



**North Liberty City Council
Work and Regular Sessions
June 22, 2021**



City Administrator Memo



To **Mayor and City Council**
From **Ryan Heiar, City Administrator**
Date **June 18, 2021**
Re **City Council Agenda June 22, 2021**

Meeting Note

Tuesday’s meeting will be held virtually via Zoom and live streamed at [Watch Meetings Live](#) as well as available on the website. The City Council and participants will log into the meeting in order to conduct business while the public will be able to watch the debate and decisions being made.

Work Session, City Hall Presentation

Since approving a contract with Shive Hattery in February for design of a new City Hall, staff has meet with Shive’s design team over a dozen times to plan, rework, tweak, massage and eventually agree on a building footprint, floor plan and site for the proposed facility. At Tuesday’s meeting Shive Hattery’s team, led by Architect Tandi Brannaman, will unveil the proposed City Hall concept. Staff and the consultants are excited to present this work to Council, explain the development process played out and identify next steps.

Consent Agenda

The following items are on the consent agenda and included in the packet:

- City Council Minutes (06/08/21)
- Pay Application #10, Southwest Growth Area Utilities Project, Boomerang Corporation, \$213,490.79
- Change Order #2, Southwest Growth Area Utilities Project, Boomerang Corporation, \$18,750
- Pay Application #1, Ranshaw Way, Phase 5 Project, PCI, \$181,552.23
- Claims
- Annual Tobacco Permits

Forevergreen Road Trail Project

The Forevergreen Road Trail project consists of significant drainage improvements and removing and replacing 550 feet or trail on the south side of the street between Covered Bridge Road and the Keystone Living Center. The project, with an estimated cost of

Meetings & Events

Monday, June 21 at 6:30p.m.
Library Board of Trustees

Tuesday, June 22 at 6:00p.m.
City Council

Monday, Jul 5
Independence Day Holiday – City
Offices Closed

Tuesday, Jul 6 at 6:30p.m.
Planning Commission

Thursday, Jul 8 at 7:00p.m.
Parks & Recreation Commission

Tuesday, Jul 13 at 6:30p.m.
City Council

\$157k, is scheduled for a July 6 bid letting and award of contract at the July 13 meeting. The winning contractor will have until December of this year to complete the project. Staff recommends approval of the plans and specifications.

Also on the agenda is a temporary construction easement agreement with an adjacent property owner in the amount of \$801. Staff recommends approval of the easement agreement.

Agricultural Experience Ordinance, 1st Reading

This is a staff-initiated amendment, which would allow an agricultural experience use in North Liberty corporate limits. As proposed, the agricultural experience would be permitted on property that is zoned ID – Interim Development with the approval of a Conditional Use. The agricultural experience use would be required to be accessory to an on-site agricultural use. Although any property owner(s) meeting the locational and size requirements could apply for the agricultural experience use, it was primarily designed to allow the Colony Pumpkin Patch to annex into the City. Staff collaborated with Dean and Katie Colony on this ordinance, such that it would be mutually beneficial to both parties. At this point, the Colonys have expressed a willingness to annex the Colony 1927, LLC and Four D's Acres, LLC into the City, subject to the following approvals:

1. The Agricultural Experience Ordinance is adopted;
2. The Board of Adjustment grant approval of the Conditional Use; and
3. The City Council grant approval to allow hunting on the property.

With this annexation and other voluntary annexations, the City anticipates a formal annexation of 317.89 acres, or just under ½ square mile. Staff also worked with the North Liberty Community Pantry Executive Director to amend the food pantry regulations to allow a small expansion into a separate outbuilding to provide clothing to the community. This ordinance is an excellent example of collaboration with community stakeholders to improve the City's codes. The Planning Commission unanimously recommended approval of the request at its June 1, 2021 meeting. Staff recommends approval of the ordinance as well.

Hope Presbyterian Church Site Plan

The site plan proposes to pave an existing gravel parking lot and add new paved parking and related infrastructure. This will bring the property into compliance with City ordinances pertaining to site design and stormwater detention. The Planning Commission unanimously recommended approval of the site plan at its June 1, 2021 meeting. Staff also recommends approval of the site plan.

FY22 Salary Resolution

A resolution authorizing salaries for fiscal year 2022, as discussed during the budget process and guided by the compensation program, is on the agenda. This year's cost of living increase is 2.75%, while the step increase for employees who are eligible is 2.45%. Police officer salaries are also included in the resolution and reflect what was approved in the collective bargaining agreement, which includes a 2.75% cost of living increase, plus a step increase for eligible officers. The salaries in the resolution will go in effect on July 1, 2021.

Dubuque Street, Phase 1 Project

The City has reached an agreement for the purchase of real property interests with two more property owners who will be affected by the Dubuque Street Phase One public improvement project.

Property Owner	Easement Type	Amount
JM Residential Cooperative	permanent drainage easement & temporary construction easement	\$4,400
Yetley Real Estate LLC	acquisition & temporary construction easement	\$19,100
ICCSA	temporary construction easement	\$0

All the acquisitions, summarized in the chart to the right, are for the values previously approved by City Council for the various parcel. Staff recommends approval.

To accommodate the design and construction of the Dubuque Street, Phase One project, Alliant Energy is requesting three easements, two on Cherry Street and one on Dubuque Street. Staff has confirmed that these easements will not interfere with current or long range plans in the area and is recommending approval of the easements.

Red Properties Plats & Site Plan

Red Door Properties is seeking to subdivide Lot 1 of Progress Park – Part Six – located at the northwest corner of West Penn Street and Penn Court – to allow the property to be developed with a Scooter's Coffee Drive-Thru. Staff recognized the challenge of enhancing the building design of essentially a rectangular box. City staff requested, and the applicant agreed to provide some additional design features such as additional window glazing and awnings, a dedicated pedestrian walkway to Penn Court and outdoor seating area. The primary exterior material would be a gray brick and a tan hardie panel system. At the Planning Commission meeting, the question was asked if adequate space for vehicle stacking was provided. Staff pointed that there is no standard for vehicle stacking in the off-street parking regulations. However, any vehicle stacking on Penn Court would be addressed because City traffic regulations prohibit stopping or standing.

The Planning Commission unanimously recommended approval of the preliminary plat and site plan at its June 1, 2021 meeting. Staff also recommends approval the preliminary plat, final plat and site plan.

Livestock Ordinance Veto Consideration

Included in the packet is the Mayor's veto memo regarding the recent amendments to the Livestock ordinance. Also included is a memo from the City Attorney that outlines the Council's options moving forward. In short, the City Council can either choose to override the veto with a 2/3's vote or uphold the veto by doing nothing. Once a decision is made, if there is interest in making any changes to the ordinance, the City Council can further discuss.

Water Rate Ordinance Amendment, 3rd & Final Reading

The packet includes the latest revenue and expense projections for the City's sewer and water utilities. From a revenue perspective, sewer is spot on from what was projected during the February budget discussions and a 0% increase remains the recommendation. Water sales are trending slightly lower than anticipated. It was projected that in FY21 the City would sell approximately 402 million gallons of water; however, the latest projections indicate sales closer to 389 million gallons, resulting in a \$90K reduction in projected revenues. A 2% water rate increase was included in the budget model and, despite the slower sales, that remains the recommendation for FY 22.

Physician's Building Rezoning Request, 3rd and Final Reading

Physicians Building Group, LLC is requesting a zoning map amendment to O/RP to allow 33.48 acres – west side of South Kansas Avenue approximately .23 miles north of the West Forevergreen Road – to be developed as medical offices with the potential for a hospital. The applicant has indicated that they are seeking approval of the rezoning before formally acquiring the property. No plans have been generated at this point; however, staff is confident that the City's development regulations will ensure a high-quality campus. Approximately 10 people attended the April 8, 2021 good neighbor meeting where no objections were expressed. Specific questions about the development were not able to be answered because plans have not been generated. Staff committed to sharing future plans with area property owners once received. The Planning Commission unanimously recommended approval of the request at its May 4, 2021 meeting. At the meeting it was stated by a Planning Commission member that this is an ideal location for the proposed use. It is staff's opinion that the request is consistent with the Comprehensive Plan and the proposed zoning would be compatible with the area. Therefore, staff recommends approval of the rezoning.

Solomon Holdings LLC Rezoning Request, 3rd & Final Reading

Solomon Holdings, LLC is requesting a zoning map amendment to C-2A PAD allowing 2.46 acres – west side of Community Drive approximately 240 feet south of West Penn Street – to be developed with a four-story, 60-unit residential building and a one-story office/retail building. The development proposes to remove an overflow parking area and expand into the southern part of the Tin Roost property. The PAD is being requested to allow the flexibility of having a multiple-unit dwellings, which is not allowed within the underlying C-2A District alone. Also, flexibility is being requested to allow a four story building (48' 8" from grade to the top of the parapet). A small number of people attended the March 10, 2021 good neighbor meeting where no objections were expressed. To date, staff has received one letter in favor of the request and one letter opposed. The Planning Commission unanimously recommended approval of the request at its May 4, 2021 meeting. At the meeting staff indicated its support for the request due to the property's proximity to two major roads (West Penn Street and Ranshaw Way) and the Liberty Centre Pond. Staff also discussed the need to modernize the City's antiquated off-street parking standards. It is staff's opinion that the request is consistent with the Comprehensive Plan and the proposed zoning would be compatible with the area. Staff recommends approval of the zoning map amendment request.

Hate Crime Ordinance Discussion

Included in the packet is a draft Hate Crime Ordinance that is identical to the one Iowa City has adopted. The intent of this agenda item is to continue the discussion from the previous meeting on whether to adopt such an ordinance in North Liberty.



Agenda

City Council

June 22, 2021

Work & Regular Sessions

Work Session 6:00 p.m.

Regular Session will not begin before 6:30 p.m.

Due to the COVID-19 pandemic, public health and safety concerns require City of North Liberty public meetings to be held electronically so as to limit the spread of the virus. The public is invited to submit questions and comments in advance of the meeting for consideration submitting them to the City Clerk Tracey Mulcahey via email at tmulcahey@northlibertyiowa.org.

This meeting may be accessed live by the public on the internet at northlibertyiowa.org/live, on Facebook at facebook.com/northliberty or on YouTube at youtube.com/c/northliberty. You can also attend by phone; call 1 (312) 626 6799 with a touch-tone phone and enter the meeting ID 859 4168 7358 and meeting password 359050156. Meetings are rebroadcast on cable and available on-demand on northlibertyiowa.org.

1. Call to order
2. Roll call
3. Approval of the Agenda

Work Session

4. City Hall Project
 - A. Presentation and discussion

Regular Session

5. Consent Agenda
 - A. City Council Minutes, Regular Session, June 8, 2021
 - B. Southwest Area Growth Utilities Project, Pay Application Number 10, Boomerang Corporation, \$213,490.79
 - C. Southwest Area Growth Utilities Project, Change Order Number 2, Boomerang Corporation, \$18,750.00
 - D. Ranshaw Phase 5 Project, Pay Application Number 1, PCI, \$181,552.23
 - E. Claims
 - F. FY 2022 Retail Permit Application for Cigarette/Tobacco/Nicotine/Vapor for J & A Tap

- G. FY 2022 Retail Permit Application for Cigarette/Tobacco/Nicotine/Vapor for LD Express
 - H. FY 2022 Retail Permit Application for Cigarette/Tobacco/Nicotine/Vapor for Liberty View Wine & Spirit
 - I. FY 2022 Retail Permit Application for Cigarette/Tobacco/Nicotine/Vapor for The Station II LLC
 - J. FY 2022 Retail Permit Application for Cigarette/Tobacco/Nicotine/Vapor for Urban Fuel LLC
 - K. FY 2022 Retail Permit Application for Cigarette/Tobacco/Nicotine/Vapor for Casey's General Store #2788, 595 N. Kansas Avenue
 - L. FY 2022 Retail Permit Application for Cigarette/Tobacco/Nicotine/Vapor for Casey's General Store #2479, 625 W. Zeller Street
 - M. FY 2022 Retail Permit Application for Cigarette/Tobacco/Nicotine/Vapor for The Depot North Liberty LLC
 - N. FY 2022 Retail Permit Application for Cigarette/Tobacco/Nicotine/Vapor for Fareway Stores, Inc. #993
 - O. FY 2022 Retail Permit Application for Cigarette/Tobacco/Nicotine/Vapor for Smokin' Joe's Tobacco & Liquor Outlet #12
 - P. FY 2022 Retail Permit Application for Cigarette/Tobacco/Nicotine/Vapor for Johncy's Liquor Store
 - Q. FY 2022 Retail Permit Application for Cigarette/Tobacco/Nicotine/Vapor for Kum & Go #507
 - R. FY 2022 Retail Permit Application for Cigarette/Tobacco/Nicotine/Vapor for Walgreens #11710
- 6. City Engineer Report
 - 7. City Administrator Report
 - 8. Mayor Report
 - 9. Forevergreen Road Trail Project
 - A. Public Hearing regarding proposed plans, specifications, estimate of cost and form of contract for the Forevergreen Road Trail Project
 - B. Resolution Number 2021-54, A Resolution approving and confirming plans, specifications, and estimate of cost for the Forevergreen Road Trail Project
 - C. Resolution Number 2021-55, A Resolution approving the purchase of a Temporary Construction Easement by the City of North Liberty for the Forevergreen Road Trail Project
 - 10. Ag Experience Ordinance
 - A. Public Hearing regarding proposed Ag Experience Ordinance amendment

- B. First consideration of Ordinance Number 2021-12, An Ordinance amending Section 167.01 Code of Ordinances of North Liberty, Iowa, entitled "Definitions" by amending definitions "Agriculture", "Food Pantry" and "Livestock", by adding the definitions "Agricultural Experience" and "Animal Confinement Operations" and by deleting the definitions "Farm", "Farm Animals" and "Farming"; amending Section 168.01 Code of Ordinances of North Liberty, Iowa, entitled "ID Zone – Interim Development District" by adding, amending and/or deleting certain uses in Table 168.01-A, entitled "ID Zone Uses", by adding, amending and/or deleting certain uses in Table 168.01B, entitled "ID Zone Bulk Regulations" and by amending "Off-Street Parking" regulations, by deleting "Stockyard Operation, License Required" and "Kennel, License Required" and by amending "Signs" regulations, amending Section 169.06, entitled "Location of Accessory Buildings and Uses" by amending "Food Pantry" regulations, and amending Chapter 170, entitled "Special Use Regulations" by creating Section 170.07 entitled "Agricultural Experience" and associated use regulations.

11. Hope Evangelical Church Site Plan

- A. Staff and Planning Commission recommendations
- B. Applicant presentation
- C. Resolution Number 2021-56, A Resolution approving the Development Site Plan for 420 N. Front Street (Hope Evangelical Church), North Liberty, Iowa

12. FY 21-22 Wages

- A. Resolution Number 2021-57, A Resolution authorizing salaries and hourly wages for City Employees for the Fiscal Year of July 1, 2021 through June 30, 2022

13. Dubuque Street Project

- A. Resolution Number 2021-58, A Resolution approving the purchase of Temporary Construction Easements, Permanent Drainage Easement, and Right-of-way by the City of North Liberty for the Dubuque Street Phase One Project
- B. Resolution Number 2021-59, A Resolution approving the Underground Utility Easements between the City of North Liberty and Interstate Power and Light Company and Qwest Corporation

14. Red Door Properties

- A. Staff and Planning Commission recommendations
- B. Applicant presentation

- C. Resolution Number 2021-60, A Resolution approving the Preliminary Plat and Final Plat for Progress Park - Part Twelve , North Liberty, Iowa
 - D. Resolution Number 2021-61, A Resolution approving the Development Site Plan for Lot 2, Progress Park – Part Six (Scooters Coffee), North Liberty, Iowa
15. Livestock Ordinance
- A. Discussion and possible action regarding Mayor’s veto of Ordinance Number 2020-06, An Ordinance amending the Code of Ordinances of the City of North Liberty, Iowa, updating portions of the Animal Control Code concerning livestock within City limits
16. Water Rate Amendment
- A. Third consideration and adoption of Ordinance Number 2021-09, An Ordinance amending Chapter 92.02, entitled “Rates for Service,” of the Municipal Code of North Liberty by adopting a new Section 92.02 to increase the charges for water used
17. Physician’s Building Rezoning Request
- A. Third consideration and adoption of Ordinance Number 2021-10, An Ordinance amending Chapter 167 of the North Liberty Code of Ordinances by amending the use regulations on property located on the west side of south Kansas Avenue approximately .23 miles north of west Forevergreen Road located in North Liberty, Iowa to those set forth in the Municipal Code for the O/RP Office and Research Park District
18. Solomon Holdings LLC Rezoning Request
- A. Third consideration and adoption of Ordinance Number 2021-11, An Ordinance amending Chapter 167 of the North Liberty Code of Ordinances by amending the use regulations on property located on the west side of Community Drive approximately 240 feet south of West Penn Street located in North Liberty, Iowa to those set forth in the Municipal Code for the C-2A PAD Highway Commercial District Planned Area Development
19. Hate Crime Ordinance Discussion
- A. Discussion regarding proposed Hate Crime Ordinance
20. Old Business
21. New Business
22. Adjournment



Consent Agenda



City Council
June 8, 2021
Regular Session

Due to the COVID-19 pandemic, public health and safety concerns require City of North Liberty public meetings to be held electronically so as to limit the spread of the virus.

Call to order

Mayor Terry Donahue called the June 8, 2021 Regular Session of the North Liberty City Council to order at 6:30 p.m. Councilors present: RaQuishia Harrington, Chris Hoffman, Brian Wayson, Brent Smith; absent—Annie Pollock.

Others present: Ryan Heiar, Grant Lientz, Ryan Rusnak, Kevin Trom and Mary Byers.

Approval of the Agenda

Smith moved, seconded by Harrington, to approve the agenda. The vote was all ayes. Agenda approved.

Consent Agenda

Harrington moved, seconded by Smith to approve the Consent Agenda including City Council Minutes, Regular Session, May 25, 2021, Claims, Liquor License Renewal, Casey's #2479, Liquor License Renewal, Mosley's, Aquatic HVAC Replacement Project, Pay Application Number 4, Apex Construction Company, Inc., \$73,336.63, Aquatic HVAC Replacement Project – Acceptance. The vote was all ayes. Consent Agenda approved.

City Engineer Report

City Engineer Trom reported he is meeting with the contractor on the SW Growth Utility Project Wednesday to go over items on the punch list. The pre-construction meeting for Ranshaw Way, Phase 5 Project was held last week and PCI has started work on Phase 1 this week. The Ranshaw House interior is mostly completed with some exterior work still needing to be done. The Pool Heater Replacement Project is on this agenda for consideration. The City Hall Project has three more meetings with staff and plans will come to Council soon. The Forevergreen Road Trail Project bids will be opened on June 29th and project will be awarded in July. The Centennial Park Loop Road project will be awarded at the July 27th meeting.

City Administrator Report

City Administrator Heiar reported that the city facilities are back open with some restrictions. City Council and Commissions will be back in the chamber in July with the

option for phone attendance. Masks will be required if not vaccinated within the facilities. The city is looking at a new Agricultural Experience Zoning District and encouraged the council to watch the Planning Commission Meeting of June 1st because Heiar anticipates this item to be on the June 22nd Council meeting.

Mayor Report

Mayor Donahue read two Proclamations for National Gun Violence Prevention Month and Juneteenth National Freedom Day.

Board/Commission Appointments

Mayor Donahue appointed the following to board vacancies:

Planning Commission: Patrick Staber and Dave Willer.

Park and Recreation Commission: Craig Sundell, Amy Chen and Kevin Stibal

Library Board: Laura Hefley.

Communication Advisory Board: D. Ryan Bevins.

Cemetery Board: Tom Woodruff and Erika Wade.

Tree and Stormwater Board: Doris Vaske.

Harrington moved, Smith seconded to approve the Mayoral appointments to various Board and Commissions. The vote was: ayes—Harrington, Hoffman, Wayson, Smith; nays—none; absent--Pollock. Motion carried.

Annexation

Mayor Donahue opened the public hearing on the proposed annexation at 6:48 p.m. No oral or written comments were received. The public hearing was closed.

Hoffman moved, Harrington seconded to approve Resolution Number 2021-50, A Resolution approving annexation of certain property to the City of North Liberty, Iowa. The vote was: ayes—Wayson, Harrington, Smith, Hoffman; nays—none; absent—Pollock. Motion carried.

Pool Water Heater Replacement Project

Hoffman moved, Harrington seconded to approve Resolution Number 2021-51, A Resolution accepting the bid and authorizing execution of the contract for the Aquatic Center Pool Water Heater Replacement Project North Liberty, Iowa to Tricon General Construction for \$406,000.00. The vote was: ayes—Hoffman, Harrington, Wayson, Smith; nays—none; absent--Pollock. Motion carried.

Dubuque Street Project

Harrington moved, Hoffman seconded to approve Resolution Number 2021-52, A Resolution approving the purchase of Temporary Construction Easement and Public Easement by the City of North Liberty for the Dubuque Street Phase One Project. The

vote was: ayes-- Wayson, Smith, Harrington, Hoffman; nays—none; absent—Pollock.
Motion carried.

2021A Bond Sale

At 6:54 p.m. Mayor Donahue opened the public hearing regarding upcoming bond sale. No oral or written comments were received. The public hearing was closed.

Smith moved, seconded by Harrington to approve Resolution Number 2021-53, A Resolution taking additional action on proposals to enter into General Obligation Loan Agreements and combining Loan Agreements. The vote was: ayes—Hoffman, Harrington, Smith, Wayson; nays—none; absent--Pollock. Motion carried.

Water Rate Amendment

Harrington moved, Wayson seconded to approve the second consideration of Ordinance Number 2021-09, An Ordinance amending Chapter 92.02, entitled “Rates for Service,” of the Municipal Code of North Liberty by adopting a new Section 92.02 to increase the charges for water used. The vote was: ayes—Harrington, Hoffman, Smith, Wayson; nays—none; Absent—Pollock. Motion carried.

Physician’s Building Rezoning Request

Hoffman moved, Wayson seconded to approve the Second consideration of Ordinance Number 2021-10, An Ordinance amending Chapter 167 of the North Liberty Code of Ordinances by amending the use regulations on property located on the west side of south Kansas Avenue approximately .23 miles north of west Forevergreen Road located in North Liberty, Iowa to those set forth in the Municipal Code for the O/RP Office and Research Park District. The vote was: ayes—Wayson, Smith, Hoffman, Harrington; nays—none; absent—Pollock. Motion carried.

Solomon Holdings LLC Rezoning Request

Smith moved, Harrington seconded to approve the Second consideration of Ordinance Number 2021-11, An Ordinance amending Chapter 167 of the North Liberty Code of Ordinances by amending the use regulations on property located on the west side of Community Drive approximately 240 feet south of West Penn Street located in North Liberty, Iowa to those set forth in the Municipal Code for the C-2A PAD Highway Commercial District Planned Area Development. The vote was: ayes—Smith, Harrington, Hoffman, Wayson; nays—none; absent—Pollock. Motion carried.

Hate Crime Ordinance Discussion

Council discussed a memorandum from the City Attorney on a possible Hate Crime Ordinance per the request from the Johnson County Interfaith Coalition.

Old Business

No old business was offered.

New Business

Wayson and Hoffman would like to have the Chicken Ordinance back on the agenda for discussion.

Adjournment 7:31 pm

Mayor Donahue Adjourned the meeting at 7:31 p.m.

CITY OF NORTH LIBERTY

By: _____
Terry L. Donahue, Mayor

Attest: _____
Mary Byers, Deputy Clerk

APPLICATION AND CERTIFICATE FOR PAYMENT

TO OWNER:	City of North Liberty 3 Quail Creek Circle P.O. Box 77 North Liberty, Iowa 52317	PROJECT:	Ranshaw Way Phase 5 Improvements STP-U-5557(622)--70-52	APPLICATION NO:	1	Distribution to: <input type="checkbox"/> OWNER <input type="checkbox"/> ARCHITECT <input type="checkbox"/> CONTRACTOR <input type="checkbox"/> ENGINEER
FROM				PERIOD TO:	6/12/21	
CONTRACTOR:	Peterson Contractors, Inc. 104 Blackhawk Street, P.O. Box A Reinbeck, Iowa 50669	VIA ENGINEER:	Shive-Hattery, Inc. 2839 Northgate Drive Iowa City, Iowa 52245	PROJECT NO.:	STP-U-5557(622)--70-52	
				CONTRACT ID:	52-5557-622	
				LETTING DATE:	4/20/21	

CONTRACT FOR: **Ranshaw Way Phase 5 Improvements**

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation Sheet is attached.

1. ORIGINAL CONTRACT SUM	\$	7,882,878.58
2. Net Change by Change Orders	\$	-
3. CONTRACT SUM TO DATE	\$	7,882,878.58
4. TOTAL COMPLETED & STORED TO DATE	\$	187,167.25
5. RETAINAGE		
a. 3 % of Completed Work	\$	5,615.02
b. 3 % of Stored Material	\$	-
Total Retainage	\$	5,615.02
6. TOTAL EARNED LESS RETAINAGE	\$	181,552.23
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT	\$	-
8. CURRENT PAYMENT DUE	\$	181,552.23
9. BALANCE TO FINISH, INCLUDING RETAINAGE	\$	7,701,326.35

(This amount will decrease, as Change Orders do not yet reflect items deleted or decreased in quantity - see summary sheet for est. final totals)

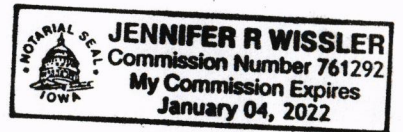
CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$ -	\$ -
Total approved this Month	\$ -	\$ -
TOTALS	\$ -	\$ -
NET CHANGES by Change Order	\$ -	\$ -

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief, the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: Peterson Contractors, Inc.
 By: *[Signature]* Date: 6/16/21

State of: _____
 County of: _____
 Subscribed and sworn to before me this 16th day of June.

Notary Public: Jennifer R Wissler
 My Commission expires: 1/4/22



ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observation and the data comprising this application, the Engineer certifies to the Owner that to the best of the Engineer's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ 181,552.23
 (Attach explanation if amount certified differs from the the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

ENGINEER: *[Signature]*
 By: _____ Date: 06 / 15 / 21

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

Instructions on the reverse side

For period (MM/DD/YYYY) 06 / 30 / 2021 through June 30, 2022

I/we apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products:

Business Information:

Trade Name/DBA J & A TAP
Physical Location Address 440 N Dubuque St City North Liberty ZIP 52317
Mailing Address _____ City _____ State _____ ZIP _____
Business Phone Number 319-626-3033

Legal Ownership Information:

Type of Ownership: Sole Proprietor Partnership Corporation LLC LLP
Name of sole proprietor, partnership, corporation, LLC, or LLP J & A TAP Inc.
Mailing Address 440 N Dubuque St City North Liberty State IA ZIP 52317
Phone Number 319-626-3033 Fax Number 319-626-2700 Email Lynnaf22@ydnor

Retail Information:

Types of Sales: Over-the-counter Vending machine
Do you make delivery sales of alternative nicotine or vapor products? (See Instructions) Yes No
Types of Products Sold: (Check all that apply)
Cigarettes Tobacco Alternative Nicotine Products Vapor Products

Type of Establishment: (Select the option that best describes the establishment)

Alternative nicotine/vapor store Bar Convenience store/gas station Drug store
Grocery store Hotel/motel Liquor store Restaurant Tobacco store
Has vending machine that assembles cigarettes Other

If application is approved and permit granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Owner(s), Partner(s), or Corporate Official(s)

Name (please print) Amanda Lynn Aruby Name (please print) John Hruby
Signature Amanda Lynn Aruby Signature John Hruby
Date 6/16/21 Date 6/16/21

Send this completed application and the applicable fee to your local jurisdiction. If you have any questions contact your city clerk (within city limits) or your county auditor (outside city limits).

FOR CITY CLERK/COUNTY AUDITOR ONLY – MUST BE COMPLETE

- Fill in the amount paid for the permit: _____
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: _____
- New Renewal

Send completed/approved application to Iowa Alcoholic Beverages Division within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

- Email: iapledge@iowaabd.com
- Fax: 515-281-7375

Instructions on the reverse side

For period (MM/DD/YYYY) 7/1/21 through June 30, 22

I/we apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products:

Business Information:

Trade Name/DBA LD Express
Physical Location Address 900 W Penn St City Nubear ZIP 52317
Mailing Address PO Box 48 City Nubear State IA ZIP 52317
Business Phone Number 319-626-2621

Legal Ownership Information:

Type of Ownership: Sole Proprietor Partnership Corporation LLC LLP
Name of sole proprietor, partnership, corporation, LLC, or LLP Uberay Doors Inc
Mailing Address PO Box 48 City Nubear State IA ZIP 52317
Phone Number 319-626-2621 Fax Number 319-626-1116 Email rick@liberaydoors.com

Retail Information:

Types of Sales: Over-the-counter Vending machine
Do you make delivery sales of alternative nicotine or vapor products? (See Instructions) Yes No
Types of Products Sold: (Check all that apply)
Cigarettes Tobacco Alternative Nicotine Products Vapor Products

Type of Establishment: (Select the option that best describes the establishment)

Alternative nicotine/vapor store Bar Convenience store/gas station Drug store
Grocery store Hotel/motel Liquor store Restaurant Tobacco store
Has vending machine that assembles cigarettes Other

If application is approved and permit granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Owner(s), Partner(s), or Corporate Official(s)

Name (please print) Rick Strub Name (please print) _____
Signature [Signature] Signature _____
Date 6-14-21 Date _____

Send this completed application and the applicable fee to your local jurisdiction. If you have any questions contact your city clerk (within city limits) or your county auditor (outside city limits).

