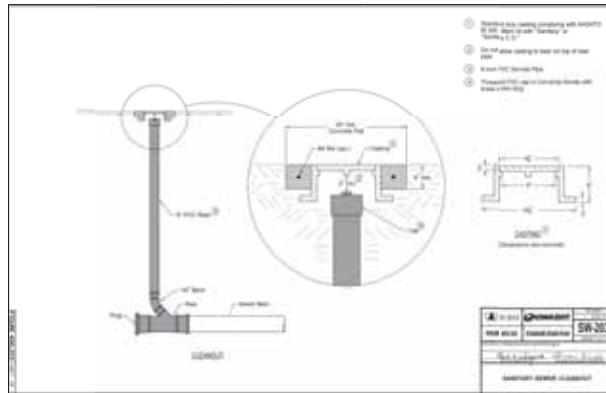
CASEY'S CONSTRUCTION DIVISION <small>One Commonwealth Blvd., P.O. Box 3551, Albany, NY 12211-3551-5100</small>	
DATE: 03.27.19 2019 Civil Details	SHEET NO: 19 CIVIL DETAILS C-602



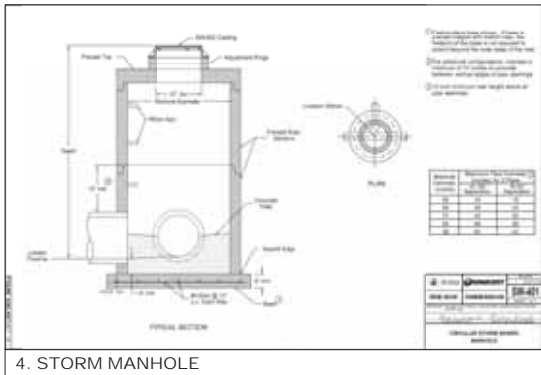
1. FILTER SOCK



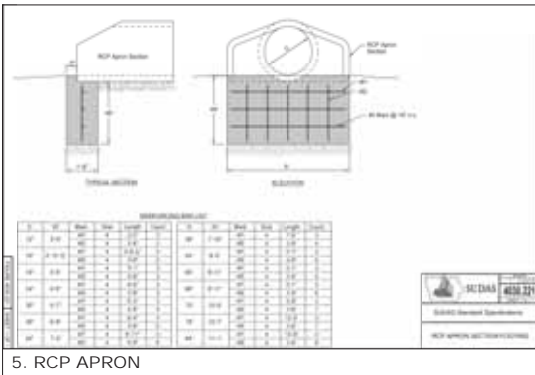
2. STABILIZED CONSTRUCTION ENTRANCE



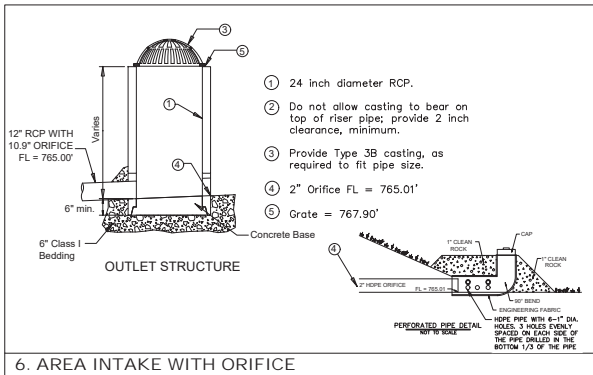
3. SANITARY CLEANOUT DETAIL



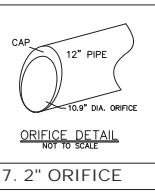
4. STORM MANHOLE



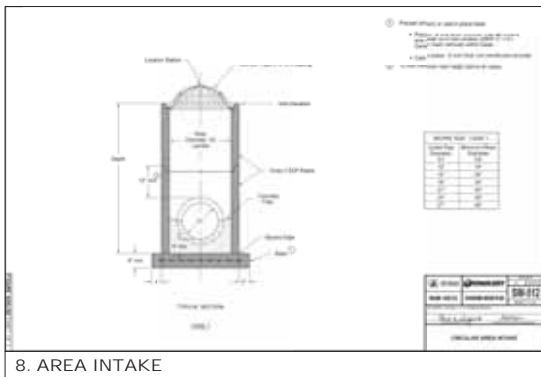
5. RCP APRON



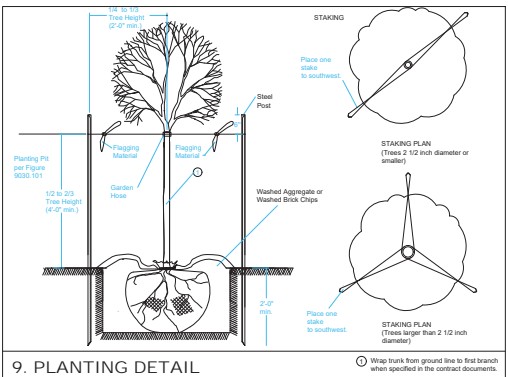
6. AREA INTAKE WITH ORIFICE



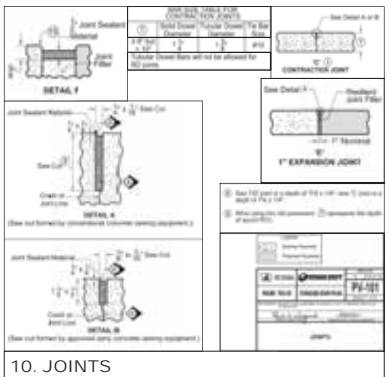
7. 2" ORIFICE



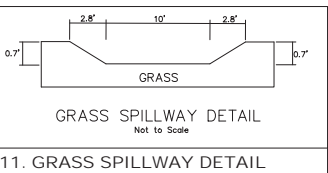
8. AREA INTAKE



9. PLANTING DETAIL



10. JOINTS



11. GRASS SPILLWAY DETAIL

P
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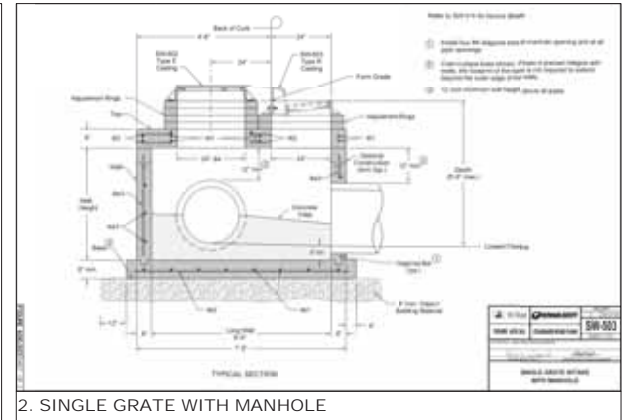
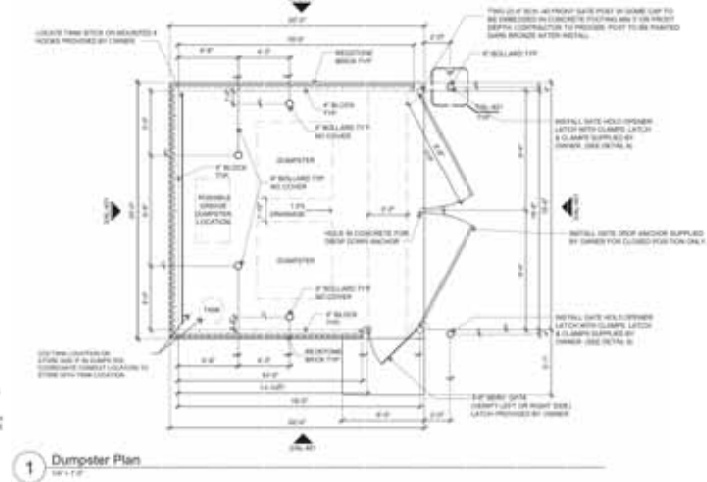
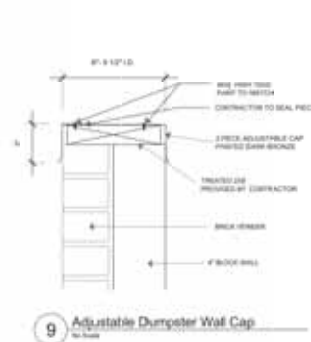
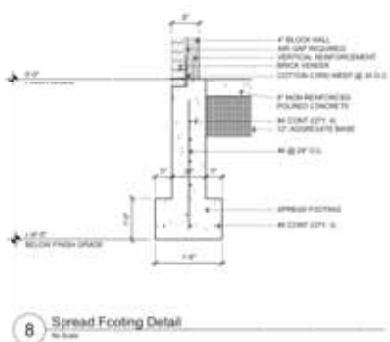
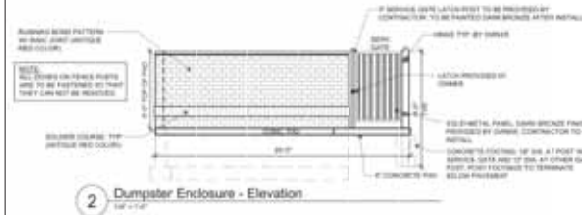
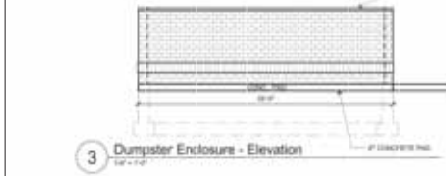
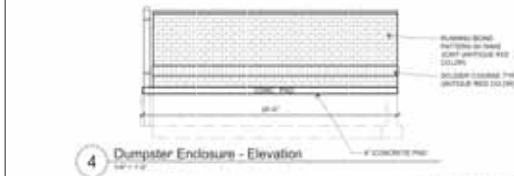
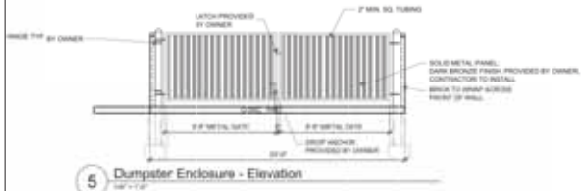
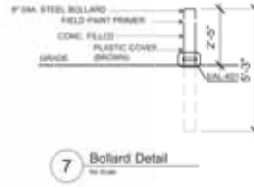
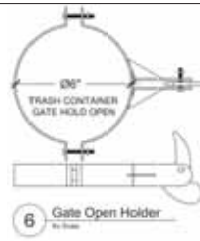
CASEY'S GENERAL STORES
600 WESTWOOD DR. & 230 SUGAR CREEK LN.
NORTH LIBERTY, IOWA

General Notes

1. RELATED SHEETS FOR ADDITIONAL INFORMATION NOT SHOWN/PROVIDED, SEE THE FOLLOWING SHEETS:
 0-001 FOR GENERAL PROJECT NOTES
 0-101 FOR GENERAL SITE PLAN

Construction Notes

1. ALL DIMENSIONS UNLESS NOTED ARE TO BE FINISHED SO THAT THEY CAN NOT BE REDUCED.
2. VERIFY SCHEDULING WITH LOCAL AUTHORITY.
3. CONTRACTOR TO FRAME ALL 4" BOLLARDS PRIOR TO FINISHED FINISH EASY.
4. DUMPSTER ENCLOSURE SHALL BE 4" BLOCK FINISHED BY CONTRACTOR.



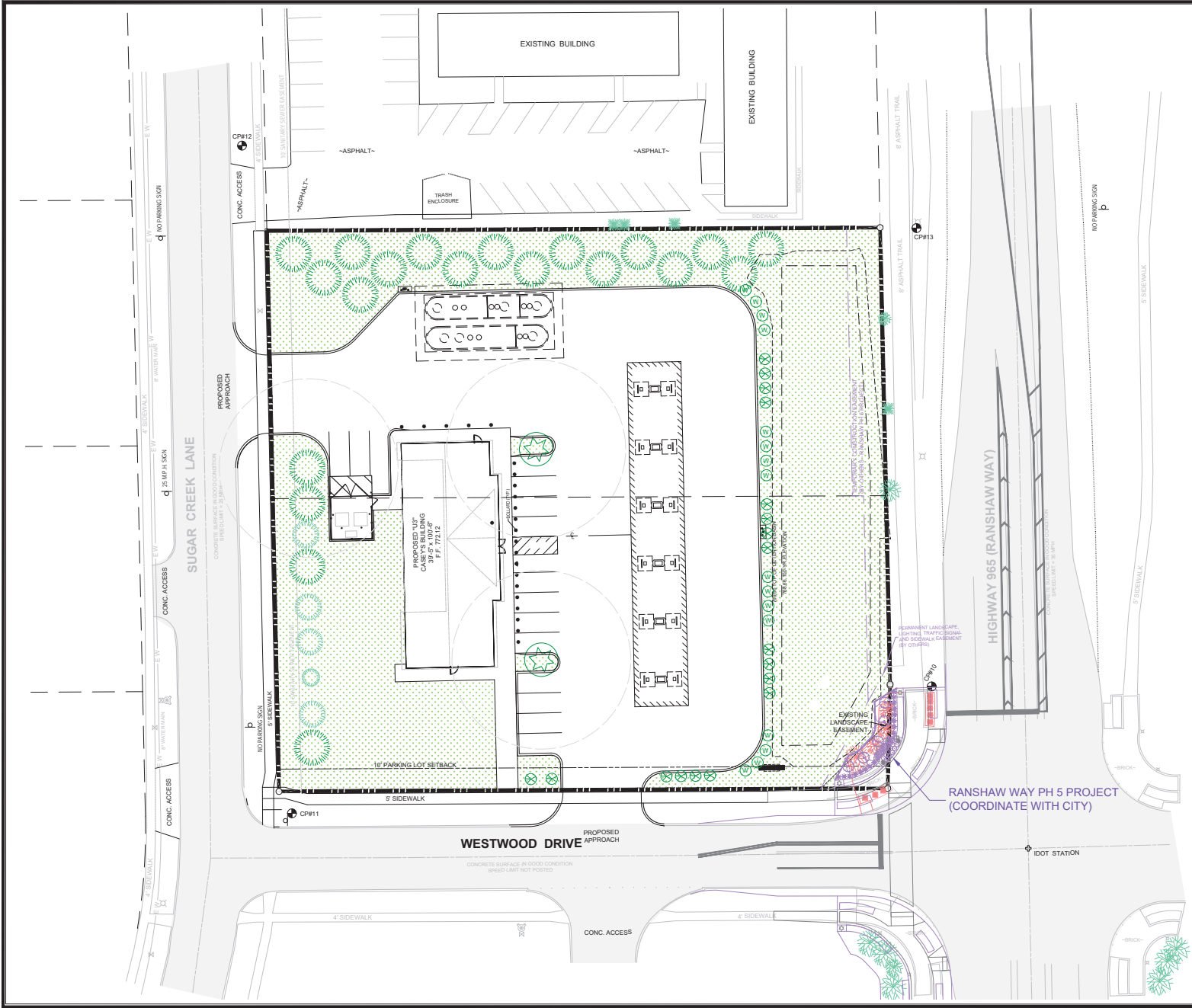
1. TRASH ENCLOSURE

2. SINGLE GRATE WITH MANHOLE

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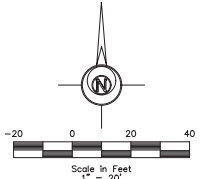
CASEY'S GENERAL STORES
 600 WESTWOOD DR. & 230 SUGAR CREEK LN.
 NORTH LIBERTY, IOWA

DATE: 8.27.2020
 SHEET: 20-019
 PROJECT: 20-019 - 003 North Liberty 800 Westwood Dr Engineering Site Plan/Detail Set
 C-004 - DETAIL SHEET



PROPOSED TREES:

SYMBOL	#	COMMON NAME (BOTANICAL NAME)	INSTALLED SIZE
	20	WHITE FIR (ABIES CONCOLOR)	6' HIGH
	2	CLEVELAND PEAR TREE (PYRUS CALLERYANA)	1-1/2" CALIPER
	18	GOLD FLAME SPIREA (SPIREA X BUMALDA.)	2' HIGH
	16	WEIGELA (WEIGELA)	2' HIGH
		PROPOSED SOD AREA	
	4	EXISTING DECIDUOUS TREE	
	5	EXISTING CONIFER TREE	
	-	EXISTING SHRUB	
	-	EXISTING ROADWAY	



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CASEY'S GENERAL STORES
600 WESTWOOD DR. & 230 SUGAR CREEK LN.
NORTH LIBERTY, IOWA

DATE	BY	SCALE	PROJECT	SHEET NO.
---	N. DAY	1"=20'	8.27.2020	20-019

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WHITE FIR

EXISTING CONIFER TREES

CLEVELAND PEAR TREE

WHITE FIR

GOLD FLAME SPIREA

WEIGELA

9' BURM

EXISTING DECIDUOUS TREES

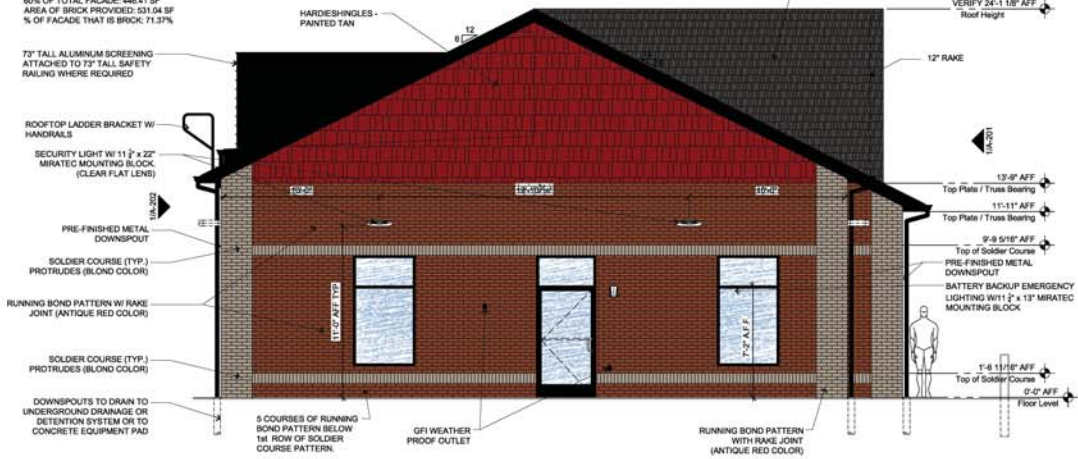
EXISTING DECIDUOUS TREES

EXISTING SHRUBS

General Notes

- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN. NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES.
- RELATED DRAWING SHEETS. REFER TO THE FOLLOWING:
 AL-101: FOR BUILDING LOCATION ON SITE
 AL-601: FOR INFORMATION RELATING TO SIGNAGE
 A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT
 A-121: ROOF PLAN/ROOF TOP EQUIPMENT
 A-601: DOOR & WINDOW SCHEDULES AND NOTES
 S-101: FOOTINGS AND FOUNDATIONS
 S-102: ROOF TRUSSES
- WORKING POINT: THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS.
- HARDIE SIDING PAINT FORMULA: SHERWIN WILLIAMS SATIN FINISH
 COLOR: CUSTOM ARNING ONETT TAN
 BAC Blend-a-Color OZ 32 64 128
 B1 Black - - 1 -
 N1 Raw Umber - 23 1 1
 Y3 Deep Gold - 5 1 -
 WHITE & PASTEL TINT BASE (1 GALLON USE)
 (CUSTOM SHER-COLOR FORMULA MATCH)
- ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

