



North Liberty Planning Commission
Tuesday, June 1, 2021, 6:30 PM

Due to the COVID-19 pandemic, public health and safety concerns require City of North Liberty public meetings to be held electronically so as to limit the spread of the virus. The public is invited to submit questions and comments in advance of the meeting for consideration submitting them to the City Clerk Tracey Mulcahey via email at tmulcahey@northlibertyiowa.org.

This meeting may be accessed live by the public on the internet at northlibertyiowa.org/live, on Facebook at facebook.com/northliberty or on YouTube at youtube.com/c/northliberty. You can also attend by phone; call 1 (312) 626 6799 with a touch-tone phone and enter the meeting ID 899 9540 4571 and meeting password 3258615. Meetings are rebroadcast on cable and available on-demand on northlibertyiowa.org.

Call to Order

1. Roll Call

2. Approval of the Agenda

3. Preliminary Plat: Request of Red Door Properties I, LLC to approve a Preliminary Plat for a 2 lot subdivision on 2.28 acres, more or less, on property located at the northwest corner of West Penn Street and Penn Court.

- a. Staff Presentation
- b. Applicants Presentation
- c. Public Comments
- d. Questions and Comments
- e. Recommendation to the City Council

4. Site Plan: Request of Red Door Properties I, LLC to approve a Site Plan for a new Scooter's Coffee on approximately .72 acres of property located at the northwest corner of West Penn Street and Penn Court.

- a. Staff Presentation
- b. Applicants Presentation
- c. Public Comments
- d. Questions and Comments
- e. Recommendation to the City Council

5. Site Plan: Request of Hope Presbyterian Church to approve a Site Plan to pave an existing gravel parking lot and add new paved parking on approximately 1.78 acres of property located on the east side of North Front Street approximately 150 feet north of North Dubuque Street.

- a. Staff Presentation
- b. Applicants Presentation
- c. Public Comments
- d. Questions and Comments
- e. Recommendation to the City Council

6. Public Hearing for Ordinance: Request of the City of North Liberty for an Ordinance amending portions of Chapters 167, 168, and 170 of the City of North Liberty Code of Ordinances, defining permitted agricultural and livestock uses, removing confined animal feeding operations as a permitted use, creating regulations for an agricultural experience use, modifying signage and off-street parking requirements in general, and modifying accessory uses for community food pantries.

- a. Staff Presentation
- b. Applicants Presentation
- c. Public Comments
- d. Questions and Comments
- e. Recommendation to the City Council

7. Approval of Previous Minutes

8. Old Business

9. New Business

10. Adjournment



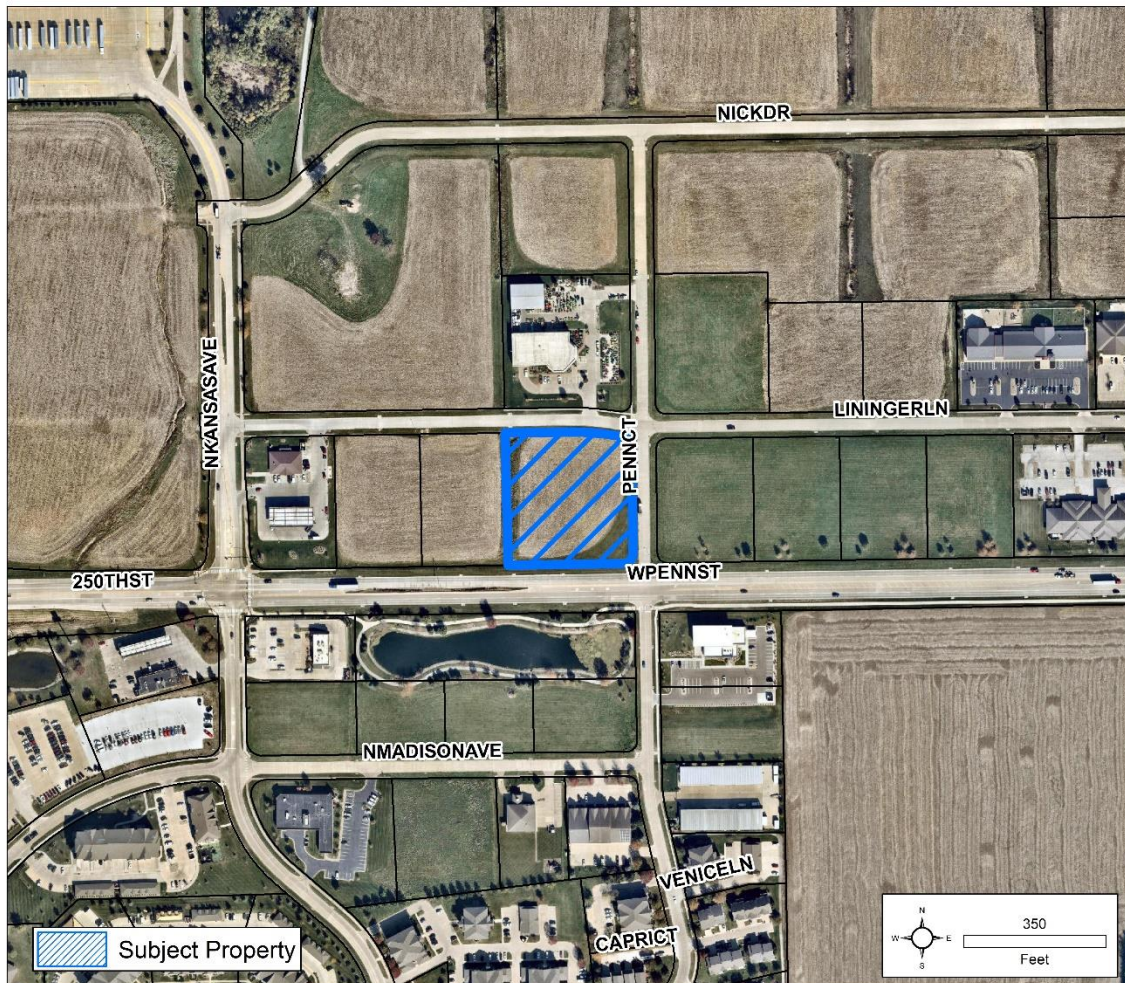
To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **May 28, 2021**
Re **Request of Red Door Properties I, LLC to approve a Preliminary Plat for a 2 lot subdivision on 2.28 acres, more or less, on property located at the northwest corner of West Penn Street and Penn Court.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Grant Lientz, City Attorney
Tom Palmer, City Building Official
Kevin Trom, City Engineer
Ryan Rusnak, Planning Director

Request Summary:

The Preliminary Plat proposes 2 lots and related infrastructure on 2.28 acres.

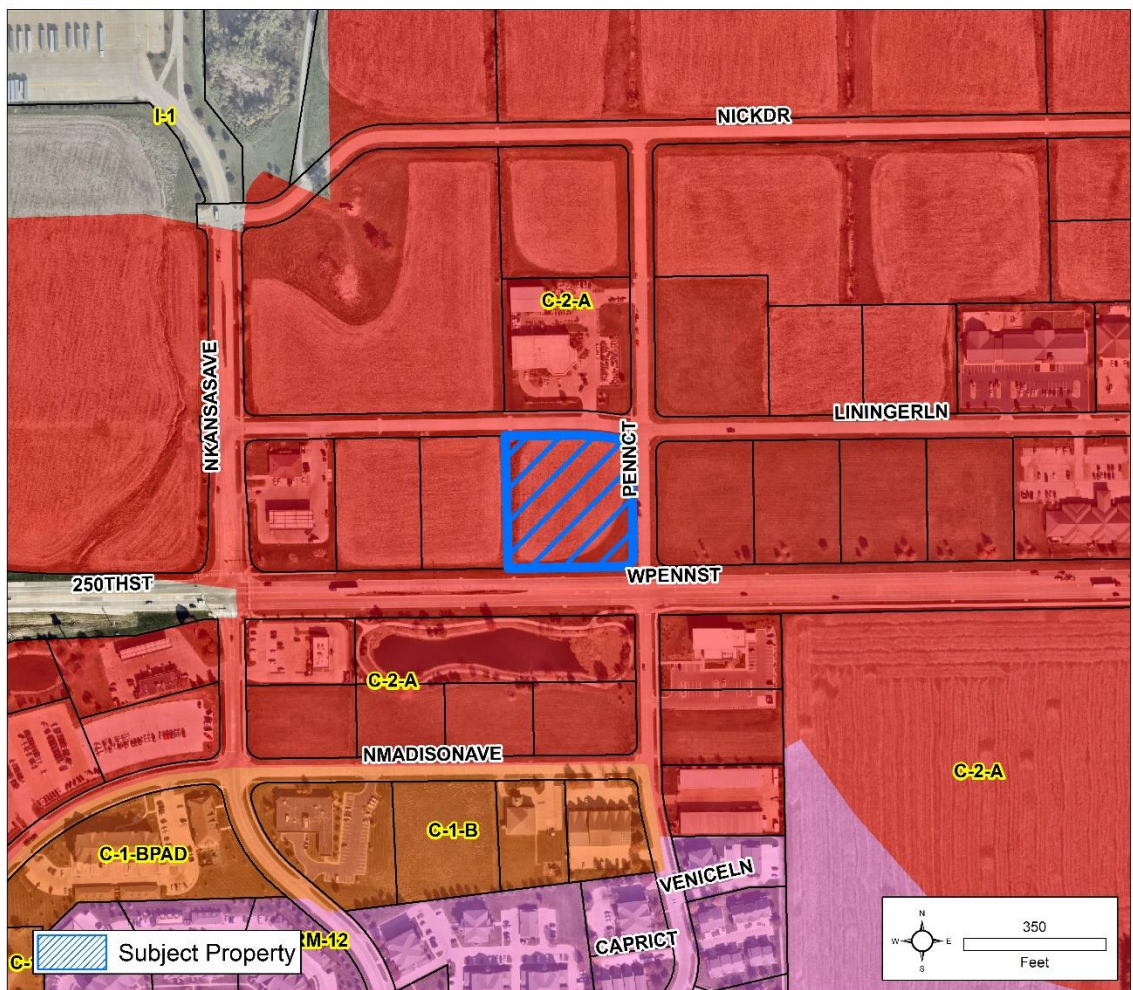


Current Zoning:

The property is currently zoned C-2-A Highway Commercial District.

C-2-A Description:

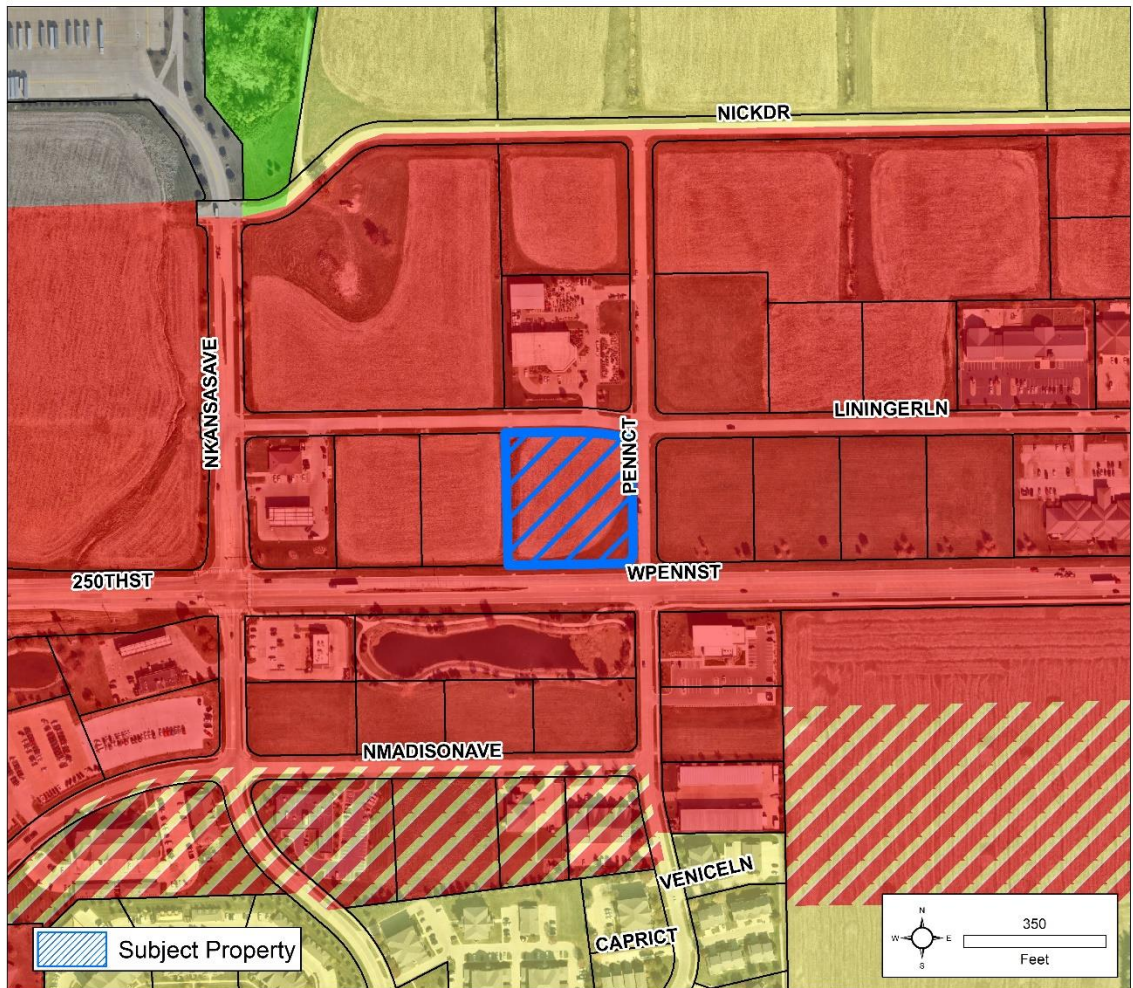
The C-2-A Highway Commercial District is intended to provide for those commercial uses which may take particular advantage of a highway location and/or due to size or other nuisance constraints may be incompatible with the predominantly retail uses permitted in the C-1-A and C-1-B Commercial Districts, and whose service area is not confined to any one neighborhood or community.



Consistency with Comprehensive Plan:

The property is designated Commercial on the Future Land Use Map.

The C-2-A zoning is consistent with the Commercial designation.



Approval Standards:

Section 180.11(3)(A) of the North Liberty Code of Ordinances sets forth the preliminary subdivision plat submittal requirements and review (Ordinance language in *italics* and staff analysis in **bold**).

3. *Preliminary Subdivision Plat Submittal Requirements and Review. The preliminary plat, in general, contains more information than the final plat, so that the subdivider and the City can ensure conformance with codes, master facility plans, and good planning and engineering practices. Though the preliminary plat is not recorded, it is approved by resolution of the City Council, and conditions for approval of the plat shall be addressed on any final plats of the same area.*

A. *Preliminary Plat Contents. The application shall include a preliminary plat of the subdivision drawn to a scale of one inch to one hundred feet minimum, and shall show:*

(1) *A location map to provide spatial reference, showing the outline of the area to be subdivided, existing streets and corporate limits in the vicinity, a north arrow and scale or note stating "not to scale," and other information that might help clarify where the plat is located as well as its surroundings and size relative to other City features;*

This has been provided on the Preliminary Plat.

(2) *Name of proposed subdivision and date;*

This has been provided on the Preliminary Plat.

(3) *Legal description and acreage;*

This has been provided on the Preliminary Plat.

(4) *Name and address of owner;*

This has been provided on the Preliminary Plat.

(5) *Names of the persons preparing the plat, owner's attorney, representative or agent, if any;*

This has been provided on the Preliminary Plat.

(6) *Existing and proposed zoning district classification of all land within the proposed subdivision and within about 200 feet of the subdivision;*

This has been provided on the Preliminary Plat.

(7) *North point and graphic scale;*

This has been provided on the Preliminary Plat.

(8) *Contours at two-foot intervals or less, both existing and as generally proposed (subject to more refinement in subsequent construction plans);*

This has been provided on the Preliminary Plat.

(9) *Building setback lines as required by the current or proposed zoning district classifications;*

This has been provided on the Preliminary Plat.

(10) *The approximate boundaries of areas of known flood levels or floodplains, areas covered by water, wooded areas, floodways, and all open channel drainage ways;*

This is not applicable.

(11) *Locations, names, and dimensions of existing lot lines, streets, public utilities, water mains, sewers, drainpipes, culverts, watercourses, bridges, railroads and buildings within in the proposed subdivision and within about 200 feet of the subdivision;*

This has been provided on the Preliminary Plat.

(12) *Layout of proposed blocks, if used, and lots, including the dimension of each lot, and the lot and block number in numerical order;*

This has been provided on the Preliminary Plat.

(13) *Layout and dimensions of proposed streets, sidewalks, trails, alleys, utility and other easements, parks and other open spaces or reserved areas;*

This has been provided on the Preliminary Plat.

(14) *Grades of proposed streets and alleys;*

This is not applicable.

(15) *A cross-section of the proposed streets showing the roadway locations, the type of curb and gutter, the paving, and sidewalks to be installed;*

This is not applicable.

(16) *The layout of proposed water mains and sanitary sewer systems;*

This has been provided on the Preliminary Plat. Notably, staff is recommending that the proposed fire hydrant be located behind the sidewalks so that adequate area for snow storage may be maintained.

(17) *The drainage of the land, including proposed storm sewers, ditches, culverts, bridges and other structures;*

This has been provided on the Preliminary Plat.

(18) Stormwater management facilities when applicable;

This is not applicable.

(19) A signed certificate of the Johnson County Auditor for the subdivision name;

This information has been provided.

(20) Other special details or features that may be proposed or required.

None required.

Staff Recommendation:

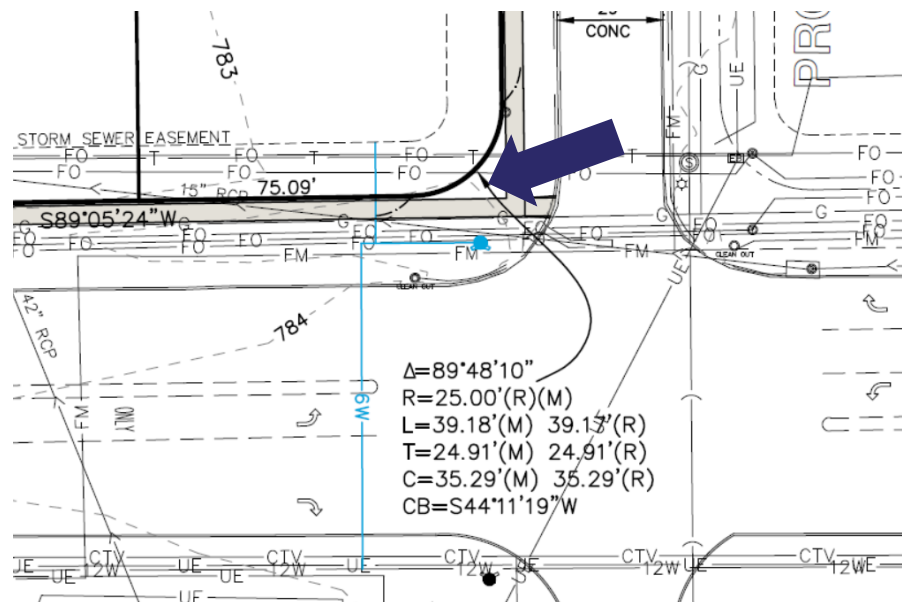
Findings:

1. The preliminary plat, which proposes commercial development, achieves consistency with the Comprehensive Plan Future Land Map designation, which is Commercial.
2. The Preliminary Plat depicts proposed commercial lots consistent with C-2-A Highway Commercial District bulk requirements; and
3. The Preliminary Plat achieves consistency with Section 180.11(3)(A) and 180.12 of the North Liberty Code of Ordinances, which sets forth the preliminary subdivision plat submittal requirements and design standards, respectively.

Recommendation:

Staff recommends the Planning Commission accept the three listed findings and forward the request to approve the Preliminary Plat for 2 lots to the City Council with a recommendation for approval subject to the following condition:

1. That the fire hydrant be located behind the proposed sidewalks in location shown the following diagram:



Suggested motion:

I move that the Planning Commission accept the three listed conditions and forward the Preliminary Plat to the City Council with a recommendation for approval subject to the one condition recommended by staff.

PRELIMINARY PLAT

PROGRESS PARK - PART TWELVE

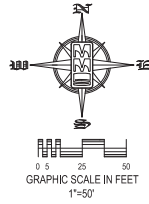
A RESUBDIVISION OF LOT 1 OF PROGRESS PARK - PART SIX NORTH LIBERTY, JOHNSON COUNTY, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IOWA 52240

OWNER:
MAJ PROPERTIES I, LLC
901 N. KANSAS AVENUE
NORTH LIBERTY, IOWA 52317

APPLICANT:
RED DOOR PROPERTIES, LLC
4611 TIMBERLAND COURT NE
SOLON, IOWA 52333

APPLICANT'S ATTORNEY:
TIMOTHY S. GRADY
222 S. LINN STREET
IOWA CITY, IOWA 52240-1601



DESCRIPTION - PROGRESS PARK - PART TWELVE

I CERTIFY THAT DURING THE MONTH OF APRIL, 2021, A SURVEY WAS MADE UNDER MY SUPERVISION OF LOT 1 OF PROGRESS PARK - PART SIX, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 80 NORTH, RANGE 7 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, NORTH LIBERTY, JOHNSON COUNTY, IOWA.