FOR CITY CLERK/COUNTY AUDITOR ONLY - MUST BE COMPLETE

- Fill in the amount paid for the permit: _____
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: _____
- New Renewal

Send completed/approved application to Iowa Alcoholic Beverages Division within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

- Email: iapledge@iowaabd.com
- Fax: 515-281-7375

Instructions on the reverse side

For period (MM/DD/YYYY) 07 / 01 / 2021 through June 30, 2022

I/we apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products:

Business Information:

Trade Name/DBA Liberty View Wine & Spirit
Physical Location Address 595 Country Lane City N. Liberty ZIP 52317
Mailing Address 595 Country Lane City North Liberty State IA ZIP 52317
Business Phone Number 319-459-1356

Legal Ownership Information:

Type of Ownership: Sole Proprietor Partnership Corporation LLC LLP
Name of sole proprietor, partnership, corporation, LLC, or LLP NGA DAO / Liberty View Wine & Spirits
Mailing Address 595 Country Lane City North Liberty State IA ZIP 52317
Phone Number 319-459-1356 Fax Number _____ Email angre.dao1991@gmail.com

Retail Information:

Types of Sales: Over-the-counter Vending machine
Do you make delivery sales of alternative nicotine or vapor products? (See Instructions) Yes No
Types of Products Sold: (Check all that apply)
Cigarettes Tobacco Alternative Nicotine Products Vapor Products

Type of Establishment: (Select the option that best describes the establishment)

Alternative nicotine/vapor store Bar Convenience store/gas station Drug store
Grocery store Hotel/motel Liquor store Restaurant Tobacco store
Has vending machine that assembles cigarettes Other _____

If application is approved and permit granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Owner(s), Partner(s), or Corporate Official(s)

Name (please print) NGA DAO Name (please print) _____
Signature Ng Dao Signature _____
Date 6/15/2021 Date _____

Send this completed application and the applicable fee to your local jurisdiction. If you have any questions contact your city clerk (within city limits) or your county auditor (outside city limits).

FOR CITY CLERK/COUNTY AUDITOR ONLY – MUST BE COMPLETE

- Fill in the amount paid for the permit: _____
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: _____
- New Renewal

Send completed/approved application to Iowa Alcoholic Beverages Division within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

- Email: iapledge@iowaabd.com
- Fax: 515-281-7375

Instructions on the reverse side

For period (MM/DD/YYYY) 07 / 01 / 2021 through June 30, 2022

I/we apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products:

Business Information:

Trade Name/DBA The Station II
Physical Location Address 620 Meade Dr City North Liberty ZIP 52317
Mailing Address 2915 Dubuque St NE City Iowa City State IA ZIP 52240
Business Phone Number 319-665-2498

Legal Ownership Information:

Type of Ownership: Sole Proprietor Partnership Corporation LLC LLP
Name of sole proprietor, partnership, corporation, LLC, or LLP The Station, LLC
Mailing Address 2915 Dubuque St NE City Iowa City State IA ZIP 52240
Phone Number 319-665-8516 Fax Number None Email stationllcoffice@gmail.com

Retail Information:

Types of Sales: Over-the-counter Vending machine
Do you make delivery sales of alternative nicotine or vapor products? (See Instructions) Yes No
Types of Products Sold: (Check all that apply)
Cigarettes Tobacco Alternative Nicotine Products Vapor Products

Type of Establishment: (Select the option that best describes the establishment)

Alternative nicotine/vapor store Bar Convenience store/gas station Drug store
Grocery store Hotel/motel Liquor store Restaurant Tobacco store
Has vending machine that assembles cigarettes Other

If application is approved and permit granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Owner(s), Partner(s), or Corporate Official(s)

Name (please print) Melissa Hodapp Name (please print) _____
Signature Melissa Hodapp Signature _____
Date 06/15/2021 Date _____

Send this completed application and the applicable fee to your local jurisdiction. If you have any questions contact your city clerk (within city limits) or your county auditor (outside city limits).

FOR CITY CLERK/COUNTY AUDITOR ONLY – MUST BE COMPLETE

- Fill in the amount paid for the permit: _____
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: North Liberty
- New Renewal

Send completed/approved application to Iowa Alcoholic Beverages Division within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

- Email: iapledge@iowaabd.com
- Fax: 515-281-7375

Instructions on the reverse side

For period (MM/DD/YYYY) 7/1/2021 through June 30, 2022

I/we apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products:

Business Information:

Trade Name/DBA Urban Fuel LLC
Physical Location Address 1 Hawkeye Dr. City N. Liberty ZIP 52317
Mailing Address P.O. Box 3474 City Towaw City State IA ZIP 52244
Business Phone Number 319-626-7990

Legal Ownership Information:

Type of Ownership: Sole Proprietor Partnership Corporation LLC LLP
Name of sole proprietor, partnership, corporation, LLC, or LLP Urban Fuel LLC
Mailing Address P.O. Box 3474 City Towaw City State IA ZIP 52244
Phone Number _____ Fax Number _____ Email _____

Retail Information:

Types of Sales: Over-the-counter Vending machine
Do you make delivery sales of alternative nicotine or vapor products? (See Instructions) Yes No
Types of Products Sold: (Check all that apply)
Cigarettes Tobacco Alternative Nicotine Products Vapor Products

Type of Establishment: (Select the option that best describes the establishment)

Alternative nicotine/vapor store Bar Convenience store/gas station Drug store
Grocery store Hotel/motel Liquor store Restaurant Tobacco store
Has vending machine that assembles cigarettes Other

If application is approved and permit granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Owner(s), Partner(s), or Corporate Official(s)

Name (please print) Jesse V Allen Name (please print) _____
Signature Jesse Allen, owner Signature _____
Date 6-15-2021 Date _____

Send this completed application and the applicable fee to your local jurisdiction. If you have any questions contact your city clerk (within city limits) or your county auditor (outside city limits).

FOR CITY CLERK/COUNTY AUDITOR ONLY - MUST BE COMPLETE

- Fill in the amount paid for the permit: _____
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: _____
- New Renewal

Send completed/approved application to Iowa Alcoholic Beverages Division within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

- Email: iapledge@iowaabd.com
- Fax: 515-281-7375

Instructions on the reverse side

For period (MM/DD/YYYY) 7 / 1 / 2021 through June 30, 2022

I/we apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products:

Business Information:

Trade Name/DBA CASEY'S MARKETING COMPANY/DBA-CASEY'S #2788
Physical Location Address 595 N KANSAS AVE City NORTH LIBERTY ZIP 52317
Mailing Address PO BOX 3001 City ANKENY State IA ZIP 50021
Business Phone Number 3196656030

Legal Ownership Information:

Type of Ownership: Sole Proprietor Partnership Corporation LLC LLP
Name of sole proprietor, partnership, corporation, LLC, or LLP CASEY'S GENERAL STORES, INC.
Mailing Address PO BOX 3001 City ANKENY State IA ZIP 50021
Phone Number 515-446-6404 Fax Number 515-965-6205 Email JESSICA.FISHER@CASEYS.COM

Retail Information:

Types of Sales: Over-the-counter Vending machine
Do you make delivery sales of alternative nicotine or vapor products? (See Instructions) Yes No
Types of Products Sold: (Check all that apply)
Cigarettes Tobacco Alternative Nicotine Products Vapor Products

Type of Establishment: (Select the option that best describes the establishment)

Alternative nicotine/vapor store Bar Convenience store/gas station Drug store
Grocery store Hotel/motel Liquor store Restaurant Tobacco store
Has vending machine that assembles cigarettes Other

If application is approved and permit granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Owner(s), Partner(s), or Corporate Official(s)

Name (please print) JULIA L. JACKOWSKI, CASEY'S MARKETING SECRETARY Name (please print) _____
Signature *Julia L. Jackowski* Signature _____
Date 4/20/2021 Date _____

Send this completed application and the applicable fee to your local jurisdiction. If you have any questions contact your city clerk (within city limits) or your county auditor (outside city limits).

FOR CITY CLERK/COUNTY AUDITOR ONLY – MUST BE COMPLETE

- Fill in the amount paid for the permit: _____
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: _____
- New Renewal

Send completed/approved application to Iowa Alcoholic Beverages Division within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

Email: iapledge@iowaabd.com
 Fax: 515-281-7375

Instructions on the reverse side

For period (MM/DD/YYYY) 7 / 1 / 2021 through June 30, 2022

I/we apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products:

Business Information:

Trade Name/DBA CASEY'S MARKETING COMPANY/DBA-CASEY'S #2479

Physical Location Address 625 W ZELLER ST City NORTH LIBERTY ZIP 52317

Mailing Address PO BOX 3001 City ANKENY State IA ZIP 50021

Business Phone Number 3196263108

Legal Ownership Information:

Type of Ownership: Sole Proprietor Partnership Corporation LLC LLP

Name of sole proprietor, partnership, corporation, LLC, or LLP CASEY'S GENERAL STORES, INC.

Mailing Address PO BOX 3001 City ANKENY State IA ZIP 50021

Phone Number 515-446-6404 Fax Number 515-965-6205 Email JESSICA.FISHER@CASEYS.COM

Retail Information:

Types of Sales: Over-the-counter Vending machine

Do you make delivery sales of alternative nicotine or vapor products? (See Instructions) Yes No

Types of Products Sold: (Check all that apply)

Cigarettes Tobacco Alternative Nicotine Products Vapor Products

Type of Establishment: (Select the option that best describes the establishment)

Alternative nicotine/vapor store Bar Convenience store/gas station Drug store

Grocery store Hotel/motel Liquor store Restaurant Tobacco store

Has vending machine that assembles cigarettes Other

If application is approved and permit granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Owner(s), Partner(s), or Corporate Official(s)

Name (please print) JULIA L. JACKOWSKI, CASEY'S MARKETING SECRETARY

Name (please print) _____

Signature *Julia L. Jackowski*

Signature _____

Date 4/20/2021

Date _____

Send this completed application and the applicable fee to your local jurisdiction. If you have any questions contact your city clerk (within city limits) or your county auditor (outside city limits).

FOR CITY CLERK/COUNTY AUDITOR ONLY – MUST BE COMPLETE

Fill in the amount paid for the permit: _____

Fill in the date the permit was approved by the council or board: _____

Fill in the permit number issued by the city/county: _____

Fill in the name of the city or county issuing the permit: _____

• New Renewal

Send completed/approved application to Iowa Alcoholic Beverages Division within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

Email: iapledge@iowaabd.com

Fax: 515-281-7375

Instructions on the reverse side

For period (MM/DD/YYYY) 07 / 01 / 2021 through June 30, 2022

I/we apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products:

Business Information:

Trade Name/DBA The Depot Express
Physical Location Address 1290 S. Dubuque St. City North Liberty ZIP 52317
Mailing Address 221 W. Marengo Road City Tiffin State IA ZIP 52340
Business Phone Number 319-545-9514

Legal Ownership Information:

Type of Ownership: Sole Proprietor Partnership Corporation LLC LLP
Name of sole proprietor, partnership, corporation, LLC, or LLP The Depot North Liberty, LLC
Mailing Address 221 W. Marengo Road City Tiffin State IA ZIP 52340
Phone Number 319-545-9514 Fax Number 319-545-2042 Email expressmgmtllc@gmail.com

Retail Information:

Types of Sales: Over-the-counter Vending machine
Do you make delivery sales of alternative nicotine or vapor products? (See Instructions) Yes No
Types of Products Sold: (Check all that apply)
Cigarettes Tobacco Alternative Nicotine Products Vapor Products

Type of Establishment: (Select the option that best describes the establishment)

Alternative nicotine/vapor store Bar Convenience store/gas station Drug store
Grocery store Hotel/motel Liquor store Restaurant Tobacco store
Has vending machine that assembles cigarettes Other

If application is approved and permit granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Owner(s), Partner(s), or Corporate Official(s)

Name (please print) Andy Olson Name (please print) _____
Signature Andy Olson Signature _____
Date 5/26/2021 Date _____

Send this completed application and the applicable fee to your local jurisdiction. If you have any questions contact your city clerk (within city limits) or your county auditor (outside city limits).

FOR CITY CLERK/COUNTY AUDITOR ONLY – MUST BE COMPLETE

- Fill in the amount paid for the permit: _____
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: _____
- New Renewal

Send completed/approved application to Iowa Alcoholic Beverages Division within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

- Email: iapledge@iowaabd.com
- Fax: 515-281-7375

Instructions on the reverse side

For period (MM/DD/YYYY) 07 / 01 / 2021 through June 30, 2022

I/we apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products:

Business Information:

Trade Name/DBA Fareway Stores, Inc. # 993
Physical Location Address 615 Westwood Drive City NORTH LIBERTY ZIP 52317
Mailing Address 615 Westwood Drive City NORTH LIBERTY State IA ZIP 52317
Business Phone Number 319 626-6798

Legal Ownership Information:

Type of Ownership: Sole Proprietor Partnership Corporation LLC LLP
Name of sole proprietor, partnership, corporation, LLC, or LLP Fareway Stores, Inc.
Mailing Address PO Box 70 City Boone State IA ZIP 50036
Phone Number 515-433-5336 Fax Number 515-433-4416 Email twilson@farewaystores.com

Retail Information:

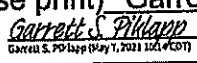
Types of Sales: Over-the-counter Vending machine
Do you make delivery sales of alternative nicotine or vapor products? (See Instructions) Yes No
Types of Products Sold: (Check all that apply)
Cigarettes Tobacco Alternative Nicotine Products Vapor Products

Type of Establishment: (Select the option that best describes the establishment)

Alternative nicotine/vapor store Bar Convenience store/gas station Drug store
Grocery store Hotel/motel Liquor store Restaurant Tobacco store
Has vending machine that assembles cigarettes Other

If application is approved and permit granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Owner(s), Partner(s), or Corporate Official(s)

Name (please print) Garrett S Piklapp Name (please print) _____
Signature  Signature _____
Date 05/07/21 Date _____

Send this completed application and the applicable fee to your local jurisdiction. If you have any questions contact your city clerk (within city limits) or your county auditor (outside city limits).

FOR CITY CLERK/COUNTY AUDITOR ONLY – MUST BE COMPLETE

- Fill in the amount paid for the permit: _____
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: _____
- New Renewal

Send completed/approved application to Iowa Alcoholic Beverages Division within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

- Email: lapledge@iowaabd.com
- Fax: 515-281-7375

Instructions on the reverse side

For period (MM/DD/YYYY) 07 / 01 / 2021 through June 30, 2022

I/we apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products:

Business Information:

Trade Name/DBA The Outlet, Inc. / Smokin' Joe's Tobacco & Liquor Outlet # 12

Physical Location Address 465 Hwy 965 Unit G City North Liberty ZIP 52317

Mailing Address 1916 N. Sturdevant St City Davenport State IA ZIP 52804

Business Phone Number 563-322-8340

Legal Ownership Information:

Type of Ownership: Sole Proprietor Partnership Corporation LLC LLP

Name of sole proprietor, partnership, corporation, LLC, or LLP The Outlet, Inc.

Mailing Address 1916 N. Sturdevant St. City Davenport State IA ZIP 52804

Phone Number 563-322-8340 Fax Number 563-324-4549 Email licensing@smokinjoesoutlets.com

Retail Information:

Types of Sales: Over-the-counter Vending machine

Do you make delivery sales of alternative nicotine or vapor products? (See Instructions) Yes No

Types of Products Sold: (Check all that apply)

Cigarettes Tobacco Alternative Nicotine Products Vapor Products

Type of Establishment: (Select the option that best describes the establishment)

Alternative nicotine/vapor store Bar Convenience store/gas station Drug store
Grocery store Hotel/motel Liquor store Restaurant Tobacco store

Has vending machine that assembles cigarettes Other

If application is approved and permit granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Owner(s), Partner(s), or Corporate Official(s)

Name (please print) Joseph DePaape Name (please print) _____

Signature Joseph DePaape Signature _____

Date 6/7/2021 Date _____

Send this completed application and the applicable fee to your local jurisdiction. If you have any questions contact your city clerk (within city limits) or your county auditor (outside city limits).

FOR CITY CLERK/COUNTY AUDITOR ONLY – MUST BE COMPLETE

- Fill in the amount paid for the permit: _____
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: _____
- New Renewal

Send completed/approved application to Iowa Alcoholic Beverages Division within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

- Email: iapledge@iowaabd.com
- Fax: 515-281-7375

Instructions on the reverse side

For period (MM/DD/YYYY) 7 / 11 / 21 through June 30, 22

I/we apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products:

Business Information:

Trade Name/DBA JOHNCY'S LIQUOR STORE
Physical Location Address 585 Highway 916 City North Liberty ZIP 52317
Mailing Address Same City _____ State _____ ZIP _____
Business Phone Number 319 440 7176

Legal Ownership Information:

Type of Ownership: Sole Proprietor Partnership Corporation LLC LLP
Name of sole proprietor, partnership, corporation, LLC, or LLP _____
Mailing Address Same as above City _____ State _____ ZIP _____
Phone Number _____ Fax Number _____ Email _____

Retail Information:

Types of Sales: Over-the-counter Vending machine
Do you make delivery sales of alternative nicotine or vapor products? (See Instructions) Yes No
Types of Products Sold: (Check all that apply)
Cigarettes Tobacco Alternative Nicotine Products Vapor Products

Type of Establishment: (Select the option that best describes the establishment)

Alternative nicotine/vapor store Bar Convenience store/gas station Drug store
Grocery store Hotel/motel Liquor store Restaurant Tobacco store
Has vending machine that assembles cigarettes Other

If application is approved and permit granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Owner(s), Partner(s), or Corporate Official(s)

Name (please print) Johncy Menezes Name (please print) _____
Signature [Signature] Signature [Signature]
Date 6/12/21 Date _____

Send this completed application and the applicable fee to your local jurisdiction. If you have any questions contact your city clerk (within city limits) or your county auditor (outside city limits).

FOR CITY CLERK/COUNTY AUDITOR ONLY – MUST BE COMPLETE

- Fill in the amount paid for the permit: _____
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: _____
- New Renewal

Send completed/approved application to Iowa Alcoholic Beverages Division within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

- Email: iapledge@iowaabd.com
- Fax: 515-281-7375

Instructions on the reverse side

For period (MM/DD/YYYY) 7 / 1 / 2021 through June 30, 2022

I/we apply for a retail permit to sell cigarettes, tobacco, alternative nicotine, or vapor products:

Business Information:

Trade Name/DBA Kum & Go # 0507
Physical Location Address 610 Heartland Way City North Liberty ZIP 52317
Mailing Address 1459 Grand Ave City Des Moines State IA ZIP 50309
Business Phone Number 515-457-6249

Legal Ownership Information:

Type of Ownership: Sole Proprietor Partnership Corporation LLC LLP
Name of sole proprietor, partnership, corporation, LLC, or LLP Kum & Go LC
Mailing Address 1459 Grand Ave City Des Moines State IA ZIP 50309
Phone Number (515) 457-6000 Fax Number _____ Email Licenses@Kumandgo.com

Retail Information:

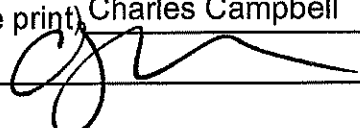
Types of Sales: Over-the-counter Vending machine
Do you make delivery sales of alternative nicotine or vapor products? (See Instructions) Yes No
Types of Products Sold: (Check all that apply)
Cigarettes Tobacco Alternative Nicotine Products Vapor Products

Type of Establishment: (Select the option that best describes the establishment)

Alternative nicotine/vapor store Bar Convenience store/gas station Drug store
Grocery store Hotel/motel Liquor store Restaurant Tobacco store
Has vending machine that assembles cigarettes Other _____

If application is approved and permit granted, I/we do hereby bind ourselves to a faithful observance of the laws governing the sale of cigarettes, tobacco, alternative nicotine, and vapor products.

Signature of Owner(s), Partner(s), or Corporate Official(s)

Name (please print) Charles Campbell Name (please print) _____
Signature  Signature _____
Date _____ Date _____

Send this completed application and the applicable fee to your local jurisdiction. If you have any questions contact your city clerk (within city limits) or your county auditor (outside city limits).

FOR CITY CLERK/COUNTY AUDITOR ONLY – MUST BE COMPLETE

- Fill in the amount paid for the permit: _____
- Fill in the date the permit was approved by the council or board: _____
- Fill in the permit number issued by the city/county: _____
- Fill in the name of the city or county issuing the permit: _____
- New Renewal

Send completed/approved application to Iowa Alcoholic Beverages Division within 30 days of issuance. Make sure the information on the application is complete and accurate. A copy of the permit does not need to be sent; only the application is required. It is preferred that applications are sent via email, as this allows for a receipt confirmation to be sent to the local authority.

- Email: iapledge@iowaabd.com
- Fax: 515-281-7375



Forevergreen Road Trail Project

Resolution No. 2021-54

RESOLUTION FINALLY APPROVING AND CONFIRMING PLANS, SPECIFICATIONS, AND ESTIMATE OF COST FOR THE FOREVERGREEN ROAD TRAIL PROJECT

WHEREAS, the City Council of the City of North Liberty, Iowa, has heretofore given preliminary approval to the plans, specifications, and estimate of cost (the "Contract Documents") for the proposed Forevergreen Road Trail Project (the "Project"), as described in the notice of hearing on the Contract Documents for the Project and the taking of bids therefor; and

WHEREAS, a hearing has been held on the Contract Documents on June 22, 2021;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of North Liberty, Iowa, as follows:

Section 1. The City Council will receive bids for the Project until June 29, 2021 at 10:00 a.m. At such time and place the City Clerk will open such bids received and announce the results thereof. The City Council will consider bids received at the City Council meeting to be held on July 13, 2021 at 6:30 p.m. in Council Chambers at 1 Quail Creek Circle, North Liberty, Iowa.

Section 2. The City Clerk is hereby authorized and directed to give notice of the hearing and taking of bids by publication as required by law, which publication shall be made not less than 4 and not more than 45 days prior to the date for receipt of bids and not less than 4 and not more than 20 days prior to the date of the said hearing.

Section 3. "Pursuant to Section 1.150-2 of the Income Tax Regulations (the "Regulations") of the Internal Revenue Service, the City declares (a) that it intends to undertake the Project, (b) that other than (i) expenditures to be paid or reimbursed from sources other than the issuance of bonds, notes or other obligations (the "Bonds"), or (ii) expenditures made not earlier than 60 days prior to the date of this Resolution or a previous intent resolution of the City, or (iii) expenditures amounting to the lesser of \$100,000 or 5% of the proceeds of the Bonds, or (iv) expenditures constituting preliminary expenditures as defined in Section 1.150-2(f)(2) of the Regulations, no expenditures for the Project have heretofore been made by the City and no expenditures will be made by the City until after the date of this Resolution or a prior intent resolution of the City, and (c) that the City reasonably expects to reimburse the expenditures made for costs of the City out of the proceeds of the Bonds. This declaration is a declaration of official intent adopted pursuant to Section 1.150-2 of the Regulations.

Section 4. The Contract Documents referred to in the preamble hereof are hereby finally approved, and the prior action of the City Council giving preliminary approval is hereby finally confirmed, and the Project, as provided for in the Contract Documents, is necessary and desirable.

Section 5. All resolutions or parts of resolutions in conflict herewith are hereby repealed to the extent of such conflict.

APPROVED AND ADOPTED this 22nd day of June, 2021.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

Prepared by and Return to:
Grant D. Lientz, 3 Quail Creek Circle, P.O. Box 77, North Liberty, IA 52317 319-626-5767

TEMPORARY CONTRUCTION EASEMENT AGREEMENT

This agreement is made and entered into by and between STEVE GIBBONS and MARIAN GIBBONS, owners of the real estate described herein, (hereinafter referred to as "Property Owner," which expression shall include their agents, successors or assigns), and the CITY OF NORTH LIBERTY, IOWA, a municipal corporation, (hereinafter referred to as "City," which expression shall include its agents, successors or assigns).

IT IS HEREBY AGREED AS FOLLOWS:

For the sum of one dollar (\$1.00) plus other valuable consideration, the receipt of which is hereby acknowledged, the Property Owner hereby grants and conveys to the City a temporary easement for the public purpose of improving a pedestrian walking trail by installing landscaping, lighting, and sidewalks (the "Project"), under, over, through and across the areas described in the attached Exhibit A.

Additionally, as part of the consideration for this agreement,

- A. The City shall be responsible for the recording of this Agreement and payment of the costs for the same.
- B. The City shall indemnify and hold harmless the Property Owner, its successors and assigns, from and against any loss, damage, expense, cost, third party claims, causes of action, or other liabilities arising out of, or purporting to arise out of, the City's exercise of the rights granted under this Agreement. This indemnification and hold harmless shall include, but is not limited to, reasonable legal fees and cost of defense incurred by Property Owner.

DIVISION I – TEMPORARY CONSTRUCTION EASEMENT

The Property Owner and the City agree that:

- 1. The temporary construction easement area being granted and conveyed by this Agreement is depicted on and legally described in Exhibit A, which is attached and fully incorporated herein, and referred to herein as "Temporary Construction Easement Area."

2. Property Owner does hereby grant and convey to City a temporary construction easement for the purpose of facilitating the City's construction of the Project described above.
3. The Property Owner shall not erect any landscaping, fences, or structures over, under or within the temporary construction easement area during the construction of the Project, without obtaining the prior written approval of the City Engineer.
4. The Property Owner shall not change the grade, elevation or contour of any part of the temporary construction easement area without obtaining the prior written consent of the City Engineer during the same timeframe, which consent shall not be unreasonably withheld.
5. The City shall have the right of access to the Temporary Construction Easement Area and have all rights of ingress and egress reasonably necessary for the use and enjoyment of the easement area as herein described, including but not limited to the right to remove any unauthorized obstructions or structures placed or erected on the easement area.
6. Following the construction and installation of the Project and final acceptance by the City, the City shall restore the Temporary Construction Easement Area to substantially the same condition as existed prior to the commencement of construction operations.
7. City covenants and agrees that driveways, fences and other site features that are removed or disturbed shall be replaced by City consistent with the final construction plans, which the City Engineer shall make available to the Property Owner upon request. City covenants and agrees that existing underground drainage tiles that are removed or disturbed shall, to the extent reasonably possible, be replaced by City. City shall not be responsible for seeding grassed areas disturbed by the construction, as Property Owner has elected to install sod at Property Owner's expense. City and Property Owner agree that the costs for installing sod in lieu of seeding are contemplated as part of the consideration for this agreement. Property Owner agrees that trees, shrubs and brush that are removed or disturbed will not be replaced by City.
8. City covenants and agrees to remove and stockpile existing topsoil from areas to be excavated, to be used in the event of any repair. Following installation of the improvements described herein, all areas within the temporary construction easement area which are disturbed will be graded to form a uniform slope, and topsoil shall be replaced and spread over disturbed areas, thereby restoring said areas substantially to their prior condition, with the exception of the replacement of trees, shrubs and brush.
9. The rights as described above in the temporary construction easement area shall commence upon execution hereof and shall cease and terminate following the completion of the construction of the Project, but no later than December 31, 2022.

DIVISION II – GENERAL

The Property Owner does hereby covenant with the City that the Property Owner holds said real estate described in this easement by title in fee simple; that the Property Owner has good and lawful authority to convey the same; and that the Property Owner covenants to warrant and defend

the said premises against the lawful claims of all persons whomsoever. The provisions hereof shall inure to the benefit of and bind the successors and assigns of the respective parties hereto, and all covenants shall apply to and run with the land.

Dated this 15th day of June, 2021.

PROPERTY OWNER:

Signed:

Steve Gibbons
Steve Gibbons

Steve Gibbons

Signed:

Marian Gibbons
Marian Gibbons

Marian Gibbons

CITY:

Signed:

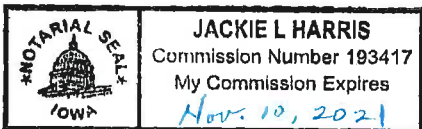
Terry L. Donahue, Mayor
Terry L. Donahue, Mayor

Signed:

Tracey Mulcahey, City Clerk
Tracey Mulcahey, City Clerk

STATE OF IOWA, JOHNSON COUNTY: ss

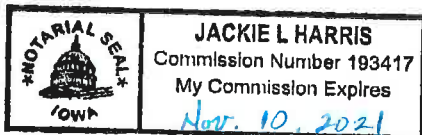
On this 16th day of June, 2021, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Steve Gibbons, to me known to be the person named in and who executed the foregoing instrument, and acknowledged that he executed the same as his voluntary act and deed.



Jackie L. Harris
Notary Public in and for said State

STATE OF IOWA, JOHNSON COUNTY: ss

On this 16th day of June, 2021, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Marian Gibbons, to me known to be the person named in and who executed the foregoing instrument, and acknowledged that she executed the same as his/her voluntary act and deed.