FAÇADE MATERIAL CALCULATIONS:
 TOTAL AREA OF SOUTH FAÇADE: 807.41 SF
 AREA OF SOUTH FAÇADE WITHOUT WINDOWS/DOORS: 744.02 SF
 92% OF TOTAL FAÇADE: 448.41 SF
 AREA OF BRICK PROVIDED: 531.04 SF
 % OF FAÇADE THAT IS BRICK: 71.37%



South Exterior Elevation - Left Side of Building 2
 1/4" = 1'-0"

FAÇADE MATERIAL CALCULATIONS:
 TOTAL AREA OF EAST FAÇADE, INCLUDING DECORATIVE GABLE: 1,424.22 SF
 AREA OF EAST FAÇADE WITHOUT WINDOWS/DOORS: 1,221.25 SF
 86% OF TOTAL FAÇADE: 732.75 SF
 AREA OF BRICK PROVIDED: 1,916.78 SF
 % OF FAÇADE THAT IS BRICK: 83.18%



East Exterior Elevation - Front of Building 1
 1/4" = 1'-0"

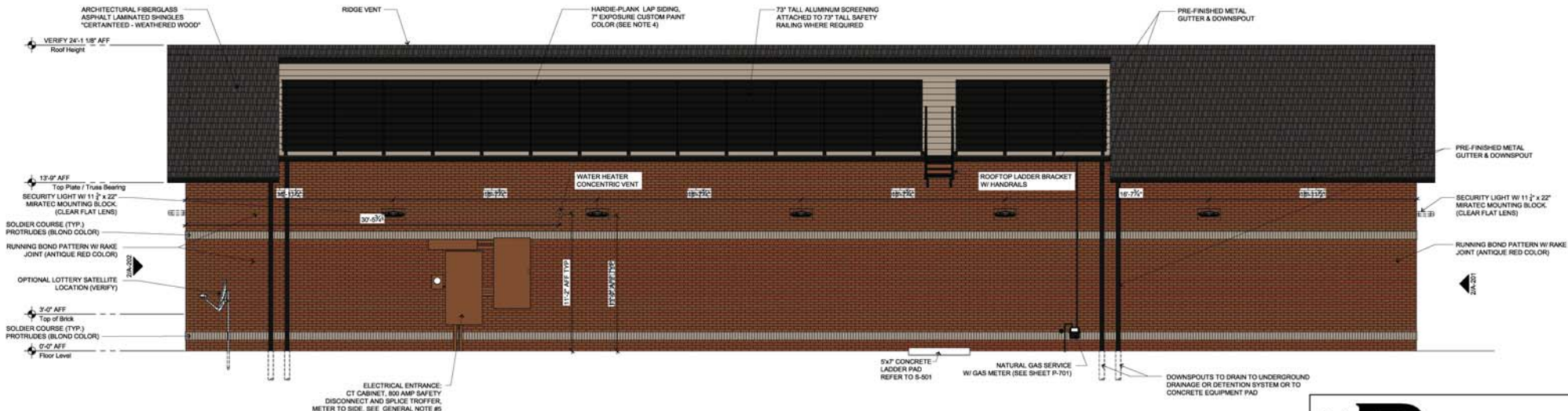
PELDS DESIGN SERVICES
 Architecture | Engineering | Surveying
 2223 Deer Street, Des Moines, Iowa 50319 | P.O. Box 4628 Des Moines, Iowa 50326 | P: 515-280-8196 | F: 515-280-2258
 M-F 8:00 AM - 5:00 PM

CASEY'S CONSTRUCTION DIVISION
 One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50221 515-965-6100

600 WESTWOOD DRIVE NORTH LIBERTY, IA	01/09/20 03/09/20 08.24.20	EXTERIOR ELEVATIONS
CONSTRUCTION DIVISION Drawn by: BRYAN RAIN		A-201



North Exterior Elevation - Right Side of Building 2
1/4" = 1'-0"



West Exterior Elevation - Back of Building 1
1/4" = 1'-0"

General Notes

- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN. NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES.
- RELATED DRAWING SHEETS. REFER TO THE FOLLOWING:
 AL-101: FOR BUILDING LOCATION ON SITE
 AL-401: FOR INFORMATION RELATING TO SIGNAGE
 A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT
 A-121: ROOF PLAN/ROOF TOP EQUIPMENT
 A-601: DOOR & WINDOW SCHEDULES AND NOTES
 S-101: FOOTINGS AND FOUNDATIONS
 S-102: ROOF TRUSSES
- WORKING POINT: THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS.
- HARDIE SIDING PAINT FORMULA: SHERWIN WILLIAMS / SATIN FINISH
 COLOR: CUSTOM ARNING ONNETT TAN
 BAC Blend-a-Color OZ 32 64 128
 B1 Black - - 1 - -
 N1 Raw Umber - 23 1 1
 Y3 Deep Gold - - 5 1 -
 WHITE & PASTEL TINT BASE (1 GALLON USE)
 (CUSTOM SHER-COLOR FORMULA MATCH)
- ELECTRICIAN TO INFORM GENERAL CONTRACTOR ON SIZE AND LOCATION OF CT CABINET(S) REQUIRED BY LOCAL POWER COMPANY. IF CABINET(S) CANNOT BE MOUNTED COMPLETELY ABOVE THE BRICK, STEPS MUST BE TAKEN TO ACCOUNT FOR THE LOCATION OF THE CABINET(S) TO BE RECESSED IN THE BRICK IF IT HAS NOT BEEN INSTALLED AT THE TIME THE BRICK IS BEING LAID.
- ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

P ELDS DESIGN SERVICES
 Architecture | Engineering | Surveying
 2023 Oscar Street, Oak Morton, Iowa 50216 | P.O. Box 4528 Oak Morton, Iowa 50216 | P: 515-259-8196 F: 515-269-2258
 M-F 8:00 AM - 5:00 PM

CASEY'S General Store

CASEY'S CONSTRUCTION DIVISION
 One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50221 515-965-6100

600 WESTWOOD DRIVE
 NORTH LIBERTY, IA

01/09/20
 03/09/20
 08/04/20

EXTERIOR ELEVATIONS

CONSTRUCTION DIVISION
 DESIGNED BY
 BRYAN RAHN

A-202

Casey's

SIGN PACKET

JACOB CLARK | SIGNAGE PROJECT BUYER
3305 SE Delaware Ave | Ankeny, IA 50021
P: 515-963-3831 | E: jacob.clark@caseys.com

North Liberty, IA

U3 Store

- 5' Building Signage
- 29" Canopy Signage
- 4 Product Monument

08-03-20

Building & Wall Signs (U2 & U3 Store)

Sign #	Sign	Type	Location	Illumination	Dimensions				Area Ft ²
					Height	Width	Bottom	Top	
1	"Casey's"	Surface	Building Front	Internal	4' 0"	10' 2-13/16"	See A-201	See A-201	26.29
2	DO NOT INSTALL								
3	Snap Frame	Advertising	Building Front	N/A	3' 0"	8' 0"	3' 4"	6' 8-1/2"	24
4	Snap Frame	Advertising	Building Front	N/A	3' 8"	2' 4"	2' 10"	6' 10-1/2"	8.56
								Total	58.85

Canopy

Sign #	Sign	Type	Location	Illumination	Dimensions				Area Ft ²
					Height	Width	Bottom	Top	
5	"Casey's"	Surface	Canopy Front	Internal	17' 3"	19' 8"	6' 2-3/16"	2' 5"	6.14
5	"Casey's"	Surface	Canopy Side	Internal	17' 3"	19' 8"	6' 2-3/16"	2' 5"	6.14
5	"Casey's"	Surface	Canopy Side	Internal	17' 3"	19' 8"	6' 2-3/16"	2' 5"	6.14
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
								Total	52.66

Monument Sign (4 Product)

Sign #	Sign	Type	Location	Illumination	Dimensions				Area Ft ²
					Height	Width	Bottom	Top	
6	Weathervane	Freestanding	Street	N/A	2' 2-1/16"	1' 11-5/8"	12' 3-1/4"	14' 5-5/16"	1.94
	House Logo	Freestanding	Street	Internal	5' 0-1/4"	7' 7-1/2"	4' 3"	12' 3-1/4"	31.6
7	Price Sign	Freestanding	Street	Internal	5' 6"	7' 7-1/2"	1' 9"	7' 3"	41.94
								Total	75.48



1

Casey's

4

3

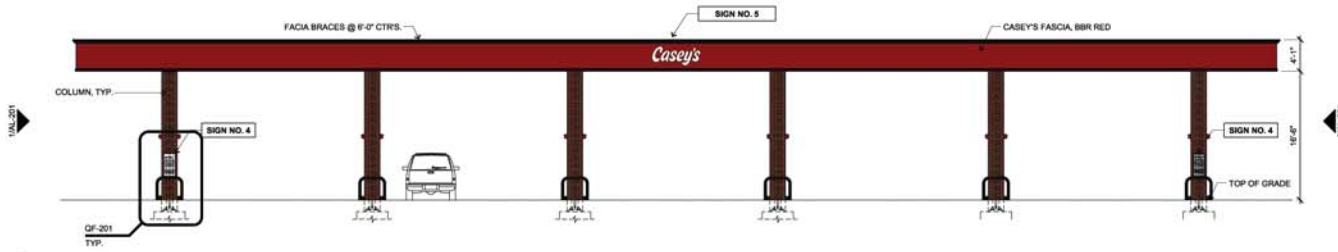
PEPPERONI PIZZA

****VERIFY ALL SIGNAGE WITH SIGN PERMITS****

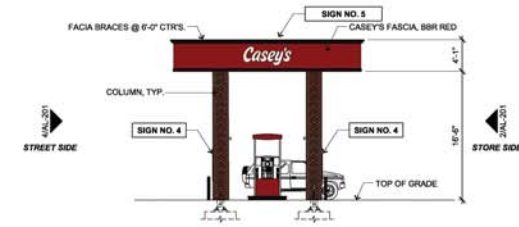
Canopy									
Sign #	Sign	Type	Location	Illumination	Dimensions				
					Bottom	Top	Width	Height	Area Ft ²
5	"Casey's"	Surface	Canopy Side	Internal	17'-3"	19'-8"	6'-2 3/16"	2'-5"	14.94
5	"Casey's"	Surface	Canopy Side	Internal	17'-3"	19'-8"	6'-2 3/16"	2'-5"	14.94
5	"Casey's"	Surface	Canopy Side	Internal	17'-3"	19'-8"	6'-2 3/16"	2'-5"	14.94
4	Snap Frame	Advertising	Canopy Column	N/A	3'-0"	7'-0 1/2"	2'-4"	3'-8"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3'-0"	7'-0 1/2"	2'-4"	3'-8"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3'-0"	7'-0 1/2"	2'-4"	3'-8"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3'-0"	7'-0 1/2"	2'-4"	3'-8"	8.56
Total									79.06

General Notes

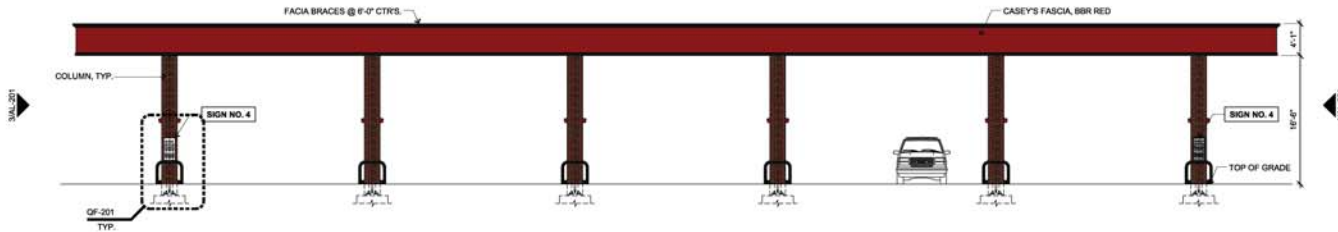
- RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE THE FOLLOWING SHEETS:
G-001 FOR GENERAL PROJECT NOTES
AL-101 FOR GENERAL SITE PLAN
Sign Packet FOR SIGNAGE SCHEDULE AND NOTES
QF-Series FOR DESIGN AND DETAILS RELATED TO FUELING FACILITY
- GASOLINE ISLAND CANOPY:** REVIEW SHOP DRAWINGS PROVIDED BY CANOPY SUPPLIER AND ADVISE CASEY'S CONSTRUCTION MANAGER OF ANY DISCREPANCIES
- EMERGENCY GAS SHUT OFFS:** REFER TO SHEETS A-201, A2-101 & E-101 FOR EMERGENCY SHUT OFF LOCATIONS.



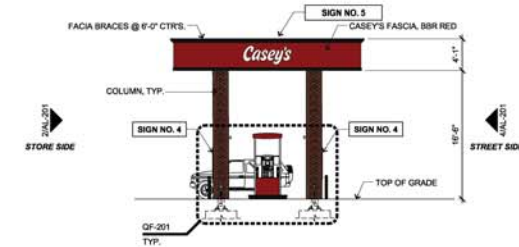
4 Pump Island Canopy - (Street Side)
1/8" = 1'-0"



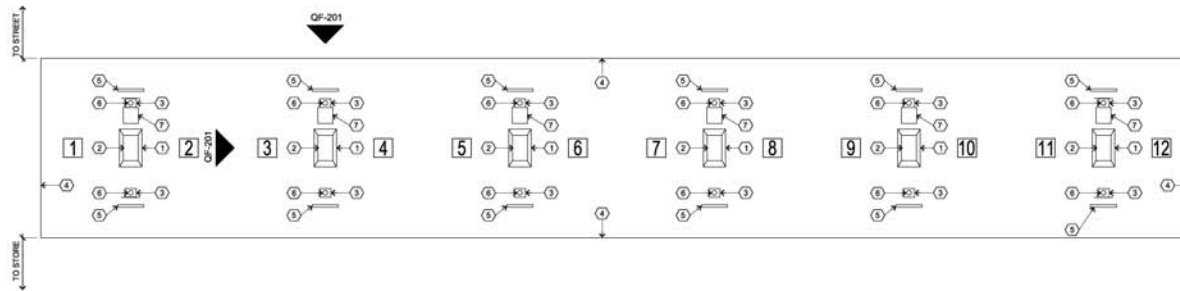
3 Pump Island Canopy - Right Side Elevation
1/8" = 1'-0"



2 Pump Island Canopy - (Store Side)
1/8" = 1'-0"



1 Pump Island Canopy - Left Side Elevation
1/8" = 1'-0"



5 Canopy Layout Plan
Not To Scale

Keyed Canopy Layout Plan Notes

- FUEL ISLANDS
- FUEL DISPENSERS: SUPPLIED BY OWNER
- CANOPY COLUMN: SUPPLIED BY CANOPY MFG.
- EDGE OF CANOPY: ABOVE
- STEEL GUARD PIPE: SET INTO CONC SLAB AS INDICATED IN DETAIL. ELEVATIONS (2 PER ISLAND)
- INTERNAL DOWNSPOUTS: ROUTE THROUGH COLUMNS AND UNDERGROUND TO STORM SEWER OR DETENTION IF APPLICABLE
- TRASH CAN AND WASH BUCKETS
- PUMP LABELS: MOUNTED ON CANOPY COLUMNS

PELDS DESIGN SERVICES
Architecture | Engineering | Surveying
2023 Deer Street, Oak Grove, Iowa 50201 | P.O. Box 4520 Oak Grove, Iowa 50201 | P: 515-269-8104 | F: 515-269-2269
REG. ENG. NO. 20-079

CASEY'S General Store

CASEY'S CONSTRUCTION DIVISION
One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100