SAID LOT 1 CONTAINS 2.28 ACRES, AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

| LOTS | ZONING | SETBACKS |
|--------------|--------------------------|--|
| LOTS 1 AND 2 | C-2-A HIGHWAY COMMERCIAL | FRONT -25 FEET REAR -20 FEET SIDE -10 FEET |

| MINIMUM YARD REQUIREMENT: | |
|---------------------------|-----------------------|
| FRONTAGE | 35 FEET |
| WIDTH | 35 FEET |
| AREA | NONE |
| MAXIMUM HEIGHT | 35 FEET OR 2½ STORIES |

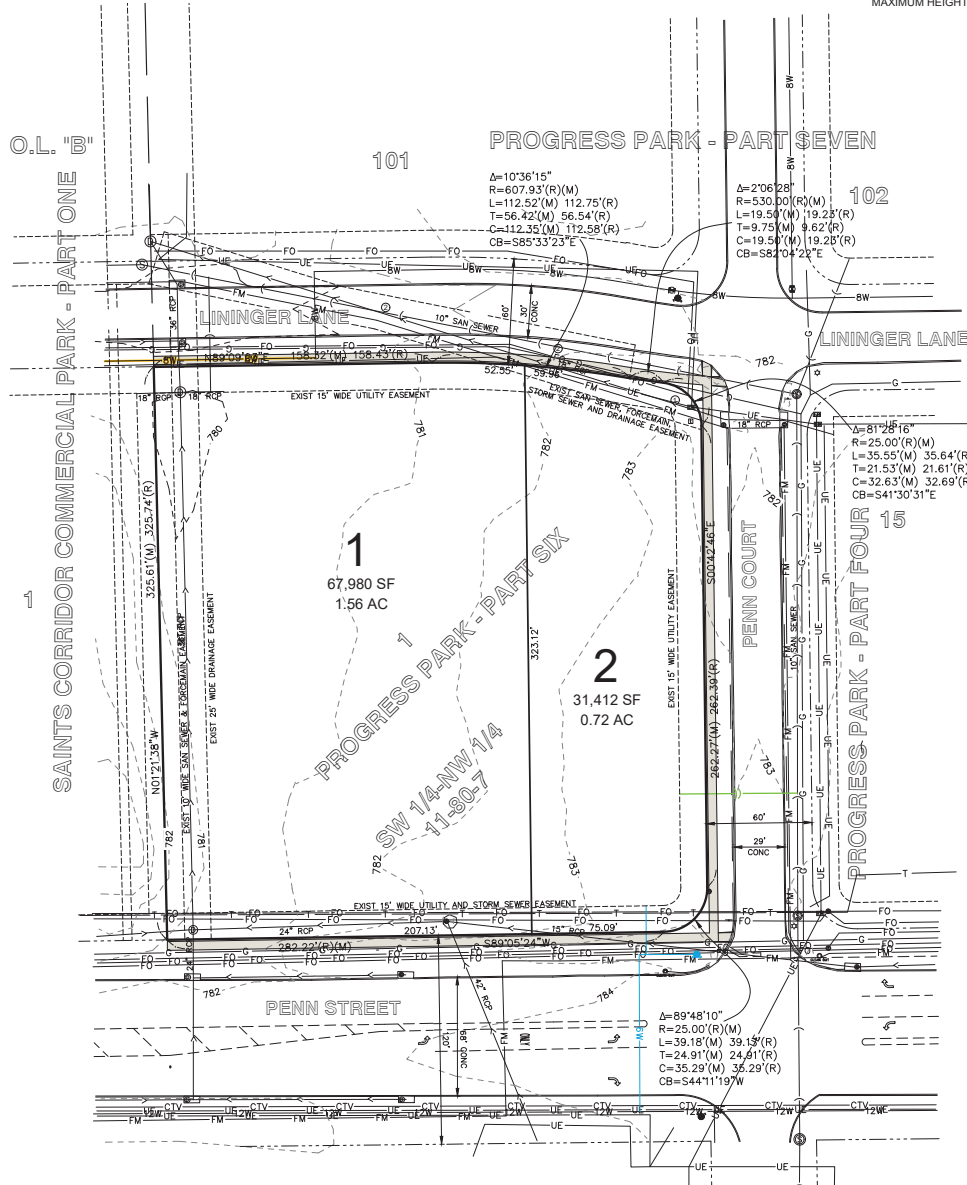
STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

EXIST - PROP

- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



2.28 ACRES



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

| Date | Revision |
|----------|----------------------|
| 05-24-21 | PER CITY REVIEW -JDM |

PRELIMINARY PLAT

PROGRESS PARK - PART TWELVE (A RESUBDIVISION OF PROGRESS PARK - PART SIX)

NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

| | |
|----------------|------------|
| Date: | 05-03-2021 |
| Designed by: | JDM |
| Field Book No: | 1302 |
| Drawn by: | JDM |
| Scale: | 1"=50' |
| Checked by: | JDM |
| Sheet No: | 1 |
| Project No: | 6802-004 |

6802-004 of 1



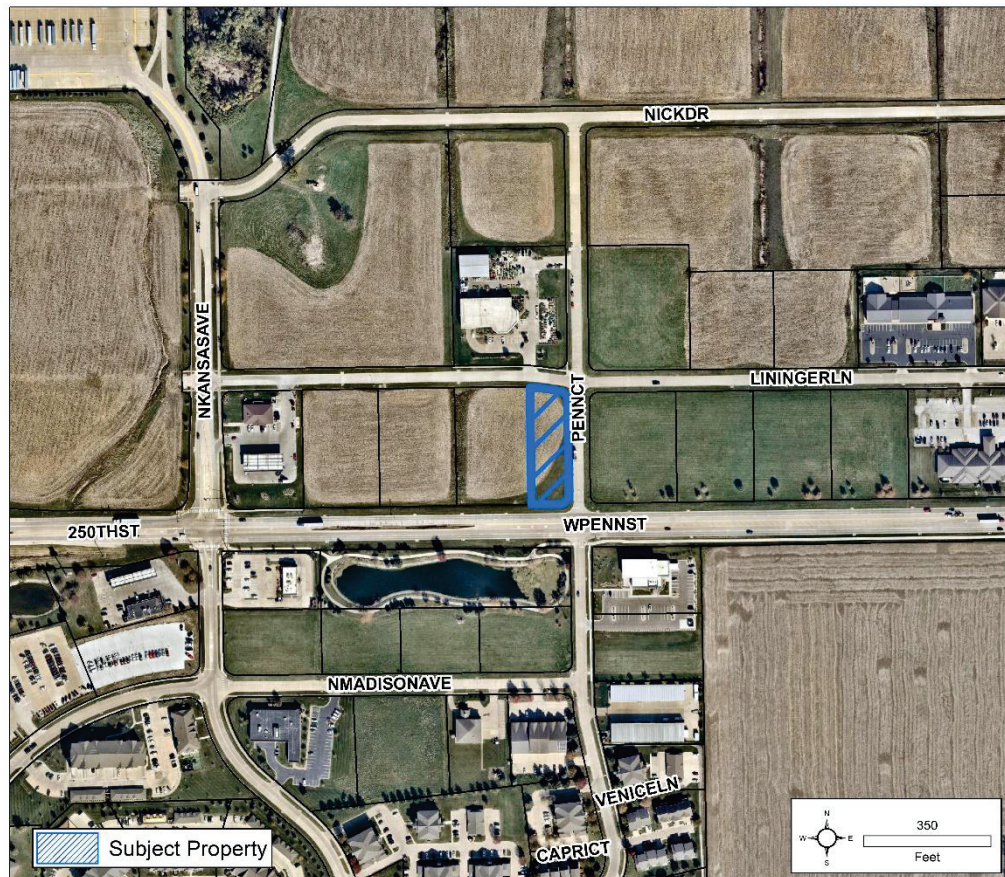
To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **May 28, 2021**
Re **Request of Red Door Properties I, LLC to approve a Site Plan for a new Scooter's Coffee on approximately .72 acres of property located at the northwest corner of West Penn Street and Penn Court.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Grant Lientz, City Attorney
Tom Palmer, City Building Official
Kevin Trom, City Engineer
Ryan Rusnak, Planning Director

Request Summary:

The site plan proposes a new 627 square foot drive through coffee business and related infrastructure.

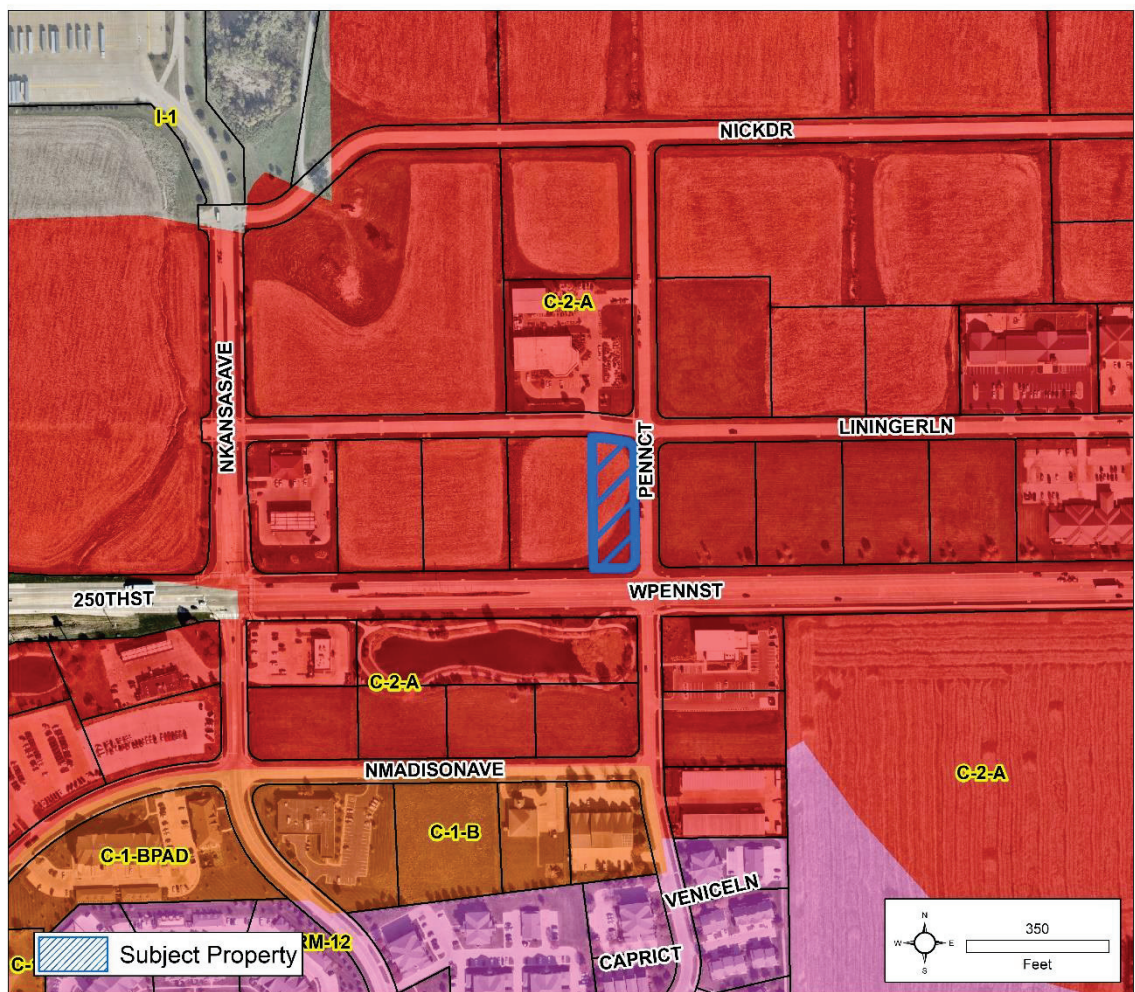


Existing Zoning:

The property is currently zoned C-2-A Highway Commercial District.

C-2-A Description:

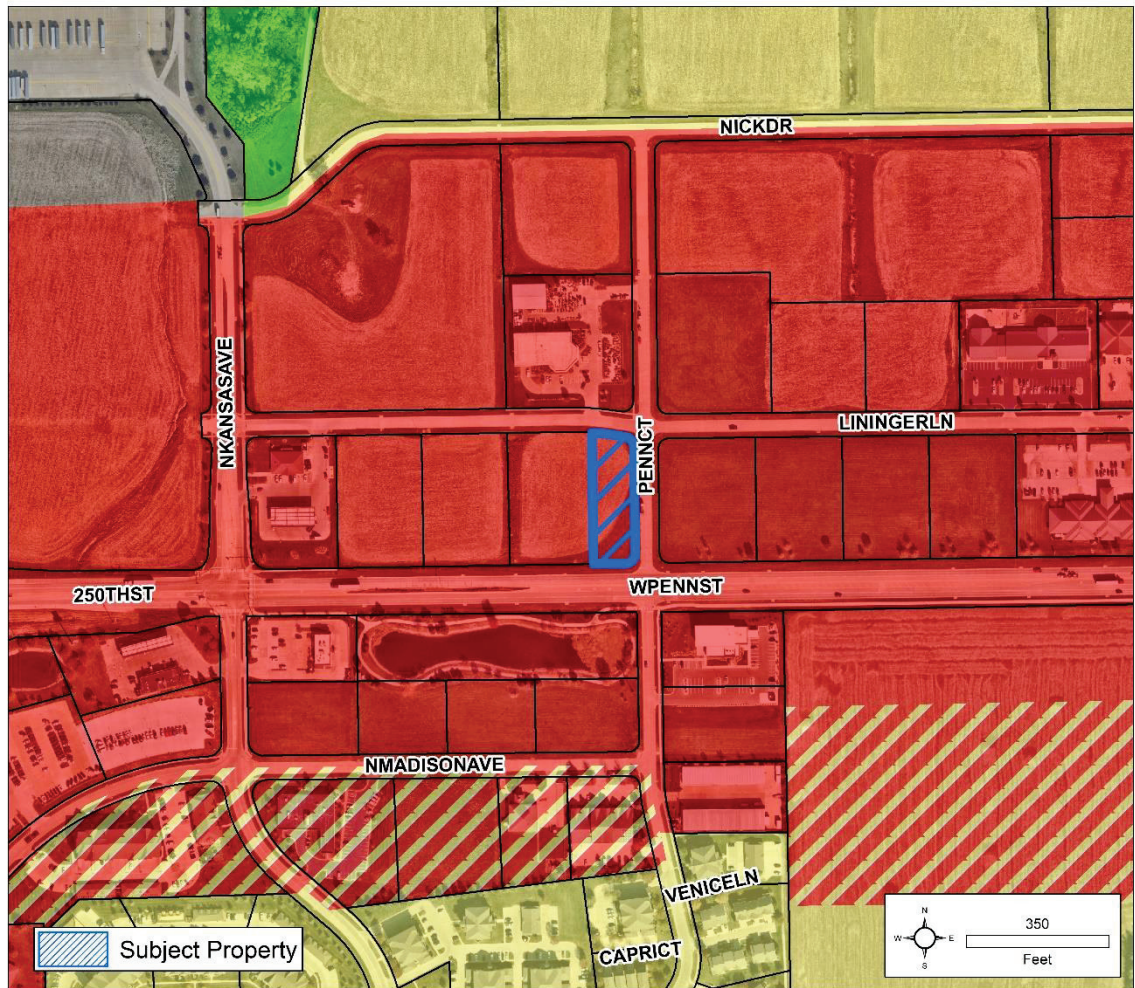
The C-2-A Highway Commercial District is intended to provide for those commercial uses which may take particular advantage of a highway location and/or due to size or other nuisance constraints may be incompatible with the predominantly retail uses permitted in the C-1-A and C-1-B Commercial Districts, and whose service area is not confined to any one neighborhood or community.



Consistency with Comprehensive Plan:

The property is designated Commercial on the Future Land Use Map.

The C-2-A zoning is consistent with the Commercial designation.



Approval Standards:

Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

2. *Site Plan Requirements. Site plans, which are required for review and approval for any use in any district or elsewhere by this code, shall comply with and illustrate the following:*

- D. *All site plans shall clearly illustrate the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, relationship to flood overlay zones, and such other information as necessary to show compliance with the requirements of this code. A preliminary site plan may be submitted for preliminary land use approval; however, the final site plan required by this code shall be submitted, reviewed, and approved prior to the issuance of building or construction permits.*

It is staff's opinion that the site plan illustrates the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, and such other information as necessary to show compliance with the requirements of this code.

- E. *The site plan shall include the following legal information:*
- (1) *Legal property owner's name and description of property.*
 - (2) *Applicant's name, requested land use, and zoning.*
 - (3) *If the applicant is other than the legal owner, the applicant's interest shall be indicated and the legal owner's authority to appeal shall be certified.*

This information has been provided on sheet 1.

- F. *The site plan shall clearly illustrate in color perspective and enumerate the following information:*

- (1) *Property boundary lines, dimensions, and total area.*

This information has been provided on sheet 1.

- (2) *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the final site plan.*

This information has been provided on sheet 4.

- (3) *The availability and location of existing utilities.*

This information has been provided on sheet 5.

(4) *The proposed location, size, shape, color, and material type of all buildings or structures.*

This information has been provided on sheet 1 and the architectural renderings. The 627 square foot building would contain masonry and hardie panels.

(5) *The total square feet of building floor area, both individually and collectively.*

This information has been provided on sheet 1. The building would 627 square feet in area.

(6) *The number of dwelling units, bedrooms, offices, etc., as required to determine special compliance.*

This information has been provided on sheet 1. The building would 627 square feet in area.

(7) *The proposed location of identification signs. An identification sign is defined as a sign displaying the name, address, insignia or trademark, and occupant of a building or the name of any building on the premises. Installation shall be in accordance with the Chapter 173 of this code.*

This information has been provided on sheets 1, the sign plan and architectural renderings.

(8) *A vicinity sketch showing detailed adjacent land uses within 500 feet of the property and general existing land uses within 1,000 feet of the property.*

This information has been provided on sheets 1-6.

(9) *Existing buildings, right-of-way, street improvements, utilities (overhead or underground), easements, drainage courses, vegetation and large trees, etc.*

This information has been provided on sheet 5.

(10) *Parking areas, number of parking spaces proposed, number of parking spaces required by this code, type of surfacing to be used, etc.*

This information has been provided on sheet 1.

(11) *Walkways, driveways, outside lighting, walls, fences, signs, monuments, statues and other manmade features to be used in the landscape.*

Walkways and driveways are shown on sheet 1. There is a dedicated pedestrian walkway to the Penn Court sidewalk. A lighting plan has been included with the site plan. No walls, fences, monuments or statues are proposed.

(12) Location and type of all plants, grass, trees, or ground cover to be used in the landscape. Landscaping shall be illustrated in elevation and color perspective with the size and exact names of plants, shrubs, or trees to be planted clearly indicated.

This information has been provided on sheet 6.

(13) Walls, fences or other artificial screens to be used as buffers shall be shown in elevation and color perspective with proposed height and structural material to be used indicated. See Section 169.02 for the guidelines concerning landscaping.

Walls, fences or other artificial screens are not proposed.

(14) Traffic considerations, architectural themes, pedestrian movement, etc., and all other considerations pertinent to the proposed use may be requested for illustration or statistical purposes.

The driveway entrance would be on Penn Court. There is a dedicated pedestrian walkways to the Penn Court sidewalk.

(15) The methods of compliance with all applicable flood plain development standards and flood (overlay) districts as contained in this code.

The subject property is not located within a flood hazard area.

Additional Considerations:

North Liberty Code of Ordinances Section 169.12 entitled, "Design Standards" and Section 169.13 entitled, "Other Design Standards" sets forth certain design standards (applicable Ordinance language in italics and staff analysis in bold).

Section 169.12

1. Requirements for All Districts. The following requirements shall be observed for all development in all districts:

A. Building design shall be visually harmonious and compatible with the neighborhood character.

It is staff's opinion that the building design would be visually harmonious and compatible with the area. The building would contain masonry, hardie panels and awnings on the south, east and west elevations. The building would have all masonry on the north elevation.

B. Buildings located on property with double frontages shall have similar wall design facing both streets.

It is staff's opinion that the building has similar wall design on frontages facing a street.

- C. *Buildings shall have a consistent architectural style throughout the development on each lot, as defined by repetition of exterior building material and colors, and architectural elements.*

This is a single-use site. There is a consistent architectural style throughout the development.

- D. *Except for the ID, RS RD and R-FB districts, color schemes shall be primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited.*

The building would contain masonry and hardie panels, which are earth tones.

- E. *Special attention shall be taken to incorporate external mechanical equipment into the design such that it does not detract from the aesthetics of the site and building.*

At most, an exterior cooling condenser would be located outside of the building. This will need to be screened by the landscaping.

- F. *Except in the R-FB district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs. This does not apply to portions of a roof that are separate from the structure's primary roof. The color of the roof shall be visually harmonious and compatible with the building color scheme.*

The building would have a flat roof with a parapet.

- G. *Roof top equipment shall be screened.*

No rooftop equipment is proposed.

- H. *Reflective surfaces that may cause glare or traffic hazards are not acceptable.*

Reflective surfaces are not proposed.

4. *Requirements for Development in Office and Commercial Zoning Districts.*

- A. *Commercial zoning districts are intended to enhance public welfare by providing for safe, convenient, high quality pedestrian-oriented commercial centers that contribute to community identity as energetic and attractive focus points. Through development and redevelopment within these districts, the city recognizes the importance of creating high quality development areas to the quality of life for residents of the city, the impact quality development has on the image of the community, and the need to provide restrictions and guidelines to enhance visual appearance and functionality. The objectives addressed through these regulations include the following:*

- (1) *Design. To achieve appealing aesthetic design through high quality architecture and construction, with attention to placement, relationship, and orientation of structures and amenities to provide both internal cohesiveness and compatibility with surrounding uses.*

The building would contain masonry with hardie panels. It is staff's opinion that the proposed design achieves consistency with this design standard.

- (2) *Walkability. To achieve overall development patterns that encourage walking and reduce dependence on the automobile to travel from one business to another, and so reduces the dominance of the automobile within the development.*

There is a dedicated pedestrian walkway to the Penn Court sidewalk. This leads to an outdoor seating area.