Jackie L. Harris
Notary Public in and for said State

STATE OF IOWA, JOHNSON COUNTY: ss

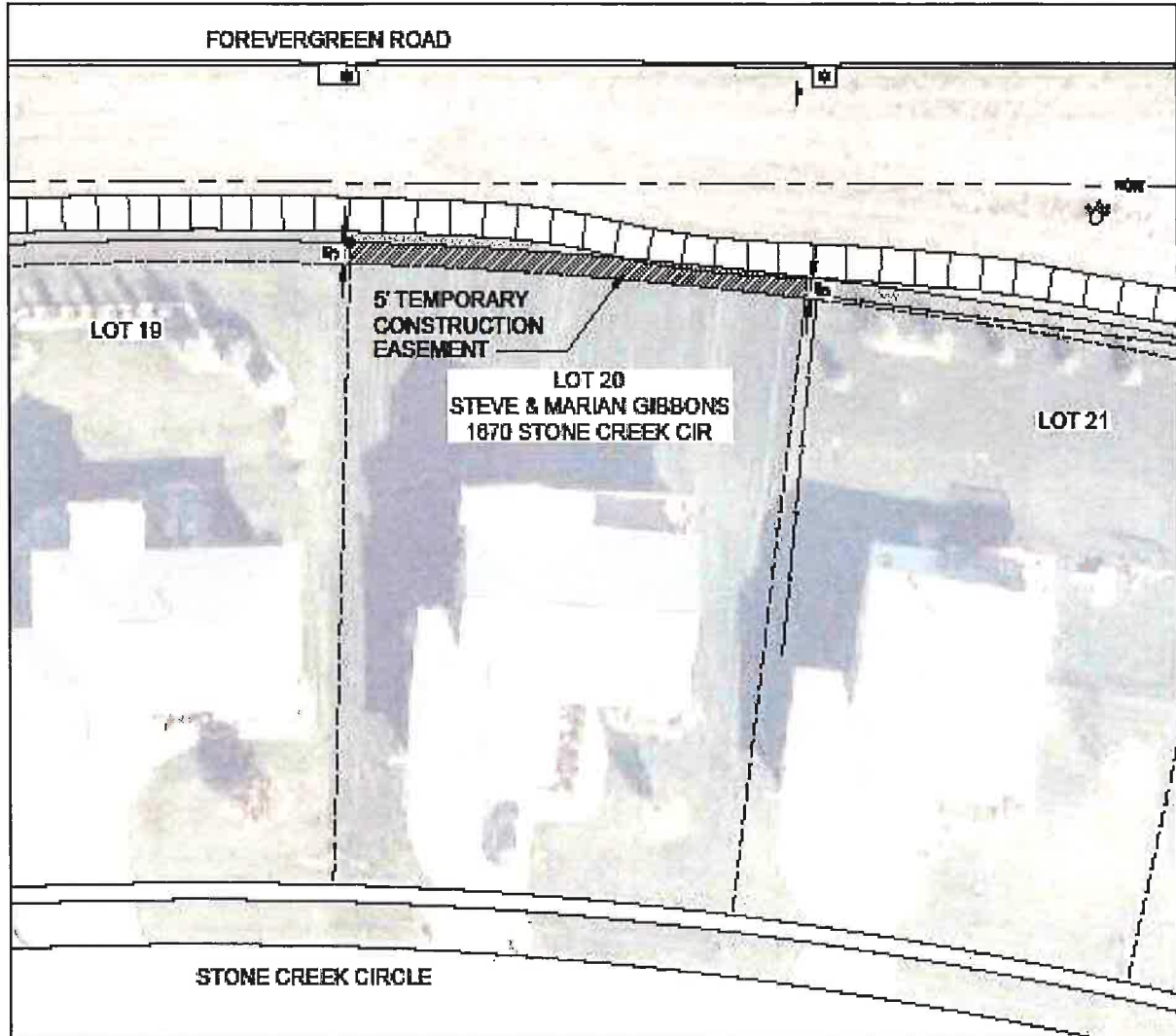
On this _____ day of _____, 20____, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Terry L. Donahue and Tracey Mulcahey, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of North Liberty, Iowa, a municipal corporation; that the seal affixed to the foregoing instrument is the corporate seal of the municipal corporation, and that the instrument was signed and sealed on behalf of the municipal corporation by the authority of its City Council, as contained in Resolution No. _____ of the City Council on the _____

day of _____, 20____, and that Terry L. Donahue and Tracey Mulcahey acknowledged the execution of the instrument to be their voluntary act and deed and the voluntary act and deed of the corporation, by it and by them voluntarily executed.

Notary Public in and for the State of Iowa

EXHIBIT A

EASEMENT EXHIBIT A
TEMPORARY CONSTRUCTION EASEMENT
 A PART OF LOT 20, FOX VALLEY SUBDIVISION PART TWO
 NORTH LIBERTY, JOHNSON COUNTY, IOWA



PROPERTY OWNER:
 STEVE GIBBONS
 MARIAN GIBBONS

EASEMENT REQUESTED BY:
 THE CITY OF NORTH LIBERTY

DESCRIPTION
 TEMPORARY CONSTRUCTION EASEMENT

A temporary construction easement on the North 5 feet of Lot 20, Fox Valley Subdivision Part Two (Final Plat recorded in Plat Book 54, Page 116 at the Johnson County Recorder's Office), North Liberty, Johnson County, Iowa, containing 545 square feet more or less.



SHIVEHATTERY
 ARCHITECTURE + ENGINEERING

2839 Northgate Drive | Iowa City, Iowa 52245
 319.354.3040 | www.shive-hattery.com
 Iowa | Illinois | Indiana | Nebraska

EASEMENT EXHIBIT			PROJECT NO.
A PART OF LOT 20, FOX VALLEY SUB. PT. 2			1213190
STEVE AND MARIAN GIBBONS			
NORTH LIBERTY, IOWA			
DATE	05/14/21	SCALE	AS SHOWN
DRAWN	CJM	FIELD BOOK	-
APPROVED	KPT	REVISION	-
			SHEET NO.
			1 of 1

Resolution No. 2021-55

**A RESOLUTION APPROVING THE PURCHASE OF
TEMPORARY CONSTRUCTION EASEMENT BY THE CITY OF
NORTH LIBERTY FOR THE FOREVERGREEN ROAD TRAIL
PROJECT**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

WHEREAS, the City of North Liberty is planning the Forevergreen Road Trail Project across and adjacent to property (the "Subject Property") owned by, among others, Steve Gibbons and Marian Gibbons (the "Owners") and;

WHEREAS, the acquisition of right of way, a temporary construction easement over and across the Subject Property is necessary for this project, and;

WHEREAS, the City of North Liberty agrees to purchase the temporary construction easement over, under, and across property owned by Steve Gibbons and Marian Gibbons for \$801.00; and

WHEREAS, it is the parties' desire to agree and establish, in writing, their understanding concerning the temporary construction easement needed for the Forevergreen Road Trail Project.

NOW, THEREFORE, BE IT RESOLVED that the purchase of the temporary construction easement pursuant to the attached agreement between the City of North Liberty and the Owners of the Subject Property is approved for the Forevergreen Road Trail Project, North Liberty, Iowa.

BE IT FURTHER RESOLVED that the Mayor and City Clerk are hereby authorized to execute the attached agreement.

APPROVED AND ADOPTED this 22nd day of June, 2021.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK



Ag Experience Ordinance



June 1, 2021

Terry L. Donahue, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of the City of North Liberty for an Ordinance amending portions of Chapters 167, 168, and 170 of the City of North Liberty Code of Ordinances, defining permitted agricultural and livestock uses, removing confined animal feeding operations as a permitted use, creating regulations for an agricultural experience use, modifying signage and off-street parking requirements in general, and modifying accessory uses for community food pantries.

Mayor Donahue:

The North Liberty Planning Commission considered the above-reference requests at its June 1, 2021 meeting. The Planning Commission took the following action:

Finding:

1. The Zoning Ordinance amendments would allow for an agricultural use within City limits and would revise outdated and onerous language.

Recommendation:

The Planning Commission accepted the one listed finding and forwards the request of the City of North Liberty for an Ordinance amending portions of Chapters 167, 168, and 170 of the City of North Liberty Code of Ordinances, defining permitted agricultural and livestock uses, removing confined animal feeding operations as a permitted use, creating regulations for an agricultural experience use, modifying signage and off-street parking requirements in general, and modifying accessory uses for community food pantries.

The vote for approval was unanimous (6-0).

Becky Keogh, Chairperson
City of North Liberty Planning Commission



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **May 28, 2021**
Re **Request of the City of North Liberty for an Ordinance amending portions of Chapters 167, 168, and 170 of the City of North Liberty Code of Ordinances, defining permitted agricultural and livestock uses, removing confined animal feeding operations as a permitted use, creating regulations for an agricultural experience use, modifying signage and off-street parking requirements in general, and modifying accessory uses for community food pantries.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Grant Lientz, City Attorney
Tom Palmer, City Building Official
Kevin Trom, City Engineer
Ryan Rusnak, Planning Director

Proposed Zoning Ordinance amendments:

City staff has been collaborating with Dean and Katie Colony for the past several months to write an Agricultural Experience Ordinance, which would allow their farm to operate in City limits.

City staff decided that allowing the use by Conditional Use approval was necessary because the City does not have an Agricultural Comprehensive Plan Future Land Use Map designation. In that light, an Agricultural Experience Zoning District could not be created because it would not be consistent with the Future Land Use Map.

City staff took the opportunity to revise outdated definitions and uses and standards in the ID Interim Development District. Staff also amended the food pantry regulations to allow a portion of second accessory building to be utilized for the food pantry.

Public Input:

No public input has been received.

Finding:

1. The Zoning Ordinance amendments would allow for an agricultural use within City limits and would revise outdated and onerous language.

Recommendation:

City staff recommends the Planning Commission accept the one listed finding and forward the request of the City of North Liberty for an Ordinance amending portions of Chapters 167, 168, and 170 of the City of North Liberty Code of Ordinances, defining permitted agricultural and livestock uses, removing confined animal feeding operations as a permitted use, creating regulations for an agricultural experience use, modifying signage and off-street parking requirements in general, and modifying accessory uses for community food pantries.

Suggested motion:

I move that the Planning Commission accept the one listed finding and forward the Ordinance amendments to the City Council with a recommendation for approval.

SECTION 1. AMENDMENT.

167.01 Definitions.

“Agriculture” means the tilling of the soil, raising of crops, animals, horticulture, gardening, and bee keeping use of land and associated structures dedicated to the art or science of cultivating the ground, including harvesting of crops and rearing and management of livestock and bee keeping.

“Agriculture Experience” means any agriculture-related activity, as a secondary use in conjunction with a permitted agricultural use, which activity is open to the public with the intended purpose of promoting or educating the public about agriculture, agricultural practices, agricultural activities, or agricultural products. An activity is an agriculture experience activity whether or not the participant paid to participate in the activity. The sale of merchandise and service and/or sale of food and drinks, including alcoholic beverages, is permitted as an accessory use to activities sponsored by the organization.

“Animal Feeding Operations” means an agricultural enterprises where animals are kept and raised in confined situations where feed is brought to the animals rather than the animals grazing or otherwise seeking feed in pastures, fields, or on rangeland.

“Farm” means an area with a minimum size of ten acres which is used for the growing of the usual farm products as vegetables, fruits, and grain and their storage on the area, as well as for the raising thereon of the usual farm poultry and farm animals.

“Farm animals” means animals other than household pets that may, where permitted, be kept and maintained for commercial production and sale and/or family food production, education, or recreation. Farm animals are identified by these categories: large animals (e.g., horses and cattle); medium animals (e.g., sheep, goats); or small animals (e.g., rabbits, chinchilla, chickens, turkeys, pheasants, geese, ducks and pigeons).

“Farming” includes the operation of such farm area for one or more of the uses provided in Section 168.01 with the necessary accessory uses for treating or storing the food produce; provided, however, the operation of any such accessory uses shall be secondary to that of the normal farming activities and such accessory uses do not include the feeding of garbage or offal to swine or other animals.

“Livestock” means one or more domestic animals of species bred or kept for production of food or fiber, for use as draft animals, or for riding belonging to the bovine, caprine, equine, ovine, or porcine species and/or poultry.

SECTION 2. AMENDMENT.

168.01 ID ZONE – INTERIM DEVELOPMENT DISTRICT.

The Interim Development District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas.

1. Use Regulations. Principal, accessory, and conditional uses permitted in the ID Zone – Interim Development District are as prescribed in Table 168.01-A.

TABLE 168.01-A – ID ZONE USES

P = Permitted, C = Conditional, A = Accessory, N/A = Not Allowed

Land Use		Notes
Agriculture	P	Minimum lot size is three (3) acres.
Agricultural Experience	C	See Section 170.07 of this code.
Animal Feeding Operations, Non-confinement	P	See definition of “Animal Feeding Operations, Confinement”
Animal Feeding Operations, Confinement	EN/A	Confined animal feeding operation is a lot or facility, together with any associated treatment works, where animals are raised within buildings, corrals, or pens during all stages of production, and without significant time grazing on natural vegetation.
Communications Towers	A	45 feet maximum height
Community Buildings	P	
Country Clubs	P	Except miniature golf courses and commercial driving ranges
Keeping of Small Animals Directly Related to Agricultural Operations	P	Maximum four animals
Emergency Shelters	A	
Family Homes	P	
Farming	P	The business of cultivating soil, producing crops, and raising animals.
Farm Buildings on Lots Over 3 Acres Only	P	Outbuildings, including barns, sheds, and other structures directly related to the residential or agricultural use of the property. No such buildings may be used for commercial or warehouse operations. Wind turbines or other wind-powered generators are not included in this classification. Confinement buildings are considered under “Animal Feeding Operations, Confinement”
Food Pantry	C	Only if accessory to places of worship. See Section 169.06 of this code.
Golf Courses	P	Except miniature golf courses and commercial driving ranges
Home Occupations	A	

Kennels	€	-
Nurseries / Daycare	P	
Parks	P	
Parochial or Private Schools	P	Curricula similar to public schools; no boarding
Places of Worship	P	
Playgrounds	P	
Private Garages, Detached	A	See Section <u>169.06</u>
Private Swimming Pools	A	
Public Schools	P	
Single Dwelling Unit Buildings	P	Owner occupied
Single Rental Dwelling Unit Buildings	P	See Chapter 169.15 for restrictions
Temporary Construction Buildings	A	
Tennis Courts	A	
Utility and Service Uses	P	

2. Bulk Regulations. The minimum area, setbacks, density, and maximum height are as prescribed in Table 168.01-B.

TABLE 168.01-B – ID ZONE BULK REGULATIONS

Principal Permitted Uses	Minimum Lot Size Requirement			Minimum Yard Requirement			
	Frontage	Width	Area	Front Yard Depth	Each Side Yard Width	Rear Yard Depth	Maximum Height
Single-Family Dwellings, Family Homes, <u>Parks, Playgrounds, Utility and Service Uses</u>	150 feet	150 feet	1 acre	50 feet	10 feet	50 feet	35 feet or 2½ stories
Public Building; Place of Worship; School, Community Buildings, <u>Country Clubs</u>	150 feet	150 feet	3 acres	75 feet	20 feet	50 feet	70 feet

<u>Agricultural Experience</u> ¹	<u>400 feet</u>	<u>400 feet</u>	<u>10 acres</u>	<u>100 feet</u>	<u>50 feet</u>	<u>100 feet</u>	<u>35 feet or 2½ stories</u>
All other <u>agricultural</u> uses with buildings and/or livestock ²	200 feet	200 feet	5 acres	100 feet	50 feet	100 feet	35 feet or 2½ stories

^{1.} Only buildings and structures that are part of an agricultural experience are subject to minimum yard requirement.

^{2.} Only buildings and structures that are part of an agricultural use are subject to minimum yard requirement.

3. Accessory Uses. Accessory uses are permitted subject to the provisions of Section 169.06.
4. Home Occupations. Home occupations are permitted subject to the provisions of Section 170.01.
5. Conditional Uses. Conditional uses are permitted subject to the provisions of Section 171.02.
6. Off-Street Parking. Off-street parking shall be provided according to the provisions of Section 169.01. For an agricultural experience use, see Section 170.07.
- ~~7. Stockyard Operation; License Required. It is unlawful for any person to locate, build, construct, use, operate, or maintain a stockyard, animal enclosure, animal feeding operation, open feed lot, or confinement feeding operation as a principal, accessory, or conditional use in any ID District within the corporate limits of the City without having obtained a license therefor as provided in this zoning ordinance.~~
- ~~8. Kennels; License Required. It is unlawful for any person to locate, build, construct, use, operate, or maintain a kennel in any ID District within the corporate limits of the City without having obtained a license therefor as provided in this zoning ordinance.~~
- ~~9.7.~~ Signs. Signs shall be permitted according to the provisions of Chapter 173. For an agricultural experience use, see Section 170.07.

SECTION 3. AMENDMENT.

Section 169.06(6)

6. Food Pantry. ~~One accessory building to provide services as a~~ A food pantry is allowed as an accessory use only under the following conditions:
 - A. Permitted only as an accessory use for non-profit organizations.
 - B. A maximum of one accessory use building is allowed on the lot with the principal use structure in addition to one storage building or garage associated with the principal use structure.
 - C. Commercial for-profit uses are expressly disallowed.
 - D. Any type of housing, including transient housing, is expressly disallowed.
 - E. The accessory use building and underlying land shall remain at all times in the same ownership as the principal use on the lot.
 - F. Parking shall be provided in accordance with code requirements.
 - G. Maximum accessory use signage: 1 sign, ground or wall, not larger than 8 square feet.
 - H. Maximum accessory building height: 1 floor.
 - I. Principal structure setback requirements are to be observed for the accessory building described herein.

- J. Maximum size of the accessory building is to be 2,500 square feet, but in no case larger than the square foot total of the principal structure. Additionally, the use may occupy up to 50% of the one allowable storage building or garage.
- K. Design standards apply to the accessory building as well as the principal building.
- L. A conditional use approval is required.

SECTION 4. AMENDMENT.

Section 170.07 – AGRICULTURAL EXPERIENCE.

A conditional use permit shall be obtained for any agricultural experience, subject to the following conditions.

1. Uses Permitted in Conjunction with an Agricultural Experience.
 - A. Agriculturally related seasonal festivals including crop mazes or hayrides.
 - B. You-pick operations, including, but not limited to vegetable and berry picking, pumpkin patches and similar uses.
 - C. Direct sale of agricultural products grown and/or produced on or off-site. Examples of agricultural products grown and/or produced off-site include, but are not limited to, fruits and vegetables and seasonal flowers and trees.
 - D. Value-added (other than alcohol products) processing of produce and fruit grown on the farm.
 - E. Agricultural clinics and tours, seminars or classes and organized agricultural related group activities with no overnight accommodations.
 - F. On-the-farm weddings and wedding receptions.
 - G. On-the-farm events sponsored by the City of North Liberty.
 - H. Up to twelve non-agricultural related events may occur within a calendar year. The event shall be described in a permit issued by the Code Official prior to the commencement of the event. The Zoning Code Official may impose such conditions on the event as are necessary to protect the public health, safety and welfare, and adjacent uses. No fee is required for this permit.
2. Design Standards.
 - A. The area devoted to the agricultural experience shall only have direct access to roadway classified as a collector or arterial roadway.
 - B. In order to maintain the rural theme, agricultural experience uses shall not be subject to any of the provisions of Sections 169.12, 169.13 or 169.14. Rather, building style and design standards shall be subject to the following:
 1. Buildings and structures shall have color schemes primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. White or off-white is also acceptable. Earth tone and white colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors.
 2. Buildings and structures shall have the eaves of roof extend a minimum of one foot past the outside walls.
 3. Buildings and structures shall have a minimum 5/12 roof pitch.
 4. Exterior wall coverings shall be wood vertical or horizontal grooved or lapped siding. Substitute materials achieving a similar appearance may be utilized.
 5. No building shall exceed 5,000 square feet in area.
 6. Design standards do not apply to buildings or structures under 200 square feet in area, playground equipment or other similar structures. Existing buildings or

structures 200 square feet in area or greater not meeting design standards may be permitted if identified in the Conditional Use.

- C. Off-street parking. In order to maintain a rural theme, an agricultural use shall not be subject to the provisions of Section 169.01. Rather, safe vehicular access and customer parking shall be provided on site, such that vehicles are not required to back onto public streets or cause congestion on public streets. The use of gravel is limited to primary and secondary driveway isles. Off-street parking areas shall be located outside of public rights-of-way and shall be maintained in such a manner to allow access to the site by emergency vehicles
- D. Lighting. In order to maintain a rural theme, an agricultural use shall not be subject to the provisions of Section 169.12(I). Rather, any exterior lighting shall be appropriately shielded and/or directed away from adjacent properties and public rights-of-way.
- E. Sign Regulations. Signs shall be subject the provisions of Chapter 173, except where it conflicts with the exception of the following:
 - i. One non-internally illuminated sign is permitted per public street access. The surface area for each sign shall not exceed 32 square feet and the height shall not exceed 12 feet. Sign shall be designed with one or more wooden posts that are part of the overall sign structure and sign design. Signs may be externally illuminated.
 - ii. Electronic message signs are prohibited.
Mobile signs are prohibited, but a message board sign may be incorporated in the permanent sign.
 - iii. Two seasonal event temporary signs are permitted per calendar year. Such signs shall be the only sail-shaped vertical flag signs and shall be removed immediately upon termination of the special event or at the end of 60 days, whichever comes first.
 - iv. There are no restrictions for signs not visible from the boundary of the property.
- F. Landscaping Requirements. Landscaping shall be subject the provisions of Chapter 169.02, with the exception of where it conflicts with the following:
 - i. Along a street frontage. 10 foot wide landscape area.
 - ii. Adjacent to a residential zone. 25 foot wide landscape area.
 - iii. Tree planting is encouraged within landscape areas.
- G. Temporary Restroom Facilities. Temporary restroom facilities may be provided, but shall not supplant permanent restroom facilities, when required.
- H. Maximum Capacity. The Fire Marshall and Building Official shall establish the maximum occupant capacity for meetings, training, educational or similar events which shall be appropriate to the site and facilities in terms of capacity in buildings, parking areas and sanitation limitations of the site.

ORDINANCE NO. 2021-

An Ordinance amending Section 167.01 Code of Ordinances of North Liberty, Iowa, entitled "Definitions" by amending definitions "Agriculture", "Food Pantry" and "Livestock", by adding the definitions "Agricultural Experience" and "Animal Confinement Operations" and by deleting the definitions "Farm", "Farm Animals" and "Farming"; amending Section 168.01 Code of Ordinances of North Liberty, Iowa, entitled "ID Zone – Interim Development District" by adding, amending and/or deleting certain uses in Table 168.01-A, entitled "ID Zone Uses", by adding, amending and/or deleting certain uses in Table 168.01B, entitled "ID Zone Bulk Regulations" and by amending "Off-Street Parking" regulations, by deleting "Stockyard Operation, License Required" and "Kennel, License Required" and by amending "Signs" regulations, amending Section 169.06, entitled "Location of Accessory Buildings and Uses" by amending "Food Pantry" regulations, and amending Chapter 170, entitled "Special Use Regulations" by creating Section 170.07 entitled "Agricultural Experience" and associated use regulations.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT. That Section 167.01 of the Code of Ordinances of North Liberty, Iowa, entitled "Definitions" is hereby amended by modifying the definitions for "agriculture" and "livestock", by creating the terms and associated definitions for "agricultural experience" and "animal feeding operations", and by deleting the terms and associated definitions for "farm", "farming" and "farm animals". All other definitions in Section 167.01 remain unchanged.

Section 167.01 DEFINITIONS

"Agriculture" means the use of land and associated structures dedicated to the art or science of cultivating the ground, including harvesting of crops and rearing and management of livestock and bee keeping.

"Agriculture Experience" means any agriculture-related activity, as a secondary use in conjunction with a permitted agricultural use, which activity is open to the public with the intended purpose of promoting or educating the public about agriculture, agricultural practices, agricultural activities, or agricultural products. An activity is an agriculture experience activity whether or not the participant paid to participate in the activity. The sale of merchandise and service and/or sale of food and drinks, including alcoholic beverages, is permitted as an accessory use to activities sponsored by the organization.

"Animal Feeding Operations" means an agricultural enterprises where animals are kept and raised in confined situations where feed is brought to the animals rather than the animals grazing or otherwise seeking feed in pastures, fields, or on rangeland.

"Livestock" means one or more animals belonging to the bovine, caprine, equine, ovine, or porcine species and/or poultry.

SECTION 2. AMENDMENT. That Section 168.01 of the Code of Ordinances of North Liberty, Iowa, entitled "ID Zone – Interim Development District" is hereby amended by amending table 168.01-A, entitled "ID Zone Uses", by adding the uses "agriculture" and "agricultural experience", by deleting the uses "animal feeding operations, non confinement", "country clubs", "keeping of small animals directly related to agricultural operations", "farming", "farm buildings on lots over 3 acres", "golf courses" and "kennels" and by modifying the term "animal feeding operations, confinement" to "animal feeding operations" and changing the use from permitted to not allowed, by amending table 168.01-B, entitled "ID Bulk Regulations" by adding, deleting and modifying certain uses, by deleting the use and standards for "Stockyard Operation; License Required" and "Kennels; License Required" and by modifying off-street parking and sign standards for an agricultural use.

168.01 ID ZONE – INTERIM DEVELOPMENT DISTRICT.

The Interim Development District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas.

1. Use Regulations. Principal, accessory, and conditional uses permitted in the ID Zone – Interim Development District are as prescribed in Table 168.01-A.

TABLE 168.01-A – ID ZONE USES

P = Permitted, C = Conditional, A = Accessory, N/A = Not Allowed

Land Use		Notes
Agriculture	P	Minimum lot size is three (3) acres.
Agricultural Experience	C	See Section 170.07 of this code.
Animal Feeding Operations	N/A	
Communications Towers	A	45 feet maximum height
Community Buildings	P	
Emergency Shelters	A	
Family Homes	P	
Food Pantry	C	See Section <u>169.06</u> of this code.
Home Occupations	A	
Nurseries / Daycare	P	
Parks	P	
Parochial or Private Schools	P	Curricula similar to public schools; no boarding
Places of Worship	P	
Playgrounds	P	

Private Garages, Detached	A	See Section <u>169.06</u>
Private Swimming Pools	A	
Public Schools	P	
Single Dwelling Unit Buildings	P	Owner occupied
Single Rental Dwelling Unit Buildings	P	See Chapter 169.15 for restrictions
Temporary Construction Buildings	A	
Tennis Courts	A	
Utility and Service Uses	P	

2. Bulk Regulations. The minimum area, setbacks, density, and maximum height are as prescribed in Table 168.01-B.

TABLE 168.01-B – ID ZONE BULK REGULATIONS

Principal Permitted Uses	Minimum Lot Size Requirement			Minimum Yard Requirement			
	Frontage	Width	Area	Front Yard Depth	Each Side Yard Width	Rear Yard Depth	Maximum Height
Single-Family Dwellings, Family Homes, Parks, Playgrounds, Utility and Service Uses	150 feet	150 feet	1 acre	50 feet	10 feet	50 feet	35 feet or 2½ stories
Public Building; Place of Worship; School, Community Buildings	150 feet	150 feet	3 acres	75 feet	20 feet	50 feet	70 feet
Agricultural Experience ¹	400 feet	400 feet	10 acres	100 feet	50 feet	100 feet	35 feet or 2½ stories
All other agricultural uses with buildings and/or livestock ²	200 feet	200 feet	5 acres	100 feet	50 feet	100 feet	35 feet or 2½ stories

- ¹ Only buildings and structures that are part of an agricultural experience are subject to minimum yard requirement.
- ² Only buildings and structures that are part of an agricultural use are subject to minimum yard requirement.

3. Accessory Uses. Accessory uses are permitted subject to the provisions of Section 169.06.
4. Home Occupations. Home occupations are permitted subject to the provisions of Section 170.01.
5. Conditional Uses. Conditional uses are permitted subject to the provisions of Section 171.02.
6. Off-Street Parking. Off-street parking shall be provided according to the provisions of Section 169.01. For an agricultural experience use, see Section 170.07.
7. Signs. Signs shall be permitted according to the provisions of Chapter 173. For an agricultural experience use, see Section 170.07.

SECTION 3. AMENDMENT. That Section 169.06 of the Code of Ordinances of North Liberty, Iowa, entitled "Location of Accessory Buildings and Uses" is hereby amended by modifying certain standards for the accessory use "food pantry" enumerated in Section 169.06.

Section 169.06(6)

6. Food Pantry. A food pantry is allowed as an accessory use only under the following conditions:
 - A. Permitted only as an accessory use for non-profit organizations.
 - B. A maximum of one accessory use building is allowed on the lot with the principal use structure in addition to one storage building or garage associated with the principal use structure.
 - C. Commercial for-profit uses are expressly disallowed.
 - D. Any type of housing, including transient housing, is expressly disallowed.
 - E. The accessory use building and underlying land shall remain at all times in the same ownership as the principal use on the lot.
 - F. Parking shall be provided in accordance with code requirements.
 - G. Maximum accessory use signage: 1 sign, ground or wall, not larger than 8 square feet.
 - H. Maximum accessory building height: 1 floor.
 - I. Principal structure setback requirements are to be observed for the accessory building described herein.
 - J. Maximum size of the accessory building is to be 2,500 square feet, but in no case larger than the square foot total of the principal structure. Additionally, the use may occupy up to 50% of the one allowable storage building or garage.
 - K. Design standards apply to the accessory building as well as the principal building.
 - L. A conditional use approval is required.

SECTION 4. AMENDMENT. That Section 170.07 of the Code of Ordinances of North Liberty, Iowa, entitled "agricultural experience" is hereby created, which sets forth use and design standards.

Section 170.07 – AGRICULTURAL EXPERIENCE.

A conditional use permit shall be obtained for any agricultural experience, subject to the following conditions.

1. Uses Permitted in Conjunction with an Agricultural Experience.
 - A. Agriculturally related seasonal festivals including crop mazes or hayrides.
 - B. You-pick operations, including, but not limited to vegetable and berry picking, pumpkin patches and similar uses.
 - C. Direct sale of agricultural products grown and/or produced on or off-site. Examples of agricultural products grown and/or produced off-site include, but are not limited to, fruits and vegetables and seasonal flowers and trees.
 - D. Value-added (other than alcohol products) processing of produce and fruit grown on the farm.
 - E. Agricultural clinics and tours, seminars or classes and organized agricultural related group activities with no overnight accommodations.
 - F. On-the-farm weddings and wedding receptions.
 - G. On-the-farm events sponsored by the City of North Liberty.
 - H. Up to twelve non-agricultural related events may occur within a calendar year. The event shall be described in a permit issued by the Code Official prior to the commencement of the event. The Zoning Code Official may impose such conditions on the event as are necessary to protect the public health, safety and welfare, and adjacent uses. No fee is required for this permit.
2. Design Standards.
 - A. The area devoted to the agricultural experience shall only have direct access to roadway classified as a collector or arterial roadway.
 - B. In order to maintain the rural theme, agricultural experience uses shall not be subject to any of the provisions of Sections 169.12, 169.13 or 169.14. Rather, building style and design standards shall be subject to the following:
 1. Buildings and structures shall have color schemes primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. White or off-white is also acceptable. Earth tone and white colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors.
 2. Buildings and structures shall have the eaves of roof extend a minimum of one foot past the outside walls.
 3. Buildings and structures shall have a minimum 5/12 roof pitch.
 4. Exterior wall coverings shall be wood vertical or horizontal grooved or lapped siding. Substitute materials achieving a similar appearance may be utilized.
 5. No building shall exceed 5,000 square feet in area.
 6. Design standards do not apply to buildings or structures under 200 square feet in area, playground equipment or other similar structures. Existing buildings or structures 200 square feet in area or greater not meeting design standards may be permitted if identified in the Conditional Use.