600 WESTWOOD DRIVE
NORTH LIBERTY, IA

01/14/20
03/20/20
05/15/20
07/16/20

GASOLINE ISLAND CANOPY ELEVATIONS

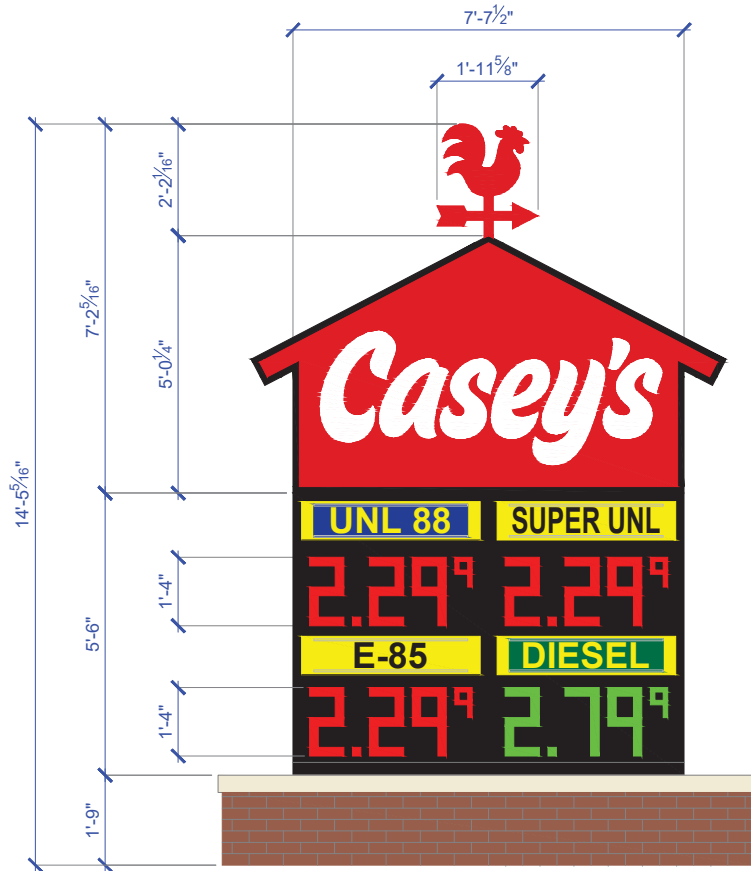
CONSTRUCTION DIVISION
Drawn by: B. RAHN

AL-201

Monument Sign (4 Product)

SIGNS 6, 7

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft ²
6	Weathervane	Freestanding	Street	N/A	2' 2-1/16"	1' 11-5/8"	12' 3-1/4"	14' 5-5/16"	1.94
	House Logo	Freestanding	Street	Internal	5' 0-1/4"	7' 7-1/2"	4' 3"	12' 3-1/4"	31.6
7	Price Sign	Freestanding	Street	Internal	5' 6"	7' 7-1/2"	1' 9"	7' 3"	41.94
								Total	75.48



PRICER NOTES:

- 16" RED AND GREEN LED
- ZIP TRACK COMMODITIES, INTERCHANGEABLE
- DIESEL ON THE RIGHT, BOTH SIDES

OTHER NOTES

- CABINETS ARE BLACK IN COLOR
- STRUCTURES ARE BLACK IN COLOR



MONUMENT PRICE SIGN
4 PRODUCT HOUSE

DRAWN BY:
J. CLARK

DATE:
07-31-20

INSTALLATION INSTRUCTIONS

PLEASE READ COMPLETELY BEFORE ASSEMBLY

SNAPFRAME WALL SIGN

IMPORTANT NOTE

- * This sign is designed for repeated changing of inserts and must be securely fastened to the wall in order to open and close the spring loaded frame members.
- * USE CAUTION WHEN CLOSING SNAP FRAME MEMBERS! Hold frame by outer edge and keep finger tips away from poster grip edge.

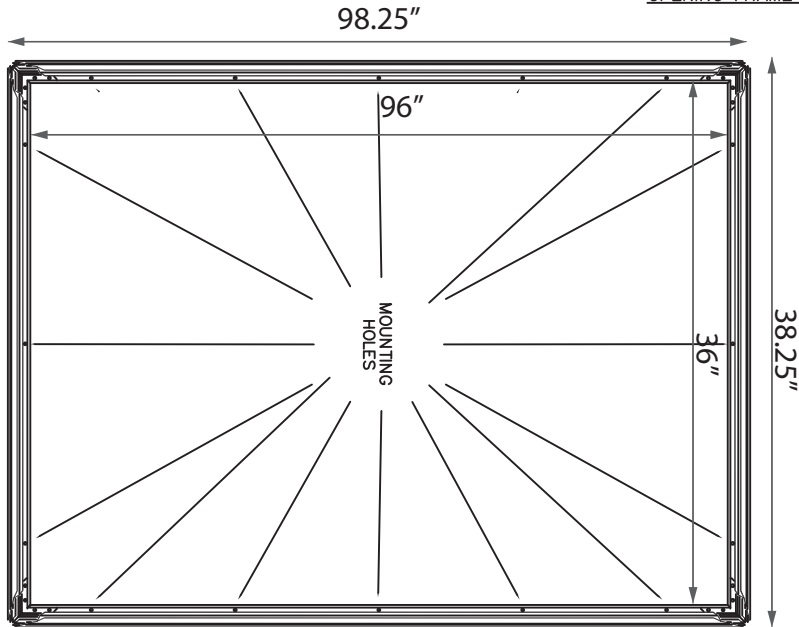
TOOLS NEEDED

- * Bubble type level (or string line) for sign positioning.
- * Pencil for hole location marking.
- * Drill with 5/16" masonry bit for masonry application only.
- * 7/32" Metal drill bit for hole in frame
- * Phillips screwdriver.

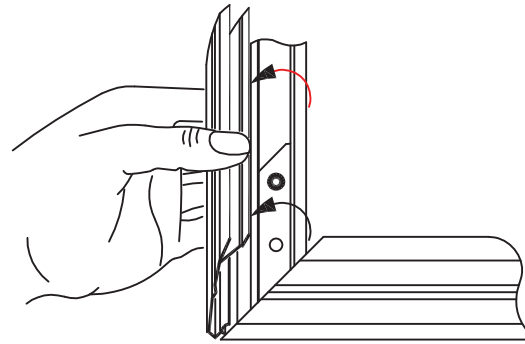
PARTS LIST

- [A] Snap frame with metal backer

BACKER SHEET WITH FRAME
IN OPEN POSITION



26.1 SQ FT TOTAL



- FIGURE 1 -
OPENING FRAME MEMBERS

STEP-BY-STEP INSTALLATION PROCEEDURE

- 1 Open all four sides of the snap frame by pulling the inside edge of the frame up and out (see figure 1).
- 2 Mark hole locations on the inside of the Extrusion at the locations shown to the left. Holes should be drilled in the location indicated in Figure 2. Use a 7/32" drill bit to drill the holes for a #10 screw.
- 3 Hold sign against the wall in desired position and mark hole locations on the wall through holes in the frame. **SIGN MUST BE SECURED TO THE WALL WITH ALL (16) HOLES.**
- 4 Set sign aside and drill or punch starting holes into wall. On masonry walls, drill 5/16" holes into mortar (where possible) approx. 2" deep and insert lead expansion anchor until end is flush with the wall.
- 5 Hold sign against wall, align all holes and secure with screws. If you are going into wood or metal, you can still use a No.10 screw. But make sure to use the appropriate one for the material you fasten to.

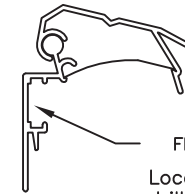
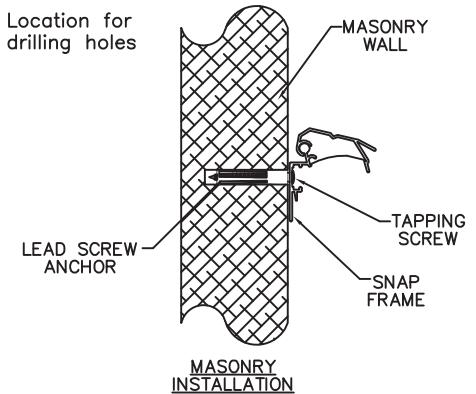


FIGURE 2 -
Location for drilling holes



MASONRY
INSTALLATION

inside dimensions = (96"x36")
outside dimensions = (98.25"x38.25")

STOUT.
| sign company |

A • DIVISION • OF • STOUT • INDUSTRIES
FOR ASSISTANCE CALL: 1-800-325-8530

INSTALLATION INSTRUCTIONS

PLEASE READ COMPLETELY BEFORE ASSEMBLY

SNAPFRAME WALL SIGN

IMPORTANT NOTE

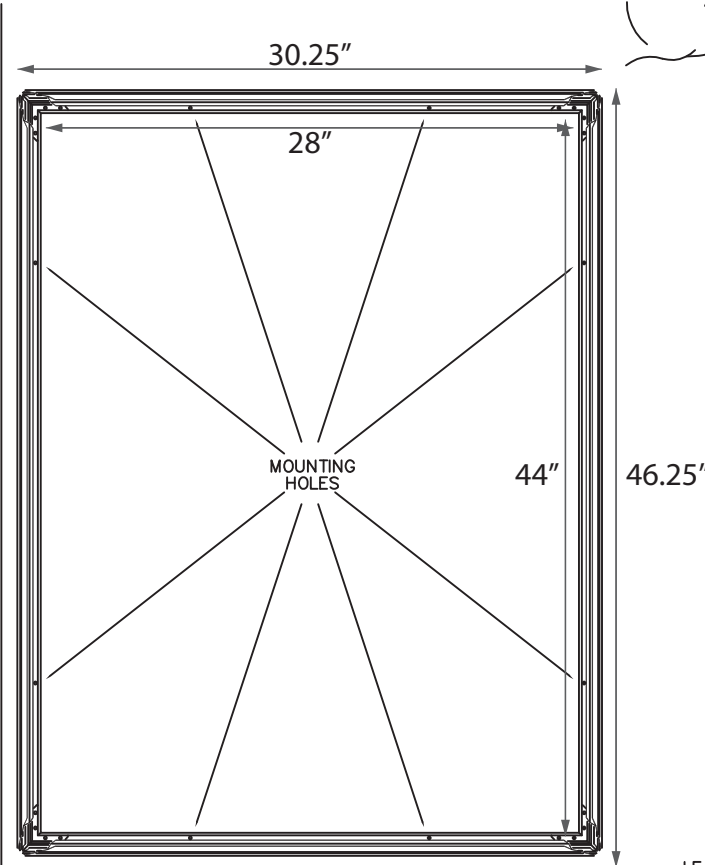
- * This sign is designed for repeated changing of inserts and must be securely fastened to the wall in order to open and close the spring loaded frame members.
- * USE CAUTION WHEN CLOSING SNAP FRAME MEMBERS! Hold frame by outer edge and keep finger tips away from poster grip edge.

TOOLS NEEDED

- * Bubble type level (or string line) for sign positioning.
- * Pencil for hole location marking.
- * Drill with 5/16" masonry bit for masonry application only.
- * Phillips screwdriver.

PARTS LIST

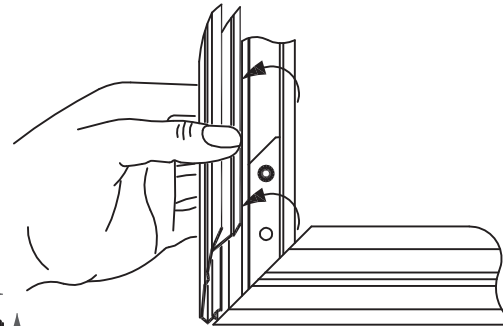
- [A] Sign face with snap frame
- [B] #10 x 1-3/4" tapping screws (8)
- [C] #10-12 x 1" lead anchors (8)



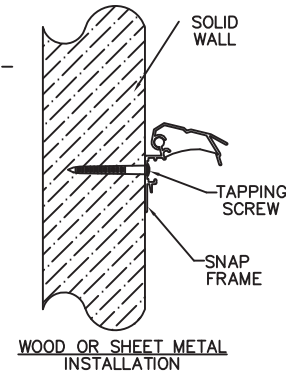
- FIGURE 2 -
SIGN WITH FRAME
IN OPEN POSITION

9.72 SQ FT TOTAL

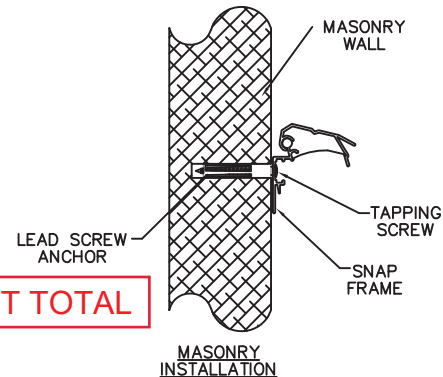
inside dimensions = (28"x44")
outside dimensions = (30.25"x46.25")



- FIGURE 1 -
OPENING FRAME MEMBERS



WOOD OR SHEET METAL
INSTALLATION



MASONRY
INSTALLATION

SIGN 4

STEP-BY-STEP INSTALLATION PROCEEDURE

- ① Open all four sides of the snap frame by pulling the inside edge of the frame up and out (see figure 1).
- ② Hold sign against the wall in desired position and mark hole locations on the wall through holes in the frame.
- ③ Set sign aside and drill or punch starting holes into wall:
On wood or sheet metal walls, use 1-3/4" tapping screws only.

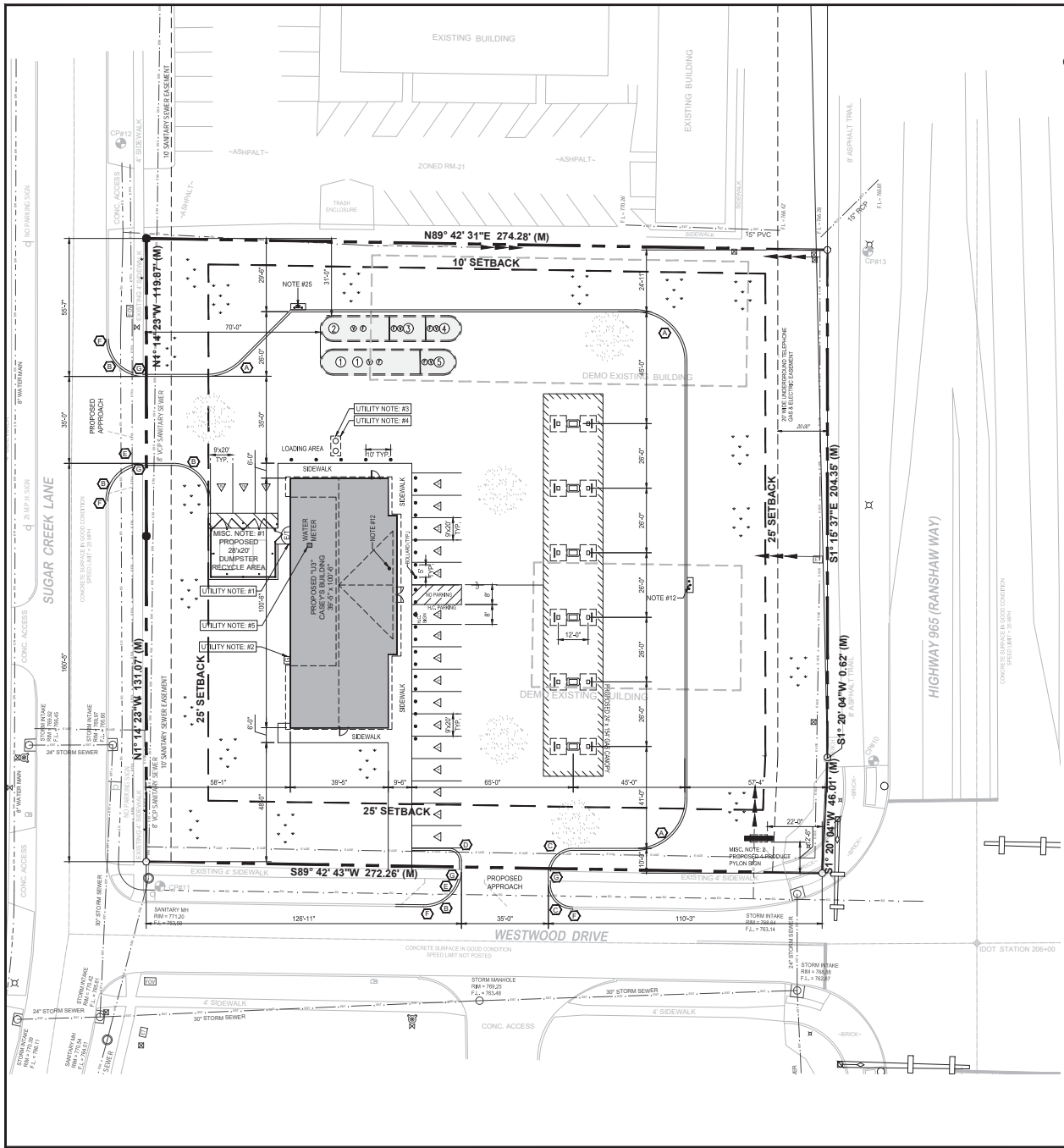
On masonry walls, drill 5/16" holes into mortar (where possible) approx. 2" deep and insert lead expansion anchor until end is flush with the wall.

- ④ Hold sign against wall, align all holes and secure with screws.

STOUT.
| sign company |

A DIVISION OF STOUT INDUSTRIES
FOR ASSISTANCE CALL 1-800-325-8530

STDI-029
2/28/05



U.G.S.T. Notes

- ① FILL WISPIII CONTAINMENT & OVERSPILL PROTECTION (TYP.)
- ② TURBINE ENCLOSURE TYP. CONTAINS SUB-PUMP W/LEAK DETECTION, TANK PROBE FOR FUEL MONITORING, INTERSTITIAL SENSOR AND TANK SHUMP SENSOR.
- ③ VENT WISPIII CONTAINMENT & EXTRACTOR
- ④ SUMP SENSOR @ EACH DISPENSER

General Notes

1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE CIVIL PLANS DONE BY FELDS ENGINEERING.

Utility Notes

- UTILITY NOTE #1: ELECTRICAL (C-STORE) ELECTRICAL SERVICE ENTRANCE, ELECTRIC 3 PHASE, 1200 AMP, 3Ø VOLTS, 4 WIRE, TELEPHONE 20 PAPER 8 LINES.
- UTILITY NOTE #2: GAS (C-STORE) 1/2" SCHEDULE 40 IRON PIPE GAS SERVICE CONNECTION, CONNECTION LOAD 6 600 MBH, TOTAL CONNECTION LOAD IS 600,000 BTU/HOUR CURT. HR. HOUSE PRESSURE BY T.W.C.
- UTILITY NOTE #3: SANITARY SEWER (C-STORE) 8" SCHEDULE 40 PVC SANITARY SEWER CONNECTION.
- UTILITY NOTE #4: SANITARY SEWER (C-STORE) 1,000 GAL BELOW GRADE GREASE INTERCEPTOR WITH 2 MANHOLES.
- UTILITY NOTE #5: WATER (C-STORE) 1/2" CTS, HDPE, SDRI 35-200 PSH WATER SERVICE CONNECTION.