- (3) *Human-scale Activity. To achieve a sense of place by emphasizing pedestrian interaction with commercial uses rather than sprawling automobile-dominated designs, both in building architecture and public or private outdoor areas.*

It is staff's opinion that the proposed design achieves consistency with this design standard.

- (4) *Compatible Uses. To achieve the right blend of uses, compact and well-designed, that complement each other and provide cohesive overall developments.*

This is a single-use site.

- B. *In addition to requirements of subsection 1 of this section, the following requirements shall be observed for development in the office and commercial zoning districts:*

- (1) *Site Layout Requirements.*

- (a) *Pedestrian Areas. Each development shall provide a complete network of paths, plazas, and open spaces that interconnect building entrances, parking, sidewalks, other properties, and other pedestrian amenities. These pedestrian areas are expected to constitute a significant portion of development area, and may include plazas, special paving areas between parking and entrances, and outdoor eating patios. Additionally, portions of pedestrian areas should be at least partly covered so that users are protected from rain and intense sun. New developments will be required to connect to paths and sidewalks established by previously-approved developments.*

This is a single-use site. However, there is a dedicated pedestrian walkway to the Penn Court sidewalk. This leads to an outdoor seating area.

- (b) *Outdoor Infrastructure Design.* Each development shall provide outdoor lighting fixtures, integrated street pavers or patterns, and landscaping that reinforces quality building design and blends with previously-approved developments, when appropriate. Design elements may include decorative lighting, seating with benches, low walls, planters, enhanced paving techniques, and other features complimentary to the development.

It is staff's opinion that the proposed design achieves consistency with this design standard.

- (c) *Parking Areas.* Parking areas shall consist of areas that are aesthetically pleasing, landscaped to screen public views, and located so as not to be the dominant feature along any street or within any development. The use of alternate materials to designate pedestrian areas within or adjacent to parking lots is encouraged, and pedestrian areas shall be separated from vehicular traffic with landscaping, decorative posts, special paving, or other measures to clearly define the pedestrian spaces. Property owners are encouraged to establish shared parking zones among uses on one or more lots.

It is staff's opinion that the proposed design achieves consistency with this design standard.

(2) *Building Materials and Design Requirements.*

- (a) *Materials.* Exterior vertical building elevations in all commercial districts except for the C-3 district shall be composed of at least 60% brick or other masonry products. Exterior vertical building elevations in the C-3 district shall be composed of at least 90% brick or other masonry products. Exterior walls not composed of masonry products shall not be covered with ribbed metal siding commonly referred to as corrugated metal. The required masonry area shall be based on a net wall surface, defined as the total area between ground level and the soffit or roof line, from farthest outside wall left to farthest outside wall right, with window and door areas subtracted out.

The building would contain masonry, hardie panels and awnings on the south, east and west elevations. The building would have all masonry on the north elevation.

(b) *Design. Buildings and building features shall be sized and detailed appropriately for pedestrian use. Projected or recessed doorways and windows, awnings, and other architectural features may be used to achieve this design. Traditional strip-retail type frontages featuring long flat frontages with regularly spaced doors and unbroken expanses of concrete approaching the storefronts are specifically disallowed. Side and rear elevations shall be comprised of the same materials and reasonably similar in character and quality as the front elevation unless screened from view from all public streets and residential areas by topography differences, landscaping materials, or other screening devices, in which case building material may be concrete block or tilt-up concrete panels.*

It is staff's opinion that the proposed design achieves consistency with this design standard.

Section 169.13

2. *Parking Lot Screening. All parking lots shall be screened from public streets utilizing plantings and berms to help maintain visually attractive corridors.*

It is staff's opinion that the parking lot screening achieves consistency with this design standard.

4. *Yards, Ground Cover, and Landscaping. Established grass, either sod or seed, is required for all yards for all new buildings and additions over 500 square feet in area, in addition to trees and screening that may also be required by other code sections, prior to occupancy.*

B. Tree Requirements for Commercial, Office Park, or Industrial Development. For each Commercial, Office Park, or Industrial Development, one tree will be shown for every 2,000 square feet of building footprint.

It is staff's opinion that the parking lot screening achieves consistency with this design standard.

Staff Recommendation:

The applicant worked well with City staff to address concerns related to providing visual interest to a small rectangular building. This was accomplished with the use of exterior building materials, awnings and additional window glazing. Additionally, although primary a vehicle use site, the applicant provided a dedicated pedestrian walkway to the Penn Court sidewalk and an outdoor seating area.

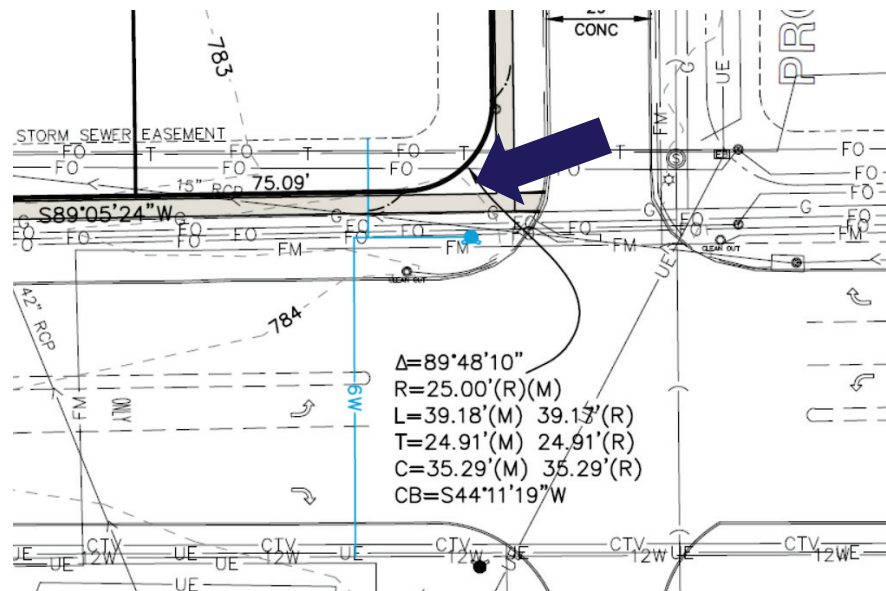
Findings:

1. The commercial use of the property would be consistent with the current C-2A Highway Commercial District zoning and the Comprehensive Plan Future Land Use Map designation of Commercial; and
2. The site plan, with conditions recommended by City staff, would achieve consistency with North Liberty Code of Ordinances Section 165.04(2) entitled, "Site Plan Requirements" Section 169.12 entitled "Design Standards, Section 169.13, entitled "Other Design Standards" and other Code of Ordinance requirements.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request to approve a Site Plan on approximately .72 acres for a new drive through coffee business for property located at the northwest corner of Penn Street and Penn Court to the City Council with a recommendation for approval subject to the following conditions:

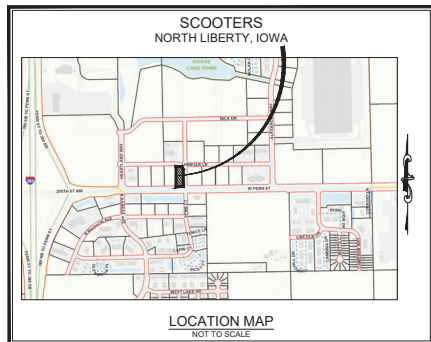
1. That the fire hydrant be located behind the proposed sidewalks in location shown the following diagram:



2. That the sidewalk along Penn Court should be designed/constructed at sidewalk elevations and that the sidewalk curb ramps shown at the proposed driveway be removed.

Suggested motion:

I move that the Planning Commission accept the two listed findings and forward the site plan to the City Council with a recommendation for approval subject to the two conditions recommended by City staff.



SITE PLAN SCOOTERS NORTH LIBERTY, IOWA

PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
NORTH LIBERTY, IA 52240

APPLICANT:
RED DOOR PROPERTIES, LLC
4611 TIMBERLAND COURT NE
SOLON, IOWA 52333

APPLICANT'S ATTORNEY:
TIMOTHY S. GRADY
222 SOUTH LINN STREET
NORTH LIBERTY, IOWA 52240

SHEET INDEX
1 SITE LAYOUT AND DIMENSION PLAN
2 DEMOLITION PLAN
3 SITE EROSION CONTROL PLAN AND SWPPP
4 GRADING PLAN
5 UTILITY PLAN
6 LANDSCAPE PLAN
7 GENERAL NOTES & DETAILS



LEGAL DESCRIPTION
LOT 2 OF PROGRESS PARK - PART SEC. 34D TRACT OF LAND CONTAINS 0.72 ACRES, AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

PROPOSED
APPLICANT PLANS TO DEVELOP RESTAURANT BUSINESS ON THE 0.53 ACRE SITE.

| PHASE | AREA OF WORK | LAND USE TYPE(S) | CONSTRUCTION PERIOD |
|-------|--------------|------------------|-------------------------------|
| LOT 2 | RESTAURANT | | FALL 2021 THRU SUMMER 2022 |

DEVELOPMENT CHARACTERISTICS

| | |
|--|----------|
| CURRENT ZONING IS C-2-A EUBANK REQUIREMENTS | REQUIRED |
| BUILDING SETBACKS | 25 FEET |
| FRONT YARD | 10 FEET |
| SIDE YARD | 10 FEET |
| REAR YARD | 20 FEET |

MINIMUM LOT REQUIREMENTS

| | |
|-------------------------|----------------------------|
| MINIMUM LOT SIZE | 31,412 SF (100%) (0.72 AC) |
| LOT FRONTAGE | 627 SF (02.00%) |
| LOT WIDTH | 10,570 SF (33.85%) |
| MAXIMUM BUILDING HEIGHT | 20,215 SF (64.45%) |

LAND USE INTENSITY CALCULATIONS

| | |
|---|--|
| FLOOR AREA (A) / LAND AREA (A) = FLOOR AREA RATIO (FAR) | |
| BUILDING SP (A) = 627 SF | |
| LAND AREA SF = 31,412 + 20,595 = 52,007 SF (A) | |
| 627 SF (A) / 52,007 SF (A) = 0.01 (PROPOSED FAR) | |
| 1.0 (MAXIMUM FAR) | |

NOTE: ACCESS ROADS NEED TO BE DESIGNED TO SUPPORT FIRE APPARATUS
WEIGHTING AT LEAST 75,000 LBS.

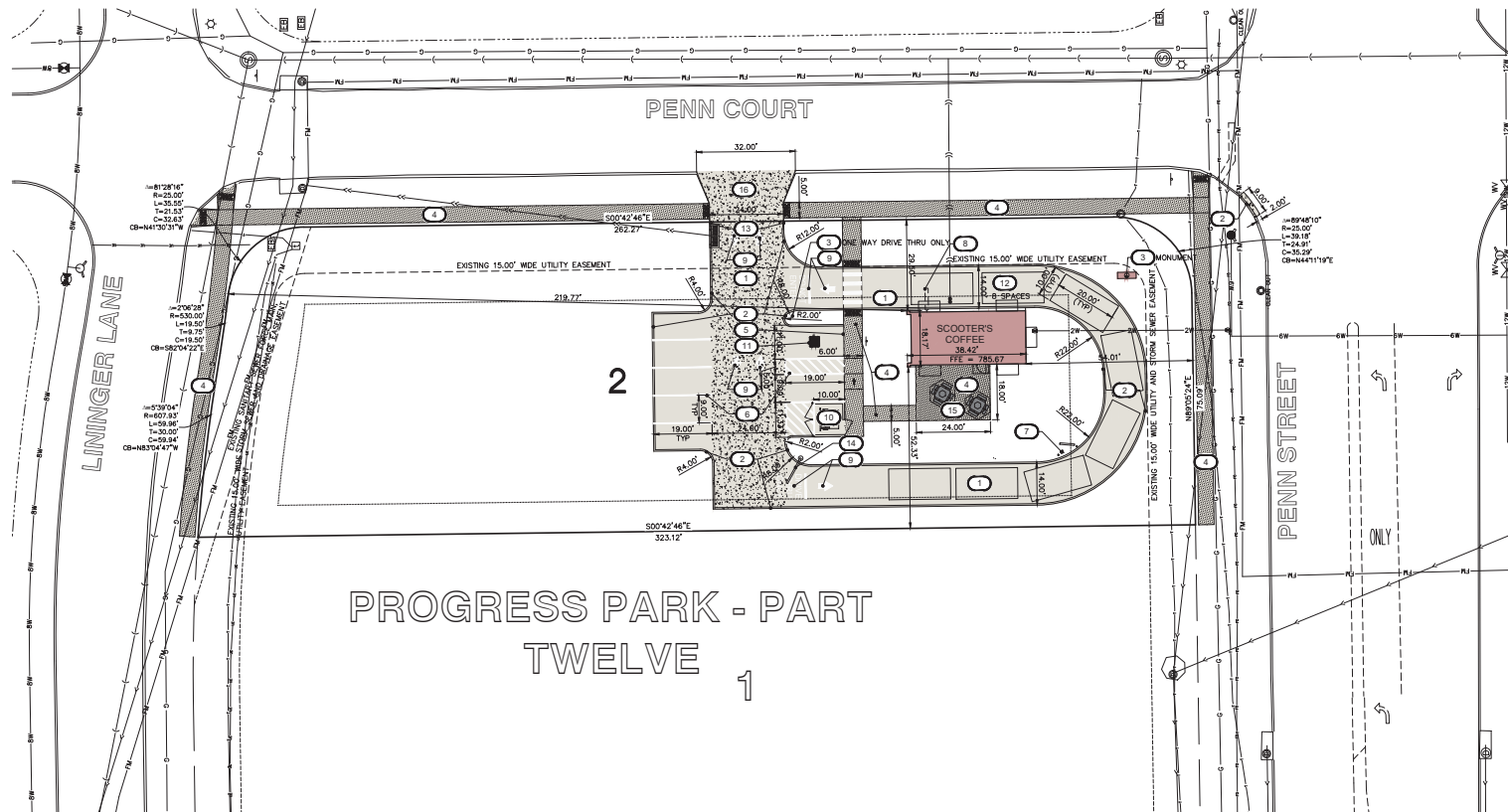
| STANDARD LEGEND AND NOTES | |
|---------------------------|-----------------------------------|
| --- | PROPERTY &/OR BOUNDARY LINES |
| --- | CONGRESSIONAL SECTION LINES |
| --- | RIGHT-OF-WAY LINES |
| --- | EXISTING RIGHT-OF-WAY LINES |
| --- | CENTER LINES |
| --- | EXISTING CENTER LINES |
| --- | LOT LINES, INTERNAL |
| --- | LOT LINES, PLATTED OR BY DEED |
| --- | PROPOSED EASEMENT LINES |
| --- | EXISTING EASEMENT LINES |
| --- | RECORDING DIMENSIONS |
| --- | CURVE DIMENSION NUMBER |
| --- | 22-1 |
| --- | PROPOSED |
| --- | POWER POLE W/DROP |
| --- | POWER POLE W/TRANS |
| --- | POWER POLE W/LIGHT |
| --- | POWER POLE |
| --- | LIGHT POLE |
| --- | SAFETY MANHOLE |
| --- | FIRE HYDRANT |
| --- | WATER VALVE |
| --- | DRAINAGE MANHOLE |
| --- | CURB INLET |
| --- | EXISTING SANITARY SEWER |
| --- | PROPOSED SANITARY SEWER |
| --- | EXISTING STORM SEWER |
| --- | PROPOSED STORM SEWER |
| --- | WATER LINES |
| --- | ELECTRICAL LINES |
| --- | TELEPHONE LINES |
| --- | GAS LINES |
| --- | FIBER OPTIC |
| --- | OVERHEAD ELECTRIC |
| --- | CONTOUR LINES (1' INTERVAL) |
| --- | PROPOSED GROUND |
| --- | EXISTING TREE LINE |
| --- | EXISTING DECIDUOUS TREE & SHRUB |
| --- | EXISTING EVERGREEN TREES & SHRUBS |

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES
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Date Revision



| KEYNOTE | KEYNOTE |
|---------|---|
| 1 | INSTALL DRIVE AND PARKING (SEE PAVING LEGEND, TABLE TWO SHEET FOR THICKNESS AND MATERIALS); SEE DETAILS 2, 3, AND 4, SHEET 7 |
| 2 | INSTALL STANDARD 4" CURB AND GUTTER PER DETAIL 1, SHEET 7 |
| 3 | INSTALL SIGN, COORDINATE WITH ARCHITECTURAL PLANS |
| 4 | INSTALL 100' SIDEWALK PER CITY OF NORTH LIBERTY STANDARDS; SEE DETAIL 1, SHEET 7 |
| 5 | INSTALL THICKENED EDGE SIDEWALK PER DETAIL 1, SHEET 7 |
| 6 | INSTALL 4" WIDE PAVEMENT MARKINGS (TYP) |
| 7 | INSTALL ORDER BOARD, COORDINATE WITH ARCHITECTURAL PLANS |
| 8 | INSTALL LOOP COUNTER, COORDINATE WITH ARCHITECTURAL PLANS |
| 9 | INSTALL TRAFFIC STRIPING, COORDINATE WITH ARCHITECTURAL PLANS |
| 10 | INSTALL DUMPSTER ENCLOSURE, COORDINATE WITH ARCHITECTURAL PLANS |
| 11 | PROPOSED ADA PARKING, SYMBOL, BOLLARD W/ SIGNAGE, AND RAMP; PER ADA STANDARDS |
| 12 | DRIVE THROUGH STACKING SPACES (S) |
| 13 | TRANSITION TO NO CURB |
| 14 | INSTALL HEIGHT CLEARANCE BAR, COORDINATE WITH ARCHITECTURAL PLANS |
| 15 | SEATING/PATIO AREA |
| 16 | INSTALL DRIVE ENTRANCE PER NORTH LIBERTY SUPPLEMENTAL REQUIREMENTS (SUSAN DETAIL 7000.10). USE "T" JOINTS ON EACH SIDE OF THE PROPOSED SIDEWALK |

IOWA ONE CALL

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800-282-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY EXISTENCES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AVOID ACCESS TO THESE UTILITIES FOR NECESSARY MODIFICATIONS OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

BENJAMIN T. MITCHELL
P.E. Iowa Lic. No. 23397

Project No. 6802-004
Date 05/03/2021
Designed by BTM
Drawn by JEB
Checked by BTM
Scale 1"=20'

6802-004 of 7

SITE PLAN SCOOTERS NORTH LIBERTY, IOWA

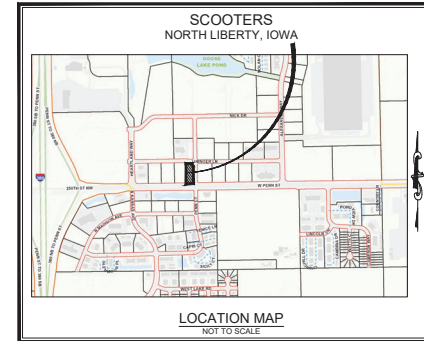
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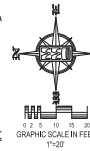
THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-419 OR SUGAS 8030-110 AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

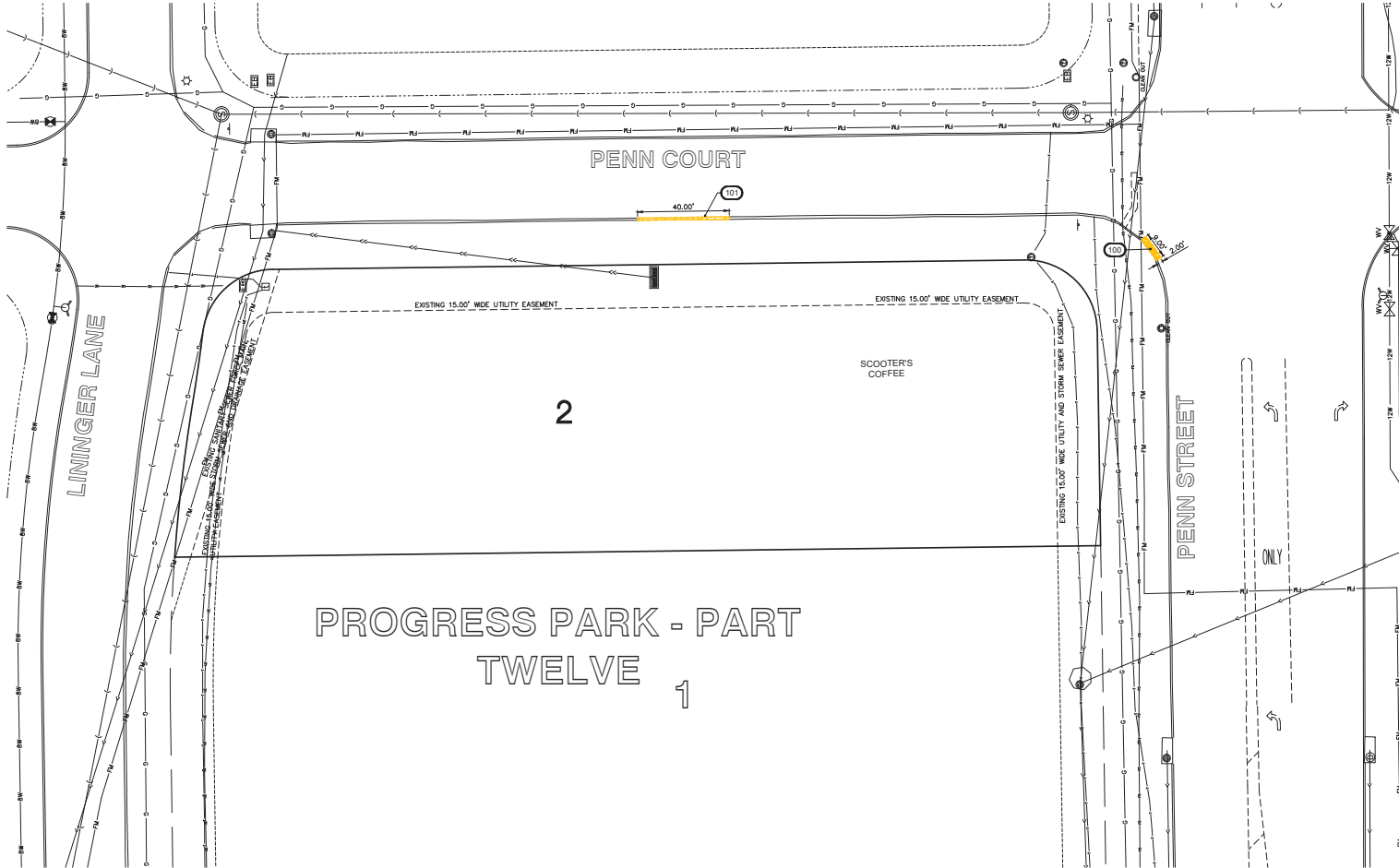


| STANDARD LEGEND AND NOTES | |
|---------------------------|-----------------------------------|
| --- | PROPERTY &/OR BOUNDARY LINES |
| --- | CONGRESSIONAL SECTION LINES |
| --- | RIGHT-OF-WAY LINES |
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| --- | RECONNAISSANCE |
| --- | RECORDED DIMENSIONS |
| --- | CURVE SEGMENT NUMBER |
| --- | 22-1 |
| --- | PROPOSED |
| --- | POWER POLE W/DROP |
| --- | POWER POLE W/TRANS |
| --- | POWER POLE W/LIGHT |
| --- | GOY POLE |
| --- | LIGHT POLE |
| --- | SANITARY MANHOLE |
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| --- | WATER VALVE |
| --- | DRAINAGE MANHOLE |
| --- | CURB INLET |
| --- | FINISH LINE |
| --- | EXISTING SANITARY SEWER |
| --- | PROPOSED SANITARY SEWER |
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| --- | FIBER OPTIC |
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| --- | CONTOUR LINES (INTERVAL) |
| --- | PROPOSED GROUND |
| --- | EXISTING TREE LINE |
| --- | EXISTING DECIDUOUS TREE & SHRUB |
| --- | EXISTING EVERGREEN TREES & SHRUBS |