- C. Off-street parking. In order to maintain a rural theme, an agricultural use shall not be subject to the provisions of Section 169.01. Rather, safe vehicular access and customer parking shall be provided on site, such that vehicles are not required to back onto public streets or cause congestion on public streets. The use of gravel is limited to primary and secondary driveway isles. Off-street parking areas shall be located outside of public rights-of-way and shall be maintained in such a manner to allow access to the site by emergency vehicles
- D. Lighting. In order to maintain a rural theme, an agricultural use shall not be subject to the provisions of Section 169.12(I). Rather, any exterior lighting shall be appropriately shielded and/or directed away from adjacent properties and public rights-of-way.
- E. Sign Regulations. Signs shall be subject the provisions of Chapter 173, except where it conflicts with the exception of the following:
 - i. One non-internally illuminated sign is permitted per public street access. The surface area for each sign shall not exceed 32 square feet and the height shall not exceed 12 feet. Sign shall be designed with one or more wooden posts that are part of the overall sign structure and sign design. Signs may be externally illuminated.
 - ii. Electronic message signs are prohibited. Mobile signs are prohibited, but a message board sign may be incorporated in the permanent sign.
 - iii. Two seasonal event temporary signs are permitted per calendar year. Such signs shall be the only sail-shaped vertical flag signs and shall be removed immediately upon termination of the special event or at the end of 60 days, whichever comes first.
 - iv. There are no restrictions for signs not visible from the boundary of the property.
- F. Landscaping Requirements. Landscaping shall be subject the provisions of Chapter 169.02, with the exception of where it conflicts with the following:
 - i. Along a street frontage. 10 foot wide landscape area.
 - ii. Adjacent to a residential zone. 25 foot wide landscape area.
 - iii. Tree planting is encouraged within landscape areas.
- G. Temporary Restroom Facilities. Temporary restroom facilities may be provided, but shall not supplant permanent restroom facilities, when required.
- H. Maximum Capacity. The Fire Marshall and Building Official shall establish the maximum occupant capacity for meetings, training, educational or similar events which shall be appropriate to the site and facilities in terms of capacity in buildings, parking areas and sanitation limitations of the site.

SECTION 5. REPEALER. All Ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 6. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 7. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 8. WHEN EFFECTIVE. This Ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____.

Second reading on _____.

Third reading _____.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ORDINANCE NO. 2021-12

An Ordinance amending Section 167.01 Code of Ordinances of North Liberty, Iowa, entitled "Definitions" by amending definitions "Agriculture", "Food Pantry" and "Livestock", by adding the definitions "Agricultural Experience" and "Animal Confinement Operations" and by deleting the definitions "Farm", "Farm Animals" and "Farming"; amending Section 168.01 Code of Ordinances of North Liberty, Iowa, entitled "ID Zone – Interim Development District" by adding, amending and/or deleting certain uses in Table 168.01-A, entitled "ID Zone Uses", by adding, amending and/or deleting certain uses in Table 168.01B, entitled "ID Zone Bulk Regulations" and by amending "Off-Street Parking" regulations, by deleting "Stockyard Operation, License Required" and "Kennel, License Required" and by amending "Signs" regulations, amending Section 169.06, entitled "Location of Accessory Buildings and Uses" by amending "Food Pantry" regulations, and amending Chapter 170, entitled "Special Use Regulations" by creating Section 170.07 entitled "Agricultural Experience" and associated use regulations.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT. That Section 167.01 of the Code of Ordinances of North Liberty, Iowa, entitled "Definitions" is hereby amended by modifying the definitions for "agriculture" and "livestock", by creating the terms and associated definitions for "agricultural experience" and "animal feeding operations", and by deleting the terms and associated definitions for "farm", "farming" and "farm animals". All other definitions in Section 167.01 remain unchanged.

Section 167.01 DEFINITIONS

"Agriculture" means the use of land and associated structures dedicated to the art or science of cultivating the ground, including harvesting of crops and rearing and management of livestock and bee keeping.

"Agriculture Experience" means any agriculture-related activity, as a secondary use in conjunction with a permitted agricultural use, which activity is open to the public with the intended purpose of promoting or educating the public about agriculture, agricultural practices, agricultural activities, or agricultural products. An activity is an agriculture experience activity whether or not the participant paid to participate in the activity. The sale of merchandise and service and/or sale of food and drinks, including alcoholic beverages, is permitted as an accessory use to activities sponsored by the organization.

"Animal Feeding Operations" means an agricultural enterprises where animals are kept and raised in confined situations where feed is brought to the animals rather than the animals grazing or otherwise seeking feed in pastures, fields, or on rangeland.

“Livestock” means one or more animals belonging to the bovine, caprine, equine, ovine, or porcine species and/or poultry.

SECTION 2. AMENDMENT. That Section 168.01 of the Code of Ordinances of North Liberty, Iowa, entitled “ID Zone – Interim Development District” is hereby amended by amending table 168.01-A, entitled “ID Zone Uses”, by adding the uses “agriculture” and “agricultural experience”, by deleting the uses “animal feeding operations, non confinement”, “country clubs”, “keeping of small animals directly related to agricultural operations”, “farming”, “farm buildings on lots over 3 acres”, “golf courses” and “kennels” and by modifying the term “animal feeding operations, confinement” to “animal feeding operations” and changing the use from permitted to not allowed, by amending table 168.01-B, entitled “ID Bulk Regulations” by adding, deleting and modifying certain uses, by deleting the use and standards for “Stockyard Operation; License Required” and “Kennels; License Required” and by modifying off-street parking and sign standards for an agricultural use.

168.01 ID ZONE – INTERIM DEVELOPMENT DISTRICT.

The Interim Development District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas.

1. Use Regulations. Principal, accessory, and conditional uses permitted in the ID Zone – Interim Development District are as prescribed in Table 168.01-A.

TABLE 168.01-A – ID ZONE USES

P = Permitted, C = Conditional, A = Accessory, N/A = Not Allowed

Land Use		Notes
Agriculture	P	Minimum lot size is three (3) acres.
Agricultural Experience	C	See Section 170.07 of this code.
Animal Feeding Operations	N/A	
Communications Towers	A	45 feet maximum height
Community Buildings	P	
Emergency Shelters	A	
Family Homes	P	
Food Pantry	C	See Section <u>169.06</u> of this code.
Home Occupations	A	
Nurseries / Daycare	P	
Parks	P	

Parochial or Private Schools	P	Curricula similar to public schools; no boarding
Places of Worship	P	
Playgrounds	P	
Private Garages, Detached	A	See Section <u>169.06</u>
Private Swimming Pools	A	
Public Schools	P	
Single Dwelling Unit Buildings	P	Owner occupied
Single Rental Dwelling Unit Buildings	P	See Chapter 169.15 for restrictions
Temporary Construction Buildings	A	
Tennis Courts	A	
Utility and Service Uses	P	

2. Bulk Regulations. The minimum area, setbacks, density, and maximum height are as prescribed in Table 168.01-B.

TABLE 168.01-B - ID ZONE BULK REGULATIONS

Principal Permitted Uses	Minimum Lot Size Requirement			Minimum Yard Requirement			
	Frontage	Width	Area	Front Yard Depth	Each Side Yard Width	Rear Yard Depth	Maximum Height
Single-Family Dwellings, Family Homes, Parks, Playgrounds, Utility and Service Uses	150 feet	150 feet	1 acre	50 feet	10 feet	50 feet	35 feet or 2½ stories
Public Building; Place of Worship; School, Community Buildings	150 feet	150 feet	3 acres	75 feet	20 feet	50 feet	70 feet
Agricultural Experience ¹	400 feet	400 feet	10 acres	100 feet	50 feet	100 feet	35 feet or 2½ stories

All other agricultural uses with buildings and/or livestock ²	200 feet	200 feet	5 acres	100 feet	50 feet	100 feet	35 feet or 2½ stories
--	----------	----------	---------	----------	---------	----------	-----------------------

- ¹ Only buildings and structures that are part of an agricultural experience are subject to minimum yard requirement.
- ² Only buildings and structures that are part of an agricultural use are subject to minimum yard requirement.
3. Accessory Uses. Accessory uses are permitted subject to the provisions of Section 169.06.
4. Home Occupations. Home occupations are permitted subject to the provisions of Section 170.01.
5. Conditional Uses. Conditional uses are permitted subject to the provisions of Section 171.02.
6. Off-Street Parking. Off-street parking shall be provided according to the provisions of Section 169.01. For an agricultural experience use, see Section 170.07.
7. Signs. Signs shall be permitted according to the provisions of Chapter 173. For an agricultural experience use, see Section 170.07.

SECTION 3. AMENDMENT. That Section 169.06 of the Code of Ordinances of North Liberty, Iowa, entitled "Location of Accessory Buildings and Uses" is hereby amended by modifying certain standards for the accessory use "food pantry" enumerated in Section 169.06.

Section 169.06(6)

6. Food Pantry. A food pantry is allowed as an accessory use only under the following conditions:
 - A. Permitted only as an accessory use for non-profit organizations.
 - B. A maximum of one accessory use building is allowed on the lot with the principal use structure in addition to one storage building or garage associated with the principal use structure.
 - C. Commercial for-profit uses are expressly disallowed.
 - D. Any type of housing, including transient housing, is expressly disallowed.
 - E. The accessory use building and underlying land shall remain at all times in the same ownership as the principal use on the lot.
 - F. Parking shall be provided in accordance with code requirements.
 - G. Maximum accessory use signage: 1 sign, ground or wall, not larger than 8 square feet.
 - H. Maximum accessory building height: 1 floor.
 - I. Principal structure setback requirements are to be observed for the accessory building described herein.
 - J. Maximum size of the accessory building is to be 2,500 square feet, but in no case larger than the square foot total of the principal structure. Additionally, the use may occupy up to 50% of the one allowable storage building or garage.
 - K. Design standards apply to the accessory building as well as the principal building.
 - L. A conditional use approval is required.

SECTION 4. AMENDMENT. That Section 170.07 of the Code of Ordinances of North Liberty, Iowa, entitled "agricultural experience" is hereby created, which sets forth use and design standards.

Section 170.07 – AGRICULTURAL EXPERIENCE.

A conditional use permit shall be obtained for any agricultural experience, subject to the following conditions.

1. Uses Permitted in Conjunction with an Agricultural Experience.
 - A. Agriculturally related seasonal festivals including crop mazes or hayrides.
 - B. You-pick operations, including, but not limited to vegetable and berry picking, pumpkin patches and similar uses.
 - C. Direct sale of agricultural products grown and/or produced on or off-site. Examples of agricultural products grown and/or produced off-site include, but are not limited to, fruits and vegetables and seasonal flowers and trees.
 - D. Value-added (other than alcohol products) processing of produce and fruit grown on the farm.
 - E. Agricultural clinics and tours, seminars or classes and organized agricultural related group activities with no overnight accommodations.
 - F. On-the-farm weddings and wedding receptions.
 - G. On-the-farm events sponsored by the City of North Liberty.
 - H. Up to twelve non-agricultural related events may occur within a calendar year. The event shall be described in a permit issued by the Code Official prior to the commencement of the event. The Zoning Code Official may impose such conditions on the event as are necessary to protect the public health, safety and welfare, and adjacent uses. No fee is required for this permit.
2. Design Standards.
 - A. The area devoted to the agricultural experience shall only have direct access to roadway classified as a collector or arterial roadway.
 - B. In order to maintain the rural theme, agricultural experience uses shall not be subject to any of the provisions of Sections 169.12, 169.13 or 169.14. Rather, building style and design standards shall be subject to the following:
 1. Buildings and structures shall have color schemes primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. White or off-white is also acceptable. Earth tone and white colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors.
 2. Buildings and structures shall have the eaves of roof extend a minimum of one foot past the outside walls.
 3. Buildings and structures shall have a minimum 5/12 roof pitch.
 4. Exterior wall coverings shall be wood vertical or horizontal grooved or lapped siding. Substitute materials achieving a similar appearance may be utilized.
 5. No building shall exceed 5,000 square feet in area.
 6. Design standards do not apply to buildings or structures under 200 square feet in area, playground equipment or other similar structures. Existing

buildings or structures 200 square feet in area or greater not meeting design standards may be permitted if identified in the Conditional Use.

- C. Off-street parking. In order to maintain a rural theme, an agricultural use shall not be subject to the provisions of Section 169.01. Rather, safe vehicular access and customer parking shall be provided on site, such that vehicles are not required to back onto public streets or cause congestion on public streets. The use of gravel is limited to primary and secondary driveway isles. Off-street parking areas shall be located outside of public rights-of-way and shall be maintained in such a manner to allow access to the site by emergency vehicles
- D. Lighting. In order to maintain a rural theme, an agricultural use shall not be subject to the provisions of Section 169.12(I). Rather, any exterior lighting shall be appropriately shielded and/or directed away from adjacent properties and public rights-of-way.
- E. Sign Regulations. Signs shall be subject the provisions of Chapter 173, except where it conflicts with the exception of the following:
 - i. One non-internally illuminated sign is permitted per public street access. The surface area for each sign shall not exceed 32 square feet and the height shall not exceed 12 feet. Sign shall be designed with one or more wooden posts that are part of the overall sign structure and sign design. Signs may be externally illuminated.
 - ii. Electronic message signs are prohibited. Mobile signs are prohibited, but a message board sign may be incorporated in the permanent sign.
 - iii. Two seasonal event temporary signs are permitted per calendar year. Such signs shall be the only sail-shaped vertical flag signs and shall be removed immediately upon termination of the special event or at the end of 60 days, whichever comes first.
 - iv. There are no restrictions for signs not visible from the boundary of the property.
- F. Landscaping Requirements. Landscaping shall be subject the provisions of Chapter 169.02, with the exception of where it conflicts with the following:
 - i. Along a street frontage. 10 foot wide landscape area.
 - ii. Adjacent to a residential zone. 25 foot wide landscape area.
 - iii. Tree planting is encouraged within landscape areas.
- G. Temporary Restroom Facilities. Temporary restroom facilities may be provided, but shall not supplant permanent restroom facilities, when required.
- H. Maximum Capacity. The Fire Marshall and Building Official shall establish the maximum occupant capacity for meetings, training, educational or similar events which shall be appropriate to the site and facilities in terms of capacity in buildings, parking areas and sanitation limitations of the site.

SECTION 5. REPEALER. All Ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 6. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 7. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 8. WHEN EFFECTIVE. This Ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____.
Second reading on _____.
Third reading _____.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2021-12 in *The Leader* on the ___ day of ___, 2021.

TRACEY MULCAHEY, CITY CLERK



Hope Evangelical Church



June 1, 2021

Terry L. Donahue, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of Hope Presbyterian Church to approve a Site Plan to pave an existing gravel parking lot and add new paved parking on approximately 1.78 acres of property located on the east side of North Front Street approximately 150 feet north of North Dubuque Street.

Mayor Donahue:

The North Liberty Planning Commission considered the above-reference requests at its June 1, 2021 meeting. The Planning Commission took the following action:

Findings:

1. The place of worship use of the property would be consistent with the current RS-4 Single-Unit Resident District and the Comprehensive Plan Future Land Use Map designation of Residential; and
2. The site plan, with conditions recommended by City staff, would achieve consistency with North Liberty Code of Ordinances Section 165.04(2) entitled, "Site Plan Requirements" Section 169.12 entitled "Design Standards, Section 169.13, entitled "Other Design Standards" and other Code of Ordinance requirements.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request to approve a Site Plan to pave an existing gravel parking lot and add new paved parking on approximately 1.78 acres of property located on the east side of North Front Street approximately 150 feet north of North Dubuque Street to the City Council with a recommendation for approval subject to the following conditions:

1. That the portion of the replaced sidewalk toward the north end of the property be 5 feet in width with a one panel tapering transition.
2. That the curb cut at the north driveway location be replaced with a storm intake and pipe into the detention basin and that the grading plans allow for the 100-yr storm event to enter the pond.
3. That the driveway jointing detail be revised to follow North Liberty's Supplement to SUDAS. A note has been added on sheet 1, but the detail still allows the contractor an option.

4. That there be two 100-year storm routings through the detention basin such that one shows flows with the perforated riser as the control and one shows the 6" tile line as the control. Revise the stormwater report as necessary.
5. That the 5-year storm event be routed through the pond to evaluate the 5-year flow through the outlet pipe to the existing intake and pipe in North Front Street. Include this within the stormwater report.

The vote for approval was unanimous (6-0).

Becky Keogh, Chairperson
City of North Liberty Planning Commission

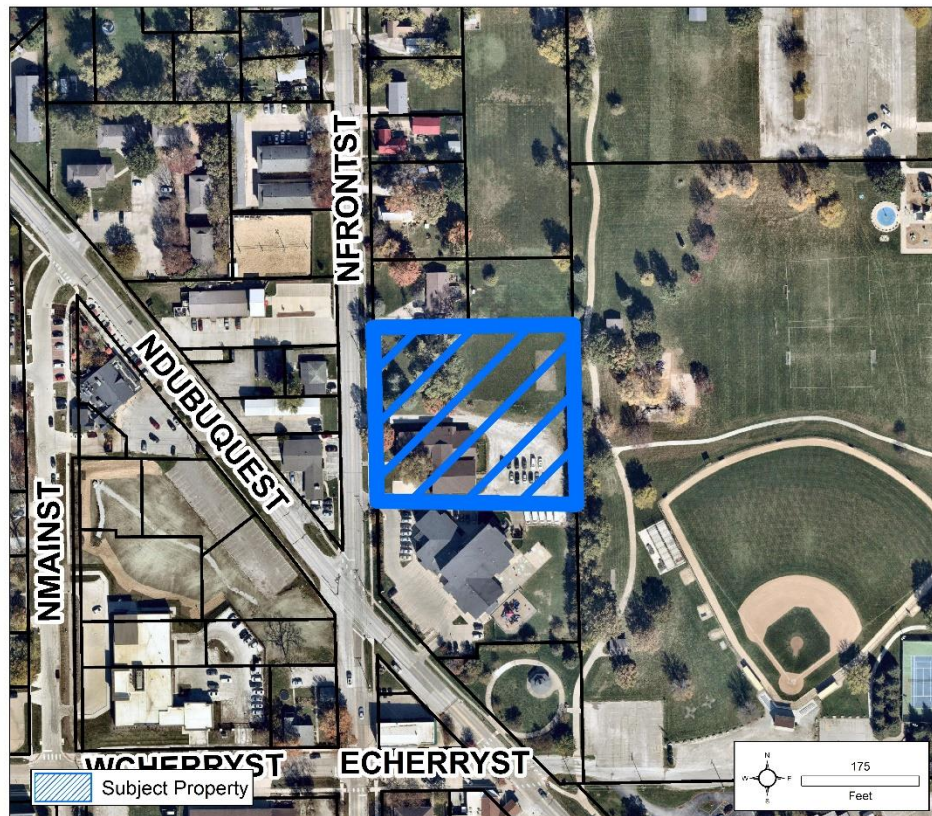


To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **May 28, 2021**
 Re **Request of Hope Presbyterian Church to approve a Site Plan to pave an existing gravel parking lot and add new paved parking on approximately 1.78 acres of property located on the east side of North Front Street approximately 150 feet north of North Dubuque Street.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:
 Ryan Heiar, City Administrator
 Tracey Mulcahey, Assistant City Administrator
 Grant Lientz, City Attorney
 Tom Palmer, City Building Official
 Kevin Trom, City Engineer
 Ryan Rusnak, Planning Director

Request Summary:

The site plan proposes to pave an existing gravel parking lot and add new paved parking and related infrastructure.

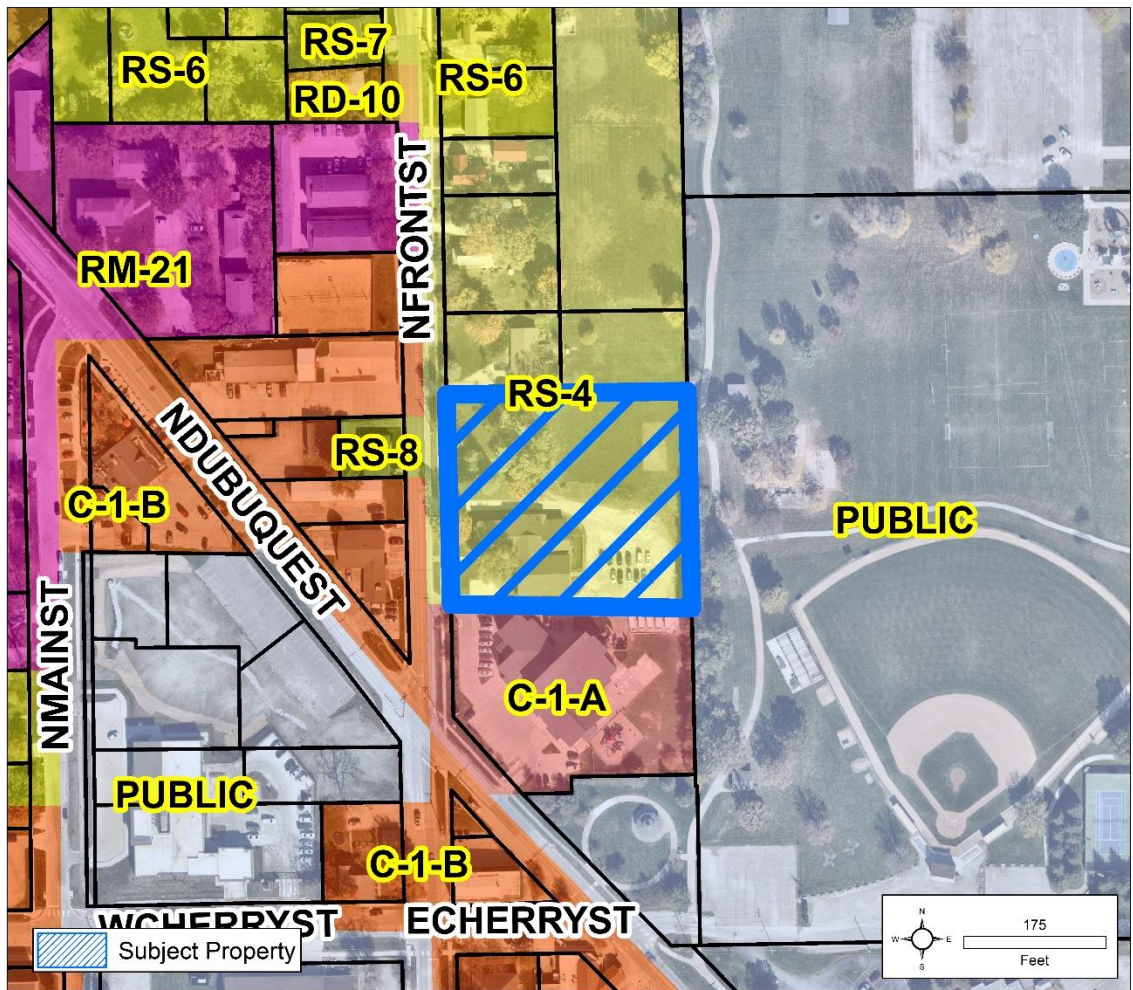


Existing Zoning:

The property is currently zoned RS-4 Single-Unit Residence District.

RS-4 Description:

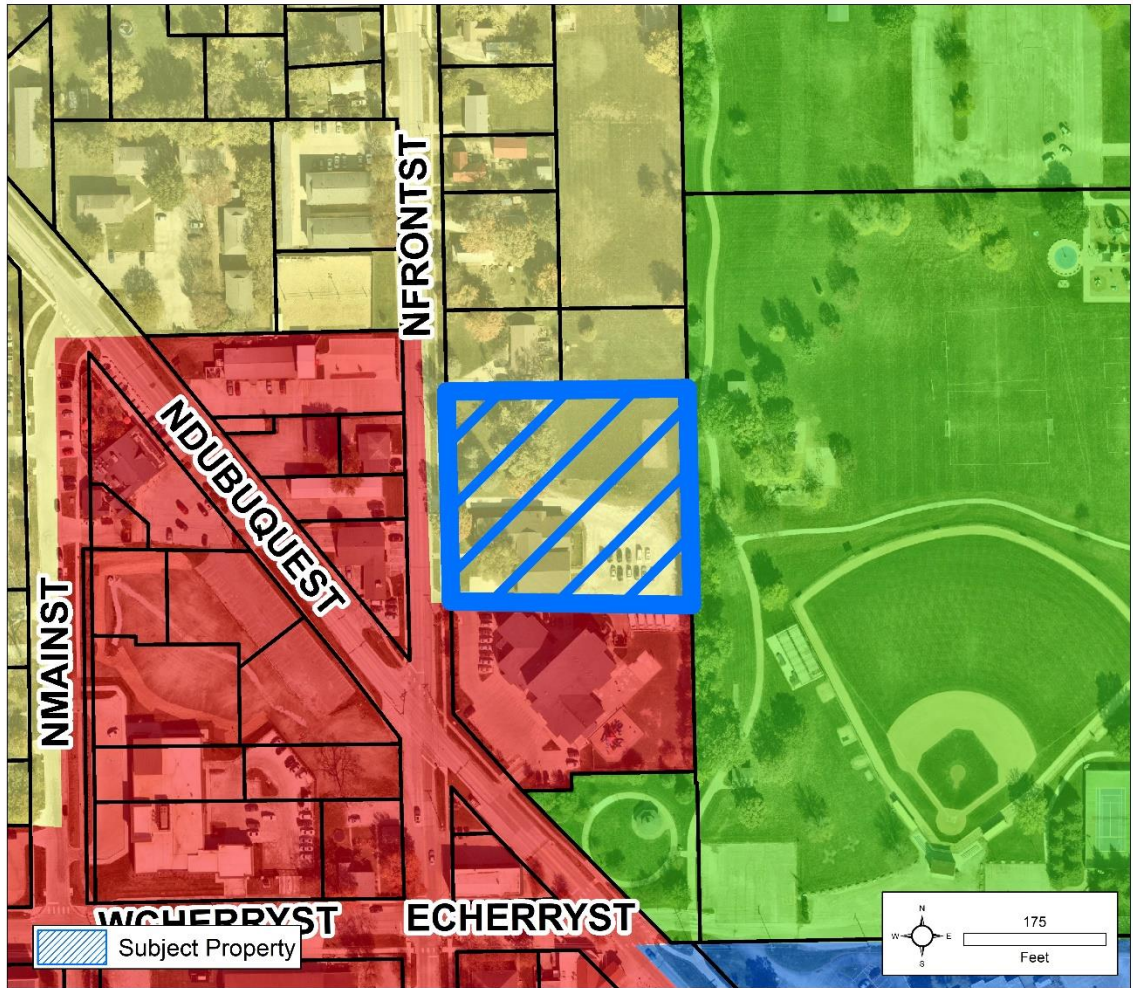
The RS-4 Single-Unit Residence District is intended to provide and maintain low-density single-unit residential neighborhoods with a minimum lot size of 10,000 square feet. The district shall include appropriate neighborhood facilities such as public parks, libraries, schools, churches, and recreational facilities, and is intended to protect these residential areas from encroachment of incompatible uses. Commercial uses are limited to allowable home occupations.



Consistency with Comprehensive Plan:

The property is designated Residential on the Future Land Use Map.

The RS-4 zoning is consistent with the Residential designation.



Approval Standards:

Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

2. *Site Plan Requirements. Site plans, which are required for review and approval for any use in any district or elsewhere by this code, shall comply with and illustrate the following:*

D. All site plans shall clearly illustrate the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, relationship to flood overlay zones, and such other information as necessary to show compliance with the requirements of this code. A preliminary site plan may be submitted for preliminary land use approval; however, the final site plan required by this code shall be submitted, reviewed, and approved prior to the issuance of building or construction permits.

It is staff's opinion that the site plan illustrates the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, and such other information as necessary to show compliance with the requirements of this code.

E. The site plan shall include the following legal information:

(1) Legal property owner's name and description of property.

(2) Applicant's name, requested land use, and zoning.

(3) If the applicant is other than the legal owner, the applicant's interest shall be indicated and the legal owner's authority to appeal shall be certified.

This information has been provided on sheet 1.

F. The site plan shall clearly illustrate in color perspective and enumerate the following information:

(1) Property boundary lines, dimensions, and total area.

This information has been provided on sheet 1.

(2) Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the final site plan.

This information has been provided on sheets 3 and 4.

(3) The availability and location of existing utilities.

This information has been provided on sheet 1.

(4) *The proposed location, size, shape, color, and material type of all buildings or structures.*

This is not applicable.

(5) *The total square feet of building floor area, both individually and collectively.*

This is not applicable.

(6) *The number of dwelling units, bedrooms, offices, etc., as required to determine special compliance.*

This is not applicable.

(7) *The proposed location of identification signs. An identification sign is defined as a sign displaying the name, address, insignia or trademark, and occupant of a building or the name of any building on the premises. Installation shall be in accordance with the Chapter 173 of this code.*

This is not applicable.

(8) *A vicinity sketch showing detailed adjacent land uses within 500 feet of the property and general existing land uses within 1,000 feet of the property.*

This information has been provided on sheet 1.

(9) *Existing buildings, right-of-way, street improvements, utilities (overhead or underground), easements, drainage courses, vegetation and large trees, etc.*

This information has been provided on sheet 1.

(10) *Parking areas, number of parking spaces proposed, number of parking spaces required by this code, type of surfacing to be used, etc.*

This information has been provided on sheet 1.

(11) *Walkways, driveways, outside lighting, walls, fences, signs, monuments, statues and other manmade features to be used in the landscape.*

Walkways and driveways are shown on sheet 1. Parking lot lighting is not proposed. No walls, fences, monuments or statues are proposed.