Misc. Notes

- Misc. #1: BRICK DUMPSTER ENCLOSURE 4'-6" WOOD GATES AND 4" WOOD SERVICE GATE
- Misc. #2: PRODUCT PYLON PRICE SIGN - REFER TO SIGN PACKET

Zoning Information

Zoning Information						
CURRENT ZONING	DATE	GENERAL CONSTRUCTION DISTRICT	CONSTRUCTION DISTRICT	CONSTRUCTION DISTRICT	DATE	OFFICE OF NORTH LIBERTY
U3 - STYLE STORE	2018	UNRECORDED	UNRECORDED	UNRECORDED	12/13/2018	1000 Liberty Ave, Suite 100, North Liberty, IA 52571
U3 - STYLE STORE	2018	UNRECORDED	UNRECORDED	UNRECORDED	12/13/2018	1000 Liberty Ave, Suite 100, North Liberty, IA 52571
U3 - STYLE STORE	2018	UNRECORDED	UNRECORDED	UNRECORDED	12/13/2018	1000 Liberty Ave, Suite 100, North Liberty, IA 52571
U3 - STYLE STORE	2018	UNRECORDED	UNRECORDED	UNRECORDED	12/13/2018	1000 Liberty Ave, Suite 100, North Liberty, IA 52571
U3 - STYLE STORE	2018	UNRECORDED	UNRECORDED	UNRECORDED	12/13/2018	1000 Liberty Ave, Suite 100, North Liberty, IA 52571

General Construction Notes

- PETROLEUM:**
- 1) 25,000 GALLON DOUBLE WALL FIBERGLASS TANKS.
 - TANK 1 - 22,000 GALLON (STE)
 - TANK 2 - 14,000 GALLON (BROKESSEL BLEND)
 - TANK 3 - 8,000 GALLON (8TC)
 - TANK 4 - 8,000 GALLON (8TC)
 - TANK 5 - 8,000 GALLON (E85)
 - 2) TANK SETTING DETAILS PAGE QF-301
 - 3) FILL PIPE AND MANHOLE DETAIL PAGE QF-301
 - 4) GILBARCO WIRING PAGE QF-401
 - 5) GAS ISLAND AND 3" x 8" W/OUTLET GUARD PIPE
 - 6) GAS GILBARCO 700'S DISPENSERS (UNDEGROUND)
 - 2 F 80'4" NOZZLES & 8 METERS EACH
 - + 4 F 8" NOZZLES & 8 METERS EACH
 - 7) ISLAND DETAILS PAGE AL-501
 - 8) ISLAND CONDUIT DETAIL PAGE E-002
 - 9) DO NOT PLACE PRODUCT PIPING UNDER ISLAND
 - 10) 18" MIN. FROM TANK W/PING TO FINISH SURFACE
 - 11) RUN VENT LINES UP SEPARATE CANOPY COLUMN, VERIFY
 - 12) ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED INSIDE AT THE SALES COUNTER FOR THE CONVENIENCE STORE. A SECONDARY SHUT-OFF SHALL BE INSTALLED ON A POST AT THE CURB IF ALL FUEL DISPENSERS DO NOT FALL WITHIN A 100 STACKS.
- APPROACHES/CONCRETE:**
- 13) DRIVEWAY JOINTS TO BE PACKED & CAULKED
 - 14) CONCRETE DRIVE TROWELED WITH LIGHT BROOM FINISH
 - 15) CONTROL JOINTS - MIN. 100' MAX - MAX. 125' ± ± - 25% DEEP
 - 16) CONSTRUCTION JOINTS - PINNED 4" O.C. 12" EACH WAY WITH 1/2" REBAR #4
 - 17) APPROACHES TO BE 1" NON-REINFORCED OR AS PER STATUTORY SPEC.
 - 18) SLOPE MAX. 2% FOR BUILDING SIDEWALK, H.C. PARKING 1-50 ALL DIRECTIONS
 - 19) ALL ACCESSIBLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4" SEPARATION
 - 20) 2" MAX. CROSS-SLOPE IN APPROACH SIDEWALK AREA
 - 21) 10" ROLL-OVER CURB TYP. - SEE STANDARD C.D.M. DETAILS
 - 22) CANOPY FOOTING - SEE 6-2" LENGTH x 6" ± WIDTH x 3'-0" DEPTH, CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF F-C-3000 ± 5%.
 - 23) CONCRETE REINFORCING ASTM A615 GRADE 60.
 - 24) REBAR CASE (IF HORIZONTAL, THIS LENGTH W/BE TOP AND BOTTOM 12" MAXIMUM SPACING).
 - 25) SIGN BASE AND DETAILS PAGE AL-601
- SITE ITEMS:**
- 26) VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS.
 - 27) BRICKWORK REQUIRED WITH RAIN SENSORS MOUNTED ON BACK RAILING OF ROOF.
 - 28) AIR COMPRESSOR BOX MOUNTED TO STEEL POLE INSTALLED ON 3" x 4" CONCRETE PAD 10" FROM BACK OF CURB, 110 VOL-T-50HZ-2.5 AMP, 5 GAUGE MINIMUM RECOMMENDED.

Keyed Construction Notes

- NOTE:** ALL WORK IN/ON THE R.O.W AREA IS SUBJECT TO THE CITY OF NORTH LIBERTY APPROVAL AND SPECIFICATIONS.
- ① PROPOSED 20' RADIUS
 - ② THE INTO AND MATCH EXISTING CURB & FLOW LINE.
 - ③ PROPOSED 15' RADIUS
 - ④ DETECTABLE SIDEWALK MAT. VERIFY WITH CITY.
 - ⑤ PROPOSED 10' RADIUS
 - ⑥ PROPOSED 5' RADIUS
 - ⑦ DEMO EXISTING DRIVE

Legal Description:

Lots 4 and 5 in County Living Subdivision Part III, North Liberty, Iowa, according to the plat first recorded in Plat Book 15, Page 8, The Records of Johnson County, Iowa.

Legend

- △ MARKED PARKING SPACES (PAINT LINES AS INDICATED)
- TYP. CONCRETE PAVING OR SIDEWALKS (34.81241 50, FT.)
- AREA TO BE SOO
- AREA LIGHTS (0 SHOWN) REFER TO LISTING PLAN RL-551 DONE BY RED LEONARD

NOTE:
SYMBOL INDICATES EXISTING UTILITY TO EXISTING STRUCTURE TO BE REMOVED OR DISCONNECTED BY APPROPRIATE CONTRACTOR. VERIFY WITH UTILITY COMPANY REPRESENTATIVE.

TRAFFIC PLAN
NORTH NORTH

A1 Site Layout Plan
1" = 20'



VICINITY MAP
NTS

SPECIAL REQUIREMENTS:
 "U3 STORE WITH SCREENING"
 "REAR BRICK"
 "BRICK DUMPSTER ENCLOSURE"
 "KNOX BOX REQUIRED"

CASEY'S Construction

CASEY'S CONSTRUCTION DIVISION
One Convenience Blvd., P.O. Box 2001, Anthony, IA 50021 315-965-6100

NORTH LIBERTY, IA, 08/08/20

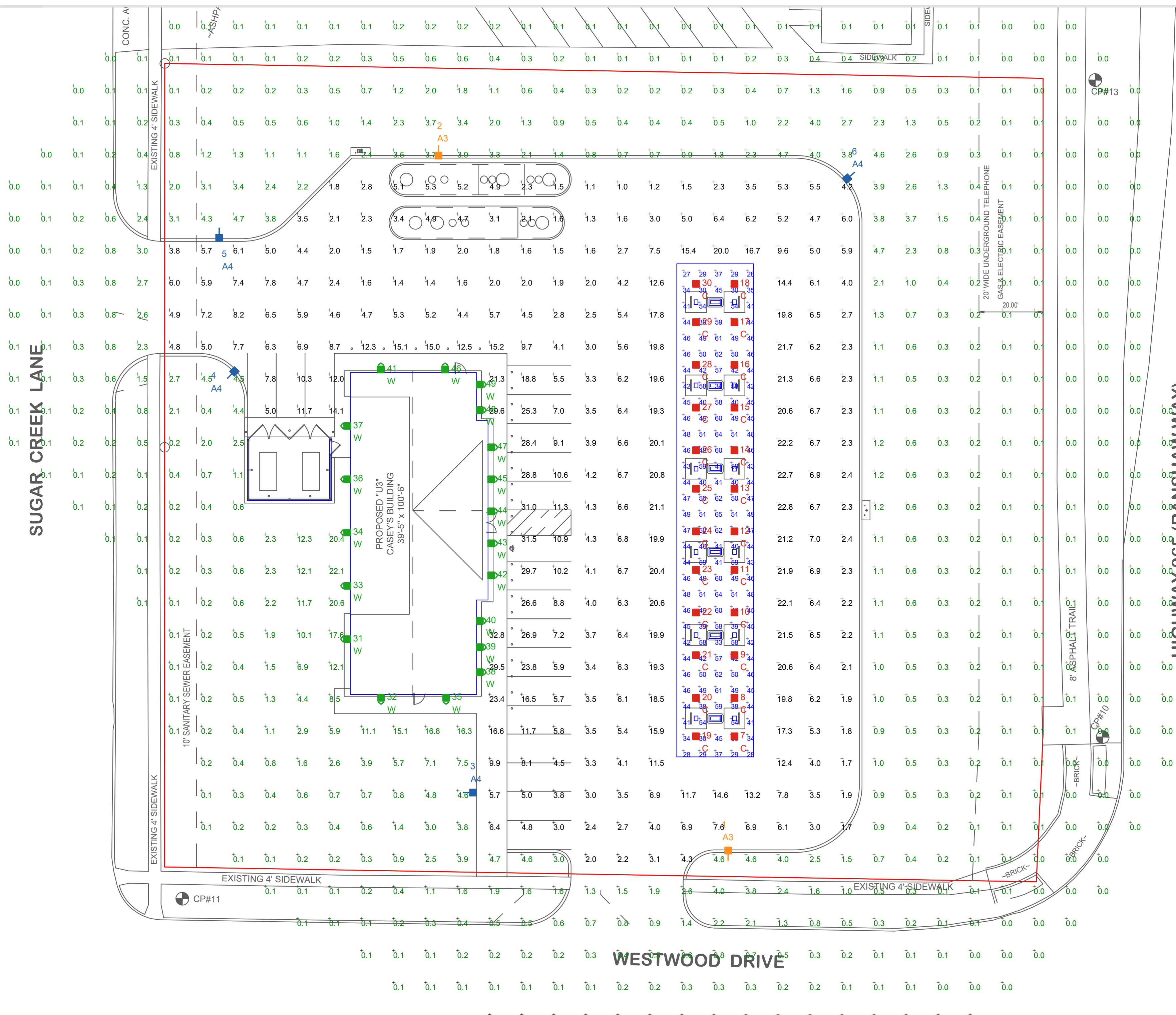
U3 - STYLE STORE

CONSTRUCTION DIVISION

JAY IMMING

SITE PLAN

AL-101



LUMINAIRE LOCATION SUMMARY

LUM. NO.	LABEL	MTG. HT.
1	A3	17
2	A3	17
3	A4	17
4	A4	17
5	A4	17
6	A4	17
7	C	16.5
8	C	16.5
9	C	16.5
10	C	16.5
11	C	16.5
12	C	16.5
13	C	16.5
14	C	16.5
15	C	16.5
16	C	16.5
17	C	16.5
18	C	16.5
19	C	16.5
20	C	16.5
21	C	16.5
22	C	16.5
23	C	16.5
24	C	16.5
25	C	16.5
26	C	16.5
27	C	16.5
28	C	16.5
29	C	16.5
30	C	16.5
31	W	10
32	W	10
33	W	10
34	W	10
35	W	10
36	W	10
37	W	10
38	W	10
39	W	10
40	W	10
41	W	10
42	W	10
43	W	10
44	W	10
45	W	10
46	W	10
47	W	10
48	W	10
49	W	10

NOTE:
AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	8.40	32.8	1.0	8.40	32.80
UNDEFINED	0.99	22.1	0.0	N.A.	N.A.
UNDER CANOPY	46.22	65	27	1.71	2.41

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	2	A3	SINGLE	12019	1.030	B3-U0-G3	134	268	Cree Lighting	ARE-EDG-3M-DA-06-E-UL-BZ-700
	4	A4	SINGLE	12678	1.030	B3-U0-G2	134	536	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-BZ-700
	24	C	SINGLE	13251	1.030	B3-U0-G1	134	3216	CREE, INC.	CAN-304-SL-RS-06-E-UL-WH-700
	19	W	SINGLE	8739	1.030	B2-U0-G2	100	1900	CREE, INC.	SEC-EDG-3M-WM-06-E-UL-BZ-525

REV.	BY	DATE	DESCRIPTION
R1	FNE	7/20/2020	REVISED PER UPDATED SITE PLAN.

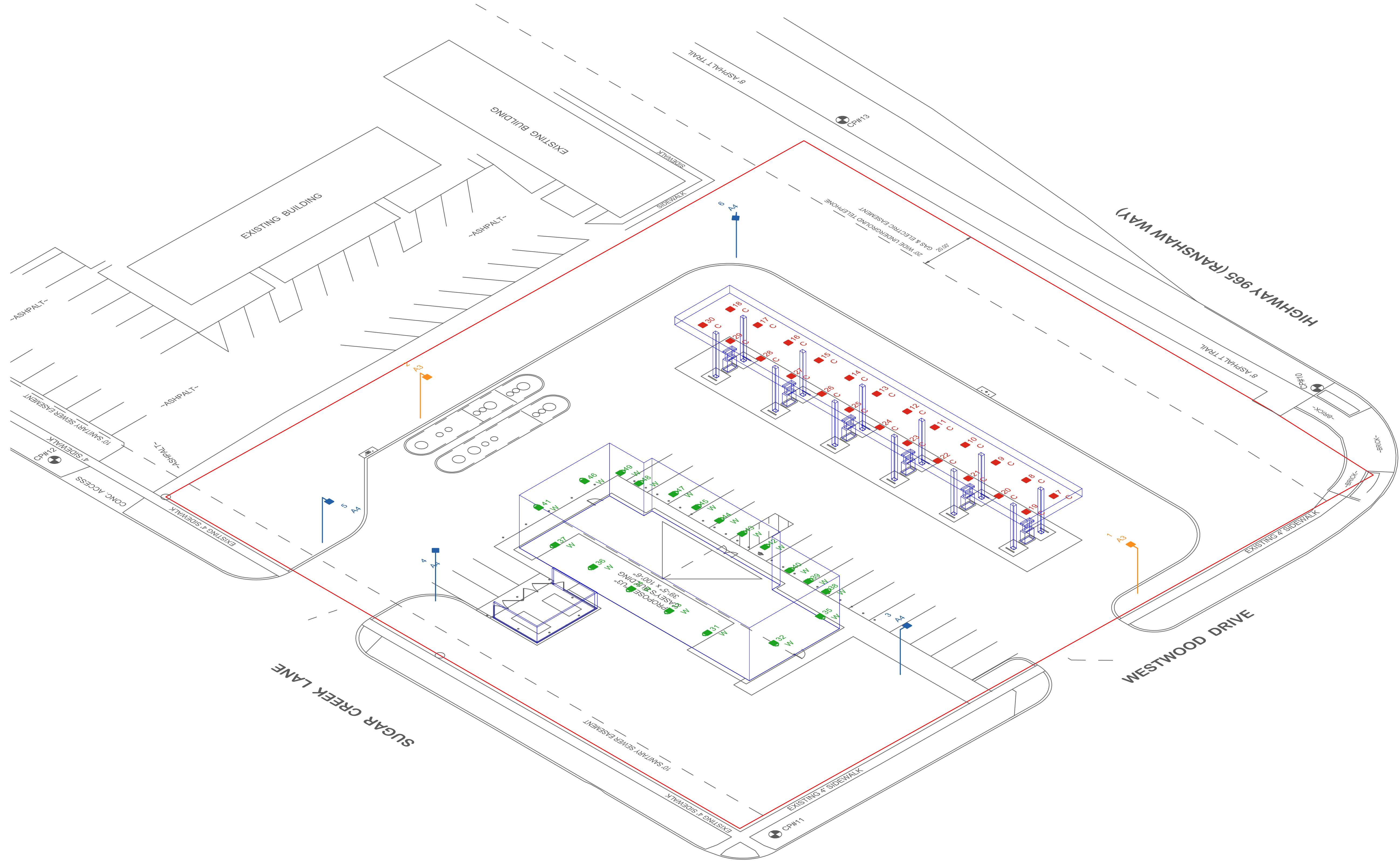
PERSONS USING THIS PROGRAM ARE ADVISED THAT THIS PROGRAM MAY CONTAIN ERRORS WHICH RED LEONARD ASSOCIATES, INC. OR ITS SOFTWARE PROVIDER HAVE NOT OBSERVED. IN ADDITION, THE USE OF THIS PROGRAM TO ADJUST LAYOUT OF LIGHTING AND ESTIMATING MATERIAL QUANTITIES IS NOT INTENDED TO REMOVE THE RESPONSIBILITY OF THE USER TO VERIFY THE COMPLETENESS OF ANY BILL OF MATERIALS AND FULL ACCORDANCE WITH ALL LOCAL, STATE, OR FEDERAL STATUTES, REGULATIONS OR OTHER REQUIREMENTS OR THE REQUIREMENTS OF ANY INSURANCE GROUP, ORGANIZATION OR CARRIER REGARDING LUMINAIRES AND THEIR APPLICATION.

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT, SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS. PRODUCT SPECIFICATIONS AND QUANTITIES MAY VARY. THESE DOCUMENTS ARE THE PROPERTY OF RED LEONARD ASSOCIATES, INC. ANY USE OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF JAVIER L. LEONARD OF RED LEONARD ASSOCIATES, INC. IS STRICTLY PROHIBITED.