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| REVISIONS | REVISIONS |
|-----------|---|
| NUMBER | DESCRIPTION |
| 100 | SAWTOOTH AND REMOVE EXISTING ROAD, CURB AND GUTTER. |
| 101 | GRIND EXISTING CURB AND GUTTER |



UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/282-2889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY LOCATIONS ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WHILE THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE. ONLY IF IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

IOWA ONE CALL

0.72 AC

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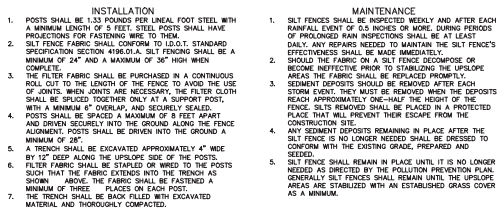
| Date | Revision |
|------|----------|
|------|----------|

DEMOLITION PLAN

SCOOTERS

NORTH LIBERTY
JOHNSON COUNTY
IOWA

| | |
|-----------------------|------------|
| MMS CONSULTANTS, INC. | |
| Date | 05/03/2021 |
| Designed by | BTM |
| Drawn by | BTM |
| Checked by | JEB |
| Project No: | 6802-004 |
| Sheet No: | 2 |
| Scale: | 1"=20' |
| Field Book No: | 1302 |
| of | 7 |



THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-419 OR SUDAS 8030-110 AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

APPLICANT'S ATTORNEY:
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NORTH LIBERTY, IOWA 52240

FINAL FILTER SOCK

SILT FENCE

TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT

TEMPORARY PARKING AND STORAGE

CONCRETE TRUCK/EQUIPMENT WASH

PORTABLE RESTROOM

DOCUMENT LOCATION (PERMITS, SWPPP, INSPECTION FORMS, ETC.)

FILTER SOCK INLET PROTECTION

PERIMETER SILT FENCE

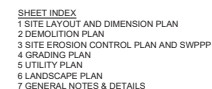
TEMPORARY SOIL STOCKPILE AREA

DIRECTION OF OVERLAND FLOW

DUMPSITE FOR CONSTRUCTION WASTE

RIP RAP OUTLET PROTECTION

THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUITABLE LOCATION, THE USER MUST BE AWARE THAT THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRECAUTIONS FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN A502 OF THE SWPPP.



- 2) MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3:5. HORIZONTAL TO 1: VERTICAL.
- 3) NO EXCAVATION SHALL BE ALLOWED WITHIN 20' OF PROPERTY LINES.
- 4) WHERE HEIGHT OF FILL IS GREATER THAN 30" AN INTERMEDIATE TERRACE AT 30' MAXIMUM SHALL BE ESTABLISHED AT ALL HEIGHTS. SEE TECHNICAL FIELD SECTION FOR DETAILS.
- 5) COMPACTED SUBGRADE SHALL BE 4" MINIMUM.
- 6) ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SAVED. UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS SHALL BE SAVED. UNLESS OTHERWISE INDICATED TO BE REMOVED. SEE FOOTNOTES WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- 7) PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM THE GRADING LIMITS.
- 8) 7) STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS AFTER COMPLETION OF GRADING. SEEDING SHALL BE DONE TO PREVENT LARGE SCALE EROSION. SEEDING SHALL BE DONE AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS AFTER COMPLETION OF GRADING. SEEDING SHALL BE DONE TO PREVENT LARGE SCALE EROSION. SEEDING SHALL BE DONE AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS AFTER COMPLETION OF GRADING. SEEDING SHALL BE DONE TO PREVENT LARGE SCALE EROSION.
- 9) SEED FERTILIZER RATES AND APPLICATION METHODS SHALL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- 10) ALL STREET SURFACES SHALL BE RECONSTRUCTED AND COMPACTED IN ACCORDANCE WITH THE CITY OF CHICAGO SPECIFICATIONS.

| | |
|-----------------------------------|---|
| PROPERTY &/or BOUNDARY LINES | — |
| BOUNDARY LINES | — |
| BOUND-OF-WAY LINES | — |
| BOUNDARY LINES | — |
| CENTER LINES | — |
| EXISTING CENTER LINES | — |
| LOT LINES, INTERNAL | — |
| LOT LINES, PLATTED OR BY DEED | — |
| EXISTING EASEMENT LINES | — |
| EXISTING EASEMENT LINES | — |
| RECORDED DIMENSIONS | — |
| CURVE CENTER NUMBER | — |
| (0) 12-1 | — |
| -EXIST- | — |
| -PROP- | — |
| POWER POLE | — |
| POWER POLE W/DROP | — |
| POWER POLE W/SLAND | — |
| POWER POLE W/HAUT | — |
| GUY POLE | — |
| SANITARY MANHOLE | — |
| FREE HYDRANT | — |
| WATER VALVE | — |
| DRAINAGE MANHOLE | — |
| CURB INLET | — |
| EXISTING SANITARY SEWER | — |
| PROPOSED SANITARY SEWER | — |
| EXISTING STORM SEWER | — |
| PROPOSED STORM SEWER | — |
| WATER | — |
| ELECTRICAL LINES | — |
| TELEPHONE LINES | — |
| GAS LINES | — |
| FIBER OPTIC | — |
| OVERHEAD ELECTRIC | — |
| CORRELATION (INTERVAL) | — |
| PROPOSED CORRELATION | — |
| EXISTING TREE & SHRUB | — |
| EXISTING DECIDUOUS TREE & SHRUB | — |
| EXISTING EVERGREEN TREES & SHRUBS | — |

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

TOTAL SITE AREA: 0.72 ACRES
TOTAL AREA TO BE DISTURBED: 0.62 ACRES

EROSION CONTROL MEASURES SHOULD BE USED DURING ALL EROSION CONTROL CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE RE-EVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE REQUIRED, IF NECESSARY, FOR THE PROPOSED CONSTRUCTION OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) DURING PREPARED REGULAR INSPECTIONS OF THE CONSTRUCTION SITE SHALL BE BASED ON THE TYPE AND LOCATION OF SAID MEASURE ON THE PLAN.

THE CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF WEEDS THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERMITTER SELF FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY ENGINEER TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY REGULATIONS.

THE EROSION CONTROL CONTRACTOR SHALL INSTALL FERT SOOKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE AND ALL OTHER STREET INTAKES.

1. TEMPORARY STABILIZATION IS REQUIRED ON DISTURBED AREAS AFTER THE 14TH DAY OF INACTIVITY.
2. FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.

ONE CALL 311 SM

LOCATION MAP
NOT TO SCALE

LOCATION MAP
NOT TO SCALE



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Date Revision

SITE GRADING PLAN

SCOOTERS

NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date 05/03/2021

Designed by BTM Field Book No. 1302

Drawn by BTM Scale 1"=20'

Checked by JEB Sheet No.

Project No. 4

6802-004 of 7

SITE PLAN SCOOTERS NORTH LIBERTY, IOWA

PREPARED BY:
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THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

| STANDARD LEGEND AND NOTES | |
|---------------------------|----------------------------------|
| --- | PROPERTY &/OR BOUNDARY LINES |
| --- | CONGRESSIONAL SECTION LINES |
| --- | RIGHT-OF-WAY LINES |
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| --- | PROPOSED EASEMENT LINES |
| --- | EXISTING EASEMENT LINES |
| --- | RECORDED DIMENSIONS |
| (R) | CURVE SEGMENT NUMBER |
| 22-1 | |
| PROPOSED | |
| --- | POWER POLE W/DROP |
| --- | POWER POLE W/TRANS |
| --- | BY RAIL |
| --- | LIGHT POLE |
| --- | WATER VALVE |
| --- | FIRE HYDRANT |
| --- | WATER VALVE |
| --- | DRAINAGE MANHOLE |
| --- | CURB INLET |
| --- | EXISTING SANITARY SEWER |
| --- | PROPOSED SANITARY SEWER |
| --- | EXISTING STORM SEWER |
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| --- | ELECTRICAL LINES |
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| --- | CONTOUR LINES (1' INTERVAL) |
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| --- | EXISTING EVERGREEN TREE & SHRUBS |

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

GRADING NOTES

- 1) MAXIMUM SLOPE ON CUTS AND FILLS SHALL BE 3:5 HORIZONTAL TO 1' VERTICAL.
- 2) NO EXCAVATION SHALL BE ALLOWED WITHIN 2' OF PROPERTY LINES.
- 3) WHERE HEIGHT OF FILL IS GREATER THAN 30' AN INTERMEDIATE TERRACE OF AT LEAST 6' WIDE SHALL BE ESTABLISHED AT MID HEIGHT. SEE TYPICAL FILL SECTION.
- 4) COMPACTION TO BE 90% MODIFIED PROCTOR WHERE $> 6:1$ SLOPE.
- 5) ALL TREES OUTSIDE THE LIMITS OF GRADING OPERATIONS SHALL BE SHAVED UNLESS OTHERWISE INDICATED TO BE REMOVED. TREES NEAR THE EDGES OF GRADING LIMITS AND IN THE STORM WATER DETENTION BASIN AREAS SHALL BE SHAVED IF POSSIBLE, WITHIN THE REQUIREMENTS OF THE SPECIFICATIONS.
- 6) PRIOR TO ANY GRADING A CONSTRUCTION SAFETY FENCE SHALL BE INSTALLED 50 FEET FROM TRUNKS OF TREES TO BE PROTECTED.
- 7) STABILIZATION SEEDING SHALL BE COMPLETED AS SOON AS POSSIBLE, BUT NOT MORE THAN 14 DAYS UPON COMPLETION OF GRADING IN ANY AREA OF GRADING OPERATIONS. DISTURBED AREAS SHALL BE KEPT AS SMALL AS POSSIBLE TO PREVENT LARGE SCALE EROSION PROBLEMS. IF THE GRADING CONTRACTOR STOPS GRADING OPERATIONS FOR MORE THAN 14 DAYS, THEN STABILIZATION SEEDING SHALL BE DONE ON ALL DISTURBED AREAS.
- 8) SLOPE FENCE LOCATIONS AND LENGTHS, AS INDICATED, ARE APPROXIMATE ONLY. FINAL LOCATIONS AND LENGTHS WILL BE DETERMINED, AS NEEDED, UPON COMPLETION OF GRADING OPERATIONS IN AN AREA.
- 9) ALL STREET SUBURBASES SHALL BE CONSTRUCTED AND COMPACTED IN ACCORDANCE WITH CITY OF NORTH LIBERTY CONSTRUCTION STANDARDS AND PROCEDURES.

GRADING LEGEND

- 000.000X - EXISTING SURFACE
- 000.000T - TOP SLAB
- 000.000W - TOP WALK
- 000.000C - TOP CURB
- 000.000R - TOP RM
- 000.000P - TOP OF WALL
- 000.000B - BOTTOM OF WALL
- 000.000G - FINISHED GRADE

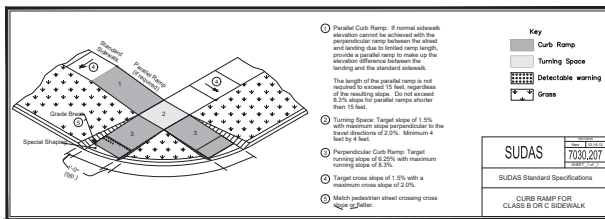
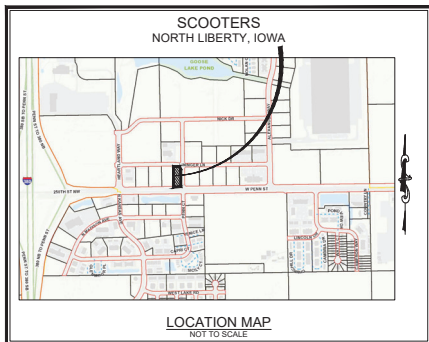
NOTES:

1. TEMPORARY STABILIZATION IS REQUIRED ON DISTURBED AREAS AFTER THE 14TH DAY OF INACTIVITY.
2. FINAL STABILIZATION SHALL BE IMPLEMENTED WITHIN 14 DAYS OF FINAL GRADING COMPLETION.

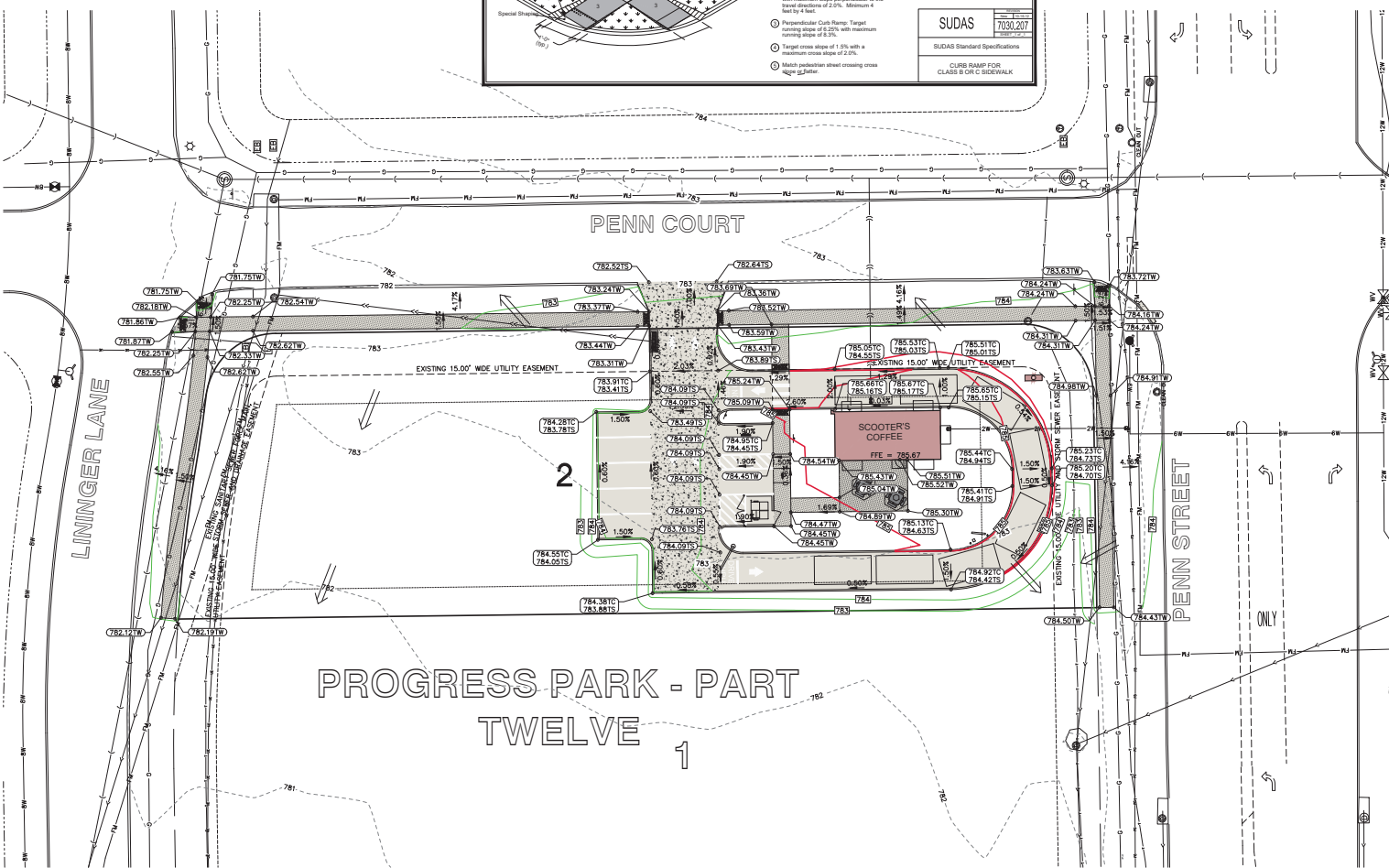


THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY EXISTENCES ARE SHOWN AS EXISTING ON THE PLANS OR DISCOVERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES ARE NOT ALWAYS SHOWN ON THE PLANS. SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXTENTS OF WORK IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

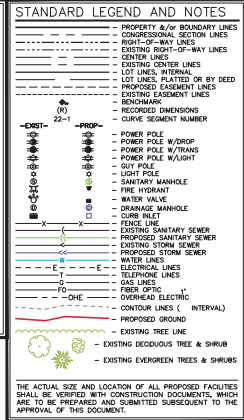


- 1) Parallel Curb Ramp: If normal sidewalk elevation cannot be achieved with the perpendicular ramp between the street and building due to limited ramp length, provide a parallel ramp to make up the elevation difference between the existing and the elevated sidewalk.
- 2) The length of the parallel ramp is not required to exceed 10 feet. Maximum of 1:12 slope for parallel ramp steeper than 15 feet.
- 3) Parallel Slope: Target slope of 1:12 with maximum slope perpendicular to the street elevation of 0.25%. Minimum of 1 foot by 4 feet.
- 4) Perpendicular Curb Ramp: Target leveling slope of 0.25% with maximum leveling slope of 0.5%.
- 5) Target cross slope of 1:12 with a maximum cross slope of 2.0%.
- 6) Main pedestrian street crossing cross slope of 1:12.