(12) *Location and type of all plants, grass, trees, or ground cover to be used in the landscape. Landscaping shall be illustrated in elevation and color perspective with the size and exact names of plants, shrubs, or trees to be planted clearly indicated.*

This information has been provided on sheet 5.

(13) Walls, fences or other artificial screens to be used as buffers shall be shown in elevation and color perspective with proposed height and structural material to be used indicated. See Section 169.02 for the guidelines concerning landscaping.

Walls, fences or other artificial screens are not proposed.

(14) Traffic considerations, architectural themes, pedestrian movement, etc., and all other considerations pertinent to the proposed use may be requested for illustration or statistical purposes.

This is not applicable.

(15) The methods of compliance with all applicable flood plain development standards and flood (overlay) districts as contained in this code.

The subject property is not located within a flood hazard area.

Additional Considerations:

North Liberty Code of Ordinances Section 169.12 entitled, "Design Standards" and Section 169.13 entitled, "Other Design Standards" sets forth certain design standards (applicable Ordinance language in italics and staff analysis in bold).

Section 169.13

2. *Parking Lot Screening. All parking lots shall be screened from public streets utilizing plantings and berms to help maintain visually attractive corridors.*

It is staff's opinion that the parking lot screening achieves consistency with this design standard.

4. *Yards, Ground Cover, and Landscaping. Established grass, either sod or seed, is required for all yards for all new buildings and additions over 500 square feet in area, in addition to trees and screening that may also be required by other code sections, prior to occupancy.*

B. Tree Requirements for Commercial, Office Park, or Industrial Development. For each Commercial, Office Park, or Industrial Development, one tree will be shown for every 2,000 square feet of building footprint.

It is staff's opinion that the parking lot screening achieves consistency with this design standard.

Findings:

1. The place of worship use of the property would be consistent with the current RS-4 Single-Unit Resident District and the Comprehensive Plan Future Land Use Map designation of Residential; and
2. The site plan, with conditions recommended by City staff, would achieve consistency with North Liberty Code of Ordinances Section 165.04(2) entitled, "Site Plan Requirements" Section 169.12 entitled "Design Standards, Section 169.13, entitled "Other Design Standards" and other Code of Ordinance requirements.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request to approve a Site Plan to pave an existing gravel parking lot and add new paved parking on approximately 1.78 acres of property located on the east side of North Front Street approximately 150 feet north of North Dubuque Street to the City Council with a recommendation for approval subject to the following conditions:

- 1) That the portion of the replaced fence toward the north end of the property be 5 feet in width with a one panel tapering transition.
- 2) That the curb cut at the north driveway location be replaced with a storm intake and pipe into the detention basin and that the grading plans allow for the 100-yr storm event to enter the pond.
- 3) That the driveway jointing detail be revised to follow North Liberty's Supplement to SUDAS. A note has been added on sheet 1, but the detail still allows the contractor an option.
- 4) That there be two 100-year storm routings through the detention basin such that one shows flows with the perforated riser as the control and one shows the 6" tile line as the control. Revise the stormwater report as necessary.
- 5) That the 5-year storm event be routed through the pond to evaluate the 5-year flow through the outlet pipe to the existing intake and pipe in North Front Street. Include this within the stormwater report.

Suggested motion:

I move that the Planning Commission accept the two listed findings and forward the site plan to the City Council with a recommendation for approval subject to the five conditions recommended by City staff.

SITE PLAN HOPE EVANGELICAL CHURCH NORTH LIBERTY, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IOWA 52240

OWNER/APPLICANT: HOPE EVANGELICAL CHURCH
420 N. FRONT STREET
NORTH LIBERTY, IOWA 52317

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, PER DOT STANDARD ROAD PLAN TC-419 OR SUDAS 8030-110 AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

PAVEMENT LEGEND	
	7" PCC OVER 6" ROCK BASE (PHASE 1 OR 2) (6,366 SF)
	4" PCC OVER 4" ROCK BASE (PHASE 2) (15,966 SF)

TOTAL DESCRIPTION

PLAT OF SURVEY, AUDITOR'S PARCEL NO. 99072, IN ACCORDANCE WITH THE RECORDED PLAT THEREOF, IN THE RECORDS OF THE JOHNSON COUNTY RECORDS OFFICE, CONTAINING 1.78 ACRES AND SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

APPLICANT:
HOPE EVANGELICAL CHURCH
420 N. FRONT STREET
NORTH LIBERTY, IOWA 52317

PROJECT/PROPERTY IDENTIFICATION:
CURRENT ZONING: R54
LOT AREA: 77,537 SF (1.78 ACRES)

SETBACK REQUIREMENTS	REQUIRED
BUILDING SETBACKS:	
FRONT YARD	30 FEET
SIDE YARD	20 FEET
REAR YARD	30 FEET

USE CHARACTERISTICS	EXISTING	PROPOSED
LOT AREA	77,537 SF OR 1.78 ACRES	7,541 SF (0.17 AC)
BEARING AREA - EXISTING	7,541 SF (0.17 AC)	4,798 SF (0.11 AC)
BEARING AREA - PROPOSED PHASE 1	14,401 SF (0.32 AC)	14,401 SF (0.32 AC)
BEARING AREA - PROPOSED PHASE 2	15,966 SF (0.35 AC)	15,966 SF (0.35 AC)
TOTAL BEARING AREA	38,124 SF (0.87 AC)	36,165 SF (0.82 AC)
GREEN SPACE AREA	35,072 SF (0.80 AC)	35,072 SF (0.80 AC)

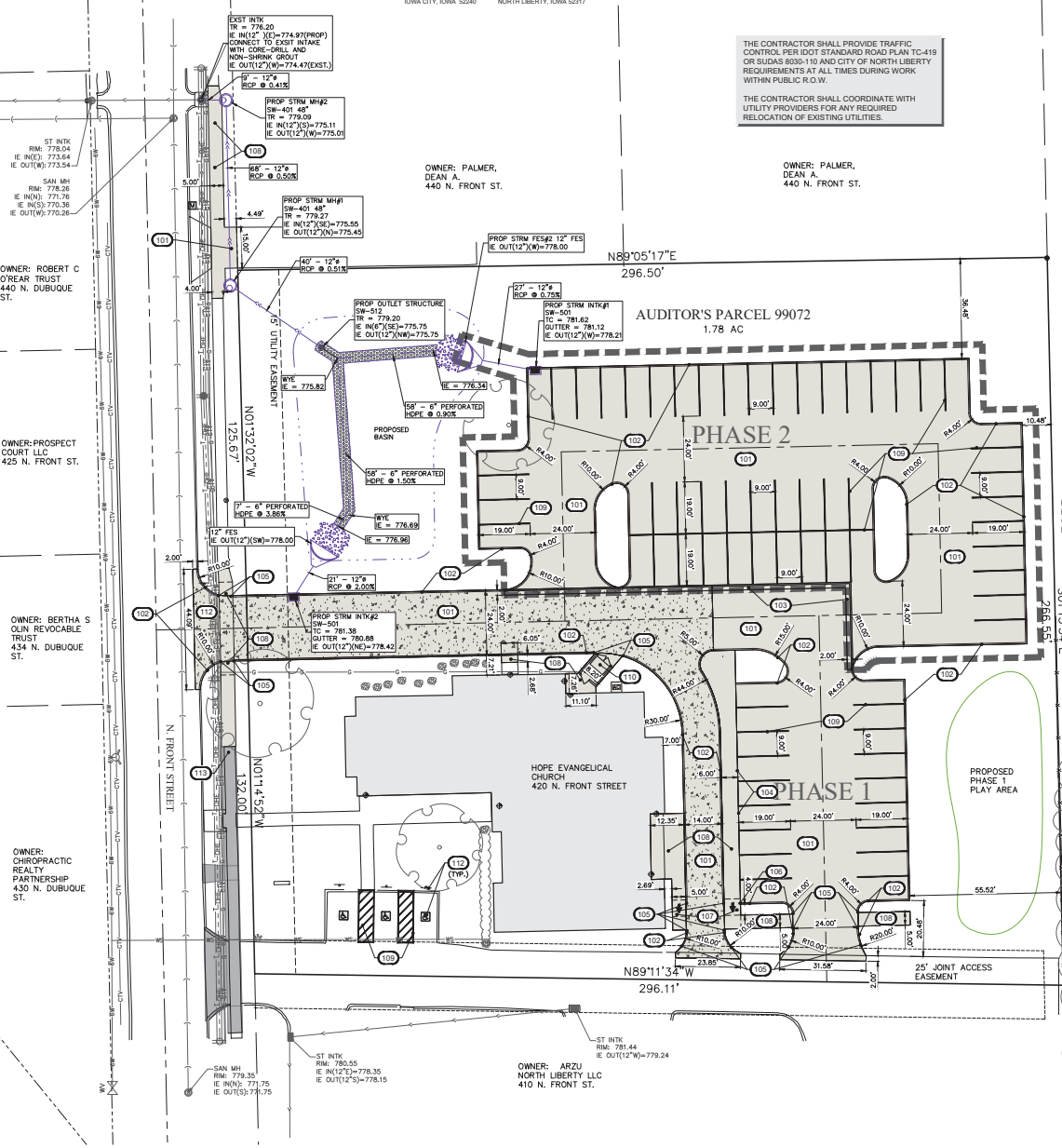
PARKING LOT CHARACTERISTICS:
PHASE 1 - CONVERTING EXISTING GRVEL PARKING TO PCC PAVEMENT WITH PAVING FOR CURRENT NUMBER OF SEATS (PHASE 1) AND PAVING FOR PHASE 2 - PARKING EXPANSION FOR PROJECTED CAPACITY OF WORSHIP ATTENDANCE AT CURRENT BUILDING.

EASING REQUIREMENTS:
1 SPACE FOR EVERY 10 SEATS - 180 SEATS PHASE 1; 50 SEATS (PHASE 2)
TOTAL SPACES REQUIRED = 18 (PHASE 1); 51 (PHASE 2)
69 SPACES PROVIDED (BOTH PHASES) (INCLUDED 3 ACCESSIBLE SPACES EXISTING)

NUMBER	KEYNOTE	DETAIL
101	INSTALL DRIVE FOR DETAIL (THICKNESS AND MATERIAL, AS NOTED). ACCESS POINTS HAVE BEEN DESIGNED TO SUPPORT THE APPROPRIATE WEIGHTING OF LEAST 75,000 LBS.	
102	INSTALL 4" STANDARD CURB	
103	INSTALL 4" STANDARD CURB (TO BE REMOVED FOR PHASE 2 CONSTRUCTION)	
104	INSTALL 6" INTEGRAL SIDEWALK CURB	
105	TRANSITION CURB & GUTTER SECTION FROM 6" HIGH TO NO CURB ALONG SIDEWALK CURB RAMP	
106	TRANSITION THICKENED EDGE SIDEWALK CURB FROM 6" HIGH TO NO CURB ALONG SIDEWALK CURB RAMP	
107	INSTALL ACCESSIBLE RAMPS	
108	INSTALL 5" PCC SIDEWALK ON 4" ROCK BASE	
109	INSTALL 4" WIDE PAVEMENT MARKINGS	
110	DUMPSTER ENCLOSURE. SEE DETAIL ON SHEET 6	
111	INSTALL ACCESSIBLE PARKING AND SIGNAGE	
112	INSTALL DRIVE ENTRANCE FOR NORTH LIBERTY SUPPLEMENTAL REQUIREMENTS (LOCAL DETAIL 7030.100). USE "E" JOINTS ON EACH SIDE OF THE PROPOSED SIDEWALK	
113	FUTURE CITY IMPROVEMENT PROJECT, CONTRACTOR SHALL COORDINATE CONSTRUCTION OF SIDEWALK IMPROVEMENTS BETWEEN PUBLIC AND PRIVATE PROJECTS.	

STANDARD LEGEND AND NOTES	
	PROPERTY &/OR BOUNDARY LINES
	CONGRESSIONAL SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	PROPOSED EASEMENT LINES
	BENCHMARK
	RECORDED EASEMENTS
	CURVE SEGMENT NUMBER
	POWER POLE
	POWER POLE W/DROP
	POWER POLE W/TRANS
	POWER POLE W/LIGHT
	OUT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	ELECTRICAL LINES
	GAS LINES
	CONTOUR LINES (1' INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREES & SHRUBS
	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE NOTED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

BENJAMIN T. MITCHELL
Professional Engineer
No. 23397

DATE: 08-20-20
FIELD BOOK NO.: 88-1254-PG.4
SCALE: 1"=20'
SHEET NO.: 1

Project No: 11076-001

**CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
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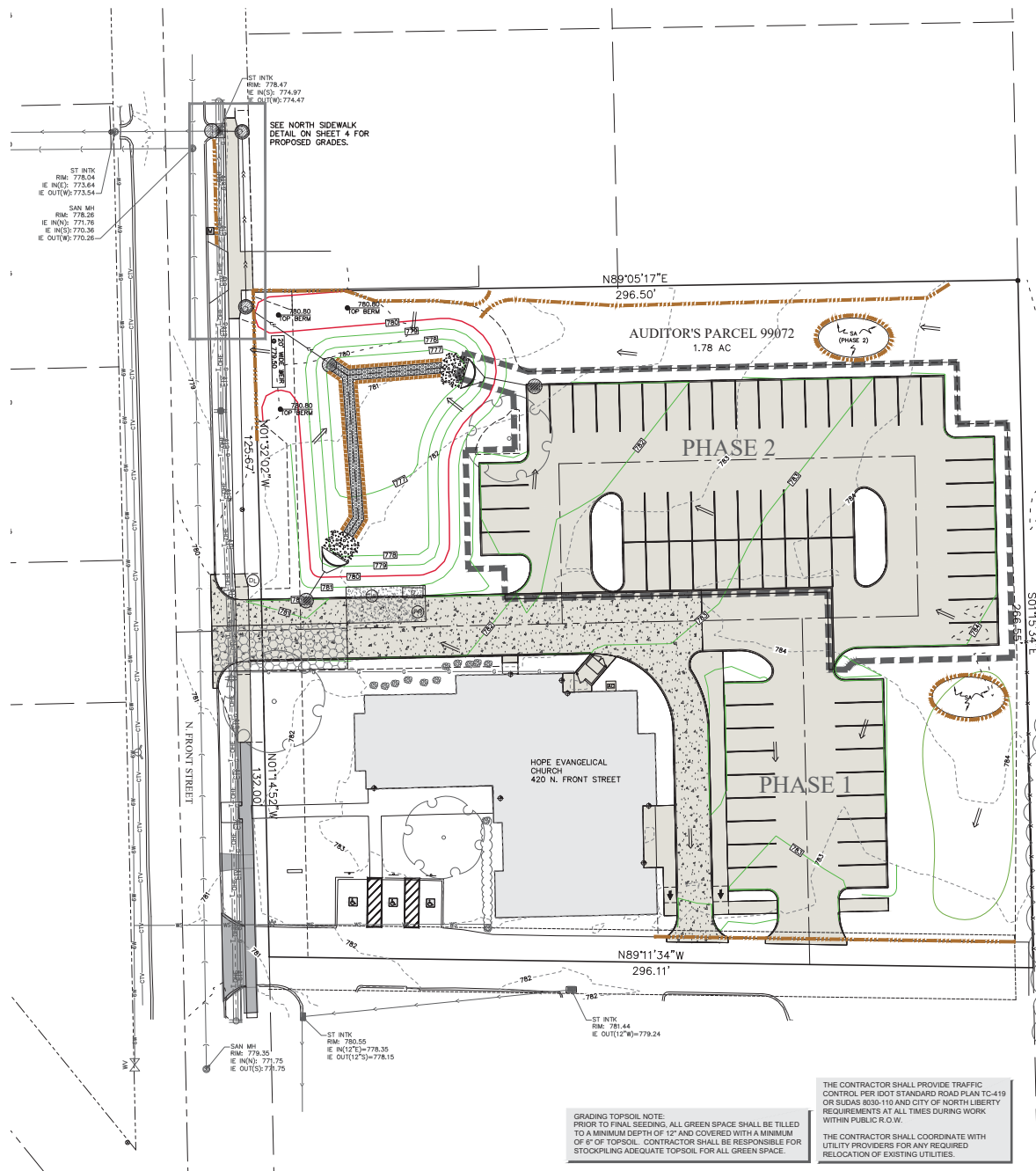
Date	Revision
05-24-21	PER CITY COMMENTS TAVEMTB
06-10-21	PER CITY COMMENTS TAVEMTB

SITE LAYOUT, DIMENSION, AND UTILITY PLAN

HOPE
EVANGELICAL
CHURCH
AUDITOR'S
PARCEL NO.
99072

NORTH LIBERTY, JOHNSON COUNTY,
IOWA

MMS CONSULTANTS, INC.
Date: 08-20-20
Designed by: BEM
Checked by: TAV
Project No: 11076-001



STANDARD LEGEND AND NOTES

PROPERTY & BOUNDARY LINES
 CONGRESSIONAL SECTION LINES
 RIGHT-OF-WAY LINES
 EXISTING RIGHT-OF-WAY LINES
 CENTER LINES
 EXISTING CENTER LINES
 LOT LINES, INTERNAL
 PROPOSED LOT LINES
 EXISTING EASEMENT LINES
 BENCHMARK
 RECORDED DIMENSIONS
 CURVE SEGMENT NUMBER

PROF.
 22-1
 POWER POLE W/PROP
 POWER POLE W/TRANS
 POWER POLE W/SPLIT
 DUTY POLE
 LIGHT POLE
 SANITARY MANHOLE
 FIRE HYDRANT
 WATER VALVE
 DRAINAGE MANHOLE
 CURB INLET
 FENCE LINE, SANITARY SEWER
 PROPOSED SANITARY SEWER
 EXISTING STORM SEWER
 PROPOSED STORM SEWER
 WATER LINES
 ELECTRICAL LINES
 TELEPHONE LINES
 GAS LINES (1" INTERVAL)
 CONTOUR LINES (1" INTERVAL)
 PROPOSED GROUND
 EXISTING TREE LINE
 EXISTING DECIDUOUS TREE & SHRUB
 EXISTING EVERGREEN TREES & SHRUBS

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STABILIZATION SEEDING

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH SUDAS SECTION 9010.06: SEED MIXTURES AND SEEDING DATES.

TABLE 9010.06: TYPE 4 SEED MIXTURE

COMMON NAME	APPLICATION RATE lb/acre
SPRING - MARCH 1 - MAY 20	
ANNUAL RYEGRASS	40
OATS*	65
SUMMER - MAY 21 - AUGUST 14	
ANNUAL RYEGRASS	50
OATS*	95
FALL - AUGUST 15 - SEPTEMBER 30	
ANNUAL RYEGRASS	40
GRAN RYE	65

* ENGINEER MAY DELETE FOR PREVIOUSLY ESTABLISHED URBAN AREAS.

FERTILIZER SHALL BE APPLIED AT A RATE OF 300 LBS PER ACRE USING GENERALLY COMBINED COMMERCIAL 13-11-11 FERTILIZER (SUDAS SECTION 9010.03 A.2)

GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 1.78 ACRES
 TOTAL AREA TO BE DISTURBED: 1.15 ACRES

EROSION CONTROL MEASURES SHOWN SHALL BE USED DURING ALL ACTIVITIES. EROSION CONTROL MEASURES SHALL BE RE-EVALUATED AND MODIFIED, IF NECESSARY, AT THE TIME OF SITE DEVELOPMENT.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STORM WATER POLLUTION CONTROL MANUAL, WHICH IS AVAILABLE FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE AND LOCATION OF SAID MEASURES ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

FOLLOWING INSTALLATION OF PERIMETER SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO SCHEDULE A SITE INSPECTION PRIOR TO ANY SOIL DISTURBING ACTIVITIES.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS.

UTILITIES

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 800-368-5888 PRIOR TO ANY EXCAVATION OR ERECTION OF ANY STRUCTURE OR EQUIPMENT.

WHERE AVAILABLE, UTILITIES SHALL BE SHOWN AS EXISTING ON THE PLAN OR INDICATED WITHIN THE CONSTRUCTION AREA. IF THERE IS ANY DISCREPANCY BETWEEN THE PLAN AND THE ACTUAL LOCATION OF UTILITIES, THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OR REPAIRS. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN LOCATED AND MARKED ONLY IF IT IS POSSIBLE TO DO SO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND TO AVOID SHALLOWly LOCATED UTILITIES. NO CLAIM FOR ADDITIONAL CONSTRUCTION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DAMAGE CAUSED BY SUCH UTILITIES.

EROSION CONTROL LEGEND

	SILT FENCE		PERIMETER SILT FENCE
	TEMPORARY ROCK CONSTRUCTION ENTRANCE/EXIT		TEMPORARY SOIL STOCKPILE AREA
	TEMPORARY PARKING AND STORAGE		DIRECTION OF OVERLAND FLOW
	CONCRETE TRUCK/EQUIPMENT WASHOUT		DAMPSTER FOR CONSTRUCTION WASTE
	PORTABLE RESTROOM		RSP RAP OUTLET PROTECTION
	DOCUMENT LOCATION (PERMITS, SIFPP, INSPECTION FORMS, ETC.)		EROSION CONTROL BLANKET: NORTH AMERICAN GREEN S0150 OR APPROVED EQUIVALENT
	INLET PROTECTION: 1. PRIOR TO STREET PAVING: INSTALL FABRIC UNDER INTAKE GRATE. 2. FOLLOWING STREET PAVING AND INSTALLATION OF GRATES: INSTALL SILT SOCK ON ALL UPSTREAM SIDE'S BENEATH GRATES OF THE INLET GRATE.		OTHER MEASURE:
	FILTER SOCK BEHIND CURB AT CURB RAMP		OTHER MEASURE:

NOTES:
 ALL SLOPES GREATER THAN 4:1 SHALL HAVE MATTING MEETING OR EXCEEDING S0150 APPLIED OVER SEEDED SURFACE.
 THE ABOVE LISTED ITEMS ARE SHOWN IN THEIR RECOMMENDED LOCATIONS. IF A CONTROL MEASURE IS ADDED OR MOVED TO A MORE SUSTAINABLE LOCATION, INDICATE THE REASON ON THIS SHEET. THE BLANKS LEFT FOR OTHER MEASURES SHOULD BE USED IF AN ITEM NOT SHOWN ABOVE IS IMPLEMENTED ON SITE. ADDITIONAL PRACTICES FOR EROSION PREVENTION AND SEDIMENT CONTROL CAN BE FOUND IN APPENDIX D OF THE SWPPP.

CIVIL ENGINEERS
 LAND PLANNERS
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 ENVIRONMENTAL SPECIALISTS

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Date	Revision
05-26-21	PER CITY COMMENTS TAVEMTH
06-10-21	PER CITY COMMENTS TAVEMTH

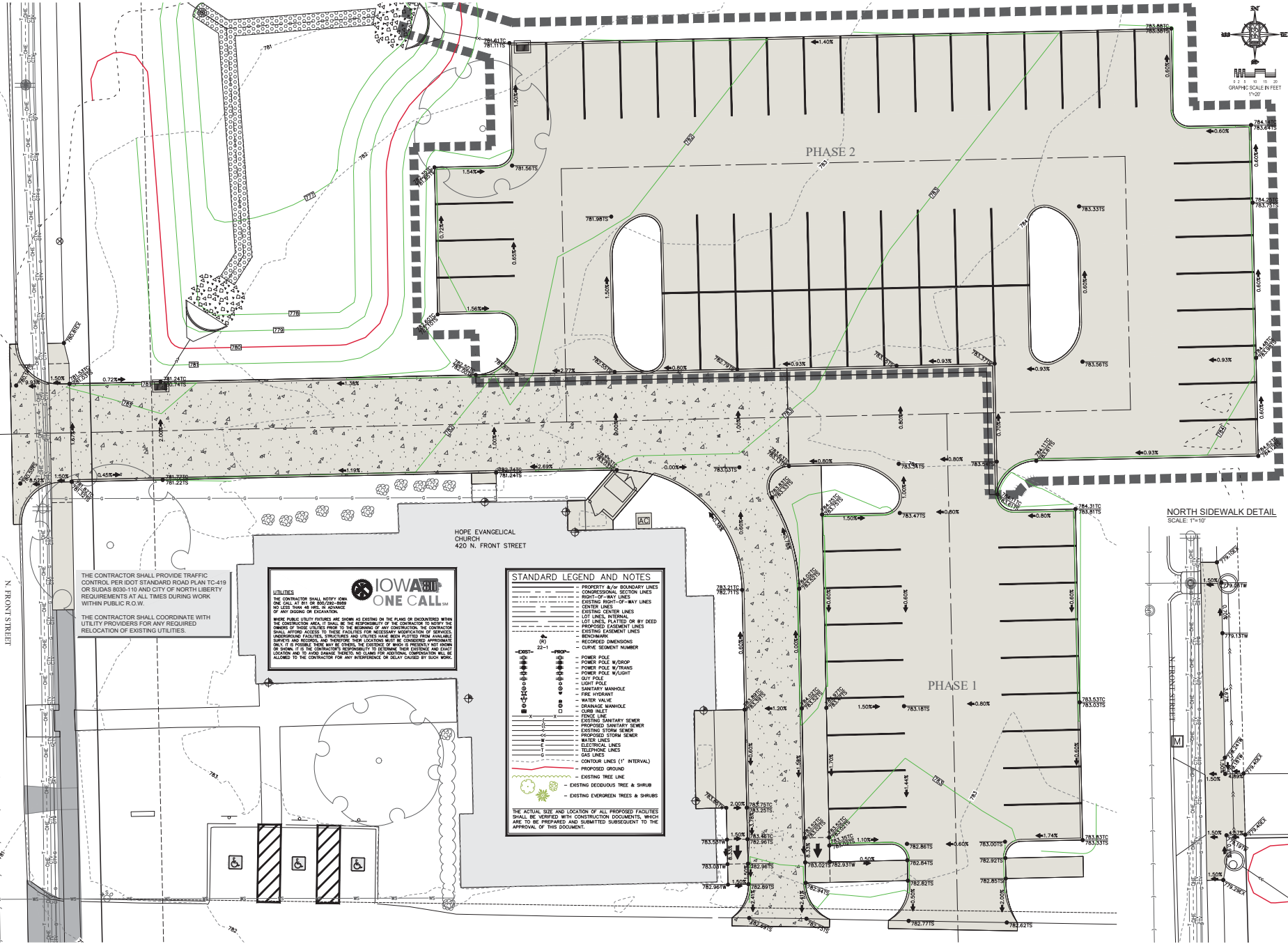
GRADING AND EROSION CONTROL PLAN AND SWPPP

HOPE EVANGELICAL CHURCH
 AUDITOR'S PARCEL NO. 99072

NORTH LIBERTY, JOHNSON COUNTY, IOWA

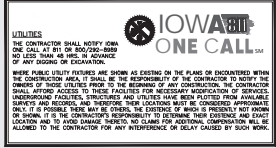
MMS CONSULTANTS, INC.

Date: 08-20-20
 Designed by: BEM Field Book No: BS-1254_P1-1
 Drawn by: TAV Scale: 1"=20'
 Checked by: JDM Sheet No:
 Project No: 11076-001



THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER DOT STANDARD ROAD PLAN TC-419 OR SUDAS 8030-110 AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.