ILLUMINATION RESULTS SHOWN ON THIS LIGHTING APPLICATION ARE BASED ON PROJECT PARAMETERS PROVIDED BY THE MANUFACTURER LISTED, USED IN CONJUNCTION WITH LUMINAIRE TEST PROCEDURES CONDUCTED UNDER LABORATORY CONDITIONS. ACTUAL PROJECT CONDITIONS DIFFERS FROM THESE PARAMETERS MAY AFFECT FIELD RESULTS. THE CUSTOMER IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY APPLICABLE ELECTRICAL, LIGHTING, OR ENERGY CODE.

SCALE: 1" = 20'
LAYOUT BY: FNE
DWG SIZE: D
DATE: 6/15/2020

PROJECT NAME: CASEY'S NORTH LIBERTY, IA
DRAWING NUMBER: RL-6841-S1-R1





To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **August 28, 2020**
Re **Request of the City of North Liberty for an ordinance amending Section 167.01 of the North Liberty Code of Ordinances, entitled “Definitions” and various sections in Chapter 169 of the North Liberty Code of Ordinances, entitled “Development Regulations”.**

North Liberty City staff offers comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Grant Lientz, City Attorney
Tom Palmer, City Building Official
Kevin Trom, City Engineer
Ryan Rusnak, Planning Director

Proposed Zoning Ordinance amendments:

1. Section 167.01, entitled “Definitions”.
 - Various amendments to clarifying unclear or outdated language and to add diagrams.
2. Section 169.06, entitled “Location of Accessory Building and Uses”.
 - Allow an increase in detached garage size based on lot size;
 - Allow greenhouses and ground mounted solar systems; and
 - General reorganization.
3. Section 169.08, entitled “Supplemental Yard and Height Regulations”.
 - Reorganize previous content into table format;
 - Correct conflicting regulations;
 - Add certain uses, such as personal recreation game courts and sidewalks.
4. Section 169.12, entitled “Design Standards”.
 - Remove ID, RD and R-FB districts from the earth tones requirement.
 - Better define earth tones; and
 - Allow for flexibility in roof color as long as it is compatible with the design on the building.

Public Input:

Staff did receive correspondence from a citizen that wishes for the detached garage size allowances to be larger than what is proposed in the ordinance. The correspondence is included in the background material.

Finding:

1. The Zoning Ordinance amendments would revise and outdated and conflicting language and include user friendly diagrams and tables.

Recommendation:

City staff recommends the Planning Commission accept the one listed finding and forward the following request to the City Council with a recommendation for approval:

Request of the City of North Liberty for an ordinance amending Section 167.01 of the North Liberty Code of Ordinances, entitled "Definitions" and various sections in Chapter 169 of the North Liberty Code of Ordinances, entitled "Development Regulations".

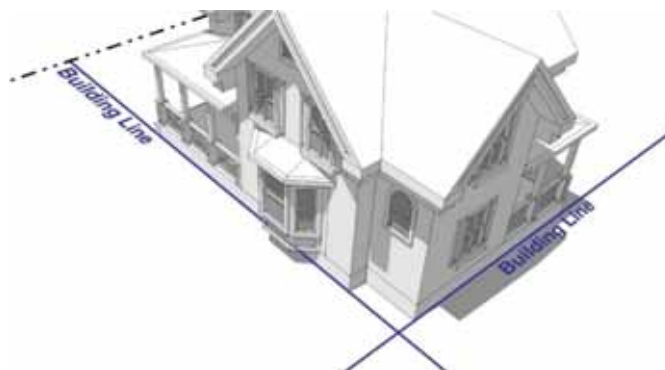
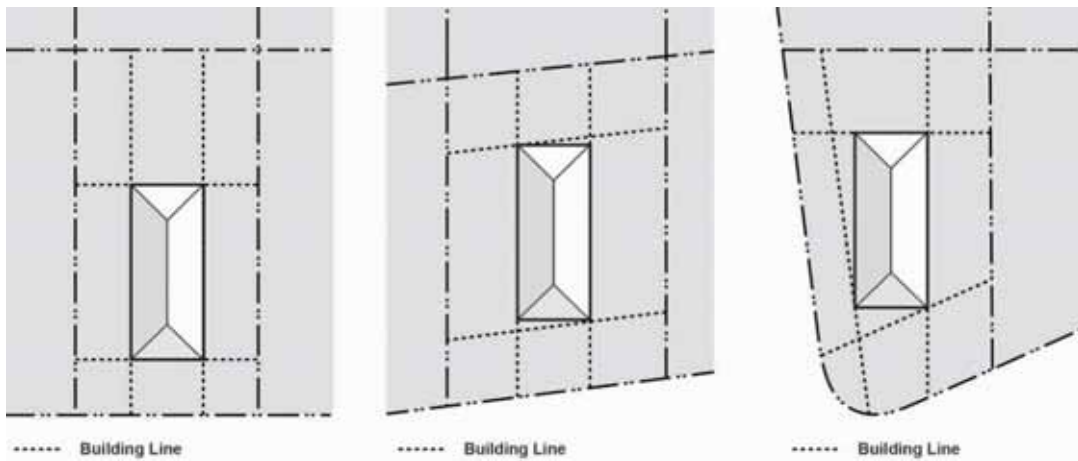
Suggested motion:

I move that the Planning Commission accept the one listed condition and forward the Zoning Ordinance amendments to the City Council with a recommendation for approval.

SECTION 1. AMENDMENT. That Section 167.01 of the Code of Ordinances of North Liberty, Iowa, entitled "Definitions" (existing definitions for "buildable width", "building line", "corner visual clearance", "garage private", "lot, irregular", "lot width", "setback", "yard", "yard, front", "yard line, front", "yard line, rear", "yard line, side", "yard, rear" and "yard, side" only) is hereby amended by renaming the term "buildable width" to "buildable area" and by modifying the associated definition, by modifying the definition "building line" and adding associated diagrams, by modifying the definition "corner visual corner" and adding associated diagrams, by modifying the definition "garage, private", by adding the term "lot area" and associated definition, by deleting the term and definition "lot, irregular", by adding the term "lot line" and associated definition, by modifying the definition "lot width", by modifying the definition "setback", by modifying the definition "yard", by renaming the definition "yard, front" to "yard, required front" and by modifying the associated definition, by deleting the term and definitions "yard line, front", "yard line, rear" and "yard line, side", by renaming the term "yard, rear" to "yard, required rear" and by modifying the associated definition, by renaming the term "yard, side" to "yard, required side", by modifying the associated definition and adding diagrams associated with required yard and yard.

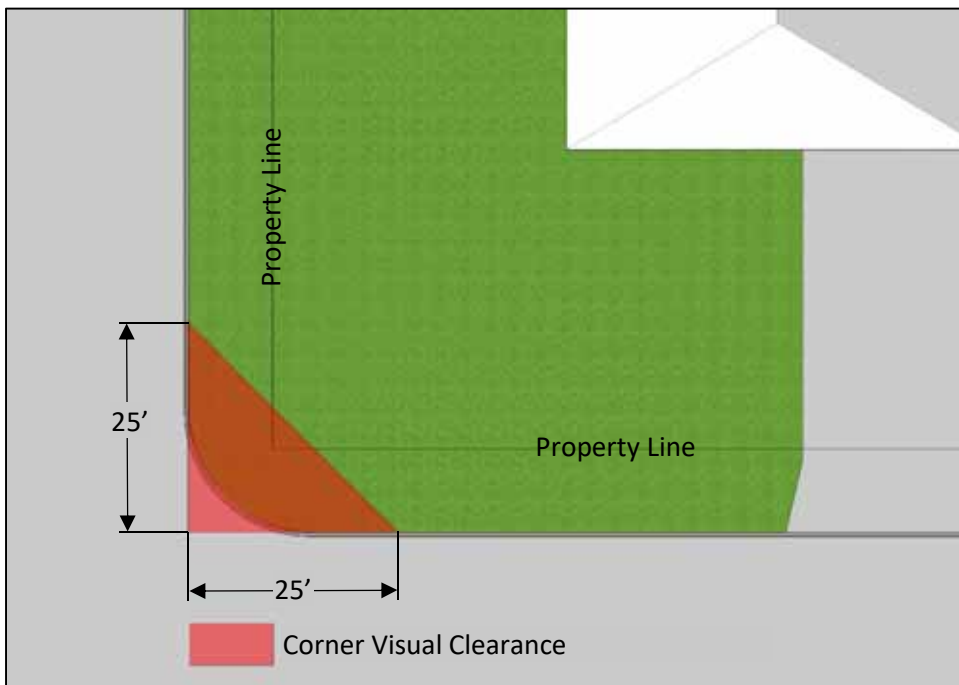
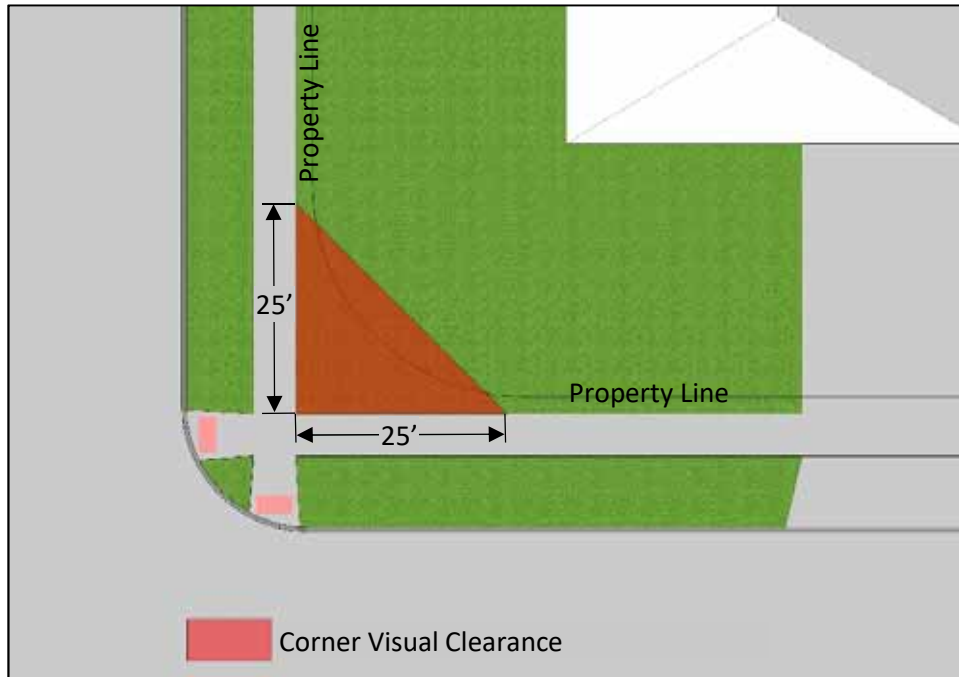
"Buildable ~~width~~ area" means the distance between the required side yard lines portion of a lot, excluding required yards, where a structure or building improvements may be erected.

"Building line" means the perimeter of that portion of a building or structure ~~nearest a property line, but excluding open steps, terraces, cornices, and other ornamental features projecting from the walls of the building or structure~~ measured parallel to the lot line. For the purposes of establishing a building line, the building wall does not include permitted encroachments of architectural features, such as bay windows, eaves, and steps and stoops.



“Corner visual clearance” refers to means the requirement that in all districts nothing shall be erected, placed, planted, or allowed to grow on a corner lot in such a manner as to significantly impede vision between a height of three feet above the centerline-street grades of the area described measured as follows: that triangular-shaped area bounded by the street or road right-of-way line of a sidewalks adjacent to a corner lot or tract and a straight line joining points on said right-of-way lines sidewalks, 25 feet from said corner. Where no sidewalk(s) exist, the area shall be measured along the back of curb or edge of roadway pavement, as applicable.

Corner Visual Clearance



~~“Garage, private” means a building or a portion of a building, not more than 1,000 square feet in area, in which only private or pleasure-type motor vehicles used by the tenants of the building or buildings on the premises are stored or kept~~ structure, either attached or detached, designed and/or used for the parking and storage of vehicles as an accessory structure to a residence.

~~“Lot area” means the total area within the boundaries of a lot, excluding any street right-of-way, usually defined in square footage.~~

~~“Lot, irregular” means a lot whose opposing property lines are generally not parallel, such as a pie-shaped lot on a cul-de-sac, or where the side property lines are not parallel to each other.~~

~~“Lot line” means a line of record that separates one tract from another or from a public or private right of way, as indicated on an approved, filed, and recorded plat or other legal instrument deemed acceptable by the City.~~

~~“Lot width” is the width of a lot at the front yard line horizontal distance between the side lot lines at the required front yard measured along a straight line parallel to the front lot line.~~

~~“Setback” means the minimum required distance between the property lot line and the building line required yard.~~

~~“Yard” means a required area on a lot unoccupied by structures above grade except for projections and the specific minor uses or structures allowed in such area under the provisions of this code. A yard extends from the ground upward the open space area between the building line of a principal building and the adjacent lot lines, exclusive of facade articulation, such as window or wall recesses and projections.~~

~~“Yard, required front” means the area across a lot bounded by the front lot line, the front yard line, and the side lot lines required minimum distance per the zoning district that a principal building must be located from the front lot line.~~

~~“Yard line, front” is a line from one side lot line to another side lot line, parallel to the street, and as far back from the street as required in this code for the front yard. On a corner lot, the front yard line is required along both streets.~~

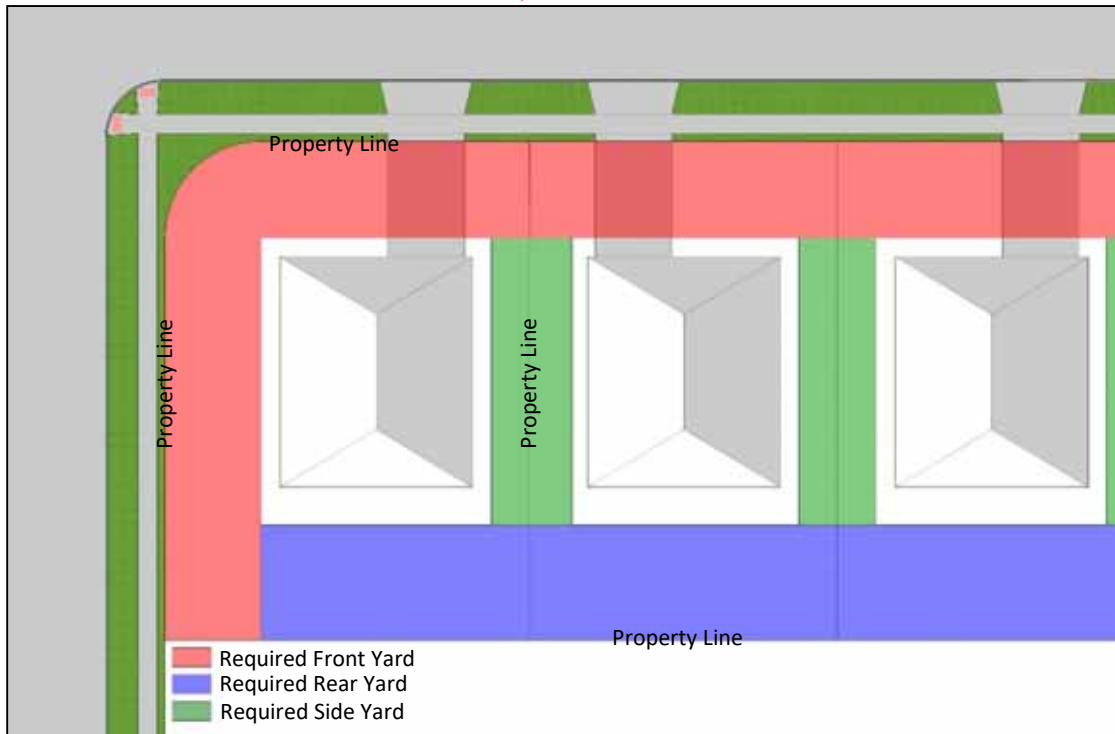
~~“Yard line, rear” means a line parallel to the rear lot line and as far forward from the rear lot line as required by this code.~~

~~“Yard line, side” means a line parallel to the side lot line and as far from the side lot line as required by this code.~~

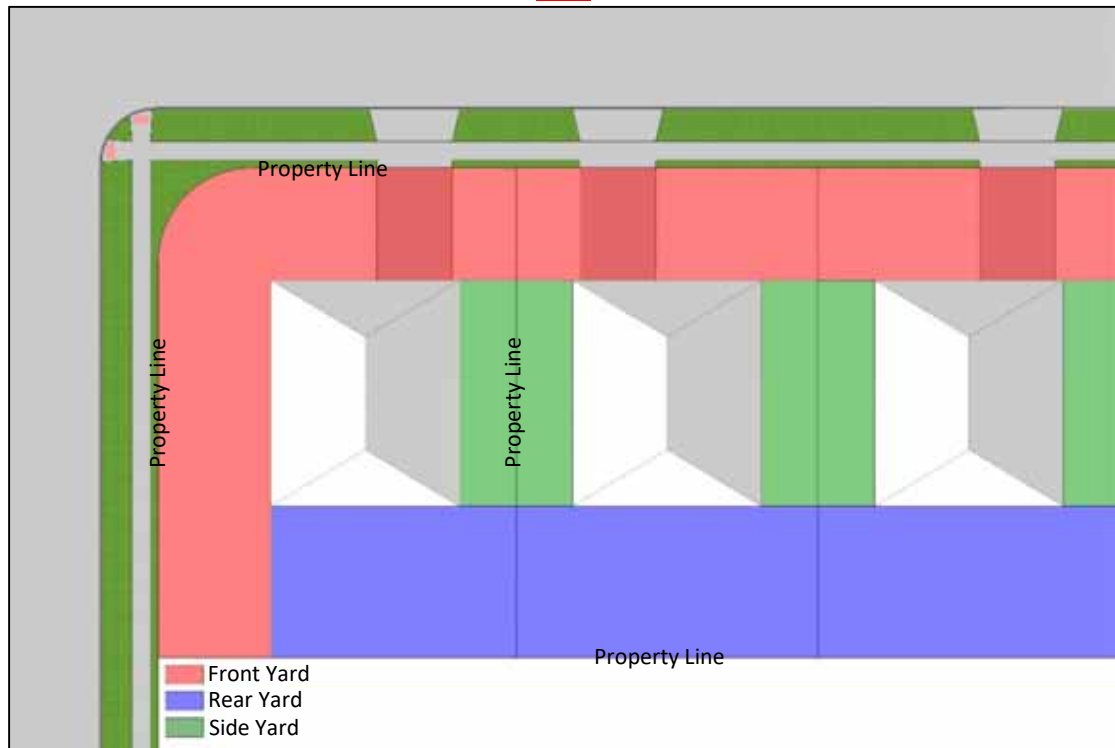
~~“Yard, required rear” means the required area from one side lot line to another side lot line and between the rear yard line and the rear lot line bounded by the rear lot line, the rear yard line, and the side lot lines required minimum distance per the zoning district that a principal building must be located from the rear lot line.~~

~~“Yard, required side” means the required area from the front yard line to the rear yard line and from the side yard line to the side lot line required minimum distance per the zoning district that a principal building must be located from the side lot line.~~

Required Yard



Yard



“Zero lot line development” means single-family dwellings arranged on individual lots as either detached structures with one or more side walls on a side ~~property~~ lot line

SECTION 2. AMENDMENT. That Section 169.06 of the Code of Ordinances of North Liberty, Iowa, entitled "Location of Accessory Buildings and Uses" is hereby amended by removing the minimum separation distance an accessory building must be from the main building, by modifying certain standards for freestanding "private garages", "storage buildings, greenhouses and other similar structures" and "swimming pools", by adding the uses flag poles and freestanding solar systems" and creating certain standards, by reorganizing certain zoning district accessory uses, by deleted the use "Keeping of Small Animals" and associated standards, by deleting the use "Miscellaneous Parking and Storage" and associated standards, by deleting "Accessory Uses in All Other Zones" and associated standards due to the language being relocated, by deleting the use "Guard Dogs in all C, O/RP and I-1 Zone Districts" and associated standards and by renumbering the subsequent subsection to account for the deleted subsections.