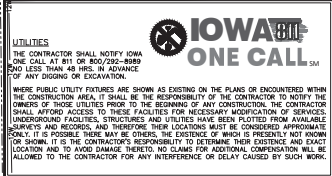


| <u>PREPARED BY:</u> | <u>APPLICANT:</u> | <u>APPLICANT'S ATTORNEY:</u> |
|---|---|--|
| MMS CONSULTANTS INC. 1917 S. GILBERT STREET NORTH LIBERTY, IA 52240 | RED DOOR PROPERTIES, LLC 4611 TIMBERLAND COURT NE SOLON, IOWA 52333 | TIMOTHY S. GRADY 222 SOUTH LINN STREET NORTH LIBERTY, IOWA 52240 |

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.



| | |
|------|----------|
| Date | Revision |
|------|----------|



| | |
|----------------------|---------------------|
| DATE: 05/03/2021 | |
| DESIGNED BY: BTM | FIELD BOOK NO: 1302 |
| DRAWN BY: JEB | SCALE: 1"=20' |
| CHECKED BY: BTM | SHEET NO: 5 |
| PROJECT NO: 6802-004 | OF 7 |

SITE PLAN SCOOTERS NORTH LIBERTY, IOWA

LANDSCAPE LEGEND:

- MULCHED LANDSCAPE BED ~3,088 SF
- SEEDDED TURF GRASS ~25,066 SF

LANDSCAPE REQUIREMENTS:

- 1 TREE FOR EVERY 2,000 SF OF BUILDING FOOTPRINT.
= 427 SF / 2,000 = 0.31
- 1 TREE PROVIDED
- 1 TREE WITHIN 40' OF EVERY PARKING SPACE.
= PROVIDED
- PARKING LOT SCREENING FROM PUBLIC VIEW.
= PROVIDED

PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
NORTH LIBERTY, IA 52240

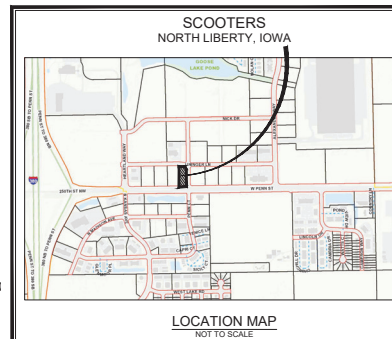
APPLICANT:
RED DOOR PROPERTIES, LLC
4611 TIMBERLAND COURT NE
SOLON, IOWA 52353

APPLICANT'S ATTORNEY:
TIMOTHY S. GRADY
222 SOUTH LINN STREET
NORTH LIBERTY, IOWA 52240

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER DOT STANDARD ROAD PLAN T-419 OR SUDAS 8030-110 AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

- SHEET INDEX**
- 1 SITE LAYOUT AND DIMENSION PLAN
 - 2 DEMOLITION PLAN
 - 3 SITE EROSION CONTROL PLAN AND SWPPP
 - 4 GRADING PLAN
 - 5 UTILITY PLAN
 - 6 LANDSCAPE PLAN
 - 7 GENERAL NOTES & DETAILS



| STANDARD LEGEND AND NOTES | |
|---------------------------|-----------------------------------|
| | PROPERTY B/LR BOUNDARY LINES |
| | CONCESSIONARY SECTION LINES |
| | RIGHT-OF-WAY LINES |
| | EXISTING CENTER LINES |
| | LOT LINES, INTERNAL |
| | PROPOSED EASEMENT LINES |
| | RECORDED EASEMENT LINES |
| | RECORDED DIMENSIONS |
| | CURVE SEGMENT NUMBER |
| | POWER POLE W/DROP |
| | POWER POLE W/TRANS |
| | POWER POLE W/LIGHT |
| | DRY PILE |
| | LIGHT POLE |
| | FIRE HYDRANT |
| | SANITARY MANHOLE |
| | DRAINAGE MANHOLE |
| | WATER VALVE |
| | EXISTING SANITARY SEWER |
| | PROPOSED SANITARY SEWER |
| | EXISTING STORM SEWER |
| | PROPOSED STORM SEWER |
| | WATER LINES |
| | GAS LINES |
| | TELEPHONE LINES |
| | OVERHEAD ELECTRIC LINES |
| | CONTOUR LINES (1' INTERVAL) |
| | PROPOSED GROUND |
| | EXISTING TREE LINE |
| | EXISTING DECIDUOUS TREE & SHRUB |
| | EXISTING EVERGREEN TREES & SHRUBS |

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

| QTY | KEY | BOTANICAL NAME | COMMON NAME | INSTALL SIZE | COMMENT | MATURE SIZE |
|-----|-----|------------------------------|-------------------------------|--------------|---------|-------------|
| 1 | OK | GERARDIA PUMILA | RED OK | 1" CAL. | D & D | 10' X 10' |
| 1 | SR | SPRINGDALE VIGOR SIK | VIGOR SIK JAPANESE TREE LILAC | 1" CAL. | D & D | 10' X 10' |
| 1 | UA | ULMUS AMERICANUS NEW HARMONY | NEW HARMONY ELM | 1" CAL. | D & D | 10' X 10' |

| QTY | KEY | BOTANICAL NAME | COMMON NAME | INSTALL SIZE | COMMENT | MATURE SIZE |
|-----|-----|--|----------------------------------|--------------|---------|-------------|
| 28 | CA | CALAMAGROSTIS x AGLOPERA KARL KROESTER | KARL KROESTER FEATHER REED GRASS | 1/4" HT. | CONT. | 4' X 10' |
| 10 | CO | CORNUS SERICEA THIBAUD | WHITE FINE REED TWO DOWNING | 1/4" HT. | CONT. | 4' X 4' |
| 20 | HR | HENRICSSALIX SPICATA WELLA DE GRU | WELLA DE GRU SHALY | 1" HT. | CONT. | 2' X 2' |
| 10 | MS | MILVUS SPICATUS SPICATUS | SPICATUS SPICATUS | 1/4" HT. | CONT. | 4' X 4' |
| 10 | JA | JANUS SPICATUS SPICATUS | SPICATUS SPICATUS | 1/4" HT. | CONT. | 4' X 4' |
| 10 | SP | SPICATUS SPICATUS | SPICATUS SPICATUS | 1/4" HT. | CONT. | 4' X 4' |

PERMANENT SEEDING OF URBAN AREAS

THE FOLLOWING SEED MIXTURE SHALL BE USED FOR PERMANENT SEEDING OF URBAN AREAS, INCLUDING ANY AREAS PREVIOUSLY MAINTAINED AS A LAWN. THE APPLICATION RATE SHALL BE 4 POUNDS PER 1,000 SQUARE FEET (2 lb per 100 sq ft).

BLUEGRASS, KENTUCKY
HYDRIC, PERENNIAL (FINELEAF VARIETY)
FESCUE, GREENING RED

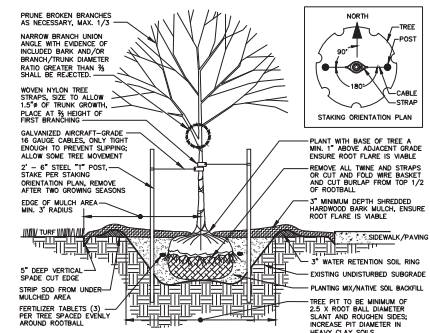
70%
10%
20%

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/292-6889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

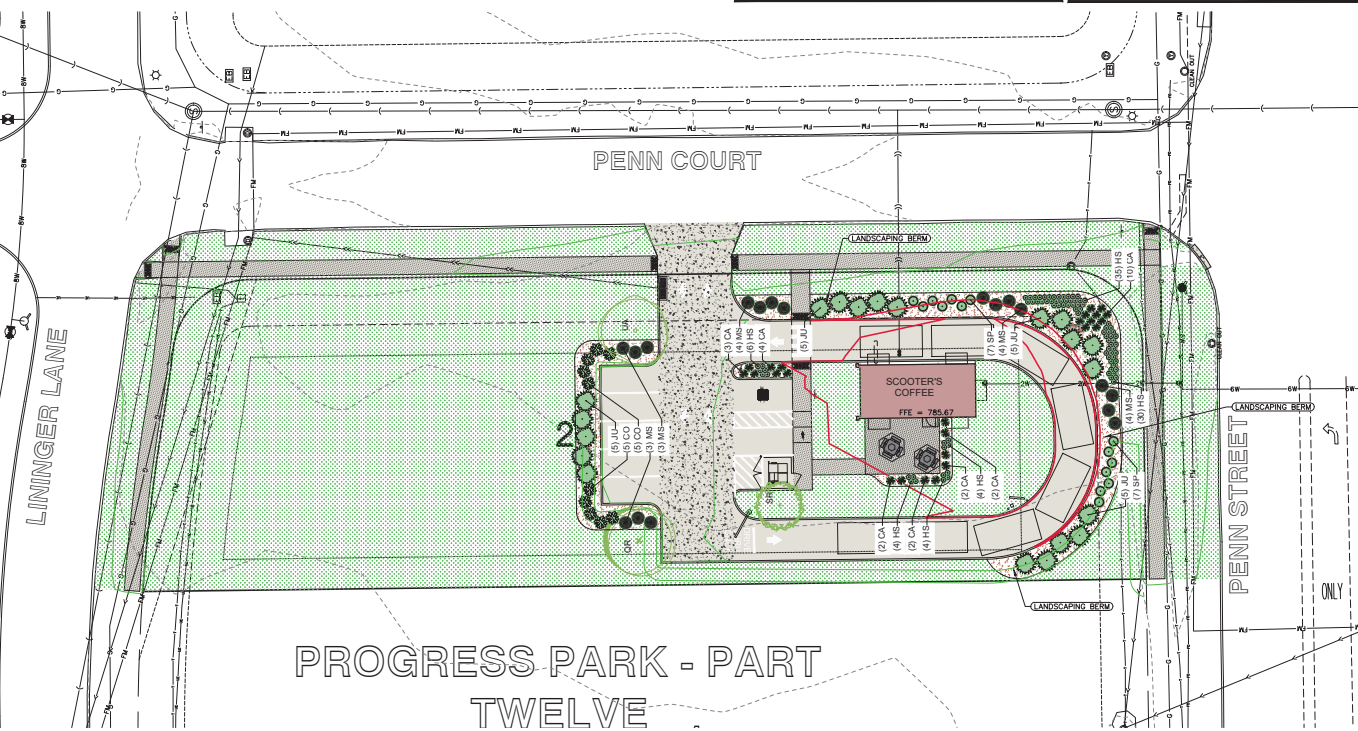
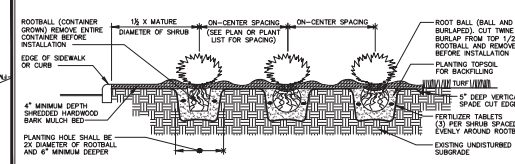


- LANDSCAPE NOTES:**
- 1 - THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES ON SITE PRIOR TO LANDSCAPE INSTALLATION.
 - 2 - PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRIVING SHALL BE PROVIDED. 1' CONFLICT SLOPS.
 - 3 - FIRM SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60 - 2004 OR MOST RECENT EDITION.
 - 4 - LANDSCAPE PLANTING AND SOIL AREAS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - 5 - ALL PLANTING SHALL BE DONE WITHIN 90 DAYS OF THE DATE OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHRUBS.
 - 6 - PLANTING OF PLANT BED AND SOIL AREAS SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
 - 7 - ALL TREES AND SHRUBS PLANTED SHALL HAVE A MINIMUM 4" DBH AND 10' TALL. ALL TREES SHALL BE DOUBLE GRAFTED THROUGH BARK VALLEY AND IN APPLICATION OF A PRE-EXISTING TREE OR APPROVED EQUAL FOR KEEP CONTROL.
 - 8 - LANDSCAPE SPRING BETWEEN BARK VALLEY AND LAWN AREAS SHALL BE A 1/2" DEEP CUT. EDGE SHALL BE INSTALLED VERTICAL, AND ALLOWING TO DETAILS.
 - 9 - SPRING SHALL BE PROVIDED IN ALL TREES BEING PLANTED WITHIN 10' OF THE BARK VALLEY. ALL TREES SHALL BE INSTALLED WITHIN 10' OF THE BARK VALLEY AND AVOIDED TO TRUNK OF TREE WITHIN 10' OF THE BARK VALLEY AND AVOIDED TO TRUNK OF TREE WITHIN 10' OF THE BARK VALLEY.
 - 10 - ALL TREES PLANTED IN LAWN AREAS AND IN PLANTING BEDS SHALL BE NURSERY MANUFACTURED TREE BARK AND PROTECTED WITH TREE AIR PROTECTANT.
 - 11 - ALL TREES PLANTED IN LAWN AREAS SHALL HAVE A MINIMUM 4" DBH AND 10' TALL. ALL TREES SHALL BE DOUBLE GRAFTED THROUGH BARK VALLEY AT A 9" INCH DEPTH.
 - 12 - ALL LANDSCAPE PLANTING AND SOIL AREAS SHALL BE THOROUGHLY INSPECTED UPON INSTALLATION AND A TOTAL OF 10 BUSINESS DAYS PRIOR TO ACCEPTANCE. AFTER ACCEPTANCE, SOIL SHALL BE MAINTAINED FOR 90 DAYS OR UNTIL ROOTS ARE 10" DEEP.
 - 13 - LANDSCAPE CONTRACTOR MUST FOLLOW ALL DETAILS PROVIDED ON SHEETS REGARDING LANDSCAPE CONSTRUCTION TECHNIQUES.
 - 14 - ALL LANDSCAPE PLANTING SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.
 - 15 - KEEP ALL ROADWAYS OPEN WITH ONE WAY.

TYPICAL TREE PLANTING DETAIL



SHRUB PLANTING DETAIL (DECIDUOUS AND EVERGREEN)



PROGRESS PARK - PART
TWELVE

CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
NORTH LIBERTY, IOWA 52240
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www.mmsconsultants.net

Date Revision

LANDSCAPE PLAN

SCOOTERS

NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date 05/03/2021

Designed by BTM Field Book No. 1302

Drawn by JEB Scale 1"=20'

Checked by BTM Sheet No. 6

Project No. 6802-004 of 7



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
NORTH LIBERTY, IOWA 52240
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Date Revision

GENERAL NOTES AND DETAILS

SCOOTERS

NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date 05/03/2021

Designed by: JEB Field Book No: 1302

Drawn by: BTM Scale: 1"=20'

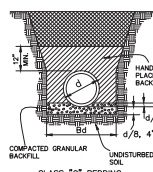
Checked by: JEB Sheet No: 7

Project No: 6802-004

STORM SEWER NOTES

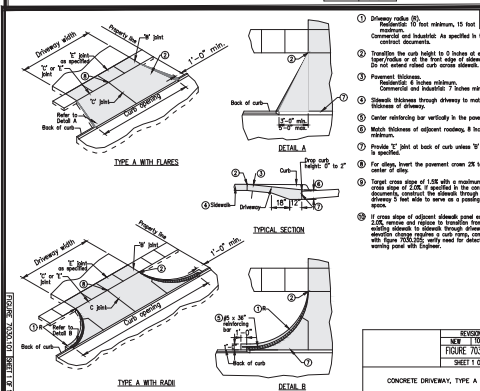
- STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. CITY OF NORTH LIBERTY DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- ALL STORM SEWERS SHALL BE CLASS 3 ROP UNLESS NOTED OTHERWISE IN THE PLANS.
- AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- ALL ROP STORM SEWERS SHALL BE PROVIDED WITH CLASS 1" BEDDING UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASEMENT.
- STORM SEWERS SHOWN ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
 - SUITABLE EXCAVATED MATERIAL, IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL STORM SEWERS SHALL HAVE CONFINED 10" RING GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS. STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- ALL PIPE SHALL BE CERTIFIED.
- ALL STORM SEWERS SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/RIM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO PROVIDE THE REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FULLET IN INTAKE TO MAKE INTAKE PIPES SHOWN AT INVERT ELEVATIONS LISTED.
- LOFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- MANHOLE SHALL NOT HAVE STEPS
- PROVIDE CONCRETE FULLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.
- ALL STORM SEWER STRUCTURES ARE TO BE WATER TIGHT WITH WATER STOP USED IN CONSTRUCTION JOINT AND PENETRATIONS. RIDGES SHALL BE LATEST HOPE RIDGES OR CRETIX PRO-RIDGE.

WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE UTILITIES FOR THE OPERATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THEREOF. NO CLAIM FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

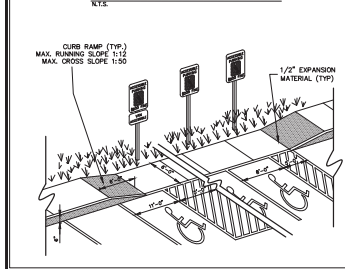


- PIPE SHALL BE PLACED ON CRUSHED STONE MATERIAL.
- BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BEARING PRESSURE.
- PLACE BEDDING TO ENSURE THAT THERE ARE NO Voids UNDER OR ALONGSIDE THE LENGTH OF PIPE.
- BACKFILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE.
- SEE TABLE FOR ALLOWABLE TRENCH WIDTH R6.

| INCHES | FEET & INCHES |
|--------|---------------|
| 4 | 0.33 |
| 6 | 0.50 |
| 8 | 0.67 |
| 10 | 0.83 |
| 12 | 1.00 |
| 14 | 1.17 |
| 16 | 1.33 |
| 18 | 1.50 |
| 20 | 1.67 |
| 22 | 1.83 |
| 24 | 2.00 |



ACCESSIBLE PARKING DETAIL



SANITARY SEWER NOTES

- SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STANDARD URBAN DESIGN AND SPECIFICATIONS (SUDAS) SPECIFICATIONS (2018) AS AMENDED.
- SANITARY SEWERS SHALL BE PVC TRUSS PIPE (SUDAS 4012.01-1), ASTM D2680-90 PVC TRUSS PIPE, OR CITY ENGINEER APPROVED EQUAL, AS NOTED ON THE PLANS. SANITARY SEWER SERVICE LINES SHALL BE PVC SDR-25.5 WITH GASKETED JOINTS.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE. COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL SANITARY SEWERS SHOWN ON THE PROFILE VIEW AND ALL SANITARY SEWERS AND WATER MAINS UNDER PAVING OR WITHIN 5 FEET OF PAVEMENT SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
 - SUITABLE EXCAVATED MATERIAL, IF EXCAVATED MATERIAL IS NOT SUITABLE, THEN
 - CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL.
- ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
- CONTRACTOR SHALL PROVIDE SUDAS CLASS F-3 BEDDING FOR ALL PVC TRUSS SANITARY SEWERS UNLESS OTHERWISE NOTED.
- ENTRY INTO EXISTING CITY MANHOLE TO BE BY CORE DRILL AND SEAL BY "LINK-SEAL" PENETRATION SEAL, OR CITY ENGINEER APPROVED EQUAL.
- ALL MANHOLES ON SITE:
 - WILL NOT HAVE STEPS.
 - MAY HAVE EXTERNAL CHIMNEY SEAL BY INFILLED UNBAND, CRETIX, OR APPROVED EQUAL.
 - MAY HAVE MANHOLE FRAME AND LID TO BE NEENAH R-1642 SELF-SEALING WITH CITY LOGO.
 - MAY HAVE RIDGES CONSISTING OF STANDARD PCC IF PCC RIDGES ARE USED, SHIMS TO LEVEL MANHOLE FRAME MADE OF MATERIALS OTHER THAN PCC OR THE RING MATERIAL DISCUSSED ABOVE WILL NOT BE ALLOWED, IE: WOOD, BRICK, ROCKS, ETC.
 - WILL USE LINK-SEALS PENETRATION SEALS FOR PIPE PENETRATIONS.
 - ALL STRUCTURES SHALL BE WATER TIGHT INCLUDING CONSTRUCTION JOINTS AND WALL PENETRATIONS.
- ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED 1'.
- THE END OF ALL SANITARY SEWER SERVICES MUST BE MARKED WITH A WOOD 2 X 4 PAINTED GREEN.
- ALL SANITARY SEWER MANHOLES IN PAVING AREAS OR AREAS SUBJECT TO WATER HURDLE SHALL BE PROVIDED WITH EXTERIOR CHIMNEY SEAL, BY INFILLED UNBAND, CRETIX, OR APPROVED EQUAL.

AIR TESTING

- ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:
 - NOTE: CITY REPRESENTATIVE MUST BE PRESENT DURING TESTING.
 - PERFORM FROM MANHOLE-TO-MANHOLE AFTER BACKFILL.
 - PLACE PNEUMATIC PLUGS: (1) SEALING LENGTH: EQUAL TO OR GREATER THAN PIPE DIAMETER.
 - CAPABLE OF RESISTING INTERNAL TEST PRESSURE WITHOUT EXTERNAL BRACING OR BLOOMING.
 - INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 8 PSI & MAINTAIN FOR A MINIMUM OF 5 MINUTES.
 - UNIT INTERNAL PRESSURE IN SEALED LINE BELOW 8 PSI.
 - ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
 - MINIMUM TIME FOR PRESSURE TO DROP FROM 3.5 TO 2.5 PSI GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT:

PIPE DIAMETER IN INCHES

4 2.0

6 3.0

8 4.0

10 5.0

12 6.0

14 7.0

16 8.0

18 9.0

20 10.0

22 11.0

24 12.0

26 13.0

28 14.0

30 15.0

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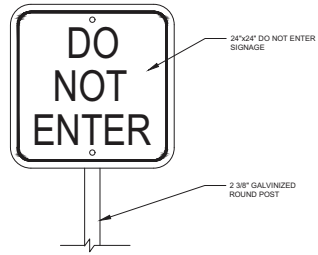
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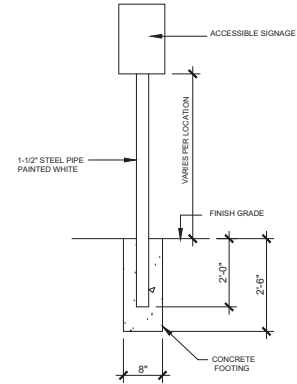
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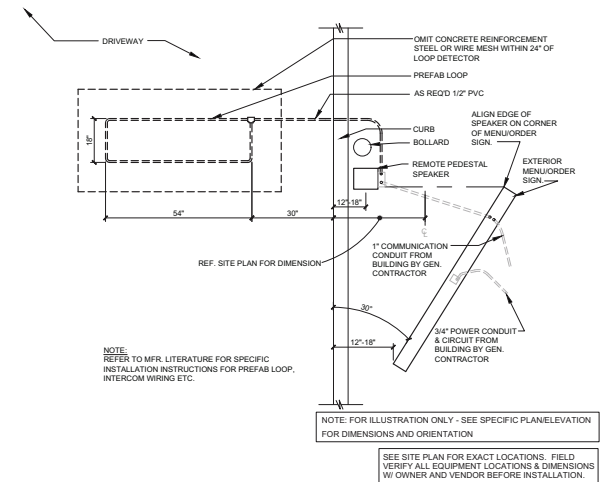
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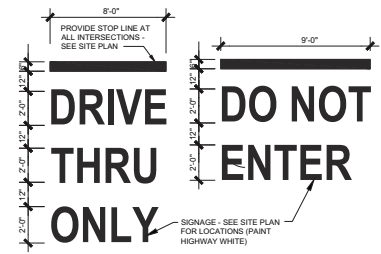
7 DO NOT ENTER SIGNAGE
SCALE: NTS