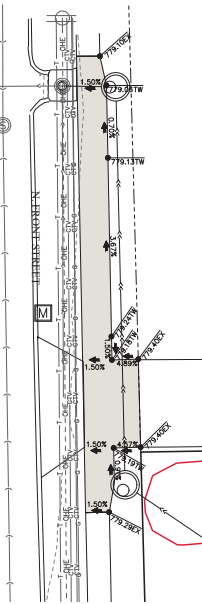
STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
 - CONGRESSIONAL SECTION LINES
 - EXISTING RIGHT-OF-WAY LINES
 - EXISTING CENTER LINES
 - LOT LINES, PLATTED OR BY DEED
 - EXISTING EASEMENT LINES
 - EXISTING EASEMENT LINES
 - BENCHMARK
 - RECORDED DIMENSIONS
 - CURVE SEGMENT NUMBER
-
- 22'-1" PROP- POWER POLE W/ SIGN
 - 22'-1" PROP- POWER POLE W/TRANS
 - 22'-1" PROP- POWER POLE W/LIGHT
 - 22'-1" PROP- GUY POLE
 - 22'-1" PROP- LIGHT POLE
 - 22'-1" PROP- SANITARY MANHOLE
 - 22'-1" PROP- FIRE HYDRANT
 - 22'-1" PROP- WATER VALVE
 - 22'-1" PROP- DRAINAGE MANHOLE
 - 22'-1" PROP- CURB INLET
 - 22'-1" PROP- EXISTING SANITARY SEWER
 - 22'-1" PROP- PROPOSED SANITARY SEWER
 - 22'-1" PROP- EXISTING STORM SEWER
 - 22'-1" PROP- PROPOSED STORM SEWER
 - 22'-1" PROP- WATER LINES
 - 22'-1" PROP- ELECTRICAL LINES
 - 22'-1" PROP- GAS LINES
 - 22'-1" PROP- CONTOUR LINES (1' INTERVAL)
 - 22'-1" PROP- PROPOSED GROUND
 - 22'-1" PROP- EXISTING TREE LINE
 - 22'-1" PROP- EXISTING DECIDUOUS TREES & SHRUBS
 - 22'-1" PROP- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



NORTH SIDEWALK DETAIL
SCALE: 1"=10'



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Date	Revision
05-26-21	PER CITY COMMENTS TAV/THM
06-10-21	PER CITY COMMENTS TAV/THM

DETAILED GRADING PLAN

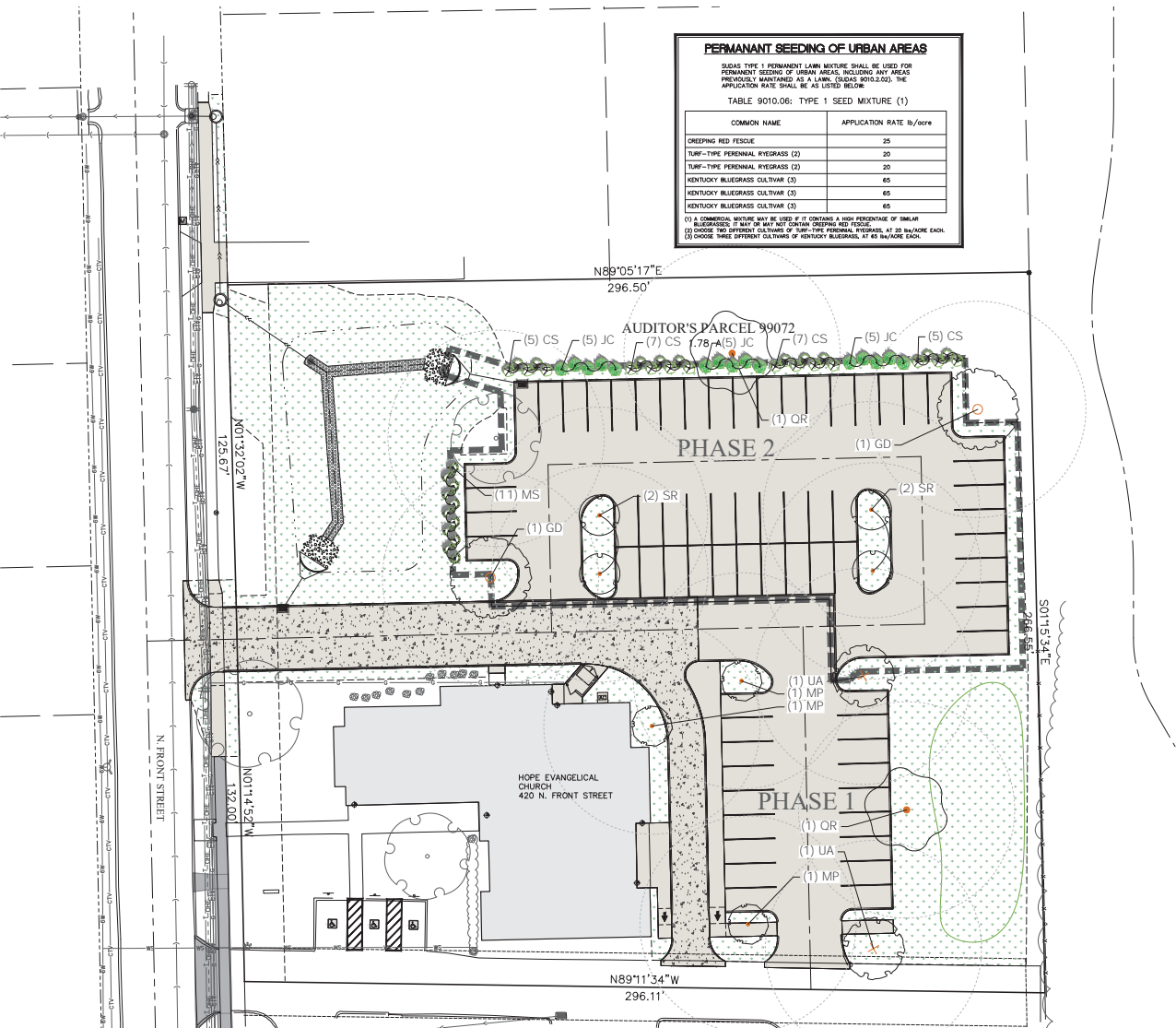
HOPE
EVANGELICAL
CHURCH
AUDITOR'S
PARCEL NO.
99072

NORTH LIBERTY,
JOHNSON COUNTY,
IOWA

MMS CONSULTANTS, INC.

Date:	08-20-20
Designed by:	Field Book No. B6-1254, PG. 4
Drawn by:	TAV Scale: 1"=10'
Checked by:	JDM Sheet No. 4
Project No.:	11076-001

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PERMANENT SEEDING OF URBAN AREAS

SEEDS TYPE 1 PERMANENT LAWN MIXTURE SHALL BE USED FOR PERMANENT SEEDING OF URBAN AREAS, INCLUDING ANY AREAS PREVIOUSLY MAINTAINED AS A LAWN. (SDAS 9010.02.02). THE APPLICATION RATE SHALL BE AS LISTED BELOW.

COMMON NAME	APPLICATION RATE lb/acre
CREEPING RED FESCUE	25
TURF-TYPE PERENNIAL RYEGRASS (2)	20
TURF-TYPE PERENNIAL RYEGRASS (2)	20
KENTUCKY BLUEGRASS CULTIVAR (3)	65
KENTUCKY BLUEGRASS CULTIVAR (3)	65
KENTUCKY BLUEGRASS CULTIVAR (3)	65

(1) A COMMERCIAL MIXTURE MAY BE USED IF IT CONTAINS A HIGH PERCENTAGE OF SIMILAR BLUEGRASS. IT MAY OR MAY NOT CONTAIN CREEPING RED FESCUE.
 (2) CHOOSE TWO DIFFERENT CULTIVARS OF TURF-TYPE PERENNIAL RYEGRASS, AT 20 lb/ACRE EACH.
 (3) CHOOSE THREE DIFFERENT CULTIVARS OF KENTUCKY BLUEGRASS, AT 45 lb/ACRE EACH.

STANDARD LEGEND AND NOTES

EXIST: 22-1 PROP.

—	PROPERTY &/or BOUNDARY LINES	—	POWER POLE W/GRUP
—	RIGHT-OF-WAY LINES	—	POWER POLE W/TRANS
—	EXISTING HOIST-UP-WAY LINES	—	POWER POLE W/LIGHT
—	CENTER LINES	—	CUT POLE
—	EXISTING CENTER LINES	—	LIGHT POLE
—	LOT LINES, INTERNAL	—	SANITARY MANHOLE
—	LOT LINES, PLATTED OR BY DEED	—	FIRE HYDRANT
—	EXISTING EXISTENCE LINES	—	WATER VALVE
—	BOUNDARY	—	DRAINAGE MANHOLE
—	RECORDED DIMENSIONS	—	CURB INLET
—	CURVE SCHEDULE NUMBER	—	EXISTING SANITARY SEWER
—		—	EXISTING SANITARY SEWER
—		—	PROPOSED STORM SEWER
—		—	PROPOSED STORM SEWER
—		—	WATER LINES
—		—	ELECTRICAL LINES
—		—	TELEPHONE LINES
—		—	CABLE LINES
—	CONTOUR LINES (1' INTERVAL)	—	PROPOSED GRASS
—	EXISTING TREE LINE	—	EXISTING DECADEOUS TREE & SHRUB
—	EXISTING EVERGREEN TREE & SHRUB	—	

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GRADING TOPSOIL NOTE:
 PRIOR TO FINAL SEEDING, ALL GREEN SPACE SHALL BE TILLED TO A MINIMUM DEPTH OF 12" AND COVERED WITH A MINIMUM OF 6" OF TOPSOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR STOCKPILING ADEQUATE TOPSOIL FOR ALL GREEN SPACE.

IOWA ONE CALL

THE CONTRACTOR SHALL NOTIFY ONE CALL AT 800-251-8889 OR 319-241-8889 OF ALL UTILITIES TO BE EXCAVATED OR ANY DISBURS OR EXCAVATION.

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER DOT STANDARD ROAD PLAN TC-419 OR SDAS 808-110 AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

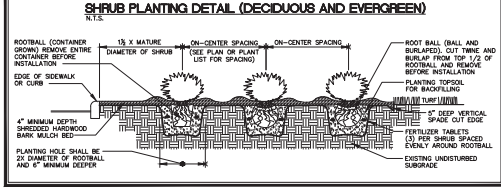
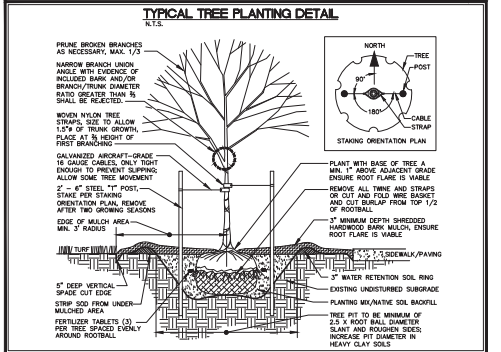
THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

VEGETATION PLAN LEGEND
 (FINAL SITE RESTORATION)

AREA TO BE SEED.

LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES ON SITE PRIOR TO LANDSCAPE INSTALLATION.
- PLANT GUARDERS ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL OVER CONFLICT GUARDERS.
- KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, 2006. OR MAY MEET EXISTING.
- LOCATION OF PLANT MATERIAL AT SITE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTING AREAS SHALL BE FULLY GRADED, COMPACTED AND PROTECTED FROM SOIL EROSION. ALL PLANTING SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION EQUIPMENT AND TRAFFIC. PROTECTIVE BARRELS SHALL BE USED TO PROTECT PLANTING.
- ALL PLANTING AREAS SHALL BE FULLY GRADED, COMPACTED AND PROTECTED FROM SOIL EROSION. ALL PLANTING SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION EQUIPMENT AND TRAFFIC. PROTECTIVE BARRELS SHALL BE USED TO PROTECT PLANTING.
- ALL GRASS AND PERENNIAL PLANTING AREAS SHALL HAVE A MINIMUM 3" SOIL DEPTH OF DOABLE SHREDED HAY MULCH AND AN APPLICATION OF A PRE-FERTILIZER (FERTIFIX OR APPROVED EQUIV) FOR TREE PLANTING.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES ON SITE PRIOR TO LANDSCAPE INSTALLATION.
- ALL PLANTING AREAS SHALL BE FULLY GRADED, COMPACTED AND PROTECTED FROM SOIL EROSION. ALL PLANTING SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION EQUIPMENT AND TRAFFIC. PROTECTIVE BARRELS SHALL BE USED TO PROTECT PLANTING.
- ALL PLANTING AREAS SHALL BE FULLY GRADED, COMPACTED AND PROTECTED FROM SOIL EROSION. ALL PLANTING SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION EQUIPMENT AND TRAFFIC. PROTECTIVE BARRELS SHALL BE USED TO PROTECT PLANTING.



PLANT SCHEDULE

ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. x W.
MP	2	2	Malus x 'Prairie'	Prairie Crabapple	1.5' Cal.	B & B	20' x 20'
SR	4	4	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5' Cal.	B & B	30' x 25'
GD	2	2	Gymnocladia dioica	Kentucky Coffeetree	2" Cal.	B & B	70' x 50'
QR	2	2	Quercus rubra	Red Oak	2" Cal.	B & B	60' x 60'
UA	2	2	Ulmus americana 'New Horizon'	New Horizon American Elm	2" Cal.	B & B	30' x 25'

SHADE TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE H. x W.
OR	1	1	Quercus	Red Oak	2" Cal.	B & B	60' x 60'
MP	1	1	Malus	Prairie Crabapple	1.5' Cal.	B & B	20' x 20'
SR	1	1	Syringa	Ivory Silk Japanese Tree Lilac	1.5' Cal.	B & B	30' x 25'

CIVIL ENGINEERS
 LAND PLANNERS
 LAND SURVEYORS
 LANDSCAPE ARCHITECTS
 ENVIRONMENTAL ARCHITECTS

1917 S. GILBERT ST.
 IOWA CITY, IOWA 52240
 (319) 351-8282
www.mmsconsultants.net

Date	Revision
02-24-21	PER CITY COMMENTS TAVEMH
06-10-21	PER CITY COMMENTS TAVEMH

LANDSCAPE AND FINAL GRADING STABILIZATION AND SWPPP

HOPE EVANGELICAL CHURCH AUDITOR'S PARCEL NO. 99072

NORTH LIBERTY, JOHNSON COUNTY, IOWA

MMS CONSULTANTS, INC.
 Date: 08-20-20
 Designed by: BEM
 Drawn by: TAV
 Checked by: JDM
 Project No: 11076-001
 Scale: 1"=20'
 Sheet No: 5

DATE PLOTTED: 08/20/20 10:51:11 AM

Resolution No. 2021-56

**RESOLUTION APPROVING THE DEVELOPMENT SITE PLAN
FOR 420 N. FRONT STREET (HOPE EVANGELICAL CHURCH),
NORTH LIBERTY, IOWA**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

WHEREAS, the owner and applicant, Hope Evangelical Church, has filed with the City Clerk a development site plan;

WHEREAS, the property is described as:

Plat of Survey, Auditor's Parcel No. 99072, in accordance with the recorded Plat thereof, in the Records of the Johnson County Recorder's Office, containing 1.78 acres and subject to easements and restrictions of record.

WHEREAS, said site plan is found to conform with the Comprehensive Plan and the Zoning Ordinance of the City of North Liberty; and

WHEREAS, said site plan has been examined by the North Liberty Planning and Zoning Commission, which recommended that the site plan be approved with the following conditions:

1. That the portion of the replaced fence toward the north end of the property be 5 feet in width with a one panel tapering transition.
2. That the curb cut at the north driveway location be replaced with a storm intake and pipe into the detention basin and that the grading plans allow for the 100-yr storm event to enter the pond.
3. That the driveway jointing detail be revised to follow North Liberty's Supplement to SUDAS. A note has been added on sheet 1, but the detail still allows the contractor an option.
4. That there be two 100-year storm routings through the detention basin such that one shows flows with the perforated riser as the control and one shows the 6" tile line as the control. Revise the stormwater report as necessary.
5. That the 5-year storm event be routed through the pond to evaluate the 5-year flow through the outlet pipe to the existing intake and pipe in North Front Street. Include this within the stormwater report.

NOW, THEREFORE, BE IT RESOLVED that the City Council of North Liberty, Iowa, does hereby approve the development site plan for Hope Evangelical Church, North Liberty, Iowa.

APPROVED AND ADOPTED this 22nd day of June, 2021.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK



FY 21-22 Wages

Resolution No. 2021-57

A RESOLUTION AUTHORIZING SALARIES AND HOURLY WAGES FOR CITY EMPLOYEES FOR THE FISCAL YEAR OF JULY 1, 2021 THROUGH JUNE 30, 2022

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

WHEREAS, the following full-time and permanent part-time employees and/or positions of the City of North Liberty shall be paid the gross wages and salaries indicated in Attachment A for the fiscal year beginning July 1, 2021 and ending June 30, 2022;

WHEREAS, overtime pay for hourly employees is at one and one-half times the regular hourly rate of pay for hours worked in excess of forty hours per week; and

WHEREAS, the City Clerk of the City of North Liberty is hereby authorized to issue checks, less legally required or authorized deductions from the amount set out above, on the days of the payroll, and to make contributions to IPERS, Social Security and Medicare, or other purposes required by law or authorized by the City Council all subject to audit and review of the City Council.

NOW, THEREFORE, BE IT RESOLVED that the attached list of salaries and hourly wages for the Fiscal Year of July 1, 2021 through June 30, 2022 is approved.

APPROVED AND ADOPTED this 22nd day of June, 2021.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

Salaries

Employee	Position	Rate of Pay	
Police			
Venenga, Diane	Police Chief	\$11,128.00	Monthly Salary
Landsgard, Tyson	Police Lieutenant	\$9,027.20	Monthly Salary
Regenwether, Creighton	Police Sergeant	\$7,687.33	Monthly Salary
Shine, Chris	Police Sergeant	\$7,687.03	Monthly Salary
Ross, Ruben	Police Sergeant	\$7,330.27	Monthly Salary
Seymour, Mitch	Police Sergeant	\$7,158.67	Monthly Salary
Ruffcorn, Alisha	Administrative Assistant II	\$26.31	Hourly
Rich, Lauryn	Administrative Assistant	\$22.73	Hourly
Tygart, Chuck	Police Officer	\$35.65	Hourly
Rockafellow, Ryan	Police Officer	\$35.65	Hourly
Santiago, Juan	Police Officer	\$31.99	Hourly
Miller, Joel	Police Officer	\$35.65	Hourly
Jennings, Andy	Police Officer	\$35.65	Hourly
Clubb, Travis	Police Officer-Investigator	\$35.65	Hourly
Davis, Bryan	Police Officer-Investigator	\$34.44	Hourly
Wood, Casey	Police Officer-DTF	\$34.44	Hourly
Sammons, Scott	Police Officer	\$34.44	Hourly
Campbell, Ben	Police Officer-K9	\$33.22	Hourly
Sexton, Bruce	Police Officer	\$31.99	Hourly
Madole, Spence	Police Officer	\$31.99	Hourly
Kapfer, Eric	Police Officer	\$31.99	Hourly
Fjelstul, Alec	Police Officer	\$29.55	Hourly
Helzer	Police Officer	\$28.33	Hourly
Burma	Police Officer	\$27.13	Hourly
Jacobi	Non-Certified Police Officer	\$27.13	Hourly
Monroe	Police Officer	\$27.13	Hourly
Fire			
Platz, Brian	Fire Chief	\$5,136.00	Bi-Weekly Salary
Humston, Tina	Training Officer-Captain	\$2,568.80	Bi-Weekly Salary
Hardin, Bryan	Assistant Fire Chief	\$2,179.06	Bi-Weekly Salary
Schmooke, William	Assistant Fire Chief	\$2,078.72	Bi-Weekly Salary
Jaeger, Jeffrey	Part-Time Fire Fighter	\$14.82	Hourly
Reasner, Richard	Part-Time Fire Fighter	\$14.82	Hourly
Miller, Jordan	Part-Time Fire Fighter	\$14.82	Hourly
Schultz, Christine	Part-Time Fire Fighter	\$14.82	Hourly
Schoening, Austin	Part-Time Fire Fighter	\$14.82	Hourly
Skubal, Alec	Part-Time Fire Fighter	\$14.39	Hourly
Phu, Phuoc	Part-Time Fire Fighter	\$14.00	Hourly

Salaries

Building

Palmer, Thomas	Building Official	\$9,124.27	Monthly Salary
Yoder, Benjamin	Building Inspector II	\$31.60	Hourly
Green, Anthony	Building Inspector I	\$25.70	Hourly
Wolfe, Michael	Stormwater Coordinator	\$33.92	Hourly
Warnstaff, Kari	Permit Tech / Administrative Assistant	\$24.98	Hourly

Public Safety

Lewis, Amy	School Crossing Guard	\$20.78	Hourly
Etherington, Alfred	School Crossing Guard	\$19.02	Hourly
Fisher, Rose	School Crossing Guard	\$17.49	Hourly
Fisher, John	School Crossing Guard	\$17.49	Hourly
Jetter, James	School Crossing Guard (Sub)	\$19.59	Hourly

Library

Garner, Jennifer	Library Director	\$8,937.07	Monthly Salary
Jordebrek, Jennifer	Assistant Library Director	\$7,158.67	Monthly Salary
Harrison, Melanie	Marketing & Events Coordinator	\$31.05	Hourly
Frisbie, Andrew	Collection Development Librarian	\$28.80	Hourly
O'Sheridan-Tabor, Emily	Family Services Librarian	\$27.58	Hourly
Silva, Erin	Youth & Teen Services Librarian	\$27.58	Hourly
Golly, Amy	Adult Services Librarian	\$26.31	Hourly
Forkenbrock, Kellee	Public Services Librarian	\$24.40	Hourly
Hodgson, Kayla	Assistant Youth & Teen Services Librarian	\$18.84	Hourly
Grandinetti, Danielle	Library Services & Marketing Assistant	\$18.84	Hourly
Brase, Corrie	Library Assistant II	\$13.79	Hourly
Petersen, Elizabeth	Library Assistant I	\$12.01	Hourly
Choquemamani Ccalli, Wilson	Library Assistant I	\$11.66	Hourly
Bigelow, Autumn	Library Assistant I	\$11.66	Hourly
Bigelow, Carla	Library Assistant I	\$11.66	Hourly
Schneider, Erik	Library Page	\$13.07	Hourly

Parks

Goldsmith, Guy	Director Parks, Buildings, Grounds	\$9,124.27	Monthly Salary
Hamer, Timothy	Assistant Director Parks, Buildings, Grounds	\$38.79	Hourly
Hamer, Brian	Parks Maintenance Worker III	\$31.79	Hourly
Clendenen, Zachery	Parks Maintenance Worker III	\$25.10	Hourly
Amos, Dustin	Parks Maintenance Worker III	\$25.10	Hourly
Flaucher, Brandon	Parks Maintenance Worker III	\$24.52	Hourly
Eilers, Theodore	Temporary Parks Maintenance Worker	\$23.17	Hourly
Conklin, Jerry	Seasonal Groundskeeper	\$14.82	Hourly
Nelson, Blake	Seasonal Groundskeeper	\$14.82	Hourly
West, Adam	Seasonal Groundskeeper	\$14.82	Hourly
Hasley, Jakob	Seasonal Groundskeeper	\$14.42	Hourly
Lorenz, Steven	Seasonal Groundskeeper	\$14.08	Hourly
McAtee, Joseph	Seasonal Groundskeeper	\$13.79	Hourly
Vance, Spencer	Seasonal Groundskeeper	\$13.79	Hourly
Markla, Michael	Seasonal Groundskeeper	\$13.79	Hourly

			Salaries
Piercy, Caden	Seasonal Groundskeeper	\$13.79	Hourly
Ross, Samuel	Seasonal Groundskeeper	\$13.79	Hourly

Recreation

Simpson, Michelle	Recreation Director	\$4,211.20	Bi-Weekly Salary
Motley, Brian	Assistant Recreation Director	\$3,713.60	Bi-Weekly Salary
Fielder, Matthew	Youth Program Supervisor	\$7,203.73	Monthly Salary
Meseck, Matthew	PM Recreation Supervisor	\$5,834.40	Monthly Salary
Huisman, Kyle	Site Supervisor/Concession Manager	\$4,780.53	Monthly Salary
Egly, Jason	AM-Administrative Assistant	\$25.62	Hourly
Pilcher, Zachary	PM-Administrative Assistant	\$22.20	Hourly
Leonard, Dale	Custodial Supervisor	\$36.36	Hourly
Benner, Jeff	PM Custodian	\$22.60	Hourly
Wingert, Mark	Custodian	\$22.60	Hourly
Davis, Cole	Head Counselor Part-Time	\$16.67	Hourly
Taylor, William	Building Monitor Part-Time	\$13.75	Hourly
Andrews, Sarah	Building Monitor Part-Time	\$13.00	Hourly
Kral, Miranda	Building Monitor Part-Time	\$13.00	Hourly
Hildreth, Tyler	Building Monitor-Part-Time	\$13.00	Hourly
Murrey, Casey	Recreation Counselor Part-Time	\$13.00	Hourly
Bohr, Eric	Building Monitor Part-Time	\$13.00	Hourly
Buschelman, Sarah	Recreation Counselor Part-Time	\$13.00	Hourly
Davis, Megan	Recreation Counselor Part-Time	\$13.00	Hourly
Stauffer, Christopher	Building Monitor Part-Time	\$13.00	Hourly
Hondlik, Zachary	Building Monitor Part-Time	\$13.00	Hourly
King, Skylar	Recreation Counselor Part-Time	\$13.00	Hourly
Forman, Phillip	Building Monitor Part-Time	\$13.00	Hourly
Folkerts, Matthew	Seasonal Junior Recreation Counselor Part-Time	\$12.50	Hourly
Hollingsworth, Aundrea	Building Monitor Part-Time	\$13.00	Hourly
Marx, Cynthia	Building Monitor Part-Time	\$13.00	Hourly
Lindner, Kearce	Seasonal Junior Recreation Counselor Part-Time	\$12.50	Hourly
Arendt, David	Building Monitor Part-Time	\$13.00	Hourly
Miller, Samantha	Recreation Counselor Part-Time	\$13.00	Hourly
Yamashita, Aidan	Recreation Counselor Part-Time	\$13.00	Hourly
Utsler, Hunter	Building Monitor Part-Time	\$13.00	Hourly
Baldwin, Kayli	Recreation Counselor Part-Time	\$13.00	Hourly
Fetter, Joshua	Recreation Counselor Part-Time	\$13.00	Hourly
Masterson, Benjamin	Seasonal Junior Recreation Counselor Part-Time	\$12.50	Hourly
Berns, Kaylee	Seasonal Junior Recreation Counselor Part-Time	\$12.50	Hourly
Squires, Mackenzie	Building Monitor Part-Time	\$13.00	Hourly
Reath, Manaath	Building Monitor Part-Time	\$13.00	Hourly
Albashair, Gamareldawla	Building Monitor Part-Time	\$13.00	Hourly
Cooper, Hailey	Building Monitor Part-Time	\$13.00	Hourly
Taylor, Gavielle	Building Monitor Part-Time	\$13.00	Hourly
Schramm, Kendra	Recreation Intern	\$13.00	Hourly
Inestroza, Christy	Building Monitor Part-Time	\$13.00	Hourly
King, Trevor	Seasonal Junior Recreation Counselor Part-Time	\$12.50	Hourly
Barrett, Tyler	Seasonal BASP Intern	\$13.00	Hourly
Allen, Samuel	Building Monitor Part-Time	\$13.00	Hourly
Giddings, Lauren	Seasonal Junior Recreation Counselor Part-Time	\$12.50	Hourly

Salaries

Pool

Bjork, Ashley	Aquatic Supervisor	\$2,758.40	Bi-Weekly Salary
	Lifeguard	\$13.00	Hourly
	Concessions	\$13.00	Hourly
	Swim Instructor	\$13.50	Hourly
	Private Swim Instructor	\$30.00	Hourly
	Assistant Concessions Manager	\$15.00	Hourly
	Pool Manager	\$15.00	Hourly
	Head Lesson Coordinator	\$15.00	Hourly
	Lifeguard Instructor	\$16.00	Hourly
	Water Aerobics Instructor	\$16.00	Hourly

Planning

Rusnak, Ryan	Planning Director	\$8,562.67	Monthly Salary
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Administration

Heiar, Ryan	City Administrator	\$15,128.53	Monthly Salary
Lientz, Grant	City Attorney	\$12,159.33	Monthly Salary
Mulcahey, Tracey	City Clerk / Assistant City Administrator	\$10,212.80	Monthly Salary
Hilton, Debra	Human Resource Director	\$9,124.27	Monthly Salary
Byers, Mary	Deputy City Clerk / Utility Billing Clerk	\$35.86	Hourly
Dykstra, Jacqueline	Administrative Assistant / Payables	\$34.04	Hourly
Harris, Jackie	HR / Legal Assistant	\$31.05	Hourly
House, Stacey	Administrative Assistant / Deputy City Clerk	\$25.70	Hourly
Farr, Melanie	Administrative Assistant	\$22.20	Hourly
McConville, Angela	Special Projects Coordinator	\$5,565.73	Monthly Salary
Nelson, Christopher	Information Technology Coordinator	\$6,106.53	Monthly Salary

Communications

Bergus, Nicholas	Communications Director	\$8,373.73	Monthly Salary
Miller, Jillian	Community Engagement Coordinator	\$5,834.40	Monthly Salary
Blackman, Derek	Communications Specialist	\$26.10	Hourly
Singh, Sujit	Communications Assistant Part-Time	\$15.41	Hourly

Streets

Pentecost, Michael	Street Superintendent	\$9,344.40	Monthly Salary
Lange, Daniel	Assistant Street Superintendent	\$38.79	Hourly
Murray, Justin	Locate Laborer III	\$27.58	Hourly
Kinney, Steven	Laborer III	\$26.31	Hourly
Conklin, Clint	Laborer III	\$26.94	Hourly
Werle, Michael	Laborer III	\$26.94	Hourly
Taylor, Ryan	Laborer II	\$23.83	Hourly
Siddell, Jordon	Laborer II	\$23.83	Hourly
Salm, Andrew	Construction Inspector	\$32.36	Hourly

Water

City of North Liberty - Fiscal Year 2022

Salaries

Metternich, Gregory	Water Superintendent	\$9,344.40	Monthly Salary
Kopecky, Shannon	Assistant Water Superintendent	\$40.57	Hourly
Keating, Michael	Water Operator II	\$35.23	Hourly
Pretasky, James	Water Maintenance Specialist	\$31.49	Hourly
Bowman, Nicholas	Water Maintenance Specialist	\$29.38	Hourly
Morales Ortega, Cesar	Water Laboratory Technician	\$26.94	Hourly

Waste Water

Lammers, Drew	Wastewater Superintendent	\$4,038.40	Bi-Weekly Salary
Furler, David	Assistant Wastewater Superintendent	\$37.01	Hourly
Farrier, Mark	Wastewater Operations Supervisor	\$30.15	Hourly
Arey, Thomas	Wastewater Maintenance Specialist	\$33.31	Hourly
Scroggie Neill	Wastewater Maintenance Specialist	\$26.10	Hourly
Tusing, Delen	Wastewater Operator I	\$26.19	Hourly

**Based on a 2080 hour work year, excludes overtime, on-call pay and shift differential.*



Dubuque Street Project

Resolution No. 2021-58

A RESOLUTION APPROVING THE PURCHASE OF TEMPORARY CONSTRUCTION EASEMENTS, PERMANENT DRAINAGE EASEMENT, AND RIGHT OF WAY BY THE CITY OF NORTH LIBERTY FOR THE DUBUQUE STREET PHASE ONE PROJECT

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

WHEREAS, the City of North Liberty is planning the Dubuque Street Phase One Project across and adjacent to properties (the "Subject Properties") owned by, among others, Yetley Real Estate, LLC, JM Residential Cooperative, Inc., and the Iowa City Community School District (the "Owners") and;

WHEREAS, the acquisition of right of way, a permanent drainage easement, and temporary construction easements over and across the Subject Properties is necessary for this project, and;

WHEREAS, the City of North Liberty agrees to purchase the necessary right of way and temporary construction easement over, under, and across property owned by Yetley Real Estate, LLC for \$19,100.00; and

WHEREAS, the Yetley Real Estate, LLC have executed and presented a warranty deed and related documents necessary for the transfer of said right of way to the City of North Liberty; and

WHEREAS, the City of North Liberty agrees to purchase the necessary permanent drainage easement and temporary construction easement over, under, and across property owned by JM Residential Cooperative, Inc. for \$4,400.00; and

WHEREAS, the Iowa City Community School District has agreed to donate the necessary temporary construction easement over, under, and across its property; and

WHEREAS, it is the parties' desire to agree and establish, in writing, their understanding concerning the temporary construction easement and give effect to the transfer of the real property needed for the Dubuque Street Phase One Project.