169.06 LOCATION OF ACCESSORY BUILDINGS AND USES

Accessory buildings and uses shall occupy the same lot as the main use or building. No lot shall have an accessory building or use without the principal use. No accessory building shall be used as a dwelling unit.

~~1. Separation from Main Building. All accessory buildings shall be separated from the main building by 10 feet.~~

~~1. Yard Encroachment. No accessory building or use shall be located within any yard unless authorized by this Section and/or Section 169.08.~~

2. ~~Freestanding Private Garages. No detached garage shall be located within the front yard area of any lot. An accessory building used as a private garage may be located in any portion of the rear or side yard under~~ In addition to one attached private garage, one freestanding private garage may be permitted subject to the following conditions:

~~A. Maximum one private garage per lot.~~

~~B.A. A maximum square feet gross building area not to exceed 30% of the rear yard area with a maximum size of 850 square feet. On properties exceeding .5 acres but less than .75 acres, the maximum gross building area shall be 1,000 square feet. On properties exceeding .75 acres but less than one acre, the maximum gross building area shall be 1,200 square feet. On properties exceeding one acre, the maximum gross building area shall be 1,400 square feet. Notwithstanding the foregoing, the gross building area shall not exceed the total footprint of the residence.~~

~~C.B. No portion of the structure located in a rear yard area shall be located in any of the following areas~~ May be located within the rear yard subject to the following:

- ~~(1) Less than four feet from an adjoining property line~~ A minimum of five feet from the side and rear property line.
- ~~(2) Less than~~ A minimum of 20 feet from a public or private right-of-way or alley.
- ~~(3) Within any easement~~ Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.

~~D.C. No portion of the structure located in a side yard area shall be located in any of the following areas:~~ May be located within a side yard subject to meeting the required side yard setback for the main building and not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.

- ~~(1) Less than the required side yard setback for the main building.~~
- ~~(2) Within any easement.~~
- ~~(3) Maximum building height of 15 feet.~~

~~D. Maximum building height of 15 feet.~~

3. ~~Storage Buildings and Greenhouses. All accessory buildings used for storage~~ A maximum two storage buildings, greenhouses or structures designed for other similar use, or any combination thereof, may be located ~~in any portion of~~ within the rear yard ~~under~~ subject to the following conditions:
 - A. Maximum 200 square feet gross building size area per building.
 - ~~B. No portion of the structure shall be located in any of the following areas:~~
 - ~~(1) Less than four feet from an adjoining property line.~~
 - ~~(2) Less than 10 feet from a public or private alley.~~
 - ~~(3) Within any easement.~~
 - B. A minimum of five feet from the side and rear property line.
 - C. A minimum of 10 feet from a public or private right-of-way alley.
 - D. Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
 - ~~C.E.~~ Maximum building height of 10 feet.
4. Other accessory uses.
 - A. Swimming pools. No swimming pool shall be located within the front yard area of any lot, or closer than four feet from any adjoining property line. Swimming pools may be located within the rear yard subject to the following conditions:
 - (1) A minimum of five feet from the side and rear property line.
 - (2) A minimum of 10 feet from a public or private right-of-way.
 - (3) Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
 - ~~B. Play and recreational structures. No clubhouse, swing set, gazebo, slide, or similar uses or equipment shall be located within the front yard area of any lot.~~
 - B. Flagpoles. Flagpoles may be permitted in any yard subject to the following conditions:
 - (1) Limited to the maximum of three poles.
 - (2) Limited to a maximum height of the district or 40 feet, whichever is less.
 - (3) A minimum of five feet from any property line.
 - (4) External illumination of flags is permitted but must be focused on the flagpole and flag.
 - C. Freestanding solar systems. Freestanding solar systems may be located in rear yard subject to the following conditions:
 - (1) Must meet the required side and rear yard setback for the main building.
 - (2) Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
 - (3) Maximum system height of 15 feet.
- ~~5. Front Yard Area. No private garage or storage buildings shall be located in a front yard area.~~
- ~~6.5. District Specific Accessory Uses in RS and RD Districts.~~
 - A. Storage In RS and RD districts, the storage of wood, lumber, and other material where the land occupied by such storage is confined to one location in the rear yard area with a maximum area of one hundred square feet, provided that there are at least eight inches of free air space under such storage.
 - ~~B. Keeping of small animals commonly housed in a dwelling, but not for sale purposes. Dog runs constructed solely for the purpose of confining dogs for exercising and feeding may be located in a residential zone, provided that they shall not be located in a front yard or side yard or closer than 10 feet to any lot line.~~

B. In all districts besides RS and RD districts, a conditional use permit is required for any outdoor storage or display. Notwithstanding the foregoing, the outdoor display of merchandise associated with the principal use may be permitted without a conditional use permit as long as the area is 100 square feet or less.

~~7. Miscellaneous Parking and Storage. No person shall park, keep or store, or permit the parking or storage of an inoperable vehicle, vehicle component parts, or miscellaneous junk and debris on any public or private property, in any zoning district, unless it shall be in a completely enclosed building. This regulation does not apply to legitimate businesses operating in a lawful place and manner, in accordance with the zoning regulations, provided however, that any outside areas used for parking and storage shall be screened from public view if required by the regulations of the zoning district within which they are located.~~

~~8. Accessory Uses in All Other Zones. A conditional use permit is required for outdoor storage or display of any kind, except that 100 square feet or less of merchandise associated with the principal use may be displayed outdoors.~~

~~9. Guard Dogs in all C, O/RP and I-1 Zone Districts. Guard dogs may be allowed in all C, O/RP and I-1 Districts and dog runs constructed solely for the purpose of confining said watchdogs for exercising and feeding of the same, may be located in said districts provided that they shall not be located in a front yard, or side yard, nor closer than 10 feet to a lot line.~~

~~10-6.~~ Food Pantry. One accessory building to provide services as a food pantry is allowed as an accessory use only under the following conditions:

- A. Permitted only as an accessory use for ~~places of worship~~ non-profit organizations.
- B. A maximum of one accessory use building is allowed on the lot with the principal use structure in addition to one storage building or garage associated with the principal use structure.
- C. Commercial for-profit uses are expressly disallowed.
- D. Any type of housing, including transient housing, is expressly disallowed.
- E. The accessory use building and underlying land shall remain at all times in the same ownership as the principal use on the lot.
- F. Parking shall be provided in accordance with code requirements.
- G. Maximum accessory use signage: 1 sign, ground or wall, not larger than 8 square feet.
- H. Maximum accessory building height: 1 floor.
- I. Principal structure setback requirements are to be observed for the accessory building described herein.
- J. Maximum size of the accessory building is to be 2,500 square feet, but in no case larger than the square foot total of the principal structure.
- K. Design standards apply to the accessory building as well as the principal building.
- L. A conditional use approval is required.

SECTION 3. AMENDMENT. That Section 169.08 of the Code of Ordinances of North Liberty, Iowa, entitled "Supplemental Yard and Height Regulations" (subsections 8 through 12 only) is hereby amended by replacing subsections 8 through 12 with a new subsection 8, which lists permitted encroachments into required yards and exceeding maximum building height into a table format.

169.08 SUPPLEMENTAL YARD AND HEIGHT REGULATIONS

- ~~8.—Permitted Encroachments in Required Yards. Under the terms of this code a required yard shall be open, unoccupied, and unobstructed from grade to the sky except for permitted encroachments. The following exceptions identify such permitted encroachments and in which yards they are permitted along with limitations imposed thereon:~~
- ~~9.—Front Yard Exceptions. Accessory buildings or uses not listed in this section, including garages, sheds, pools, gazebos, and the like, are not permitted.~~
- ~~A.—Steps or ramps which are necessary to provide access to the first floor of lawful buildings or for access to a lot from a street or alley.~~
- ~~B.—Appurtenances listed as follows shall encroach no more than two feet into the yard, as measured from the building.~~
- ~~(1)—Architectural features such as sills, eaves, cornices, and other ornamental features;~~
- ~~(2)—Gutters and downspouts;~~
- ~~(3)—Awnings and canopies;~~
- ~~(4)—Bay windows;~~
- ~~(5)—Uncovered stoops not exceeding 100 square feet and in no case closer than 10 feet from the front lot line; but only on legacy lots platted prior to the year 2000 where an existing house is too close to the required front yard setback to allow the stoop.~~
- ~~(6)—Any combination of the above listed appurtenances.~~
- ~~C.—Landscaping, vegetation, arbors, trellises, flagpoles, and the like, subject however, to the restrictions imposed in Section 167.04—Corner Visual Clearance Requirements.~~
- ~~10.—Side Yard Exceptions.~~
- ~~A.—Appurtenances listed as follows shall encroach no more than two feet into the yard, as measured from the building.~~
- ~~(1)—Architectural features such as sills, eaves, cornices and other ornamental features;~~
- ~~(2)—Gutters and downspouts;~~
- ~~(3)—Awnings and canopies;~~
- ~~(4)—Bay windows;~~
- ~~(5)—Any combination of the above listed appurtenances.~~
- ~~B.—Uncovered patios which are at least three feet from a side lot line.~~
- ~~C.—Uncovered decks and stoops, but not within the required side yard area.~~
- ~~D.—Steps, provided they do not encroach into the side yard closer to the side lot line a distance of one half the required side yard setback.~~
- ~~E.—Air conditioning equipment, provided it does not encroach into the side yard closer to the side lot line a distance of one half the required side yard setback.~~
- ~~F.—Utility equipment that is directly connected to the structure being served.~~

~~11.—Rear Yard Exceptions.~~

~~A.—Appurtenances listed as follows shall encroach no more than two feet into the yard, as measured from the building.~~

~~(1)—Architectural features such as sills, eaves, cornices and other ornamental features;~~

~~(2)—Gutters and downspouts;~~

~~(3)—Awnings and canopies;~~

~~(4)—Bay windows;~~

~~(5)—Any combination of the above listed appurtenances.~~

~~B.—Uncovered decks, patios, stoops, or pools, including any patio or deck associated with pools, which are at least 10 feet from the rear and side lot lines.~~

~~C.—Air conditioning equipment.~~

~~D.—Utility equipment that is directly connected to the structure being served.~~

~~E.—Private garages or storage buildings, as specified in Section 169.06.~~

~~12.—Exceptions to Height Limitations. In those districts where height limitations are imposed, such height limitations shall not apply to the following appurtenances and structures:~~

~~A.—Church spires and steeples.~~

~~B.—Belfries.~~

~~C.—Monuments.~~

~~D.—Ornamental towers and spires.~~

~~E.—Radio, telephone, and television antennas, aerials, towers, and relays.~~

~~F.—Chimneys.~~

~~G.—Smoke stacks.~~

~~H.—Flagpoles.~~

~~I.—Silos.~~

~~J.—Windmills.~~

~~K.—Emergency sirens and similar devices.~~

~~L.—Elevator and stairway bulkheads.~~

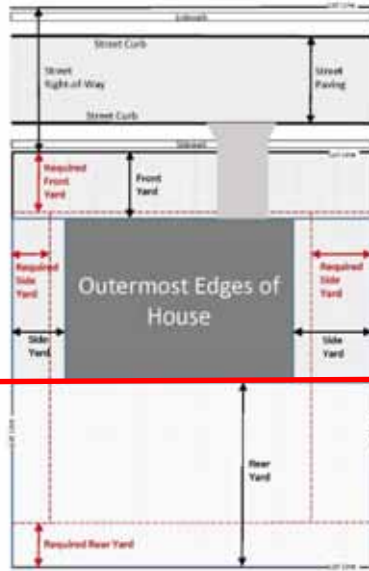
~~M.—Air conditioning equipment.~~

~~N.—Water towers and cooling towers.~~

~~O.—Grain elevators and necessary mechanical appurtenances~~

~~P.—Fire towers.~~

—Yards Exhibit



Notes for internal lots – with lots on both sides:

1. Required yard widths are measured from the lot lines inward toward the interior of the lot. They establish the maximum area for the principle structure.
2. Front and Rear Yards are established across the width of the lot, then side yards extend between the two.
3. The required setbacks apply to the outermost edges of the structure in all directions. This exhibit demonstrates a rectangle created by applying that principle.
4. Homes are almost always built as close to the street as possible, so the Front Yard is very seldom deeper than the Required Front Yard.
5. Side Yards are frequently not much wider than the Required Side Yard.



Notes for corner lots:

1. Required yard widths are measured from the lot lines inward toward the interior of the lot. They establish the maximum area for the principle structure.
2. Front and Rear Yards are established across the width of the lot, then side yards extend between the two.
3. The required setbacks apply to the outermost edges of the structure in all directions. This exhibit demonstrates a rectangle created by applying that principle.
4. Homes are almost always built as close to the street as possible, so the Front Yard is very seldom deeper than the Required Front Yard.
5. Side Yards are frequently not much wider than the Required Side Yard.
6. Corner lots have some special conditions:
 - a. Lawn side sitting on a corner is considered a Front Yard.
 - b. Since there are two front yards on corner lots, either of the two remaining yards may be designated by the builder as the Rear Yard, and the remaining side will be the single Side Yard.
 - c. There is a Corner Visual Clearance area at the corner that may be obscured by fences, plantings, or other improvements, to minimize accidents at the street intersection.
 - d. Chain link fences are restricted in both Front Yards.

8 Permitted Encroachments into Required Yards and Exceeding Maximum Building Height.

A. An encroachment is the extension or placement of an accessory structure or architectural feature into a required yard. Permitted encroachments are indicated in Table 169.08-1: Permitted Encroachments into Required Yards and Exceeding Maximum Building Height.

(1) Section 169.06 contains regulations on accessory buildings and uses not listed in Table 169.09-1, which may include additional permissions or restrictions for their permitted encroachment into yards.

(2) When an accessory structure or architectural feature regulated by Table 169.08-1 is prohibited from encroaching in a required yard, the structure or architectural feature may be located in the corresponding yard beyond the required yard unless specifically prohibited by the table.

(3) Encroachments shall be subject to the Corner Visual Clearance.

B. In districts where a maximum height is imposed, such height limitations shall not apply to certain appurtenances and structures and are indicated in Table 169.08-1: Permitted Encroachments into Required Yards and Exceeding Maximum Building Height.

<u>Table 169.08-1: Permitted Encroachments Into Required Yards and Exceeding Maximum Building Height</u>				
<u>Y= Permitted // N= Prohibited</u>				
<u>Max. = Maximum // Min. = Minimum</u>				
	<u>Required Front Yard</u>	<u>Required Side Yard</u>	<u>Required Rear Yard</u>	<u>Exceed Max. Building Height</u>
<u>Accessibility Ramp</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
<u>Air Conditioner Window Unit</u> <u>Max. projection of 18" from building wall</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
<u>Arbor or Trellis</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
<u>Awning or Sunshade</u> <u>Max. of 2'</u> <u>Does not include awnings used as a sign (See Chapter 173)</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
<u>Bay Window</u> <u>Max. of 2'</u> <u>Min. of 24" above ground</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
<u>Canopy</u> <u>Max. of 2'</u> <u>Does not include canopies used as a sign (See Chapter 17.12)</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
<u>Chimney</u> <u>Max. of 18" into required yard</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>
<u>Elevator and Stairway Bulkheads</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>Y</u>
<u>Emergency sirens and similar devices.</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>Y</u>
<u>Deck (uncovered)</u> <u>Min 5' from side lot line</u> <u>Min 10' from rear lot line</u>	<u>N</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
<u>Dog House</u> <u>Min. of 4' from any lot line.</u>	<u>N</u>	<u>N</u>	<u>Y</u>	<u>N</u>
<u>Eaves, Gutters and Downspouts</u> <u>Max. of 4' into required yard</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
<u>Fire Escape</u> <u>Max. of 3' into required yard</u>	<u>N</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>
<u>Fire Training Tower</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>Y</u>
<u>Gazebo or Pergola</u> <u>Min. of 5' from any lot line.</u>	<u>N</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
<u>Grain Elevator (and necessary mechanical appurtenances)</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>Y</u>
<u>Landscaping</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>

Table 169.08-1. Permitted Encroachments Into Required Yards and Exceeding Maximum Building Height
Y= Permitted // N= Prohibited
Max. = Maximum // Min. = Minimum

	<u>Required Front Yard</u>	<u>Required Side Yard</u>	<u>Required Rear Yard</u>	<u>Exceed Max. Building Height</u>
<u>Patio (uncovered)</u> <u>Min. 5' from any lot line</u>	<u>N</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
<u>Personal Recreation Game Court</u> <u>Min. of 5' from any lot line</u>	<u>N</u>	<u>N</u>	<u>Y</u>	<u>N</u>
<u>Playground Equipment</u> <u>Min. of 4' from any lot line</u>	<u>N</u>	<u>N</u>	<u>Y</u>	<u>N</u>
<u>Sidewalk</u> <u>Min. of 3' from any lot line except front lot line.</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
<u>Sills, Belt course, Cornices, and Ornamental features</u> <u>Max. of 2' into required yard</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
<u>Silos</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>Y</u>
<u>Smokestack</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>Y</u>
<u>Steeple, Spires and Belfries</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>Y</u>
<u>Stoop</u> <u>Max. of 4' into required yard</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
<u>Utility Equipment (Directly Connected to Structure being Served).</u> <u>Max. of ½ into Required Yard</u>	<u>N</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>
<u>Water Towers and Cooling Towers</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>Y</u>

SECTION 4. AMENDMENT. That Section 169.12 of the Code of Ordinances of North Liberty, Iowa, entitled "Design Standards" (Subsection 1.A only) is hereby amended by removing ID, RD and R-FB districts from the earth tones, by defining earth tone colors and listing prohibited colors and materials and by modifying requirements for the roof slope and color.