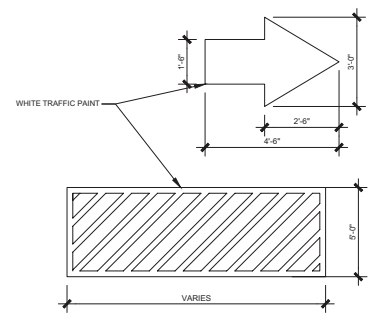
4 SIGN DETAIL
SCALE: NTS



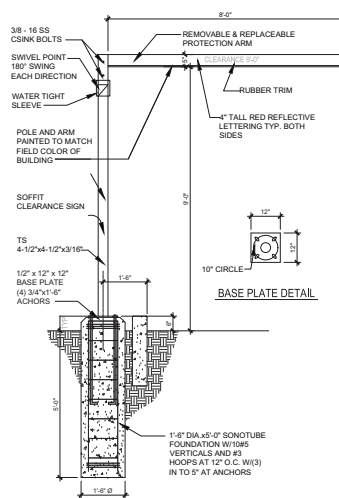
2 MAGNETIC DETECTOR LOOP PLACEMENT
SCALE: NTS



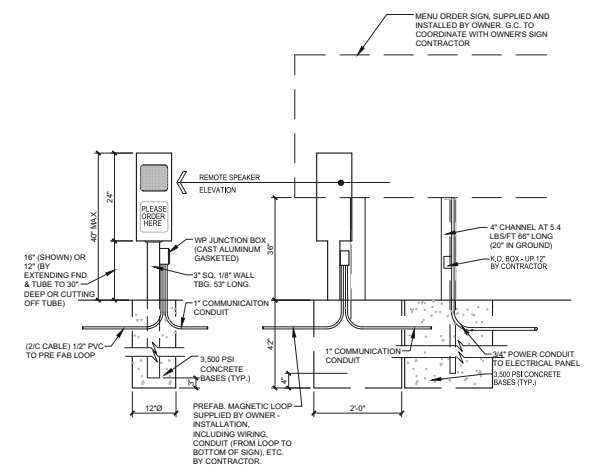
6 PAINTED SIGNAGE AT PAVING
SCALE: NTS



5 PAINTED TRAFFIC SYMBOLS
SCALE: NTS



3 HEIGHT CLEARANCE SIGN DETAIL
SCALE: NTS




1 MENU BOARD CALL BOX DETAIL
SCALE: NTS

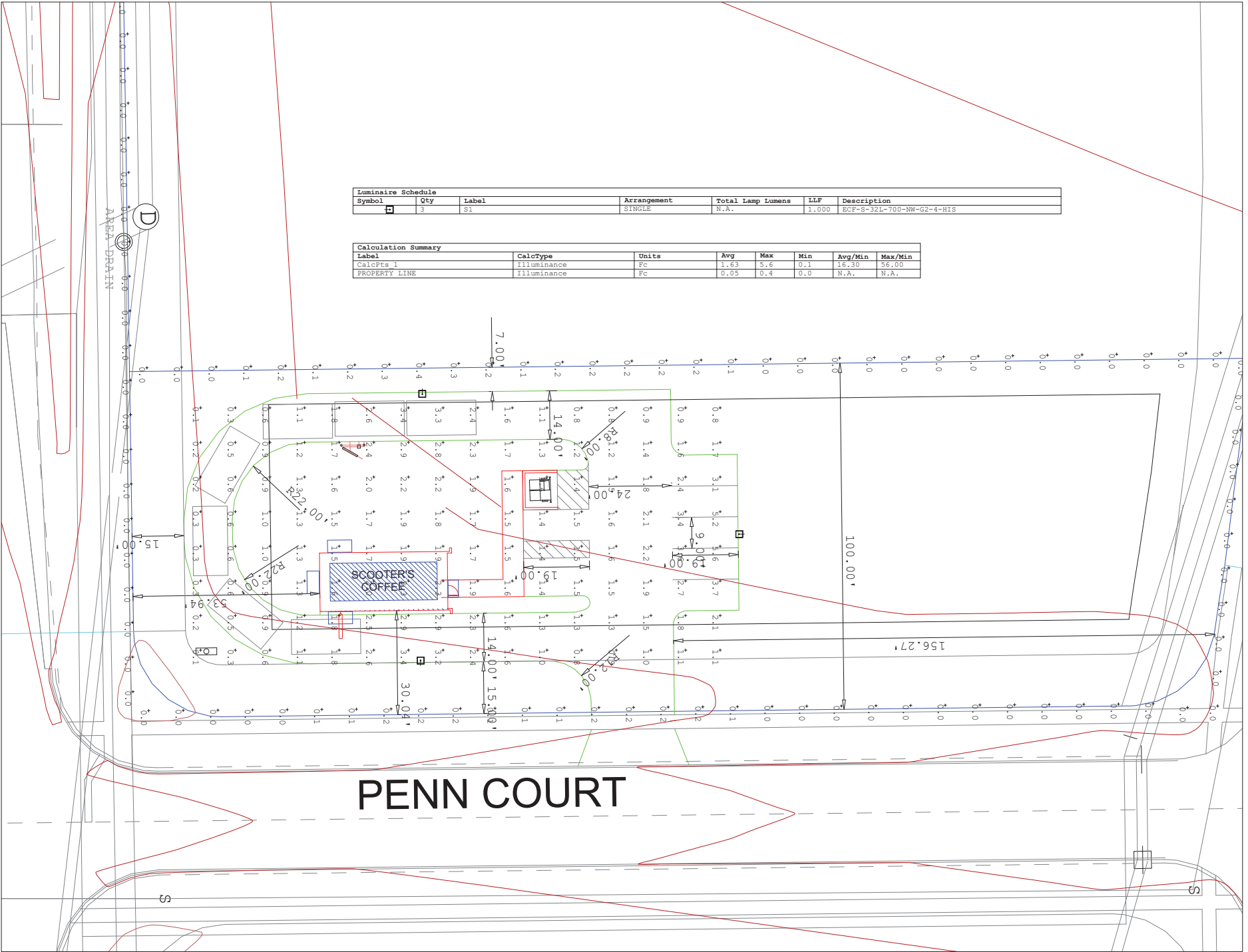


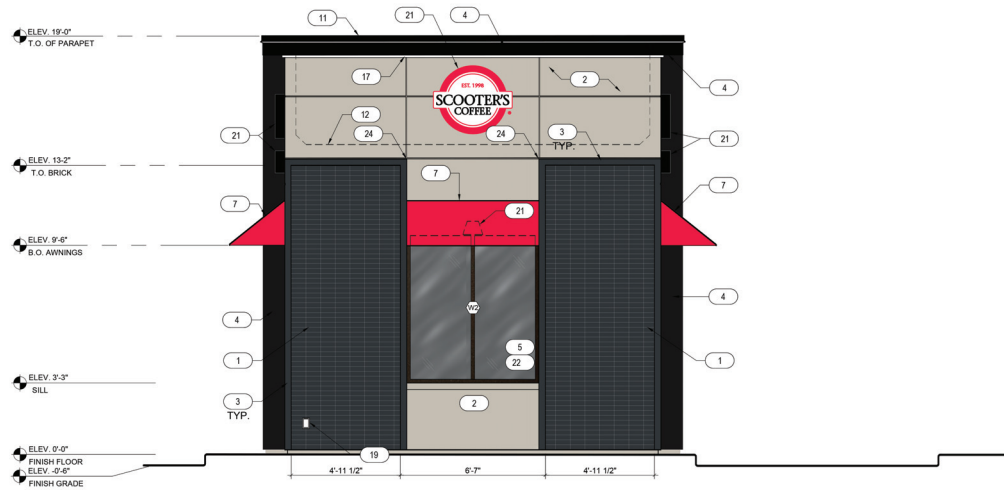
REVISIONS:

TITLE:
SITE DETAILS

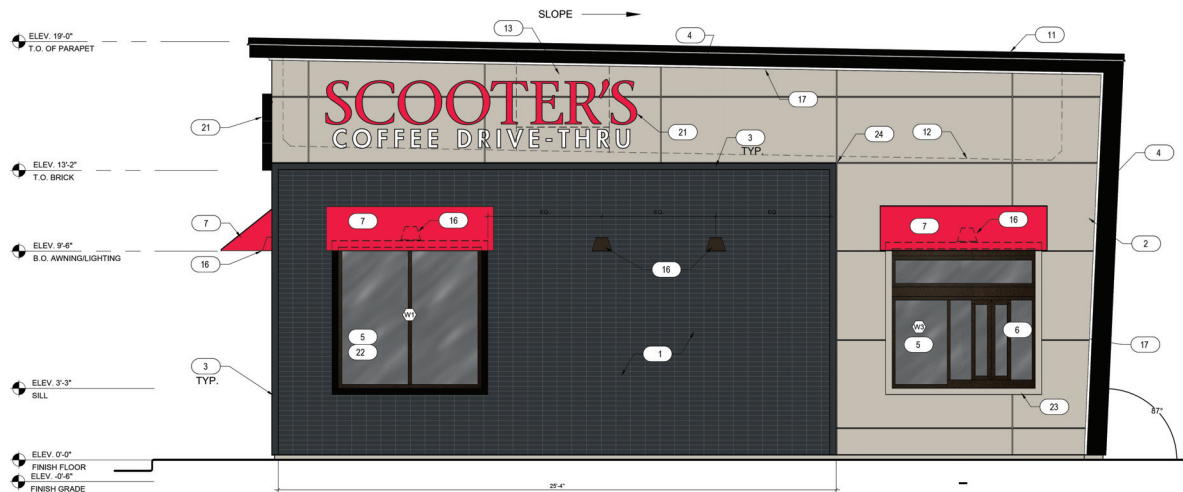
| Luminaire Schedule | | | | | |
|---|-----|-------|-------------|---------------------------|-------|
| Symbol | Qty | Label | Arrangement | Total Lamp Lumens | LLF |
|  | 3 | S1 | SINGLE | N.A. | 1.000 |
| | | | | Description | |
| | | | | ECF-S-32L-700-NW-G2-4-HIS | |

| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|------|-----|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| CalcPts 1 | Illuminance | Fc | 1.63 | 5.6 | 0.1 | 16.30 | 56.00 |
| PROPERTY LINE | Illuminance | Fc | 0.05 | 0.4 | 0.0 | N.A. | N.A. |





2 EXTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



1 EXTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"

KEYNOTES

1. ENDICOTT THIN BRICK VENEER, STACKED BOND - COLOR: MANGANESE IRONSPOT, SMOOTH FINISH
2. HARDIE REVEAL PANEL SYSTEM W210 - SMOOTH FINISH, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SW 1015 SKYLINE STEEL
3. 3 1/2" HARDIE TRIM, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGHELL FINISH
4. 20 GAUGE METAL ACCENTS AND BOFFITS - COLOR: BLACK
5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6. QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE
7. AWNING BY OTHERS - COLOR: RED
8. INSULATED HOLLOW METAL DOOR AND FRAME - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGHELL FINISH
9. PEEP HOLE, BY DOOR MANUFACTURER
10. DOOR BELL
11. 20 GAUGE METAL PARAPET CAP
12. LINE OF ROOF BEYOND
13. ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS
14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A.3
15. MAILBOX BY OWNER
16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. SIGNAGE BY OTHERS, UNDER A SEPARATE PERMIT
22. SPANDREL GLASS
23. 3 1/2" HARDIE TRIM, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SW 1015 SKYLINE STEEL
24. START HARDIE PANEL SIDING HERE



PROJECT ADDRESS:
533 PENN CT & W
PENN ST
NORTH LIBERTY, IA

REVISIONS:

TITLE:
EXTERIOR
ELEVATIONS

DATE:
5.14.21

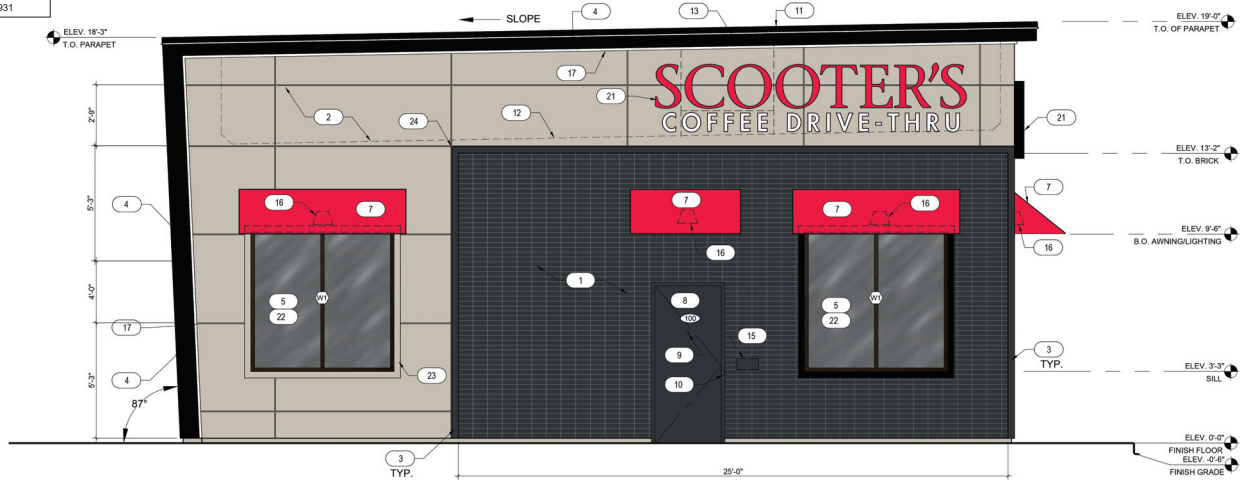
PROJECT NO.
21-173

- ☐ DESIGN DEVELOPMENT
- ☒ PERMIT SUBMITTAL
- ☐ BID PACKAGE
- ☐ CONSTRUCTION ISSUE

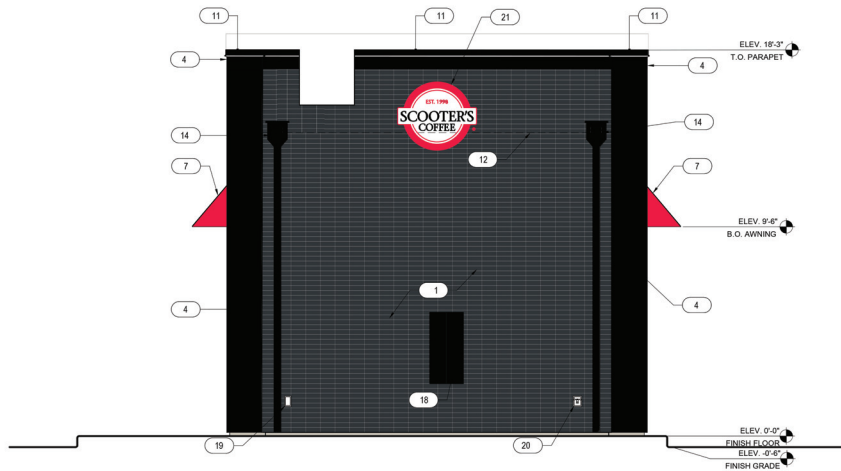
SHEET NO.

A3.2

| MASONRY REQUIREMENTS | | |
|--------------------------|-------------|------------|
| | FACADE | BRICK |
| WEST ELEVATION (2/A3.1) | 531 SQ.FT. | 257 SQ.FT. |
| NORTH ELEVATION (1/A3.1) | 261 SQ.FT. | 261 SQ.FT. |
| EAST ELEVATION (1/A3.2) | 555 SQ.FT. | 281 SQ.FT. |
| SOUTH ELEVATION (2/A3.1) | 255 SQ.FT. | 132 SQ.FT. |
| TOTAL | 1602 SQ.FT. | 931 |



2 EXTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



1 EXTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"

KEYNOTES

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19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
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24. START HARDIE PANEL SIDING HERE



PROJECT ADDRESS:
533 PENN CT & W
PENN ST
NORTH LIBERTY, IA

REVISIONS:

TITLE:
EXTERIOR
ELEVATIONS

DATE:
5.14.21

PROJECT NO.
21-173

☐ DESIGN DEVELOPMENT
☒ PERMIT SUBMITTAL
☐ BID PACKAGE
☐ CONSTRUCTION ISSUE
SHEET NO.

A3.1



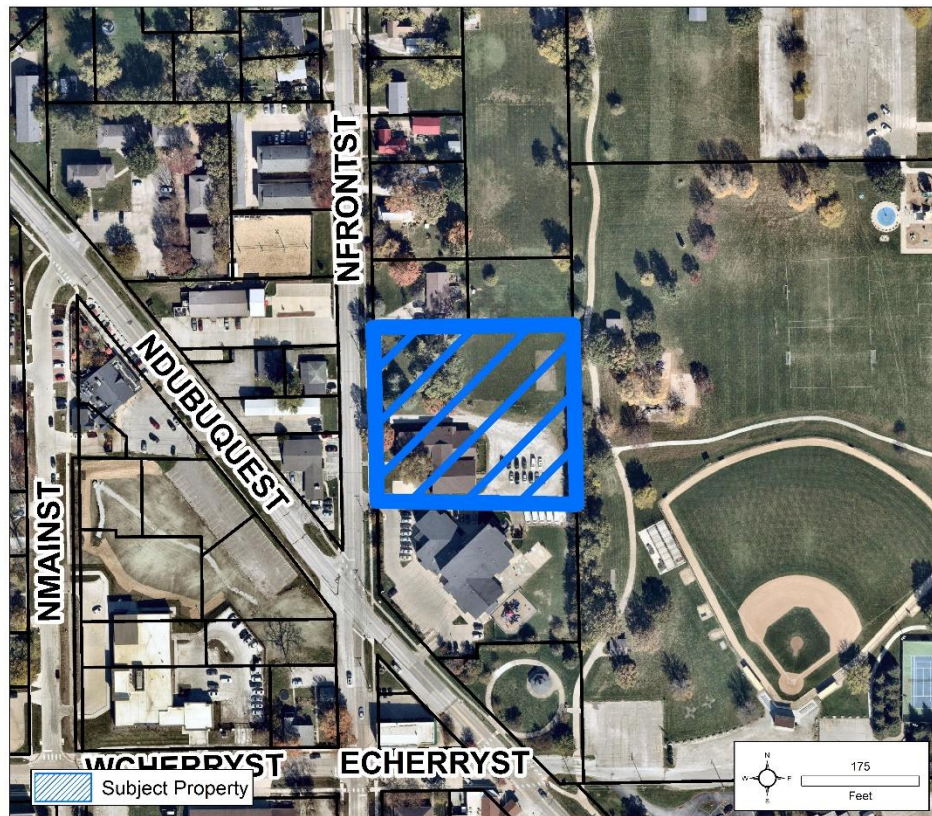
To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **May 28, 2021**
Re **Request of Hope Presbyterian Church to approve a Site Plan to pave an existing gravel parking lot and add new paved parking on approximately 1.78 acres of property located on the east side of North Front Street approximately 150 feet north of North Dubuque Street.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Grant Lientz, City Attorney
Tom Palmer, City Building Official
Kevin Trom, City Engineer
Ryan Rusnak, Planning Director

Request Summary:

The site plan proposes to pave an existing gravel parking lot and add new paved parking and related infrastructure.

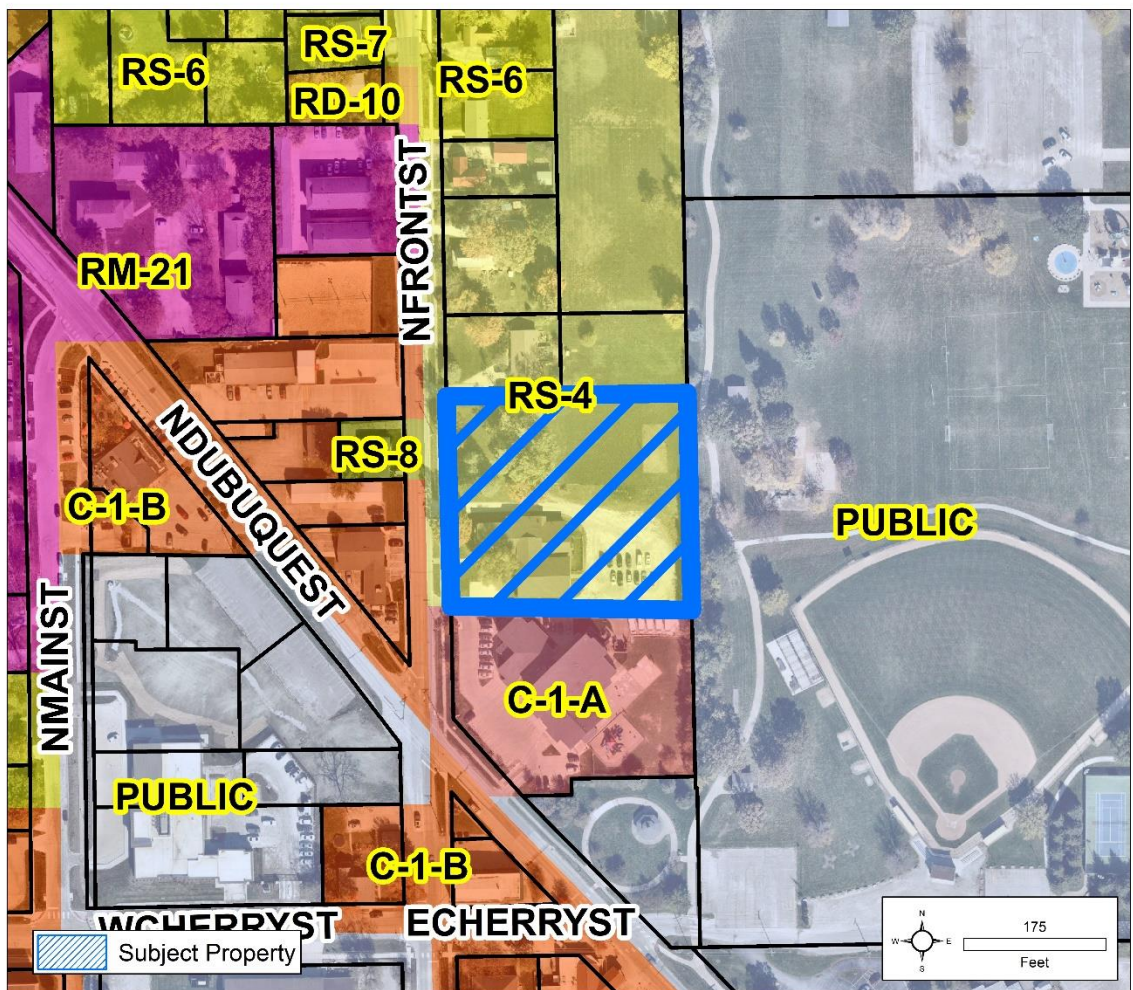


Existing Zoning:

The property is currently zoned RS-4 Single-Unit Residence District.