NOW, THEREFORE, BE IT RESOLVED that the purchase of right of way, permanent drainage easement and temporary construction easements pursuant to the attached agreements between the City of North Liberty and the Owners of the Subject Properties is approved for the Dubuque Street, Phase One Project, North Liberty, Iowa.

BE IT FURTHER RESOLVED that the Warranty Deed presented by Yetley Real Estate, LLC is hereby accepted.

BE IT FURTHER RESOLVED that the Mayor and City Clerk are hereby authorized to execute the attached agreements.

APPROVED AND ADOPTED this 22nd day of June, 2021.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

**Prepared by and Return to:
Grant D. Lientz, 3 Quail Creek Circle, P.O. Box 77, North Liberty, IA 52317 319-626-5767**

TEMPORARY CONTRUCTION EASEMENT AGREEMENT

This agreement is made and entered into by and between YETLEY REAL ESTATE, L.L.C., owner of the real estate described herein, (hereinafter referred to as “Property Owner,” which expression shall include their agents, successors or assigns), and the CITY OF NORTH LIBERTY, IOWA, a municipal corporation, (hereinafter referred to as “City,” which expression shall include its agents, successors or assigns).

IT IS HEREBY AGREED AS FOLLOWS:

For the sum of one dollar (\$1.00) plus other valuable consideration, the receipt of which is hereby acknowledged, the Property Owner hereby grants and conveys to the City a temporary easement for the public purpose of improving and realigning North Dubuque Street, North Front Street, and East Cherry Street, installing landscaping, lighting, sidewalks, and extending utility services (the “Project”), under, over, through and across the areas described in the exhibits, which are attached.

Additionally, as part of the consideration for this agreement,

- A. The Property Owner will not be assessed for any costs for the design and construction of the Project, plans for which are on file at City Hall, nor shall the Property Owner be responsible for the initial costs of constructing or maintaining the Project; however, connection fees, frontage fees, or other typical and customary fees will be collected by the City at the time any part of the property is developed.
- B. The City shall be responsible for the recording of this Agreement and payment of the costs for the same.
- C. The City shall indemnify and hold harmless the Property Owner, its successors and assigns, from and against any loss, damage, expense, cost, third party claims, causes of action, or other liabilities arising out of, or purporting to arise out of, the City’s exercise of the rights granted under this Agreement. This indemnification and hold harmless shall include, but is not limited to, reasonable legal fees and cost of defense incurred by Property Owner.

DIVISION I – TEMPORARY EASEMENT

The Property Owner and the City agree that:

1. The temporary easement area being granted and conveyed by this Agreement is depicted on and legally described in Exhibit A, which is attached and fully incorporated herein, and referred to herein as “temporary construction easement area.”
2. Property Owner does hereby grant and convey to City a temporary construction easement for the purpose of facilitating the City’s construction of the Project described above.
3. The Property Owner shall not erect any landscaping, fences, or structures over, under or within the temporary construction easement area during the construction of the Project, without obtaining the prior written approval of the City Engineer.
4. The Property Owner shall not change the grade, elevation or contour of any part of the temporary construction easement area without obtaining the prior written consent of the City Engineer during the same timeframe, which consent shall not be unreasonably withheld.
5. The City shall have the right of access to the temporary construction easement area and have all rights of ingress and egress reasonably necessary for the use and enjoyment of the easement area as herein described, including but not limited to the right to remove any unauthorized obstructions or structures placed or erected on the easement area.
6. Following the construction and installation of the Project and final acceptance by the City, the City shall restore the temporary construction easement area to substantially the same condition as existed prior to the commencement of construction operations.
7. City covenants and agrees that driveways, fences and other site features that are removed or disturbed shall be replaced by City consistent with the final construction plans, which the City Engineer shall make available to the Property Owner upon request. City covenants and agrees that existing underground drainage tiles that are removed or disturbed shall, to the extent reasonably possible, be replaced by City. City further agrees that all grassed areas disturbed by the construction shall be seeded within a reasonable time after construction is complete. Property Owner agrees that trees, shrubs and brush that are removed or disturbed will not be replaced by City.
8. City covenants and agrees to remove and stockpile existing topsoil from areas to be excavated, to be used in the event of any repair. Following installation of the improvements described herein, all areas within the temporary construction easement area which are disturbed will be graded to form a uniform slope, and topsoil shall be replaced and spread over disturbed areas, thereby restoring said areas substantially to their prior condition, with the exception of the replacement of trees, shrubs and brush.

9. The rights as described above in the temporary construction easement area shall commence upon execution hereof and shall cease and terminate following the completion of the construction of the Project, but no later than December 31, 2023.

DIVISION II – GENERAL

The Property Owner does hereby covenant with the City that the Property Owner holds said real estate described in this easement by title in fee simple; that the Property Owner has good and lawful authority to convey the same; and that the Property Owner covenants to warrant and defend the said premises against the lawful claims of all persons whomsoever. The provisions hereof shall inure to the benefit of and bind the successors and assigns of the respective parties hereto, and all covenants shall apply to and run with the land.

Dated this _____ day of _____, 20__.

PROPERTY OWNER:

CITY:

Signed: _____
By:
on behalf of Yetley Real Estate, L.L.C.

Signed: _____
Terry L. Donahue, Mayor

Signed: _____
By:
on behalf of Yetley Real Estate, L.L.C.

Signed: _____
Tracey Mulcahey, City Clerk

STATE OF IOWA, JOHNSON COUNTY: ss

On this _____ day of _____, 20__, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared _____ and _____, to me personally known, who, being by me duly sworn, did say that they are the _____ and _____, respectively, of Yetley Real Estate, L.L.C., an Iowa corporation, and that the instrument was signed on behalf of the corporation by the authority of its members, and that _____ and _____ acknowledged the execution of the instrument to be their voluntary act and deed and the voluntary act and deed of the corporation, by it and by them voluntarily executed.

Notary Public in and for the State of Iowa

STATE OF IOWA, JOHNSON COUNTY: ss

On this _____ day of _____, 20__, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Terry L. Donahue and Tracey Mulcahey, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of North Liberty, Iowa, a municipal corporation; that the

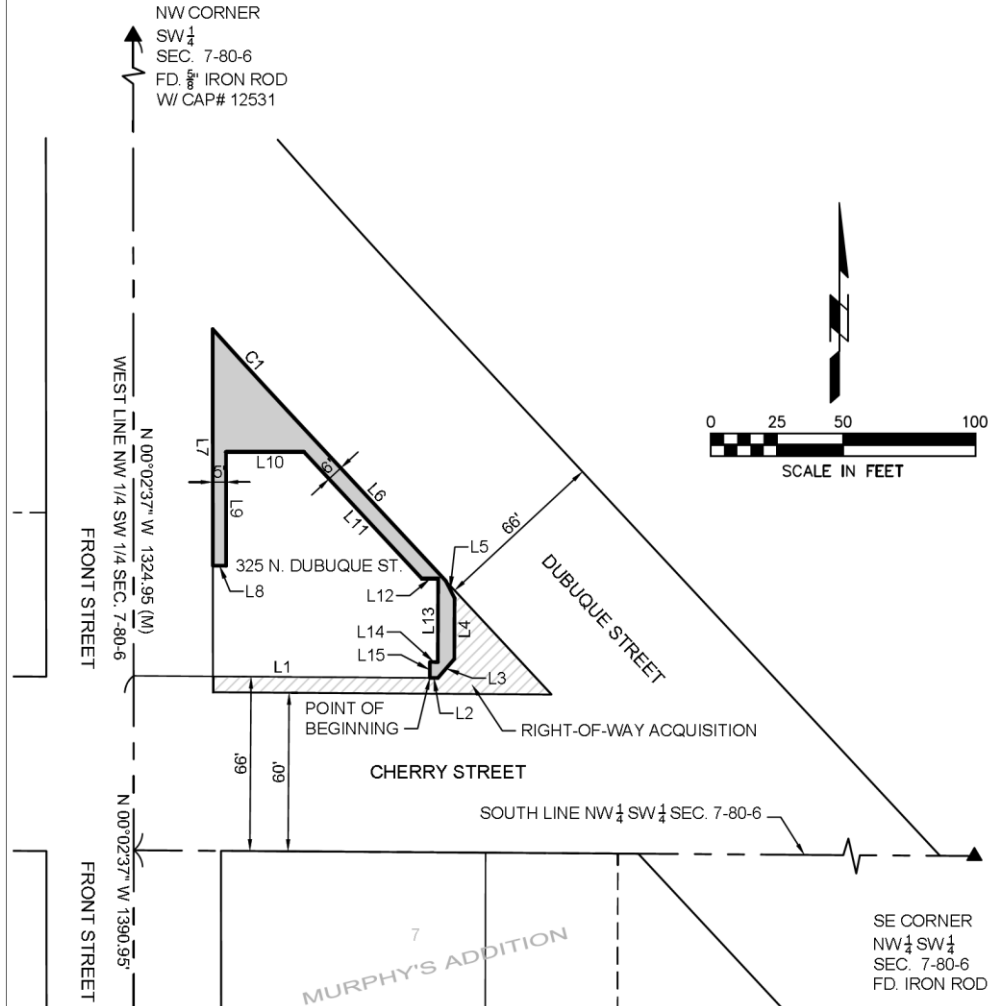
seal affixed to the foregoing instrument is the corporate seal of the municipal corporation, and that the instrument was signed and sealed on behalf of the municipal corporation by the authority of its City Council, as contained in Resolution No. _____ of the City Council on the _____ day of _____, 20____, and that Terry L. Donahue and Tracey Mulcahey acknowledged the execution of the instrument to be their voluntary act and deed and the voluntary act and deed of the corporation, by it and by them voluntarily executed.

Notary Public in and for the State of Iowa

EXHIBIT A

EASEMENT EXHIBIT TEMPORARY CONSTRUCTION EASEMENT

A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER
SECTION 7, TOWNSHIP 80 NORTH, RANGE 6 WEST
NORTH LIBERTY, JOHNSON COUNTY, IOWA



CURVE TABLE					
CURVE	DELTA	LENGTH	RADIUS	CHORD BRG	CHORD
C1	0°54'04"	45.57'	2897.79'	N 42°27'55" W	45.57'

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S 89°36'21" E	112.00'
L2	S 89°36'21" E	3.00'
L3	N 40°55'36" E	9.50'
L4	N 00°14'39" E	23.00'
L5	N 26°59'12" W	7.32'

LINE TABLE		
LINE	DIRECTION	LENGTH
L6	S 42°54'57" E	84.20'
L7	N 00°02'37" W	89.51'
L8	S 89°57'23" W	5.00'
L9	N 00°02'37" W	43.00'
L10	N 90°00'00" E	29.53'

LINE TABLE		
LINE	DIRECTION	LENGTH
L11	S 42°54'57" E	65.50'
L12	N 90°00'00" E	6.07'
L13	S 00°14'39" W	31.50'
L14	N 89°36'21" W	3.00'
L15	S 00°00'00" E	6.00'

SHIVEHATTERY
ARCHITECTURE+ENGINEERING
2839 Northgate Drive | Iowa City, Iowa 52245
319.354.3040 | www.shive-hattery.com
Iowa | Illinois | Indiana

EASEMENT EXHIBIT			
A PART OF NW 1/4 SW 1/4 SEC. 7-80-6			
325 N. DUBUQUE STREET			
NORTH LIBERTY, JOHNSON COUNTY, IOWA			
DATE	12/3/20	SCALE	AS SHOWN
DRAWN	JSB	FIELD BOOK	--
APPROVED	JSB	REVISION	4/13/21

PROJECT NO.
120107-0

SHEET NO.
1 of 2

EXHIBIT A

**EASEMENT EXHIBIT
 TEMPORARY CONSTRUCTION EASEMENT
 A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER
 SECTION 7, TOWNSHIP 80 NORTH, RANGE 6 WEST
 NORTH LIBERTY, JOHNSON COUNTY, IOWA**

DESCRIPTION

A temporary construction easement on that part of the Northwest Quarter of the Southwest Quarter of Section 7, Township 80 North, Range 6 West of the 5th P.M., North Liberty, Johnson County, Iowa described as follows:

Commencing as a point of reference at the Southwest Corner of said Southwest Quarter;

thence North 0°02'37" West 1390.95 feet along the west line of said Southwest Quarter (assumed bearing for this description only);

thence South 89°36'21" East 112.00 feet to the point of beginning;

thence continuing South 89°36'21" East 3.00 feet;

thence North 40°55'36" East 9.50 feet;

thence North 0°55'36" East 23.00 feet;

thence North 26°59'12" West 7.32 feet to a point of intersection with the southwesterly right-of-way line of North Dubuque Street;

thence North 42°54'57" West 84.20 feet along said southwesterly right-of-way;

thence northwesterly 45.57 feet along said southwesterly right-of-way and along the arc of a 2897.79 foot radius curve concave northeasterly (chord bearing North 42°27'55" West 45.57 feet) to a point of intersection with the easterly right-of-way line of Front Street;

thence South 0°02'37" East 89.51 feet along said easterly right-of-way line;

thence North 89°57'23" East 5.00 feet;

thence North 0°02'37" West 43.00 feet;

thence North 90°00'00" East 29.53 feet;

thence South 42°54'57" East 65.50 feet;

thence North 90°00'00" East 6.07 feet;

thence South 0°14'39" West 31.50 feet;

thence North 89°36'21" West 3.00 feet;

thence South 0°00'00" East 6.00 feet to the point of beginning and containing 1811 square feet more or less.

EASEMENT REQUESTED BY:
 THE CITY OF NORTH LIBERTY
 PROPERTY OWNER:
 YETLEY REAL ESTATE LLC

SHIVEHATTERY
 ARCHITECTURE + ENGINEERING
 2839 Northgate Drive | Iowa City, Iowa 52245
 319.354.3040 | www.shive-hattery.com
 Iowa | Illinois | Indiana

EASEMENT EXHIBIT A PART OF NW 1/4 SW 1/4 SEC. 7-80-6 325 N. DUBUQUE STREET NORTH LIBERTY, JOHNSON COUNTY, IOWA			
DATE	12/3/20	SCALE	AS SHOWN
DRAWN	JSB	FIELD BOOK	--
APPROVED	JSB	REVISION	4/13/21

PROJECT NO.
120107-0

SHEET NO.
2 of 2

Prepared by and Return to:
Grant D. Lientz, 3 Quail Creek Circle, P.O. Box 77, North Liberty, IA 52317 319-626-5767

TEMPORARY CONTRUCTION EASEMENT AGREEMENT

This agreement is made and entered into by and between IOWA CITY COMMUNITY SCHOOL DISTRICT, owner of the real estate described herein, (hereinafter referred to as "Property Owner," which expression shall include its agents, successors or assigns), and the CITY OF NORTH LIBERTY, IOWA, a municipal corporation, (hereinafter referred to as "City," which expression shall include its agents, successors or assigns).

IT IS HEREBY AGREED AS FOLLOWS:

For the sum of one dollar (\$1.00) plus other valuable consideration, the receipt of which is hereby acknowledged, the Property Owner hereby grants and conveys to the City a temporary construction easement for the public purpose of improving and realigning North Dubuque Street, North Front Street, and East Cherry Street, installing landscaping, lighting, sidewalks, and extending utility services (the "Project"), under, over, through and across the area described in the exhibit, which is attached.

Additionally, as part of the consideration for this agreement,

- A. The Property Owner will not be assessed for any costs for the design and construction of the Project, plans for which are on file at City Hall, nor shall the Property Owner be responsible for the initial costs of constructing or maintaining the Project.
- B. The City shall be responsible for the recording of this Agreement and payment of the costs for the same.
- C. The City shall indemnify and hold harmless the Property Owner, its successors and assigns, from and against any loss, damage, expense, cost, third party claims, causes of action, or other liabilities arising out of, or purporting to arise out of, the City's exercise of the rights granted under this Agreement. This indemnification and hold harmless shall include, but is not limited to, reasonable legal fees and cost of defense incurred by Property Owner.

DIVISION I – TEMPORARY EASEMENT

The Property Owner and the City agree that:

1. The temporary easement area being granted and conveyed by this Agreement is depicted on and legally described in Exhibit A, which is attached and fully incorporated herein, and referred to herein as “Temporary Construction Easement Area.”
2. Property Owner does hereby grant and convey to City a temporary construction easement for the purpose of facilitating the City’s construction of the Project described above.
3. The Property Owner shall not erect any landscaping, fences, or structures over, under or within the Temporary Construction Easement Area during the construction of the Project, without obtaining the prior written approval of the City Engineer.
4. The Property Owner shall not change the grade, elevation or contour of any part of the temporary construction easement area without obtaining the prior written consent of the City Engineer during the same timeframe, which consent shall not be unreasonably withheld.
5. The City shall have the right of access to the Temporary Construction Easement Area and have all rights of ingress and egress reasonably necessary for the use and enjoyment of the easement area as herein described, including but not limited to the right to remove any unauthorized obstructions or structures placed or erected on the easement area.
6. Following the construction and installation of the Project and final acceptance by the City, the City shall restore the temporary construction easement area to substantially the same condition as existed prior to the commencement of construction operations.
7. City covenants and agrees that driveways, fences and other site features that are removed or disturbed shall be replaced by City consistent with the final construction plans, which the City Engineer shall make available to the Property Owner upon request. City agrees that Penn Elementary access for the one-way exit will be maintained at all times during construction. City covenants and agrees that existing underground drainage tiles that are removed or disturbed shall, to the extent reasonably possible, be replaced by City. City further agrees that all grassed areas disturbed by the construction shall be seeded within a reasonable time after construction is complete. Property Owner agrees that trees, shrubs and brush that are removed or disturbed will not be replaced by City.
8. City covenants and agrees to remove and stockpile existing topsoil from areas to be excavated, to be used in the event of any repair. Following installation of the improvements described herein, all areas within the Temporary Construction Easement Area which are disturbed will be graded to form a uniform slope, and topsoil shall be replaced and spread over disturbed areas, thereby restoring said areas substantially to their prior condition, with the exception of the replacement of trees, shrubs and brush.

9. The rights as described above in the Temporary Construction Easement Area shall commence upon execution hereof and shall cease and terminate following the completion of the construction of the Project, but no later than December 31, 2023.

DIVISION II – GENERAL

The Property Owner does hereby covenant with the City that the Property Owner holds said real estate described in this easement by title in fee simple; that the Property Owner has good and lawful authority to convey the same; and that the Property Owner covenants to warrant and defend the said premises against the lawful claims of all persons whomsoever. The provisions hereof shall inure to the benefit of and bind the successors and assigns of the respective parties hereto, and all covenants shall apply to and run with the land.

[Signature pages to follow]

Dated this 16 day of June, 2021.

PROPERTY OWNER:

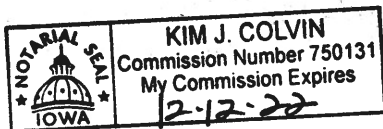
Signed: [Signature]
By: Shawn Eyestone, Board President
on behalf of Iowa City Community
School District

Signed: [Signature]
By: Janet Grafft, Board Secretary
on behalf of Iowa City Community
School District

STATE OF IOWA, JOHNSON COUNTY: ss

On this 16 day of June, 2021, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Shawn Eyestone and Janet Grafft, to me personally known, who, being by me duly sworn, did say that they are the Board President and Board Secretary, respectively, of Iowa City Community School District, an Iowa public school district, and that the instrument was signed on behalf of the district by the authority of its members, and that Shawn Eyestone and Janet Grafft acknowledged the execution of the instrument to be their voluntary act and deed and the voluntary act and deed of the district, by it and by them voluntarily executed.

[Signature]
Notary Public in and for the State of Iowa



CITY:

Signed: _____
Terry L. Donahue, Mayor

Signed: _____
By: Tracey Mulcahey, City Clerk

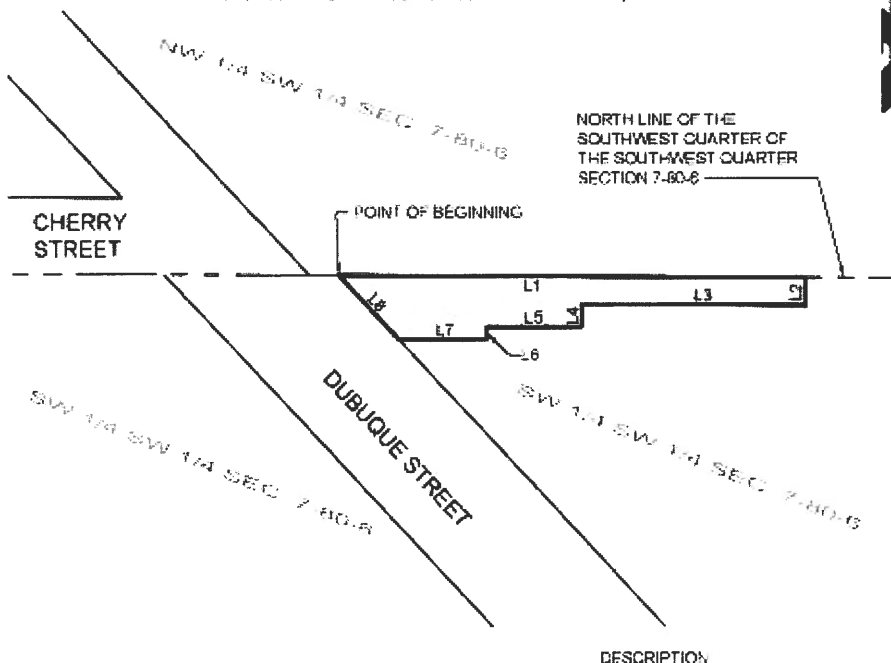
STATE OF IOWA, JOHNSON COUNTY: ss

On this _____ day of _____, 2021, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Terry L. Donahue and Tracey Mulcahey, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of North Liberty, Iowa, a municipal corporation; that the seal affixed to the foregoing instrument is the corporate seal of the municipal corporation, and that the instrument was signed and sealed on behalf of the municipal corporation by the authority of its City Council, as contained in Resolution No. _____ of the City Council on the _____ day of _____, 2021, and that Terry L. Donahue and Tracey Mulcahey acknowledged the execution of the instrument to be their voluntary act and deed and the voluntary act and deed of the corporation, by it and by them voluntarily executed.

Notary Public in and for the State of Iowa

EXHIBIT A

EASEMENT EXHIBIT TEMPORARY CONSTRUCTION EASEMENT A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER SECTION 7, TOWNSHIP 80, RANGE 6 WEST NORTH LIBERTY, JOHNSON COUNTY, IOWA



DESCRIPTION

A temporary construction easement on that part of the Southwest Quarter of the Southwest Quarter of Section 7, Township 80 Range 6 West of the 5th P.M. North Liberty, Johnson County, Iowa described as follows:

Beginning at a point where the northeasterly right-of-way line of Dubuque Street intersects the North line of the Southwest Quarter of the Southwest Quarter of Section 7, Township 80, Range 6 West of the 5th P.M.

thence South 89°36'21" East 368.46 feet along said section line (assumed bearing for this description only)

thence South 00°00'45" West 22.00 feet,

thence North 89°36'21" West 176.17 feet,

thence South 01°15'24" West 18.00 feet,

thence North 90°00'00" West 75.00 feet,

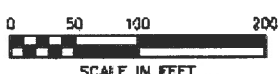
thence South 00°00'00" East 10.00 feet,

thence North 90°00'00" West 69.17 feet,

thence North 42°54'57" West along the northeasterly right-of-way line of Dubuque Street to the point of beginning.

Area 0.27 acres more or less

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S 89° 36' 21" E	368.46'
L2	S 00° 00' 45" W	22.00'
L3	N 89° 36' 21" W	176.17'
L4	S 01° 15' 24" W	18.00'
L5	N 90° 00' 00" W	75.00'
L6	S 00° 00' 00" E	10.00'
L7	N 90° 00' 00" W	69.17'
L8	N 42° 54' 57" W	70.08'



EASEMENT REQUESTED BY
THE CITY OF NORTH LIBERTY

PROPERTY OWNER:
IOWA CITY COMMUNITY
SCHOOL DISTRICT

SHIVEHATTERY
ARCHITECTURE-ENGINEERING

283B Northgate Drive | Iowa City, Iowa 52245
319.354.3040 | www.shive-hattery.com
Iowa | Illinois | Indiana Illinois Firm Number 184-000214

EASEMENT EXHIBIT				PROJECT NO.
SW 1/4 OF SW 1/4 SECTION 7, 60-6				120157-D
IOWA CITY COMMUNITY SCHOOL DISTRICT				
NORTH LIBERTY, JOHNSON COUNTY, IOWA				
DATE	---	SCALE	AS SHOWN	SHEET NO.
DRAWN	JSR	FIELD BOOK	-	
APPROVED	JSR	REVISION		1 of 1

Prepared by and Return to:
Grant D. Lientz, 3 Quail Creek Circle, P.O. Box 77, North Liberty, IA 52317 319-626-5767

PUBLIC EASEMENT AGREEMENT

This agreement is made and entered into by and between JM RESIDENTIAL COOPERATIVE, INC., owner of the real estate described herein, (hereinafter referred to as "Property Owner," which expression shall include its agents, successors or assigns), and the CITY OF NORTH LIBERTY, IOWA, a municipal corporation, (hereinafter referred to as "City," which expression shall include its agents, successors or assigns).

IT IS HEREBY AGREED AS FOLLOWS:

For the sum of one dollar plus other valuable consideration, the receipt of which is hereby acknowledged, the Property Owner hereby grants and conveys to the City a permanent easement (Division I) and a temporary construction easement (Division II) for the public purpose of improving and realigning North Dubuque Street, North Front Street, and East Cherry Street, installing landscaping, lighting, sidewalks, and extending utility services (the "Project"), under, over, through and across the areas described in the exhibits, which are attached.

Additionally, as part of the consideration for this agreement,

- A. The Property Owner will not be assessed for any costs for the design and construction of the Project, plans for which are on file at City Hall, nor shall the Property Owner be responsible for the initial costs of constructing or maintaining the Project; however, connection fees, frontage fees, or other typical and customary fees will be collected by the City at the time any part of the property is developed.
- B. The City shall be responsible for the recording of this Agreement and payment of the costs for the same.
- C. The City shall indemnify and hold harmless the Property Owner, its successors and assigns, from and against any loss, damage, expense, cost, third party claims, causes of action, or other liabilities arising out of, or purporting to arise out of, the City's exercise of the rights granted under this Agreement. This indemnification and hold harmless shall include, but is not limited to, reasonable legal fees and cost of defense incurred by Property Owner.

DIVISION I – PERMANENT EASEMENT

Further, the Property Owner and the City agree that:

1. Property Owner does hereby grant and convey to City a permanent sidewalk and landscape easement for the purpose of constructing and maintaining drainage improvements. The permanent easement area being granted and conveyed by this Agreement is depicted and legally described in Exhibit A, which is attached and fully incorporated herein.
2. The City has the right to excavate in the permanent easement area as the City may find reasonably necessary.
3. The City has the right to construct and maintain the Project with such structures as the City shall from time to time elect. The City shall promptly backfill any trench made by it, and repair any damage caused by the City within the easement area, except that the City will not be required to or liable for the costs of re-paving of any paved area which was excavated for maintenance.
4. The Property Owner shall not erect any landscaping, fences, or structures over, under or within the permanent easement area without obtaining the prior written approval of the City Engineer. Even with such approval, if the Property Owner paves or otherwise obstructs access to the easement area, the City shall have the right to excavate or remove such obstruction as the City deems reasonably necessary, and the City shall not be obligated to restore any paving disturbed by such excavation or removal.
5. The City shall not fence any part of the permanent easement area, unless otherwise agreed in writing by the parties.
6. The Property Owner shall not change the grade, elevation or contour of any part of the permanent easement area without obtaining the prior written consent of the City Engineer.
7. The City shall be responsible for maintenance of the improvements located within the easement area. The City shall have the right of access to the permanent easement area and have all rights of ingress and egress reasonably necessary for the use and enjoyment of the permanent easement area as herein described, including but not limited to the right to remove any unauthorized obstructions or structures placed or erected on the permanent easement area.
8. The City's rights under the permanent easement granted and conveyed herein by the Owner run indefinitely with the land.

DIVISION II – TEMPORARY EASEMENT

The Property Owner and the City further agree that:

1. The temporary easement area being granted and conveyed by this Agreement is depicted on and legally described in Exhibit B, which is attached and fully incorporated herein, and

referred to herein as “Temporary Construction Easement Area.”

2. Property Owner does hereby grant and convey to City a temporary construction easement for the purpose of facilitating the City’s construction of the Project described above.
3. The Property Owner shall not erect any landscaping, fences, or structures over, under or within the temporary construction easement area during the construction of the Project, without obtaining the prior written approval of the City Engineer.
4. The Property Owner shall not change the grade, elevation or contour of any part of the temporary construction easement area without obtaining the prior written consent of the City Engineer during the same timeframe, which consent shall not be unreasonably withheld.
5. The City shall have the right of access to the Temporary Construction Easement Area and have all rights of ingress and egress reasonably necessary for the use and enjoyment of the easement area as herein described, including but not limited to the right to remove any unauthorized obstructions or structures placed or erected on the easement area.
6. Following the construction and installation of the Project and final acceptance by the City, the City shall restore the Temporary Construction Easement Area to substantially the same condition as existed prior to the commencement of construction operations.
7. City covenants and agrees that driveways, fences and other site features that are removed or disturbed shall be replaced by City consistent with the final construction plans, which the City Engineer shall make available to the Property Owner upon request. City covenants and agrees that existing underground drainage tiles that are removed or disturbed shall, to the extent reasonably possible, be replaced by City. City further agrees that it shall promptly backfill any trench made by it, and repair any damage caused by the City within the Temporary Construction Easement Area. All grassed areas disturbed by the construction shall be seeded within a reasonable time after construction is complete. Property Owner agrees that trees, shrubs and brush that are removed or disturbed will not be replaced by City.
8. City covenants and agrees to remove and stockpile existing topsoil from areas to be excavated, to be used in the event of any repair. Following installation of the improvements described herein, all areas within the Temporary Construction Easement Area which are disturbed will be graded to form a uniform slope, and topsoil shall be replaced and spread over disturbed areas, thereby restoring said areas substantially to their prior condition, with the exception of the replacement of trees, shrubs and brush.
9. The rights as described above in the Temporary Construction Easement Area shall commence upon execution hereof and shall cease and terminate following the completion of the construction of the Project, but no later than December 31, 2023.