169.12 DESIGN STANDARDS

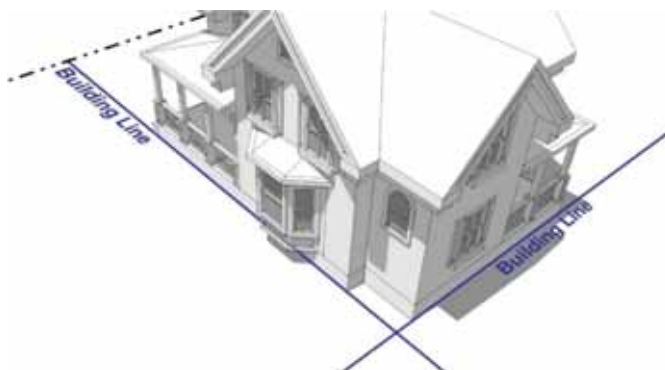
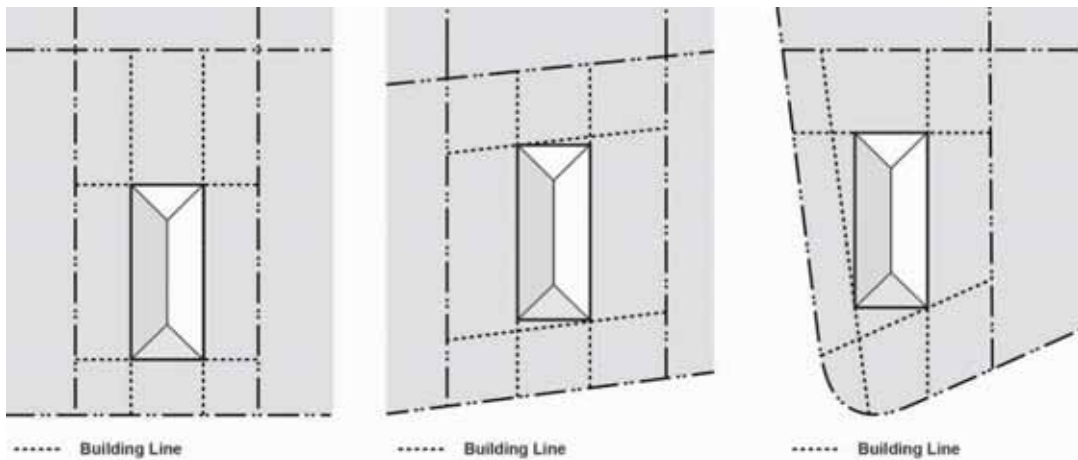
This section is intended to provide consistent high-quality general design standards for the community.

1. Requirements for All Districts. The following requirements shall be observed for all development in all districts:
 - A. Building design shall be visually harmonious and compatible with the neighborhood character.
 - B. Buildings located on property with double frontages shall have similar wall design facing both streets.
 - C. Buildings shall have a consistent architectural style throughout the development on each lot, as defined by repetition of exterior building material and colors, and architectural elements.
 - D. Except for the ~~ID~~, RS ~~RD and R-FB~~ districts, color schemes shall be primarily based on earth tones ~~or other compatible colors~~. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited.
 - E. Special attention shall be taken to incorporate external mechanical equipment into the design such that it does not detract from the aesthetics of the site and building.
 - F. ~~Pitched roofs with a minimum slope 5:12 are preferred~~ Except in the R-FB district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs. This does not apply to portions of a roof that are separate from the structure's primary roof. The color of the roof ~~should be earth-toned~~ shall be visually harmonious and compatible with the building color scheme.

SECTION 1. AMENDMENT. That Section 167.01 of the Code of Ordinances of North Liberty, Iowa, entitled "Definitions" (existing definitions for "buildable width", "building line", "corner visual clearance", "garage private", "lot, irregular", "lot width", "setback", "yard", "yard, front", "yard line, front", "yard line, rear", "yard line, side", "yard, rear" and "yard, side" only) is hereby amended by renaming the term "buildable width" to "buildable area" and by modifying the associated definition, by modifying the definition "building line" and adding associated diagrams, by modifying the definition "corner visual corner" and adding associated diagrams, by modifying the definition "garage, private", by adding the term "lot area" and associated definition, by deleting the term and definition "lot, irregular", by adding the term "lot line" and associated definition, by modifying the definition "lot width", by modifying the definition "setback", by modifying the definition "yard", by renaming the definition "yard, front" to "yard, required front" and by modifying the associated definition, by deleting the term and definitions "yard line, front", "yard line, rear" and "yard line, side", by renaming the term "yard, rear" to "yard, required rear" and by modifying the associated definition, by renaming the term "yard, side" to "yard, required side", by modifying the associated definition and adding diagrams associated with required yard and yard.

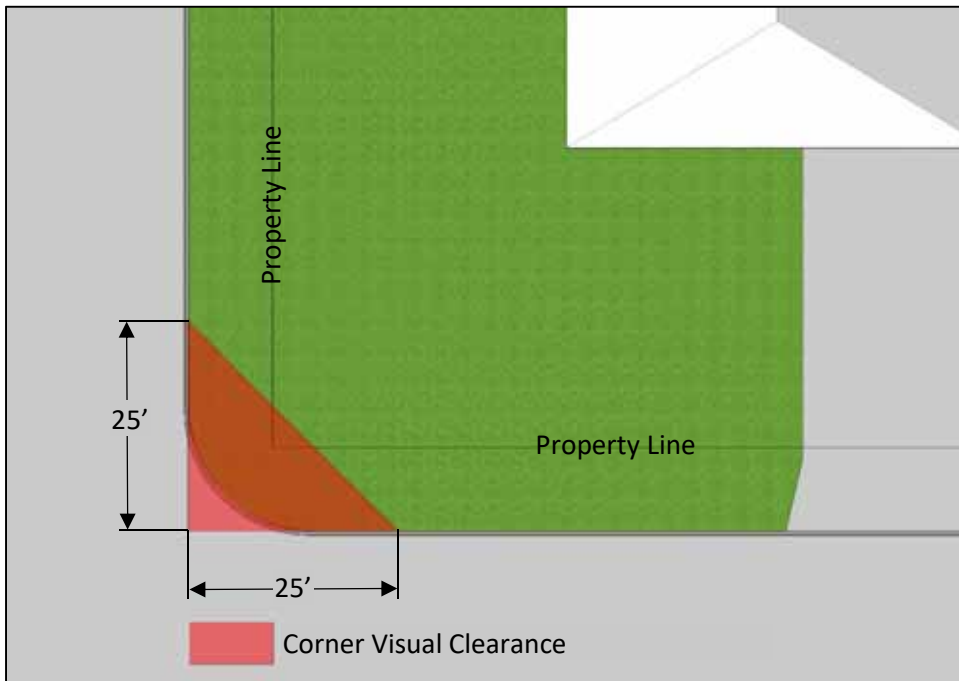
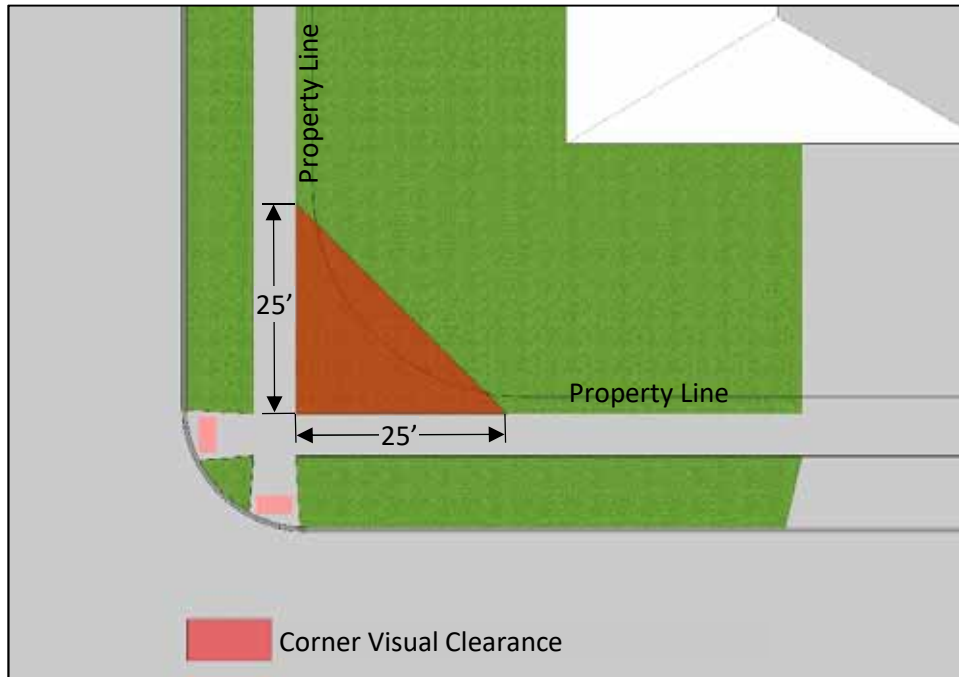
"Buildable area" means the portion of a lot, excluding required yards, where a structure or building improvements may be erected.

"Building line" means the perimeter of that portion of a building or structure measured parallel to the lot line. For the purposes of establishing a building line, the building wall does not include permitted encroachments of architectural features, such as bay windows, eaves, and steps and stoops.



“Corner visual clearance” means the requirement that in all districts nothing shall be erected, placed, planted, or allowed to grow on a corner lot in such a manner as to significantly impede vision between a height of three feet above the grades of the area measured as follows: that triangular-shaped area bounded by sidewalks adjacent to a corner lot and a straight line joining points on said sidewalks, 25 feet from said corner. Where no sidewalk(s) exist, the area shall be measured along the back of curb or edge of roadway pavement, as applicable.

Corner Visual Clearance



“Garage, private” means a structure, either attached or detached, designed and/or used for the parking and storage of vehicles as an accessory structure to a residence.

“Lot area” means the total area within the boundaries of a lot, excluding any street right-of-way, usually defined in square footage.

“Lot line” means a line of record that separates one tract from another or from a public or private right of way, as indicated on an approved, filed, and recorded plat or other legal instrument deemed acceptable by the City.

“Lot width” is the horizontal distance between the side lot lines at the required front yard measured along a straight line parallel to the front lot line.

“Setback” means the minimum required distance between the lot line and the building line required yard.

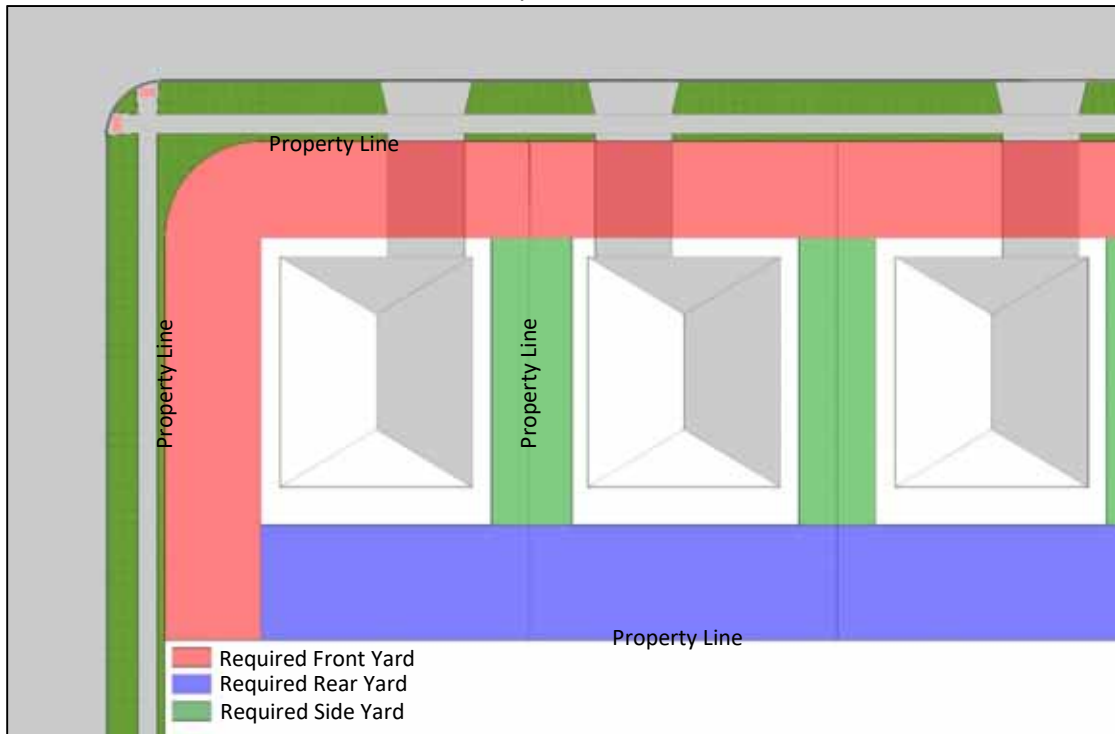
“Yard” means the open space area between the building line of a principal building and the adjacent lot lines, exclusive of facade articulation, such as window or wall recesses and projections.

“Yard, required front” means the required minimum distance per the zoning district that a principal building must be located from the front lot line.

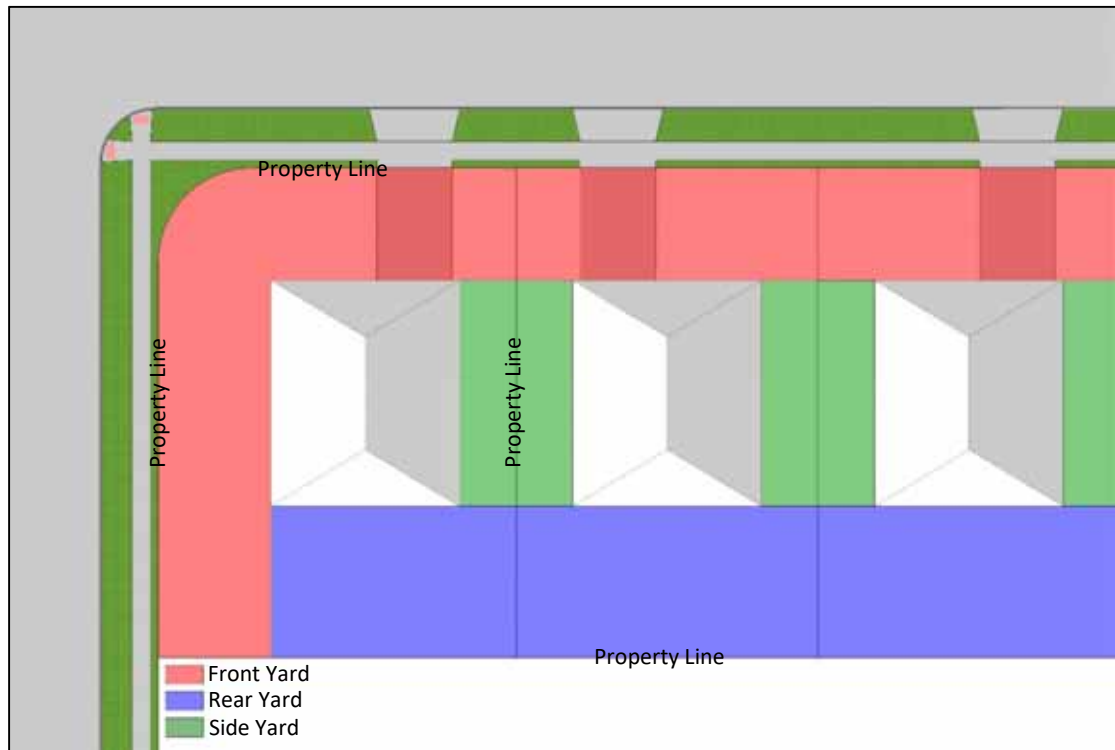
“Yard, required rear” means the required minimum distance per the zoning district that a principal building must be located from the rear lot line.

“Yard, required side” means the required minimum distance per the zoning district that a principal building must be located from the side lot line.

Required Yard



Yard



“Zero lot line development” means single-family dwellings arranged on individual lots as either detached structures with one or more side walls on a side lot line

SECTION 2. AMENDMENT. That Section 169.06 of the Code of Ordinances of North Liberty, Iowa, entitled “Location of Accessory Buildings and Uses” is hereby amended by removing the minimum separation distance an accessory building must be from the main building, by modifying certain standards for freestanding “private garages”, “storage buildings, greenhouses and other similar structures” and “swimming pools”, by adding the uses flag poles and freestanding solar systems” and creating certain standards, by reorganizing certain zoning district accessory uses, by deleted the use “Keeping of Small Animals” and associated standards, by deleting the use “Miscellaneous Parking and Storage” and associated standards, by deleting “Accessory Uses in All Other Zones” and associated standards due to the language being relocated, by deleting the use “Guard Dogs in all C, O/RP and I-1 Zone Districts” and associated standards and by renumbering the subsequent subsection to account for the deleted subsections.