RS-4 Description:

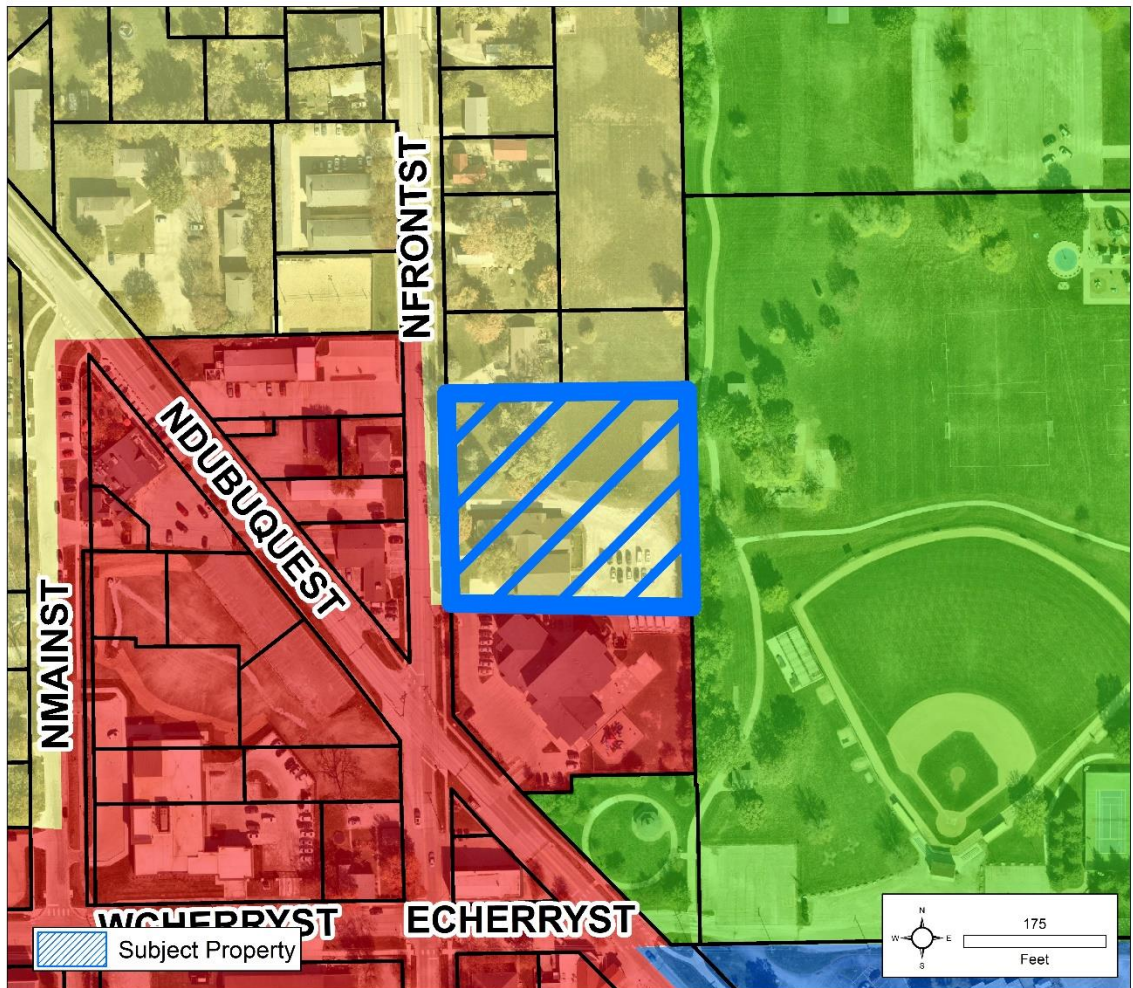
The RS-4 Single-Unit Residence District is intended to provide and maintain low-density single-unit residential neighborhoods with a minimum lot size of 10,000 square feet. The district shall include appropriate neighborhood facilities such as public parks, libraries, schools, churches, and recreational facilities, and is intended to protect these residential areas from encroachment of incompatible uses. Commercial uses are limited to allowable home occupations.



Consistency with Comprehensive Plan:

The property is designated Residential on the Future Land Use Map.

The RS-4 zoning is consistent with the Residential designation.



Approval Standards:

Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

2. *Site Plan Requirements. Site plans, which are required for review and approval for any use in any district or elsewhere by this code, shall comply with and illustrate the following:*

- D. *All site plans shall clearly illustrate the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, relationship to flood overlay zones, and such other information as necessary to show compliance with the requirements of this code. A preliminary site plan may be submitted for preliminary land use approval; however, the final site plan required by this code shall be submitted, reviewed, and approved prior to the issuance of building or construction permits.*

It is staff's opinion that the site plan illustrates the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, and such other information as necessary to show compliance with the requirements of this code.

- E. *The site plan shall include the following legal information:*

- (1) *Legal property owner's name and description of property.*
- (2) *Applicant's name, requested land use, and zoning.*
- (3) *If the applicant is other than the legal owner, the applicant's interest shall be indicated and the legal owner's authority to appeal shall be certified.*

This information has been provided on sheet 1.

- F. *The site plan shall clearly illustrate in color perspective and enumerate the following information:*

- (1) *Property boundary lines, dimensions, and total area.*

This information has been provided on sheet 1.

- (2) *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the final site plan.*

This information has been provided on sheets 3 and 4.

- (3) *The availability and location of existing utilities.*

This information has been provided on sheet 1.

- (4) *The proposed location, size, shape, color, and material type of all buildings or structures.*

This is not applicable.

- (5) *The total square feet of building floor area, both individually and collectively.*

This is not applicable.

- (6) *The number of dwelling units, bedrooms, offices, etc., as required to determine special compliance.*

This is not applicable.

- (7) *The proposed location of identification signs. An identification sign is defined as a sign displaying the name, address, insignia or trademark, and occupant of a building or the name of any building on the premises. Installation shall be in accordance with the Chapter 173 of this code.*

This is not applicable.

- (8) *A vicinity sketch showing detailed adjacent land uses within 500 feet of the property and general existing land uses within 1,000 feet of the property.*

This information has been provided on sheet 1.

- (9) *Existing buildings, right-of-way, street improvements, utilities (overhead or underground), easements, drainage courses, vegetation and large trees, etc.*

This information has been provided on sheet 1.

- (10) *Parking areas, number of parking spaces proposed, number of parking spaces required by this code, type of surfacing to be used, etc.*

This information has been provided on sheet 1.

- (11) *Walkways, driveways, outside lighting, walls, fences, signs, monuments, statues and other manmade features to be used in the landscape.*

Walkways and driveways are shown on sheet 1. Parking lot lighting is not proposed. No walls, fences, monuments or statues are proposed.

- (12) *Location and type of all plants, grass, trees, or ground cover to be used in the landscape. Landscaping shall be illustrated in elevation and color perspective with the size and exact names of plants, shrubs, or trees to be planted clearly indicated.*

This information has been provided on sheet 5.

(13) Walls, fences or other artificial screens to be used as buffers shall be shown in elevation and color perspective with proposed height and structural material to be used indicated. See Section 169.02 for the guidelines concerning landscaping.

Walls, fences or other artificial screens are not proposed.

(14) Traffic considerations, architectural themes, pedestrian movement, etc., and all other considerations pertinent to the proposed use may be requested for illustration or statistical purposes.

This is not applicable.

(15) The methods of compliance with all applicable flood plain development standards and flood (overlay) districts as contained in this code.

The subject property is not located within a flood hazard area.

Additional Considerations:

North Liberty Code of Ordinances Section 169.12 entitled, "Design Standards" and Section 169.13 entitled, "Other Design Standards" sets forth certain design standards (applicable Ordinance language in italics and staff analysis in bold).

Section 169.13

2. *Parking Lot Screening. All parking lots shall be screened from public streets utilizing plantings and berms to help maintain visually attractive corridors.*

It is staff's opinion that the parking lot screening achieves consistency with this design standard.

4. *Yards, Ground Cover, and Landscaping. Established grass, either sod or seed, is required for all yards for all new buildings and additions over 500 square feet in area, in addition to trees and screening that may also be required by other code sections, prior to occupancy.*

B. *Tree Requirements for Commercial, Office Park, or Industrial Development. For each Commercial, Office Park, or Industrial Development, one tree will be shown for every 2,000 square feet of building footprint.*

It is staff's opinion that the parking lot screening achieves consistency with this design standard.

Findings:

1. The place of worship use of the property would be consistent with the current RS-4 Single-Unit Resident District and the Comprehensive Plan Future Land Use Map designation of Residential; and
2. The site plan, with conditions recommended by City staff, would achieve consistency with North Liberty Code of Ordinances Section 165.04(2) entitled, "Site Plan Requirements" Section 169.12 entitled "Design Standards, Section 169.13, entitled "Other Design Standards" and other Code of Ordinance requirements.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request to approve a Site Plan to pave an existing gravel parking lot and add new paved parking on approximately 1.78 acres of property located on the east side of North Front Street approximately 150 feet north of North Dubuque Street to the City Council with a recommendation for approval subject to the following conditions:

- 1) That the portion of the replaced sidewalk toward the north end of the property be 5 feet in width with a one panel tapering transition.
- 2) That the curb cut at the north driveway location be replaced with a storm intake and pipe into the detention basin and that the grading plans allow for the 100-yr storm event to enter the pond.
- 3) That the driveway jointing detail be revised to follow North Liberty's Supplement to SUDAS. A note has been added on sheet 1, but the detail still allows the contractor an option.
- 4) That there be two 100-year storm routings through the detention basin such that one shows flows with the perforated riser as the control and one shows the 6" tile line as the control. Revise the stormwater report as necessary.
- 5) That the 5-year storm event be routed through the pond to evaluate the 5-year flow through the outlet pipe to the existing intake and pipe in North Front Street. Include this within the stormwater report.

Suggested motion:

















I move that the Planning Commission accept the two listed findings and forward the site plan to the City Council with a recommendation for approval subject to the five conditions recommended by City staff.

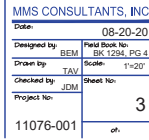


CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

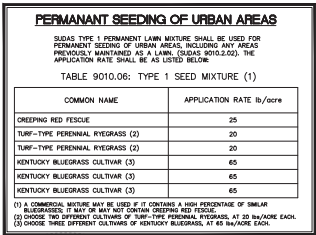
1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

DEMOLITION
PLAN AND
MASS GRADING
AND SWPPP

| EROSION CONTROL LEGEND | |
|---|---|
|  | SEDIMENT FILTER FENCE/FILTER SOCK |
|  | TEMPORARY ROCK CONSTRUCTION/EXTENSION/EXIT |
|  | TEMPORARY PARKING AND STORAGE |
|  | CONCRETE TRUCK/EQUIPMENT WASHOUT |
|  | PORTABLE RETENTION. EPA and local DNR both recommend this and other maintenance devices that limit erosion and sediment are regularly employed. |
|  | REGULAR LOCATION (PERMITS, SHIPPING, INSPECTION FORMS, ETC.) |
|  | FILTER SOCK INLET PROTECTION |
|  | FILTER SOCK BEHIND CURB AT CURB RAMP |
|  | TEMPERARY SOIL STOCKPILE AREA |
|  | DIRECTION OF OVERLAND FLOW |
|  | DAMPER FOR CONSTRUCTION WASTE. Provide a covered damper which is recommended by the City of Los Angeles DNR and EPA for use at all construction sites. Refer to Appendix of the San Page 30 of the EPA's Developing Your Storm Water Management Plan for Construction Sites, EPA Construction Site, EPA 823-B-06-004, May 2007. |
|  | RP RAP OUTLET PROTECTION |
|  | OTHER MEASURE: |
|  | OTHER MEASURE: |
|  | OTHER MEASURE: |
|  | OTHER MEASURE: |

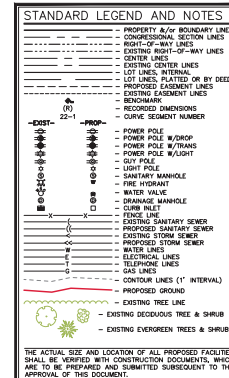


1998 1999 2000 2001 2002 2003 2004 2005 2006 2007 2008 2009 2010 2011 2012 2013 2014 2015 2016 2017 2018 2019 2020 2021 2022 2023 2024 2025 2026 2027 2028 2029 2030 2031 2032 2033 2034 2035 2036 2037 2038 2039 2040 2041 2042 2043 2044 2045 2046 2047 2048 2049 2050 2051 2052 2053 2054 2055 2056 2057 2058 2059 2060 2061 2062 2063 2064 2065 2066 2067 2068 2069 2070 2071 2072 2073 2074 2075 2076 2077 2078 2079 2080 2081 2082 2083 2084 2085 2086 2087 2088 2089 2090 2091 2092 2093 2094 2095 2096 2097 2098 2099 2100 2101 2102 2103 2104 2105 2106 2107 2108 2109 2110 2111 2112 2113 2114 2115 2116 2117 2118 2119 2120 2121 2122 2123 2124 2125 2126 2127 2128 2129 2130 2131 2132 2133 2134 2135 2136 2137 2138 2139 2140 2141 2142 2143 2144 2145 2146 2147 2148 2149 2150 2151 2152 2153 2154 2155 2156 2157 2158 2159 2160 2161 2162 2163 2164 2165 2166 2167 2168 2169 2170 2171 2172 2173 2174 2175 2176 2177 2178 2179 2180 2181 2182 2183 2184 2185 2186 2187 2188 2189 2190 2191 2192 2193 2194 2195 2196 2197 2198 2199 2200 2201 2202 2203 2204 2205 2206 2207 2208 2209 2210 2211 2212 2213 2214 2215 2216 2217 2218 2219 2220 2221 2222 2223 2224 2225 2226 2227 2228 2229 2230 2231 2232 2233 2234 2235 2236 2237 2238 2239 2240 2241 2242 2243 2244 2245 2246 2247 2248 2249 2250 2251 2252 2253 2254 2255 2256 2257 2258 2259 2260 2261 2262 2263 2264 2265 2266 2267 2268 2269 2270 2271 2272 2273 2274 2275 2276 2277 2278 2279 2280 2281 2282 2283 2284 2285 2286 2287 2288 2289 2290 2291 2292 2293 2294 2295 2296 2297 2298 2299 2300 2301 2302 2303 2304 2305 2306 2307 2308 2309 2310 2311 2312 2313 2314 2315 2316 2317 2318 2319 2320 2321 2322 2323 2324 2325 2326 2327 2328 2329 2330 2331 2332 2333 2334 2335 2336 2337 2338 2339 2340 2341 2342 2343 2344 2345 2346 2347 2348 2349 2350 2351 2352 2353 2354 2355 2356 2357 2358 2359 2360 2361 2362 2363 2364 2365 2366 2367 2368 2369 2370 2371 2372 2373 2374 2375 2376 2377 2378 2379 2380 2381 2382 2383 2384 2385 2386 2387 2388 2389 2390 2391 2392 2393 2394 2395 2396 2397 2398 2399 2400 2401 2402 2403 2404 2405 2406 2407 2408 2409 2410 2411 2412 2413 2414 2415 2416 2417 2418 2419 2420 2421 2422 2423 2424 2425 2426 2427 2428 2429 2430 2431 2432 2433 2434 2435 2436 2437 2438 2439 2440 2441 2442 2443 2444 2445 2446 2447 2448 2449 2450 2451 2452 2453 2454 2455 2456 2457 2458 2459 2460 2461 2462 2463 2464 2465 2466 2467 2468 2469 2470 2471 2472 2473 2474 2475 2476 2477 2478 2479 2480 2481 2482 2483 2484 2485 2486 2487 2488 2489 2490 2491 2492 2493 2494 2495 2496 2497 2498 2499 2500 2501 2502 2503 2504 2505 2506 2507 2508 2509 2510 2511 2512 2513 2514 2515 2516 2517 2518 2519 2520 2521 2522 2523 2524 2525 2526 2527 2528 2529 2530 2531 2532 2533 2534 2535 2536 2537 2538 2539 2540 2541 2542 2543 2544 2545 2546 2547 2548 2549 2550 2551 2552 2553 2554 2555 2556 2557 2558 2559 2560 2561 2562 2563 2564 2565 2566 2567 2568 2569 2570 2571 2572 2573 2574 2575 2576 2577 2578 2579 2580 2581 2582 2583 2584 2585 2586 2587 2588 2589 2590 2591 2592 2593 2594 2595 2596 2597 2598 2599 2600 2601 2602 2603 2604 2605 2606 2607 2608 2609 2610 2611 2612 2613 2614 2615 2616 2617 2618 2619 2620 2621 2622 2623 2624 2625 2626 2627 2628 2629 2630 2631 2632 2633 2634 2635 2636 2637 2638 2639 2640 2641 2642 2643 2644 2645 2646 2647 2648 2649 2650 2651 2652 2653 2654 2655 2656 2657 2658 2659 2660 2661 2662 2663 2664 2665 2666 2667 2668 2669 2670 2671 2672 2673 2674 2675 2676 2677 2678 2679 2680 2681 2682 2683 2684 2685 2686 2687 2688 2689 2690 2691 2692 2693 2694 2695 2696 2697 2698 2699 2700 2701 2702 2703 2704 2705 2706 2707 2708 2709 2710 2711 2712 2713 2714 2715 2716 2717 2718 2719 2720 2721 2722 2723 2724 2725 2726 2727 2728 2729 2730 2731 2732 2733 2734 2735 2736 2737 2738 2739 2740 2741 2742 2743 2744 2745 2746 2747 2748 2749 2750 2751 2752 2753 2754 2755 2756 2757 2758 2759 2760 2761 2762 2763 2764 2765 2766 2767 2768 2769 2770 2771 2772 2773 2774 2775 2776 2777 2778 2779 2780 2781 2782 2783 2784 2785 2786 2787 2788 2789 2790 2791 2792 2793 2794 2795 2796 2797 2798 2799 2800 2801 2802 2803 2804 2805 2806 2807 2808 2809 2810 2811 2812 2813 2814 2815 2816



| COMMON NAME | APPLICATION RATE lb/acre |
|----------------------------------|--------------------------|
| CREeping RED FESCUE | 25 |
| TURF-TYPE PERENNIAL RYEGRASS (2) | 20 |
| TURF-TYPE PERENNIAL RYEGRASS (2) | 20 |
| KENTUCKY BLUEGRASS CULTIVAR (3) | 65 |
| KENTUCKY BLUEGRASS CULTIVAR (3) | 65 |
| KENTUCKY BLUEGRASS CULTIVAR (3) | 65 |

- (1) A COMMERCIAL MIXTURE MAY BE USED IF IT CONTAINS A HIGH PERCENTAGE OF SIMILAR BLUEGRASSES; IT MAY OR MAY NOT CONTAIN CREEPING RED FESCUE.
- (2) CHOOSE TWO DIFFERENT CULTIVARS OF TURF-TYPE PERENNIAL RYEGRASS, AT 20 LBS./ACRE EACH.
- (3) CHOOSE THREE DIFFERENT CULTIVARS OF KENTUCKY BLUEGRASS, AT 45 LBS./ACRE EACH.



GRADING TOPSOIL NOTE:
PRIOR TO FINAL SEEDING, ALL GREEN SPACE SHALL BE TILLED TO A MINIMUM DEPTH OF 12" AND COVERED WITH A MINIMUM OF 6" OF TOPSOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR STOCKPILING ADEQUATE TOPSOIL FOR ALL GREEN SPACE.



WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER OF THESE CONDITIONS AT THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-419 OR SUDAS 8030-110 AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

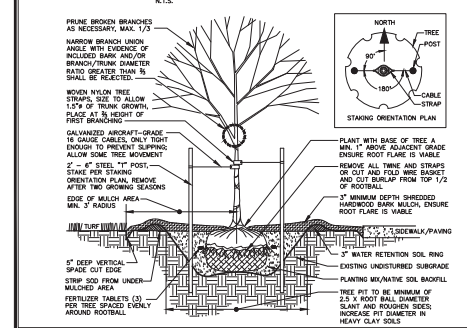
VEGETATION PLAN LEGEND
(FINAL SITE RESTORATION)

 AREA TO BE SEEDING.

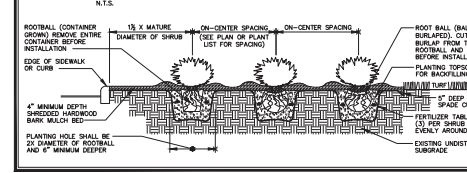
LANDSCAPE NOTES

[illegible]

TYPICAL TREE PLANTING DETAIL
N.T.S.