169.06 LOCATION OF ACCESSORY BUILDINGS AND USES

Accessory buildings and uses shall occupy the same lot as the main use or building. No lot shall have an accessory building or use without the principal use. No accessory building shall be used as a dwelling unit.

1. Yard Encroachment. No accessory building or use shall be located within any yard unless authorized by this Section and/or Section 169.08.
2. Freestanding Private Garages. In addition to one attached private garage, one freestanding private garage may be permitted subject to the following conditions:
 - A. A maximum gross building area of 850 square feet. On properties exceeding .5 acres but less than .75 acres, the maximum gross building area shall be 1,000 square feet. On properties exceeding .75 acres but less than one acre, the maximum gross building area shall be 1,200 square feet. On properties exceeding one acre, the maximum gross building area shall be 1,400 square feet. Notwithstanding the foregoing, the gross building area shall not exceed the total footprint of the residence.
 - B. May be located within the rear yard subject to the following:
 - (1) A minimum of five feet from the side and rear property line.
 - (2) A minimum of 20 feet from a public or private right-of-way or alley.
 - (3) Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
 - C. May be located within a side yard subject to meeting the required side yard setback for the main building and not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
 - D. Maximum building height of 15 feet.
3. Storage Buildings and Greenhouses. A maximum two storage buildings, greenhouses or structures designed for other similar use, or any combination thereof, may be located within the rear yard subject to the following conditions:
 - A. Maximum 200 square feet gross building area per building.
 - B. A minimum of five feet from the side and rear property line.
 - C. A minimum of 10 feet from a public or private right-of-way alley.
 - D. Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
 - E. Maximum building height of 10 feet.

4. Other accessory uses.
 - A. Swimming pools. Swimming pools may be located within the rear yard subject to the following conditions:
 - (1) A minimum of five feet from the side and rear property line.
 - (2) A minimum of 10 feet from a public or private right-of-way.
 - (3) Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
 - B. Flagpoles. Flagpoles may be permitted in any yard subject to the following conditions:
 - (1) Limited to the maximum of three poles.
 - (2) Limited to a maximum height of the district or 40 feet, whichever is less.
 - (3) A minimum of five feet from any property line.
 - (4) External illumination of flags is permitted but must be focused on the flagpole and flag.
 - C. Freestanding solar systems. Freestanding solar systems may be located in rear yard subject to the following conditions:
 - (1) Must meet the required side and rear yard setback for the main building.
 - (2) Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
 - (3) Maximum system height of 15 feet.
5. District Specific Accessory Uses.
 - A. In RS and RD districts, the storage of wood, lumber, and other material where the land occupied by such storage is confined to one location in the rear yard area with a maximum area of one hundred square feet, provided that there are at least eight inches of free air space under such storage.
 - B. In all districts besides RS and RD districts, a conditional use permit is required for any outdoor storage or display. Notwithstanding the foregoing, the outdoor display of merchandise associated with the principal use may be permitted without a conditional use permit as long as the area is 100 square feet or less.
6. Food Pantry. One accessory building to provide services as a food pantry is allowed as an accessory use only under the following conditions:
 - A. Permitted only as an accessory use for non-profit organizations.
 - B. A maximum of one accessory use building is allowed on the lot with the principal use structure in addition to one storage building or garage associated with the principal use structure.
 - C. Commercial for-profit uses are expressly disallowed.
 - D. Any type of housing, including transient housing, is expressly disallowed.
 - E. The accessory use building and underlying land shall remain at all times in the same ownership as the principal use on the lot.
 - F. Parking shall be provided in accordance with code requirements.
 - G. Maximum accessory use signage: 1 sign, ground or wall, not larger than 8 square feet.
 - H. Maximum accessory building height: 1 floor.
 - I. Principal structure setback requirements are to be observed for the accessory building described herein.
 - J. Maximum size of the accessory building is to be 2,500 square feet, but in no case larger than the square foot total of the principal structure.
 - K. Design standards apply to the accessory building as well as the principal building.
 - L. A conditional use approval is required.

SECTION 3. AMENDMENT. That Section 169.08 of the Code of Ordinances of North Liberty, Iowa, entitled “Supplemental Yard and Height Regulations” (subsections 8 through 12 only) is hereby amended by replacing subsections 8 through 12 with a new subsection 8, which lists permitted encroachments into required yards and exceeding maximum building height into a table format.

169.08 SUPPLEMENTAL YARD AND HEIGHT REGULATIONS

- 8 Permitted Encroachments into Required Yards and Exceeding Maximum Building Height.
 - A. An encroachment is the extension or placement of an accessory structure or architectural feature into a required yard. Permitted encroachments are indicated in Table 169.08-1: Permitted Encroachments into Required Yards and Exceeding Maximum Building Height.
 - (1) Section 169.06 contains regulations on accessory buildings and uses not listed in Table 169.09-1, which may include additional permissions or restrictions for their permitted encroachment into yards.
 - (2) When an accessory structure or architectural feature regulated by Table 169.08-1 is prohibited from encroaching in a required yard, the structure or architectural feature may be located in the corresponding yard beyond the required yard unless specifically prohibited by the table.
 - (3) Encroachments shall be subject to the Corner Visual Clearance.
 - B. In districts where a maximum height is imposed, such height limitations shall not apply to certain appurtenances and structures and are indicated in Table 169.08-1: Permitted Encroachments into Required Yards and Exceeding Maximum Building Height.

Table 169.08-1: Permitted Encroachments Into Required Yards and Exceeding Maximum Building Height				
Y= Permitted // N= Prohibited				
Max. = Maximum // Min. = Minimum				
	Required Front Yard	Required Side Yard	Required Rear Yard	Exceed Max. Building Height
Accessibility Ramp	Y	Y	Y	N
Air Conditioner Window Unit Max. projection of 18” from building wall	Y	Y	Y	N
Arbor or Trellis	Y	Y	Y	N
Awning or Sunshade Max. of 2’ Does not include awnings used as a sign (See Chapter 173)	Y	Y	Y	N
Bay Window Max. of 2’ Min. of 24” above ground	Y	Y	Y	N
Canopy Max. of 2’ Does not include canopies used as a sign (See Chapter 17.12)	Y	Y	Y	N
Chimney Max. of 18” into required yard	Y	Y	Y	Y
Elevator and Stairway Bulkheads	N	N	N	Y
Emergency sirens and similar devices.	N	N	N	Y
Deck (uncovered) Min 5’ from side lot line Min 10’ from rear lot line	N	Y	Y	N
Dog House Min. of 4’ from any lot line.	N	N	Y	N
Eaves, Gutters and Downspouts Max. of 4’ into required yard	Y	Y	Y	N

Table 169.08-1: Permitted Encroachments Into Required Yards and Exceeding Maximum Building Height

Y= Permitted // N= Prohibited

Max. = Maximum // Min. = Minimum

	Required Front Yard	Required Side Yard	Required Rear Yard	Exceed Max. Building Height
Fire Escape Max. of 3' into required yard	N	Y	Y	Y
Fire Training Tower	N	N	N	Y
Gazebo or Pergola Min. of 5' from any lot line.	N	Y	Y	N
Grain Elevator (and necessary mechanical appurtenances)	N	N	N	Y
Landscaping	Y	Y	Y	N
Patio (uncovered) Min. 5' from any lot line	N	Y	Y	N
Personal Recreation Game Court Min. of 5' from any lot line	N	N	Y	N
Playground Equipment Min. of 4' from any lot line	N	N	Y	N
Sidewalk Min. of 3' from any lot line except front lot line.	Y	Y	Y	N
Sills, Belt course, Cornices, and Ornamental features Max. of 2' into required yard	Y	Y	Y	N
Silos	N	N	N	Y
Smokestack	N	N	N	Y
Steeple, Spires and Belfries	N	N	N	Y
Stoop Max. of 4' into required yard	Y	Y	Y	N
Utility Equipment (Directly Connected to Structure being Served). Max. of ½ into Required Yard	N	Y	Y	Y
Water Towers and Cooling Towers	N	N	N	Y

SECTION 4. AMENDMENT. That Section 169.12 of the Code of Ordinances of North Liberty, Iowa, entitled "Design Standards" (Subsection 1.A only) is hereby amended by removing ID, RD and R-FB districts from the earth tones requirement, by defining earth tone colors and listing prohibited colors and materials and by modifying requirements for the roof slope and color.

169.12 DESIGN STANDARDS

This section is intended to provide consistent high-quality general design standards for the community.

1. Requirements for All Districts. The following requirements shall be observed for all development in all districts:
 - A. Building design shall be visually harmonious and compatible with the neighborhood character.
 - B. Buildings located on property with double frontages shall have similar wall design facing both streets.
 - C. Buildings shall have a consistent architectural style throughout the development on each lot, as defined by repetition of exterior building material and colors, and architectural elements.
 - D. Except for the ID, RS RD and R-FB districts, color schemes shall be primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited.
 - E. Special attention shall be taken to incorporate external mechanical equipment into the design such that it does not detract from the aesthetics of the site and building.
 - F. Except in the R-FB district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs. This does not apply to portions of a roof that are separate from the structure's primary roof. The color of the roof shall be visually harmonious and compatible with the building color scheme.

Ryan Rusnak

From: Ryan Rusnak
Sent: Friday, August 28, 2020 8:31 AM
To: 'Colleen Chipman'
Subject: RE: [EXTERNAL] RE: Accessory building code amendment

Will do.

9-1-2020 – 1 time for Planning Commission
9-22-2020 – 1st reading for City Council
10-13-2020 – 2nd reading for City Council
10-27-2020 – 3rd reading for City Council – formal approval



RYAN RUSNAK, AICP
PLANNING DIRECTOR
(319) 626-5747 office

Messages to and from this account are subject to public disclosure unless otherwise provided by law.

From: Colleen Chipman [mailto:iccoleen@southslope.net]
Sent: Thursday, August 27, 2020 11:09 PM
To: Ryan Rusnak <rusrusak@northlibertyiowa.org>
Subject: RE: [EXTERNAL] RE: Accessory building code amendment

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Yes, please share our comments with P and Z.

How long will the process take? Does it require 3 reading by P and Z and then the council?

The reason I am asking is that the north side of the garage sustained some damage during the duracho when a large limb fell on it. We will need to do some repairs anyway and thought we might wait to do the repairs when we apply for a permit to add on to the garage.

Thank you for your help.

Coleen and Art Chipman

From: Ryan Rusnak [mailto:rusrusak@northlibertyiowa.org]
Sent: Thursday, August 27, 2020 12:53 PM
To: Coleen Chipman
Subject: RE: [EXTERNAL] RE: Accessory building code amendment

Arthur and Coleen,

Thank you for your input and the opportunity to adapt the City Code to contemporary needs.

We spoke internally and intend to move forward with the ordinance language as I sent to you. 1,750 square is a spacious 6 car garage and feel that is excessive.

We do feel that this will give you the minimum amount of garage you were seeking in the variance application. You could actually go larger than what you were seeking if you combine your two lots.

Would you like me to provide your comments to the Planning Commission?



RYAN RUSNAK, AICP
PLANNING DIRECTOR
(319) 626-5747 office

Messages to and from this account are subject to public disclosure unless otherwise provided by law.

From: Colleen Chipman [<mailto:iccoleen@southslope.net>]
Sent: Friday, August 21, 2020 7:20 AM
To: Ryan Rusnak <rrusnak@northlibertyiowa.org>
Subject: [EXTERNAL] RE: Accessory building code amendment

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Attn: Ryan

After viewing this proposal it makes much more sense than the previous code. This in fact is what I proposed several years ago when I was on the Board of Adjustment. My personal thought is the increase is very minimal, it is just the size of the portable building allowance. I thought that a 350 to 400 ft increase in building size is better in line with lot size increase. At this time there are several buildings in town larger than this but I am not saying that it is right as it all happened before the codes were put in place. That being said I feel we have to always consider the human factor and the unique circumstances which some residents have which is not always by their choosing.

Our suggestion:

Over .5 acres but less than .75 acres—1350 sf

Over .75 acres but less than 1 acre—1550 sf

Over 1 acre—1750 sf

Thank you very much for reviewing the accessory building code. It shows us that you look at the overall picture and are willing to make adjustments.

Sincerely

Arthur and Coleen Chipman

From: Ryan Rusnak [<mailto:rrusnak@northlibertyiowa.org>]

Sent: Wednesday, August 19, 2020 8:43 AM

To: Coleen Chipman

Subject: Accessory building code amendment

Art and Coleen,

This is a draft of the code amendment I came up with. I'd like to hear your thoughts on this.

Underlined is proposed language, strikethrough is deleted language.

Essentially we are proposing a sliding scale for detached garages.

Over .5 acres but less than .75 acres -1,000 sf

Over .75 acres but less than 1 acre – 1,200 sf

Over 1 acre – 1,400.

169.06 LOCATION OF ACCESSORY BUILDINGS AND USES

Accessory buildings and uses shall occupy the same lot as the main use or building. No lot shall have an accessory building or use without the principal use. No accessory building shall be used as a dwelling unit.

1. Separation from Main Building. All accessory buildings shall be separated from the main building by 10 feet.

2. Yard Encroachment. No accessory building or use shall be located within any yard unless authorized by this Section and/or Section 169.08.

~~2.3. Freestanding Private Garages. No detached garage shall be located within the front yard area of any lot. An accessory building used as a private garage may be located in any portion of the rear or side yard under~~ In addition to one attached private garage, one freestanding private garage may be permitted subject to the following conditions:

~~A. Maximum one private garage per lot.~~

B.A. A maximum square feet gross building area not to exceed 30% of the rear yard area with a maximum size of 850 square feet. On properties exceeding .5 acres but less than .75 acres, the maximum gross building area shall be 1,000 square feet. On properties exceeding .75 acres but less than one acre, the maximum gross building area shall be 1,200 square feet. On properties exceeding one acre, the maximum gross building area shall be 1,400 square feet. Notwithstanding the foregoing, the gross building area shall not exceed the total footprint of the residence.

~~C.B. No portion of the structure located in a rear yard area shall be located in any of the following areas~~ May be located within the rear yard subject to the following:

(1) ~~Less than four feet from an adjoining property line~~ A minimum of four feet from the side and rear property line.

(2) ~~Less than~~ A minimum of 20 feet from a public or private right-of-way or alley.

(3) ~~Within~~ Not within any easement.

~~C.C. No portion of the structure located in a side yard area shall be located in any of the following areas:~~ May be located within a side yard subject to meeting the required side yard setback for the main building and not within any easement.

(1) ~~Less than the required side yard setback for the main building.~~

(2) ~~Within~~ any easement.

(3) ~~Maximum building height of 15 feet.~~

D. Maximum building height of 15 feet.



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Planning Commission

August 4, 2020
Regular Session

NOTICE: Due to the COVID-19 pandemic, public health and safety concerns require City of North Liberty public meetings to be held electronically, so as to limit the spread of the virus.

Roll Call

Chair Rebecca Keogh called the August 4, 2020 Regular Session of the North Liberty Planning Commission to order at 6:30 p.m. Commission members present: Barry A'Hearn, Josey Bathke, Rebecca Keogh, Jessica Marks, Kylie Pentecost and Patrick Staber; absent: Jason Heisler.

Others present: Ryan Rusnak, Tracey Mulcahey, Grant Lientz, Derek Blackman, Matt Peoples, Tyler Doran and other interested parties.

Approval of the Agenda

Staber moved, Pentecost seconded to approve the agenda. The vote was all ayes. Agenda approved.

1475 South Jones Boulevard Rezoning

Staff Presentation

Rusnak opened the public hearing at 6:32 p.m. presenting the request of Tyler and Jennifer Doran for a zoning map amendment on 1.00 acre, more or less, from ID – Interim Development District to RS-4 Single-Unit Residence District on property located at 1475 South Jones Boulevard. Staff recommends approval of this application with two findings in the staff report. The public hearing was closed.

Applicants Presentation

Tyler Doran was present on behalf of the applicant, presented additional information and offered to answer questions.

Public Comments

No comments were received on the application.

Questions and Comments

The Commission had no discussion on the application.

Recommendation to the City Council

Bathke moved, A'Hearn seconded to recommend approval of the application to the City Council with the two findings. The vote was: ayes – Marks, Staber, Keogh, Pentecost, A'Hearn, Bathke; nays – none. Motion carried.

205 W. Penn Street Rezoning

Staff Presentation

Rusnak opened the public hearing at 6:34 p.m. regarding the request of Matt Peoples on behalf of LJP Management, LLC for a zoning map amendment on .5 acres, more or less, from RD-10 – Two Unit Residence District and RS-4 – Single Unit Residence District to RS-O – Single Unit Residential Special Use District on property located at 205 West Penn Street. Staff recommends approval with two findings. The public hearing was closed.

Applicants Presentation

Matt Peoples was present on behalf of the applicant and offered to answer questions.

Public Comments

No public comments were received.

Questions and Comments

The Commission discussed the application including staffing maximum allowed by zoning, parking requirements with an expansion, addition of an additional access point on Dubuque Street, traffic volume impacts, compatibility with neighboring uses and the amount of the house that will be used. The applicant met with the neighbors to explain the plan for the use of the house.

Recommendation to the City Council

Pentecost moved, Marks seconded to recommend approval of the application to the City Council including the two findings. The vote was: ayes – Bathke, Marks, Pentecost, Staber, A’Hearn, Keogh; nays – none. Motion carried.

Approval of Previous Minutes

Staber moved, A’Hearn seconded to approve the minutes from the July 7, 2020 Planning Commission meeting. The vote was all ayes. Minutes approved.

Old Business

No old business was presented.

New Business

No new business was presented.

Adjournment

At 6:46 p.m., Marks moved, Staber seconded to adjourn. The vote was all ayes. Meeting adjourned.

Tracey Mulcahey, City Clerk