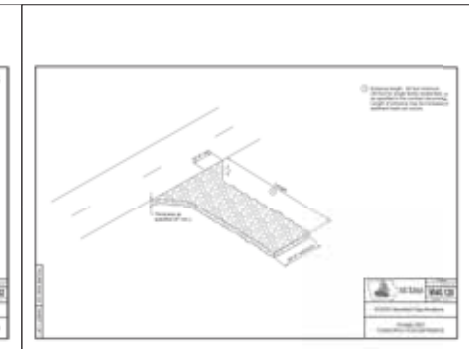


SHRUB PLANTING DETAIL (DECIDUOUS AND EVERGREEN)



PLANT SCHEDULE

| ORNAMENTAL TREES | CODE | QTY | BOTANICAL NAME | COMMON NAME | INSTALL SIZE | COMMENT | MATURE H. X W. |
|---|------|-----|---------------------------------|--------------------------------|--------------|---------|----------------|
|  | MP | 2 | Malus x 'Paintrfire' | Paintrfire Crabapple | 1.5' Cal. | B & B | 20' x 20' |
|  | SR | 4 | Syringa reticulata 'Ivory Silk' | Ivory Silk Japanese Tree Lilac | 1.5' Cal. | B & B | 30' x 25' |
| SHADE TREES | CODE | QTY | BOTANICAL NAME | COMMON NAME | INSTALL SIZE | COMMENT | MATURE H. X W. |
|  | GD | 2 | Gymnocladus dioica | Kentucky Coffeetree | 2" Cal. | B & B | 70' x 50' |
|  | QR | 2 | Quercus rubra | Red Oak | 2" Cal. | B & B | 60' x 60' |
|  | UA | 2 | Ulmus americana 'New Horizon' | New Horizon American Elm | 2" Cal. | B & B | 30' x 25' |





To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **May 28, 2021**
Re **Request of the City of North Liberty for an Ordinance amending portions of Chapters 167, 168, and 170 of the City of North Liberty Code of Ordinances, defining permitted agricultural and livestock uses, removing confined animal feeding operations as a permitted use, creating regulations for an agricultural experience use, modifying signage and off-street parking requirements in general, and modifying accessory uses for community food pantries.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Grant Lientz, City Attorney
Tom Palmer, City Building Official
Kevin Trom, City Engineer
Ryan Rusnak, Planning Director

Proposed Zoning Ordinance amendments:

City staff has been collaborating with Dean and Katie Colony for the past several months to write an Agricultural Experience Ordinance, which would allow their farm to operate in City limits.

City staff decided that allowing the use by Conditional Use approval was necessary because the City does not have an Agricultural Comprehensive Plan Future Land Use Map designation. In that light, an Agricultural Experience Zoning District could not be created because it would not be consistent with the Future Land Use Map.

City staff took the opportunity to revise outdated definitions and uses and standards in the ID Interim Development District. Staff also amended the food pantry regulations to allow a portion of second accessory building to be utilized for the food pantry.

Public Input:

No public input has been received.

Finding:

1. The Zoning Ordinance amendments would allow for an agricultural use within City limits and would revise outdated and onerous language.

Recommendation:

City staff recommends the Planning Commission accept the one listed finding and forward the request of the City of North Liberty for an Ordinance amending portions of Chapters 167, 168, and 170 of the City of North Liberty Code of Ordinances, defining permitted agricultural and livestock uses, removing confined animal feeding operations as a permitted use, creating regulations for an agricultural experience use, modifying signage and off-street parking requirements in general, and modifying accessory uses for community food pantries.

Suggested motion:

I move that the Planning Commission accept the one listed finding and forward the Ordinance amendments to the City Council with a recommendation for approval.

SECTION 1. AMENDMENT.

167.01 Definitions.

"Agriculture" means ~~the tilling of the soil, raising of crops, animals, horticulture, gardening, and bee keeping~~ use of land and associated structures dedicated to the art or science of cultivating the ground, including harvesting of crops and rearing and management of livestock and bee keeping.

"Agriculture Experience" means any agriculture-related activity, as a secondary use in conjunction with a permitted agricultural use, which activity is open to the public with the intended purpose of promoting or educating the public about agriculture, agricultural practices, agricultural activities, or agricultural products. An activity is an agriculture experience activity whether or not the participant paid to participate in the activity. The sale of merchandise and service and/or sale of food and drinks, including alcoholic beverages, is permitted as an accessory use to activities sponsored by the organization.

"Animal Feeding Operations" means an agricultural enterprises where animals are kept and raised in confined situations where feed is brought to the animals rather than the animals grazing or otherwise seeking feed in pastures, fields, or on rangeland.

"Farm" means ~~an area with a minimum size of ten acres which is used for the growing of the usual farm products as vegetables, fruits, and grain and their storage on the area, as well as for the raising thereon of the usual farm poultry and farm animals.~~

"Farm animals" means ~~animals other than household pets that may, where permitted, be kept and maintained for commercial production and sale and/or family food production, education, or recreation. Farm animals are identified by these categories: large animals (e.g., horses and cattle); medium animals (e.g., sheep, goats); or small animals (e.g., rabbits, chinchilla, chickens, turkeys, pheasants, geese, ducks and pigeons).~~

"Farming" ~~includes the operation of such farm area for one or more of the uses provided in Section 168.01 with the necessary accessory uses for treating or storing the food produce; provided, however, the operation of any such accessory uses shall be secondary to that of the normal farming activities and such accessory uses do not include the feeding of garbage or offal to swine or other animals.~~

"Livestock" means ~~one or more domestic animals of species bred or kept for production of food or fiber, for use as draft animals, or for riding~~ belonging to the bovine, caprine, equine, ovine, or porcine species and/or poultry.

SECTION 2. AMENDMENT.

168.01 ID ZONE – INTERIM DEVELOPMENT DISTRICT.

The Interim Development District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas.

1. Use Regulations. Principal, accessory, and conditional uses permitted in the ID Zone – Interim Development District are as prescribed in Table 168.01-A.

TABLE 168.01-A – ID ZONE USES

P = Permitted, C = Conditional, A = Accessory, N/A = Not Allowed

| Land Use | | Notes |
|---|------------------|--|
| <u>Agriculture</u> | <u>P</u> | <u>Minimum lot size is three (3) acres.</u> |
| <u>Agricultural Experience</u> | <u>C</u> | <u>See Section 170.07 of this code.</u> |
| Animal Feeding Operations, Non-confinement | P | See definition of “Animal Feeding Operations, Confinement” |
| Animal Feeding Operations, Confinement | C/N/A | Confined animal feeding operation is a lot or facility, together with any associated treatment works, where animals are raised within buildings, corrals, or pens during all stages of production, and without significant time grazing on natural vegetation. |
| Communications Towers | A | 45 feet maximum height |
| Community Buildings | P | |
| Country Clubs | P | Except miniature golf courses and commercial driving ranges |
| Keeping of Small Animals Directly Related to Agricultural Operations | P | Maximum four animals |
| Emergency Shelters | A | |
| Family Homes | P | |
| Farming | P | The business of cultivating soil, producing crops, and raising animals. |
| Farm Buildings on Lots Over 3 Acres Only | P | Outbuildings, including barns, sheds, and other structures directly related to the residential or agricultural use of the property. No such buildings may be used for commercial or warehouse operations. Wind turbines or other wind-powered generators are not included in this classification. Confinement buildings are considered under “Animal Feeding Operations, Confinement” |
| Food Pantry | C | Only if accessory to places of worship. See Section 169.06 of this code. |
| Golf Courses | P | Except miniature golf courses and commercial driving ranges |
| Home Occupations | A | |

| | | |
|---------------------------------------|---|--|
| Kennels | C | - |
| Nurseries / Daycare | P | |
| Parks | P | |
| Parochial or Private Schools | P | Curricula similar to public schools; no boarding |
| Places of Worship | P | |
| Playgrounds | P | |
| Private Garages, Detached | A | See Section <u>169.06</u> |
| Private Swimming Pools | A | |
| Public Schools | P | |
| Single Dwelling Unit Buildings | P | Owner occupied |
| Single Rental Dwelling Unit Buildings | P | See Chapter 169.15 for restrictions |
| Temporary Construction Buildings | A | |
| Tennis Courts | A | |
| Utility and Service Uses | P | |

2. Bulk Regulations. The minimum area, setbacks, density, and maximum height are as prescribed in Table 168.01-B.

TABLE 168.01-B – ID ZONE BULK REGULATIONS

| Principal Permitted Uses | Minimum Lot Size Requirement | | | Minimum Yard Requirement | | | |
|--|------------------------------|----------|---------|--------------------------|----------------------|-----------------|-----------------------|
| | Frontage | Width | Area | Front Yard Depth | Each Side Yard Width | Rear Yard Depth | Maximum Height |
| Single-Family Dwellings, Family Homes, <u>Parks, Playgrounds, Utility and Service Uses</u> | 150 feet | 150 feet | 1 acre | 50 feet | 10 feet | 50 feet | 35 feet or 2½ stories |
| Public Building; Place of Worship; School, Community Buildings, <u>Country Clubs</u> | 150 feet | 150 feet | 3 acres | 75 feet | 20 feet | 50 feet | 70 feet |

| | | | | | | | |
|---|-----------------|-----------------|-----------------|-----------------|----------------|-----------------|------------------------------|
| <u>Agricultural Experience¹</u> | <u>400 feet</u> | <u>400 feet</u> | <u>10 acres</u> | <u>100 feet</u> | <u>50 feet</u> | <u>100 feet</u> | <u>35 feet or 2½ stories</u> |
| All other uses with buildings and/or livestock ² | 200 feet | 200 feet | 5 acres | 100 feet | 50 feet | 100 feet | 35 feet or 2½ stories |

^{1.} Only buildings and structures that are part of an agricultural experience are subject to minimum yard requirement.

^{2.} Only buildings and structures that are part of an agricultural use are subject to minimum yard requirement.

3. Accessory Uses. Accessory uses are permitted subject to the provisions of Section 169.06.

4. Home Occupations. Home occupations are permitted subject to the provisions of Section 170.01.

5. Conditional Uses. Conditional uses are permitted subject to the provisions of Section 171.02.

6. Off-Street Parking. Off-street parking shall be provided according to the provisions of Section 169.01. For an agricultural experience use, see Section 170.07.

~~7. Stockyard Operation; License Required. It is unlawful for any person to locate, build, construct, use, operate, or maintain a stockyard, animal enclosure, animal feeding operation, open feed lot, or confinement feeding operation as a principal, accessory, or conditional use in any ID District within the corporate limits of the City without having obtained a license therefor as provided in this zoning ordinance.~~

~~8. Kennels; License Required. It is unlawful for any person to locate, build, construct, use, operate, or maintain a kennel in any ID District within the corporate limits of the City without having obtained a license therefor as provided in this zoning ordinance.~~

~~9-7.~~ Signs. Signs shall be permitted according to the provisions of Chapter 173. For an agricultural experience use, see Section 170.07.

SECTION 3. AMENDMENT.

Section 169.06(6)

6. Food Pantry. ~~One accessory building to provide services as a~~ A food pantry is allowed as an accessory use only under the following conditions:
 - A. Permitted only as an accessory use for non-profit organizations.
 - B. A maximum of one accessory use building is allowed on the lot with the principal use structure in addition to one storage building or garage associated with the principal use structure.
 - C. Commercial for-profit uses are expressly disallowed.
 - D. Any type of housing, including transient housing, is expressly disallowed.
 - E. The accessory use building and underlying land shall remain at all times in the same ownership as the principal use on the lot.
 - F. Parking shall be provided in accordance with code requirements.
 - G. Maximum accessory use signage: 1 sign, ground or wall, not larger than 8 square feet.
 - H. Maximum accessory building height: 1 floor.
 - I. Principal structure setback requirements are to be observed for the accessory building described herein.

- J. Maximum size of the accessory building is to be 2,500 square feet, but in no case larger than the square foot total of the principal structure.
- K. Design standards apply to the accessory building as well as the principal building.
- L. A conditional use approval is required.

SECTION 4. AMENDMENT.

Section 170.07 – AGRICULTURAL EXPERIENCE.

A conditional use permit shall be obtained for any agricultural experience, subject to the following conditions.

1. Uses Permitted in Conjunction with an Agricultural Experience.
 - A. Agriculturally related seasonal festivals including crop mazes or hayrides.
 - B. You-pick operations, including, but not limited to vegetable and berry picking, pumpkin patches and similar uses.
 - C. Direct sale of agricultural products grown and/or produced on or off-site. Examples of agricultural products grown and/or produced off-site include, but are not limited to, fruits and vegetables and seasonal flowers and trees.
 - D. Value-added (other than alcohol products) processing of produce and fruit grown on the farm.
 - E. Agricultural clinics and tours, seminars or classes and organized agricultural related group activities with no overnight accommodations.
 - F. On-the-farm weddings and wedding receptions.
 - G. On-the-farm events sponsored by the City of North Liberty.
 - H. Up to twelve non-agricultural related events may occur within a calendar year. The event shall be described in a permit issued by the Code Official prior to the commencement of the event. The Zoning Code Official may impose such conditions on the event as are necessary to protect the public health, safety and welfare, and adjacent uses. No fee is required for this permit.
2. Design Standards.
 - A. The area devoted to the agricultural experience shall only have direct access to roadway classified as a collector or arterial roadway.
 - B. In order to maintain the rural theme, agricultural experience uses shall not be subject to any of the provisions of Sections 169.12, 169.13 or 169.14. Rather, building style and design standards shall be subject to the following:
 1. Buildings and structures shall have color schemes primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. White or off-white is also acceptable. Earth tone and white colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors.
 2. Buildings and structures shall have the eaves of roof extend a minimum of one foot past the outside walls.
 3. Buildings and structures shall have a minimum 5/12 roof pitch.
 4. Exterior wall coverings shall be wood vertical or horizontal grooved or lapped siding. Substitute materials achieving a similar appearance may be utilized.
 5. No building shall exceed 5,000 square feet in area.
 6. Design standards do not apply to buildings or structures under 200 square feet in area, playground equipment or other similar structures. Existing buildings or

structures 200 square feet in area or greater not meeting design standards may be permitted if identified in the Conditional Use.

- C. Off-street parking. In order to maintain a rural theme, an agricultural use shall not be subject to the provisions of Section 169.01. Rather, safe vehicular access and customer parking shall be provided on site, such that vehicles are not required to back onto public streets or cause congestion on public streets. The use of gravel is limited to primary and secondary driveway isles. Off-street parking areas shall be located outside of public rights-of-way and shall be maintained in such a manner to allow access to the site by emergency vehicles
- D. Lighting. In order to maintain a rural theme, an agricultural use shall not be subject to the provisions of Section 169.12(I). Rather, any exterior lighting shall be appropriately shielded and/or directed away from adjacent properties and public rights-of-way.
- E. Sign Regulations. Signs shall be subject the provisions of Chapter 173, except where it conflicts with the exception of the following:
 - i. One non-internally illuminated sign is permitted per public street access. The surface area for each sign shall not exceed 32 square feet and the height shall not exceed 12 feet. Sign shall be designed with one or more wooden posts that are part of the overall sign structure and sign design. Signs may be externally illuminated.
 - ii. Electronic message signs are prohibited.
Mobile signs are prohibited, but a message board sign may be incorporated in the permanent sign.
 - iii. Two seasonal event temporary signs are permitted per calendar year. Such signs shall be the only sail-shaped vertical flag signs and shall be removed immediately upon termination of the special event or at the end of 60 days, whichever comes first.
 - iv. There are no restrictions for signs not visible from the boundary of the property.
- F. Landscaping Requirements. Landscaping shall be subject the provisions of Chapter 169.02, with the exception of where it conflicts with the following:
 - i. Along a street frontage. 10 foot wide landscape area.
 - ii. Adjacent to a residential zone. 25 foot wide landscape area.
 - iii. Tree planting is encouraged within landscape areas.
- G. Temporary Restroom Facilities. Temporary restroom facilities may be provided, but shall not supplant permanent restroom facilities, when required.
- H. Maximum Capacity. The Fire Marshall and Building Official shall establish the maximum occupant capacity for meetings, training, educational or similar events which shall be appropriate to the site and facilities in terms of capacity in buildings, parking areas and sanitation limitations of the site.

**North Liberty Planning Commission**

May 4, 2021

Via Zoom

Due to the COVID-19 pandemic, public health and safety concerns require City of North Liberty public meetings to be held electronically, so as to limit the spread of the virus.

Roll Call

Chair Rebecca Keogh called the May 4, 2021 Planning Commission to order at 6:30 p.m. Commission members present: Barry A'Hearn, Josey Bathke, Jason Heisler, Rebecca Keogh, Jessica Marks, Kylie Pentecost, Patrick Staber. Others present: Ryan Rusnak, Tracey Mulcahey, Grant Lientz, Kevin Trom, Peggy Slaughter, Troy Culver, Brandon Pratt, Patrick Magallanes, Tom Pugh, Ryan Prahm and other interested parties.

Approval of the Agenda

Staber moved, Marks seconded to approve the agenda. The vote was all ayes. Agenda approved.

Physician's Building Group LLC Zoning Map Amendment*Staff Presentation*

Rusnak presented the request of Building Group, LLC, contract purchaser, for a zoning map amendment (rezoning) on 33.48 acres, more or less, from ID Interim Development District to O/RP Office and Research Park District on property located on the west side of South Kansas Avenue approximately .23 miles north of West Forevergreen Road. Staff recommends approval with the following findings:

1. The zoning map amendment would be consistent the North Liberty Comprehensive Plan Land Use Plan; and
2. The proposed use of the property would be compatible with the area.

Applicants Presentation

No was present on behalf of the applicant.

Public Comments

No comments were presented.

Questions and Comments

The Commission discussed the application including the corporate boundaries adjacent to this property, the intent of the zoning, annexation of nearby properties, opening of a new section of the city for development and what might happen if the developer decides not to purchase and/or develop after the zoning is completed.

Recommendation to the City Council

Staber moved, A'Hearn seconded that the Planning Commission accept the two listed findings and forward the zoning map amendment to the City Council with a recommendation for approval. The vote was: ayes – Staber, Bathke, A'Hearn, Marks, Pentecost, Keogh, Heisler; nays – none. Motion carried.

Solomon Holdings LLC Zoning Map Amendment

Staff Presentation

Rusnak presented the request of Solomon Holdings, LLC on behalf of NLDC Lot 12, LC for a zoning map amendment (rezoning) on 2.46 acres, more or less, from C-2A Highway Commercial District to C-2A PAD Highway Commercial District Planned Area Development on property located on the west side of Community Drive approximately 240 feet south of West Penn Street. Staff recommends approval with the acceptance of the following findings:

1. Since the underlying zoning is C-2A, the request would be consistent the North Liberty Comprehensive Plan Land Use Plan;
2. The proposed use and density of the development would be compatible with the area;
3. The zoning map amendment achieves consistency with Section 168.12 of the North Liberty Code of Ordinances, entitled "PAD Zone – Planned Area Development Overlay District and the site plan achieves consistency with Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements" with the conditions recommended by City staff;

and the following conditions:

1. That the bulk regulations on Sheet C101 be revised to "rear yard setback: 20"
2. That the parking calculations on Sheet C101 be revised for the Tin Roost to "restaurant – 1 for every 100 SF – 81 spaces". 81 parking spaces was shown on the 2016 approved site plan.
3. That a Plat of Survey be prepared and recorded, which shows the reconfigured lots and all easements. All easements shall be subject to approval as to form and content by the City Attorney.
4. That the ownership of the newly created lot be transferred from NLCD Lot 12 LC to a new ownership entity.
5. That a temporary construction easement be obtained for the construction occurring on Lot 1 Liberty Center Part 1B. The easement shall be subject to approval as to form and content by the City Attorney.
6. That the Driveway Crossing Detail on Sheet C201 be amended such that the public sidewalk be designed and constructed through the proposed drive approach at sidewalk elevation and detectable warnings be removed in accordance with SUDAS and North Liberty amendments to SUDAS.
7. That the plans be updated to provide sufficient detail on grading and all spot elevations, slopes, etc., especially near the proposed overflow weir location.
8. That the plans be updated to demonstrate how the overland overflow route for the Community Drive will flow through this site without causing damage to buildings and

property. That the plans graphically illustrate the 100-year ponding elevation on site as the overland flow flows over the proposed weir to the pond.

9. That the plans be updated to clearly list the inverts and length/slope of 24" storm sewer pipe on the plans and that the drainage analysis be revised accordingly. This is due to the existing 24" storm sewer pipe running through this site being listed at 2.6% in the 5-year drainage analysis and the same pipe being listed as 1.7% slope in the 100-year drainage analysis. Surveyed inverts/slopes are not clearly provided on the plans, but appear to be 1.7% slope.
10. That the drainage calculations be revised to address the following:
 - Provide supporting calculations and the computer generated HGL line for the 100-year storm event.
 - Shive-Hattery did not provide a 100-year pond elevation of 767.00. This was simply a guess. Remove this statement from the report. The Snyder calculations appear to have the 100-year pool elevation on the last page. The engineer is responsible for determining the tailwater elevation for the drainage analysis.
 - The calculations need to include the analysis of the emergency overland flow between the proposed two buildings. Show all supporting calculations. The paragraph submitted is not acceptable with "rough" elevations and no calculations. This paragraph is also based on a weir elevation of 773.00. The elevation on the grading plans shows one spot elevation at this location (more information is needed on the grading plans) of 773.50.
11. That the revised plans and stormwater report be signed and sealed.

Applicants Presentation

Brandon Pratt was present on behalf of the applicant and offered additional information on the proposed rezoning and development. Commission discussed the application with the applicant.

Public Comments

No comments were presented other than the letter of support in the Planning Commission packet.

Questions and Comments

The Commission discussed the application including a parking inventory comparison with Keystone Place, the "public" parking lot, access to the pond/park, parking, number of units, history of the park, lack of housing inventory on the market, accessibility, walkability, snow removal, parking lot ownership, tenant parking space dedication, leasing terms, and storm sewer relocation.

Recommendation to the City Council

Pentecost moved, Staber seconded that the Planning Commission accept the three listed findings and eleven listed conditions and forward the zoning map amendment to the City Council with a recommendation for approval. The vote was: ayes – Keogh, Bathke, A'Hearn, Heisler, Staber, Pentecost, Marks; nays – none. Motion carried.

Approval of Previous Minutes

Marks moved, Heisler seconded to approve the minutes from the April 6, 2021 Planning Commission meeting. The vote was all ayes. Minutes approved.

Old Business

No old business was presented.

New Business

Rusnak reported that a site plan was submitted for consideration at the June meeting. He is working on the off-street parking ordinance update. The Commission discussed this with Rusnak. Bathke asked if the Commission would like an information presentation from Johnson County Livable Communities regarding accessibility.

Adjournment

At 7:35 p.m., Staber moved, A'Hearn seconded to adjourn. All ayes. Meeting adjourned.

Minutes by Tracey Mulcahey, City Clerk