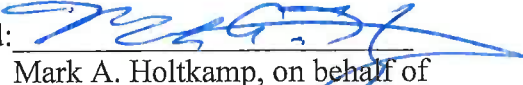
DIVISION III – GENERAL

The Property Owner does hereby covenant with the City that the Property Owner holds said real

estate described in this easement by title in fee simple; that the Property Owner has good and lawful authority to convey the same; and that the Property Owner covenants to warrant and defend the said premises against the lawful claims of all persons whomsoever. The provisions hereof shall inure to the benefit of and bind the successors and assigns of the respective parties hereto, and all covenants shall apply to and run with the land.

[Signature pages to follow]

PROPERTY OWNER:

Signed: 
Mark A. Holtkamp, on behalf of
JM Residential Cooperative, Inc.

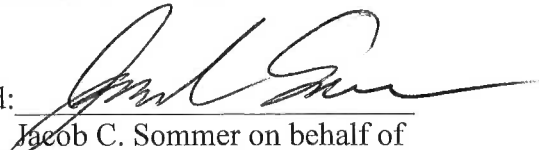
STATE OF IOWA, JOHNSON COUNTY: ss

On this 29 day of JUNE, 2021, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Mark S. Holtkamp, to me personally known, who, being by me duly sworn, did say that he is the President of JM Residential Cooperative, Inc., an Iowa corporation, and that the instrument was signed on behalf of the corporation by the authority of its members, and that Mark S. Holtkamp acknowledged the execution of the instrument to be his voluntary act and deed and the voluntary act and deed of the corporation, by it and by him voluntarily executed.



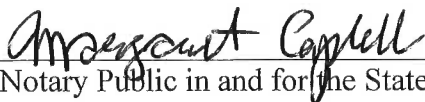

Notary Public in and for the State of Iowa

PROPERTY OWNER:

Signed: 
Jacob C. Sommer on behalf of
JM Residential Cooperative, Inc.

STATE OF IOWA, JOHNSON COUNTY: ss

On this 3rd day of June, 2021, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Jacob C. Sommer, to me personally known, who, being by me duly sworn, did say that he is the VP/Secretary/Treasurer of JM Residential Cooperative, Inc., an Iowa corporation, and that the instrument was signed on behalf of the corporation by the authority of its members, and that Jacob C. Sommer acknowledged the execution of the instrument to be his voluntary act and deed and the voluntary act and deed of the corporation, by it and by him voluntarily executed.


Notary Public in and for the State of Iowa



CITY:

Signed: _____
Terry L. Donahue, Mayor

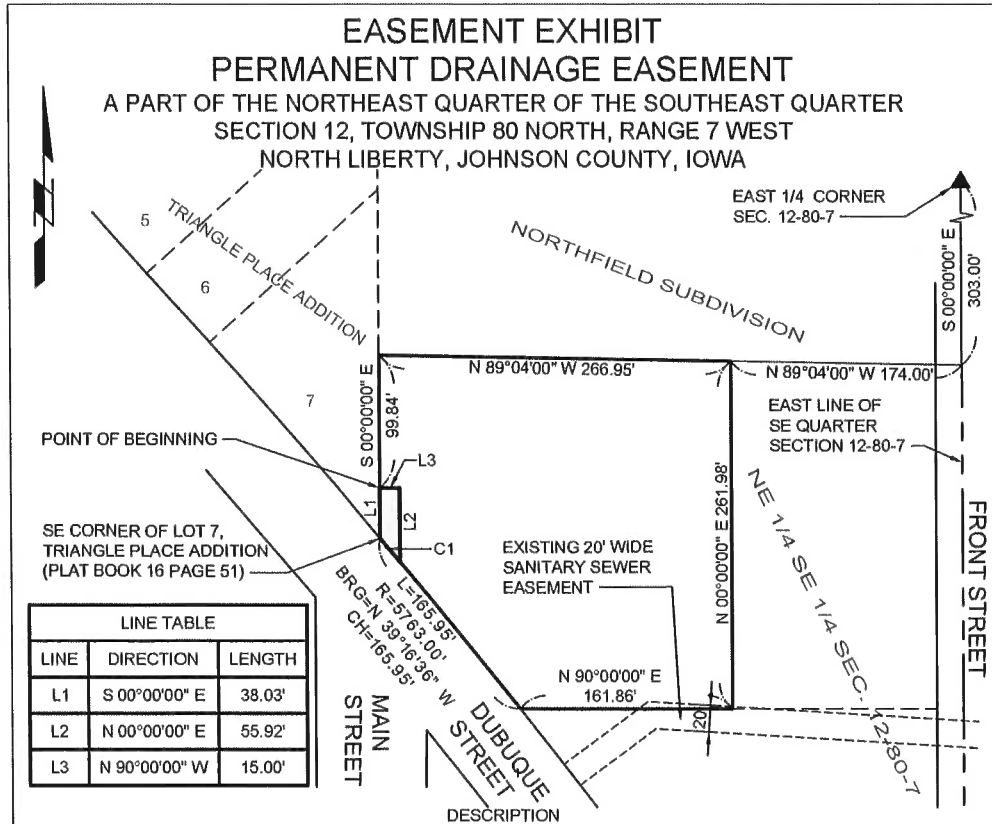
Signed: _____
Tracey Mulcahey, City Clerk

STATE OF IOWA, JOHNSON COUNTY: ss

On this _____ day of _____, 20____, before me, the undersigned, a Notary Public in and for the State of Iowa, personally appeared Terry L. Donahue and Tracey Mulcahey, to me personally known, who, being by me duly sworn, did say that they are the Mayor and City Clerk, respectively, of the City of North Liberty, Iowa, a municipal corporation; that the seal affixed to the foregoing instrument is the corporate seal of the municipal corporation, and that the instrument was signed and sealed on behalf of the municipal corporation by the authority of its City Council, as contained in Resolution No. _____ of the City Council on the _____ day of _____, 20____, and that Terry L. Donahue and Tracey Mulcahey acknowledged the execution of the instrument to be their voluntary act and deed and the voluntary act and deed of the corporation, by it and by them voluntarily executed.

Notary Public in and for the State of Iowa

EXHIBIT A



LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S 00°00'00\" E	38.03'
L2	N 00°00'00\" E	55.92'
L3	N 90°00'00\" W	15.00'

A permanent drainage easement on that part of the Northeast Quarter of the Southeast Quarter of Section 12, Township 80 North, Range 7 West of the 5th P.M., North Liberty, Johnson County, Iowa described as follows:

Commencing as a point of reference at the East Quarter corner of Section 12, Township 80 North, Range 7 West of the 5th P.M.;

thence South 00°00'00\" East 303.00 feet along the East line of the Southeast Quarter of Section 12-80-7 (assumed bearing for this description only);

thence North 89°04'00\" West 174.00 feet;

thence continuing North 89°04'00\" West 266.95 feet to a point of intersection with the easterly line of Lot 7 of Triangle Place Addition (Plat recorded Plat Book 16, Page 51 at the Johnson County Recorder's Office);

thence South 00°00'00\" East 99.84 feet along said easterly line of Lot 7 to the point of beginning;

thence continuing South 00°00'00\" East 38.03 feet to a point of intersection with the northeasterly right-of-way line of Dubuque Street, and the southeasterly corner of said Lot 7;

thence southeasterly 23.34 feet along the northeasterly right-of-way line of Dubuque Street, and the arc of a 5763 foot radius curve concave southwesterly (chord bearing South 39°59'08\" East 23.34 feet);

thence North 00°00'00\" East 55.92 feet;

thence North 90°00'00\" West 15.00 feet to the point of beginning.

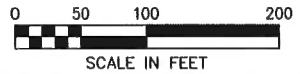
Area: 704 square feet more or less.

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BRG	CHORD
C1	23.34'	5763.00'	S 39°59'08\" E	23.34'

ONLY THESE COPIES OF THIS DOCUMENT SIGNED AND DATED IN CONTRASTING INK COLOR ARE TO BE CONSIDERED CERTIFIED OFFICIAL COPIES PER IOWA ADMINISTRATION CODE 193C-6.1(5)

EASEMENT REQUESTED BY:
THE CITY OF NORTH LIBERTY

PROPERTY OWNER:
JM RESIDENTIAL COOPERATIVE INC



PROFESSIONAL LAND SURVEYOR

JONATHAN BAILEY

12531

IOWA

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: _____

NAME: JONATHAN BAILEY

DATE: _____ LICENSE NUMBER: 12531

MY LICENSE RENEWAL DATE IS: DECEMBER 31, 2022

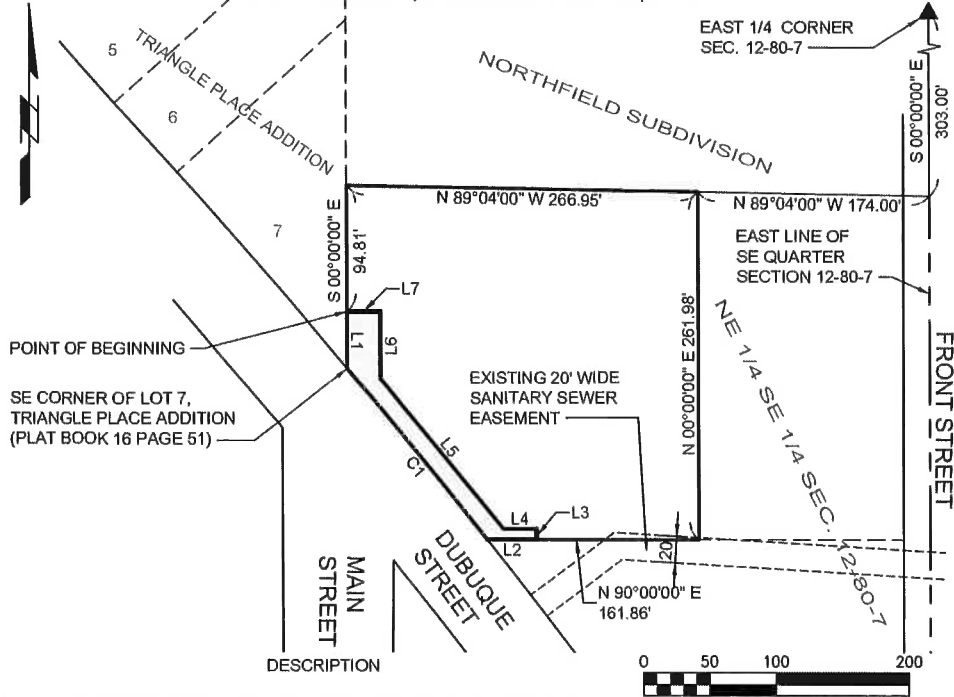
PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: _____

THIS SHEET _____

<p>SHIVEHATTERY</p> <p>ARCHITECTURE + ENGINEERING</p> <p>2839 Northgate Drive Iowa City, Iowa 52245</p> <p>319.354.3040 www.shive-hattery.com</p> <p>Iowa Illinois Indiana Illinois Firm Number: 184-000214</p>	<p>EASEMENT EXHIBIT</p> <p>A PART OF NE 1/4 SE 1/4 SEC. 12-80-7</p> <p>450 N DUBUQUE STREET</p> <p>NORTH LIBERTY, JOHNSON COUNTY, IOWA</p>	<p>PROJECT NO.</p> <p>120107-0</p>																
	<table border="1" style="width: 100%;"> <tr> <td>DATE</td> <td>12/2/20</td> <td>SCALE</td> <td>AS SHOWN</td> <td>SHEET NO.</td> </tr> <tr> <td>DRAWN</td> <td>JSB</td> <td>FIELD BOOK</td> <td>..</td> <td></td> </tr> <tr> <td>APPROVED</td> <td>JSB</td> <td>REVISION</td> <td>2/22/21</td> <td></td> </tr> </table>	DATE	12/2/20	SCALE	AS SHOWN	SHEET NO.	DRAWN	JSB	FIELD BOOK	..		APPROVED	JSB	REVISION	2/22/21			
	DATE	12/2/20	SCALE	AS SHOWN	SHEET NO.													
DRAWN	JSB	FIELD BOOK	..															
APPROVED	JSB	REVISION	2/22/21															
		1 of 1																

EXHIBIT B

EASEMENT EXHIBIT
TEMPORARY CONSTRUCTION EASEMENT
 A PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER
 SECTION 12, TOWNSHIP 80 NORTH, RANGE 7 WEST
 NORTH LIBERTY, JOHNSON COUNTY, IOWA



A temporary construction easement on that part of the Northeast Quarter of the Southeast Quarter of Section 12, Township 80 North, Range 7 West of the 5th P.M., North Liberty, Johnson County, Iowa described as follows:

Commencing as a point of reference at the East Quarter corner of Section 12, Township 80 North, Range 7 West of the 5th P.M.;

thence South 00°00'00" East 303.00 feet along the East line of the Southeast Quarter of Section 12-80-7 (assumed bearing for this description only);

thence North 89°04'00" West 174.00 feet;

thence continuing North 89°04'00" West 266.95 feet;

thence South 00°00'00" East 94.81 feet to the point of beginning;

thence continuing South 00°00'00" East 43.06 feet to a point of intersection with the northeasterly right-of-way line of Dubuque Street;

thence southeasterly 165.92 feet along the northeasterly right-of-way line of Dubuque Street, and the arc of a 5763 foot radius curve concave southwesterly (chord bearing South 39°16'37" East 165.92 feet);

thence North 90°00'00" East 37.85 feet;

thence North 00°00'00" East 8.00 feet;

thence North 90°00'00" West 25.38 feet;

thence North 39°26'05" West 145.66 feet;

thence North 00°00'00" East 51.02 feet;

thence North 90°00'00" West 25.00 feet to the point of beginning.

Area: 3622 square feet more or less.

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S 00°00'00" E	43.06'
L2	N 90°00'00" E	37.85'
L3	N 00°00'00" E	8.00'
L4	N 90°00'00" W	25.38'
L5	N 39°26'05" W	145.66'
L6	N 00°00'00" E	51.02'
L7	N 90°00'00" W	25.00'

CURVE TABLE					
CURVE	DELTA	LENGTH	RADIUS	CHORD BRG	CHORD
C1	001°38'59"	165.92'	5763.00'	S 39°16'37" E	165.92

EASEMENT REQUESTED BY:
 THE CITY OF NORTH LIBERTY

PROPERTY OWNER:
 JM RESIDENTIAL COOPERATIVE INC

SHIVEHATTERY
 ARCHITECTURE + ENGINEERING
 2839 Northgate Drive | Iowa City, Iowa 52245
 319.354.3040 | www.shive-hattery.com
 Iowa | Illinois | Indiana Illinois Firm Number: 184-000214

EASEMENT EXHIBIT			
A PART OF NE 1/4 SE 1/4 SEC. 12-80-7			
450 N. DUBUQUE STREET			
NORTH LIBERTY, JOHNSON COUNTY, IOWA			
DATE	12/2/20	SCALE	AS SHOWN
DRAWN	JSB	FIELD BOOK	--
APPROVED	JSB	REVISION	2/2/21

PROJECT NO.
 120107-0

SHEET NO.

1 of 1

Prepared By: Heather Dee - Interstate Power and Light Company – PO Box 351 - Cedar Rapids, IA 52406-9949 (319) 786-4514
Return To: Matt Cramer – JCG Land Services, Inc. – 1715 South G Avenue – Nevada, IA 50201 (515) 382-1698

UNDERGROUND UTILITY EASEMENT

For and in consideration of the sum of One Dollar (\$1.00) and other valuable consideration, the receipt of which is hereby acknowledged, **City of North Liberty, Iowa, a Municipal Corporation**, (“Grantor(s)”), ADDRESS PO Box 77, North Liberty, IA 52317 do(es) hereby warrant and convey unto **Interstate Power and Light Company, an Iowa Corporation, and Qwest Corporation, a Colorado corporation**, their successors and assigns, (each a “Grantee” and collectively the “Grantees”), a perpetual easement with the right, privilege and authority to construct, reconstruct, maintain, operate, repair, patrol and remove an underground electric and telecommunications line or lines, consisting of wires, transformers, switches and other necessary fixtures and equipment, (including associated surface mounted equipment) and construction for transmitting electricity, communications and all Corporate purposes together with the power to extend to any other party the right to use, jointly with the Grantees, pursuant to the provisions hereof, upon, under, over and across the following described lands located in the County of Johnson, and the State of Iowa:

See Attached Exhibit A, page 3

together with all the rights and privileges for the full enjoyment or use thereof for the aforesaid purpose.

Grantor(s) agree that it will not construct or place any buildings, structures, plants, or other obstructions on the property described above.

Grantor(s) also conveys the right and privilege to trim, cut down or control the growth of any trees or other vegetation on said described land and such other trees and vegetation adjacent thereto as in the judgment of the Grantees may interfere with construction, reconstruction, maintenance, operation, repair, use of, or which in falling might touch the said line or lines, or associated equipment.

Grantees, their contractors or agents, may enter said premises for the purpose of making surveys and preliminary estimates immediately upon the execution of this easement.

The Grantor(s) also grants to each Grantee the right of ingress and egress to said line or lines, over/under lands now owned by the Grantor(s), for the purpose of constructing, reconstructing, maintaining, operating, patrolling, repairing and removing said line or lines, or associated equipment and each Grantee agrees to pay to the Grantor(s) or its tenants all damages done to the lands (except the cutting and trimming of trees or other vegetation), fences, livestock or crops of the Grantor(s) or its tenants, by such Grantee or its employees while constructing, reconstructing, patrolling or repairing said line or lines.

Signed this _____ day of _____, 20____

**GRANTOR(S): CITY OF NORTH LIBERTY,
IOWA**

By/Title: _____

By/Title: _____

ALL PURPOSE ACKNOWLEDGMENT

STATE OF _____)

COUNTY OF _____) ss:

On this _____ day of _____, AD. 20____ before me, the undersigned, a Notary Public in and for said State, personally appeared

_____ to me personally known

or _____ provided to me on the basis of satisfactory evidence

to be the persons(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

NOTARY SEAL _____
(Sign in Ink)

(Print/type name)

Notary Public in and for the State of _____

My Commission Expires: _____

CAPACITY CLAIMED BY SIGNER

_____ INDIVIDUAL
_____ CORPORATE
Title(s) of Corporate Officers(s):

_____ N/A
_____ Corporate Seal is affixed
_____ No Corporate Seal procured

_____ PARTNER(s)
_____ Limited Partnership
_____ General Partnership

_____ ATTORNEY-IN-FACT
_____ EXECUTOR(s),
_____ ADMINISTRATOR(s),
_____ or TRUSTEE(s):
_____ GUARDIAN(s)
_____ or CONSERVATOR(s)
_____ OTHER

SIGNER IS REPRESENTING:

List name(s) of persons(s) or entity(ies):

Exhibit A

Easement area being the Westerly Fifteen (15) feet of the following described property:

Commencing at a point 331.6 feet east of the southwest corner of the north half of the southwest fractional quarter of Section 7, Township 80 North, Range 6 West of the 5th P.M., thence north 218 feet, thence west 154.6 feet, thence south 91 feet to the Primary Road No. 161 (now known as U.S. Highway No. 218), thence southeast along said road 177 feet, thence east 34 feet to the place of beginning, subject to easements and restriction of record; and also all that part of the following described property lying Northeasterly of the highway running in a Northwesterly and Southeasterly direction in the Town of North Liberty, Iowa; commencing at the West ¼ Cor. Sect 7 T 80 N R 6 W thence South 1170' to the point of beginning; Thence East 177' thence North 50' thence West 177' thence South 50' to the point of beginning; also commencing at the West ¼ Cor. Sec. 7 T 80 N R 6 W thence South 1253.7' thence East 145.9' to the place of beginning; Thence N 41° 50' W 112.3' thence East 74.9' thence South 83.7' thence West 31.1' to the place of beginning, subject to easements and restrictions of record.

Prepared By: Heather Dee - Interstate Power and Light Company – PO Box 351 - Cedar Rapids, IA 52406-9949 (319) 786-4514
Return To: Matt Cramer – JCG Land Services, Inc. – 1715 South G Avenue – Nevada, IA 50201 (515) 382-1698

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See Attached Exhibit A, page 3

together with all the rights and privileges for the full enjoyment or use thereof for the aforesaid purpose.

Grantor(s) agree that it will not construct or place any buildings, structures, plants, or other obstructions on the property described above.

Grantor(s) also conveys the right and privilege to trim, cut down or control the growth of any trees or other vegetation on said described land and such other trees and vegetation adjacent thereto as in the judgment of the Grantees may interfere with construction, reconstruction, maintenance, operation, repair, use of, or which in falling might touch the said line or lines, or associated equipment.

Grantees, their contractors or agents, may enter said premises for the purpose of making surveys and preliminary estimates immediately upon the execution of this easement.

The Grantor(s) also grants to each Grantee the right of ingress and egress to said line or lines, over/under lands now owned by the Grantor(s), for the purpose of constructing, reconstructing, maintaining, operating, patrolling, repairing and removing said line or lines, or associated equipment and each Grantee agrees to pay to the Grantor(s) or its tenants all damages done to the lands (except the cutting and trimming of trees or other vegetation), fences, livestock or crops of the Grantor(s) or its tenants, by such Grantee or its employees while constructing, reconstructing, patrolling or repairing said line or lines.

Signed this _____ day of _____, 20____

**GRANTOR(S): CITY OF NORTH LIBERTY,
IOWA**

By/Title: _____

By/Title: _____

ALL PURPOSE ACKNOWLEDGMENT

STATE OF _____)

COUNTY OF _____) ss:

On this _____ day of _____, AD. 20____ before me, the undersigned, a Notary Public in and for said State, personally appeared

_____ to me personally known

or _____ provided to me on the basis of satisfactory evidence

to be the persons(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

NOTARY SEAL _____
(Sign in Ink)

(Print/type name)

Notary Public in and for the State of _____

My Commission Expires: _____

CAPACITY CLAIMED BY SIGNER

_____ INDIVIDUAL
_____ CORPORATE
Title(s) of Corporate Officers(s):

_____ N/A
_____ Corporate Seal is affixed
_____ No Corporate Seal procured

_____ PARTNER(s)
_____ Limited Partnership
_____ General Partnership

_____ ATTORNEY-IN-FACT
_____ EXECUTOR(s),
_____ ADMINISTRATOR(s),
_____ or TRUSTEE(s):
_____ GUARDIAN(s)
_____ or CONSERVATOR(s)
_____ OTHER

SIGNER IS REPRESENTING:

List name(s) of persons(s) or entity(ies):

Exhibit A

Easement area being the North Fifteen (15) feet AND the West Fifteen (15) feet of the following described property:

Lot 7 except the East 50 feet thereof and all of Lot 8 excepting the South 1 foot 4 inches thereof and further excepting and the East 50 feet thereof, all in Block 3, in Murphy's Addition to the Town of North Liberty, Johnson County, Iowa, according to the plat thereof recorded in Deed Record 16, pages 192 and 193, Deed Records of Johnson County, Iowa.

Being further located in the Quarter of the Quarter (SW $\frac{1}{4}$ SW $\frac{1}{4}$) of Section 7, Township 80 North, Range 6 West of the 5th P.M., Johnson County, Iowa.

Prepared By: Heather Dee - Interstate Power and Light Company – PO Box 351 - Cedar Rapids, IA 52406-9949 (319) 786-4514
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Signed this _____ day of _____, 20____

**GRANTOR(S): CITY OF NORTH LIBERTY,
IOWA**

By/Title: _____

By/Title: _____

ALL PURPOSE ACKNOWLEDGMENT

STATE OF _____)

COUNTY OF _____) ss:

On this _____ day of _____, AD. 20____ before me, the undersigned, a Notary Public in and for said State, personally appeared

_____ to me personally known

or _____ provided to me on the basis of satisfactory evidence

to be the persons(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

NOTARY SEAL _____

(Sign in Ink)

(Print/type name)

Notary Public in and for the State of _____

My Commission Expires: _____

CAPACITY CLAIMED BY SIGNER

_____ INDIVIDUAL
_____ CORPORATE
Title(s) of Corporate Officers(s):

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_____ Corporate Seal is affixed
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_____ PARTNER(s)
_____ Limited Partnership
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_____ ATTORNEY-IN-FACT
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_____ or TRUSTEE(s):
_____ GUARDIAN(s)
_____ or CONSERVATOR(s)
_____ OTHER

SIGNER IS REPRESENTING:

List name(s) of persons(s) or entity(ies):

Exhibit A

Easement area being the North Fifteen (15) feet of the following described property:

Thirty (30) feet off of the east end of Lots Seven (7) and eight (8), and thirty (30) feet off the west end of Lots five (5) and six (6) in Block Three (3) in the town of North Liberty, Johnson County, Iowa, according to the recorded plat thereof.

AND

Lot Five (5) except the West Thirty (30) feet thereof and Lot Six (6) except the West Thirty (30) feet thereof in Block Three (3), Town of North Liberty, Iowa.

AND

Commencing at a point 80 feet due East of the Northwest corner of Lot 7, Block 3, in the Town of North Liberty, Iowa; running thence due South 128 feet; thence due East 80 feet; thence due North 128 feet; thence due West 80 feet to the place of beginning.

AND

The West 80 feet of Lots 7 and 8 in Block 3 in the town of North Liberty, Johnson County, Iowa, according to the recorded plat thereof, described as follows: Commencing at the Northwest corner of said Lot 7; running thence South 126 feet; thence East 80 feet; thence North 128 feet; thence West 80 feet to the place of beginning, subject to easements and restrictions of record.

Being further located in the Quarter of the Quarter (SE $\frac{1}{4}$ SE $\frac{1}{4}$) of Section 12, Township 80 North, Range 6 West of the 5th P.M., Johnson County, Iowa.

Resolution No. 2021-59

A RESOLUTION APPROVING THE UNDERGROUND UTILITY EASEMENTS BETWEEN THE CITY OF NORTH LIBERTY AND INTERSTATE POWER AND LIGHT COMPANY AND QWEST CORPORATION

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

WHEREAS, Interstate Power and Light Company and Qwest Corporation is seeking easements across property that the City of North Liberty owns for the use of utilities;

WHEREAS, a public Easement is required for the installation, maintenance, removal of equipment, lines and other needed items for utilities;

WHEREAS, it is the parties' desire to agree and establish, in writing, their understanding concerning the agreements for the projects.

NOW, THEREFORE, BE IT RESOLVED that the attached agreements between the City of North Liberty and Interstate Power and Light Company and Qwest Corporation are approved.

BE IT FURTHER RESOLVED that the Mayor and City Clerk are hereby authorized to execute said agreements.

APPROVED AND ADOPTED this 22nd day of June, 2021.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK



Red Door Properties



June 1, 2021

Terry L. Donahue, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of Red Door Properties I, LLC to approve a Preliminary Plat for a 2 lot subdivision on 2.28 acres, more or less, and to approve a site plan for a new Scooter's Coffee on .72 acres, more or less, on property located at the northwest corner of West Penn Street and Penn Court.

Mayor Donahue:

The North Liberty Planning Commission considered the above-reference requests at its June 1, 2021 meeting. The Planning Commission took the following action:

Preliminary Plat

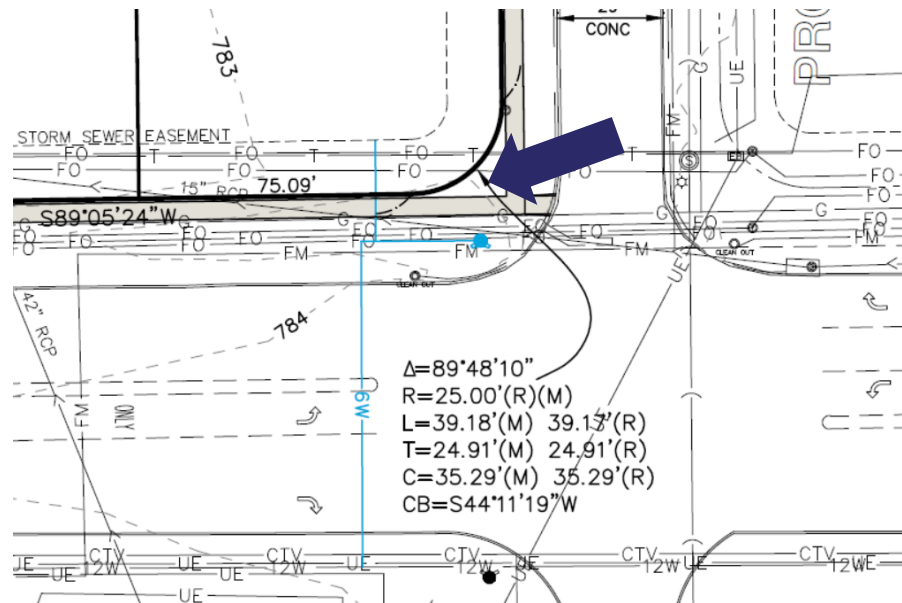
Findings:

1. The preliminary plat, which proposes commercial development, achieves consistency with the Comprehensive Plan Future Land Map designation, which is Commercial.
2. The Preliminary Plat depicts proposed commercial lots consistent with C-2-A Highway Commercial District bulk requirements; and
3. The Preliminary Plat achieves consistency with Section 180.11(3)(A) and 180.12 of the North Liberty Code of Ordinances, which sets forth the preliminary subdivision plat submittal requirements and design standards, respectively.

Recommendation:

The Planning Commission accepted the three listed findings and forwards the request to approve the Preliminary Plat for 2 lots to the City Council with a recommendation for approval subject to the following condition:

1. That the fire hydrant be located behind the proposed sidewalks in location shown the following diagram:



The vote for approval was unanimous (6-0).

Site Plan

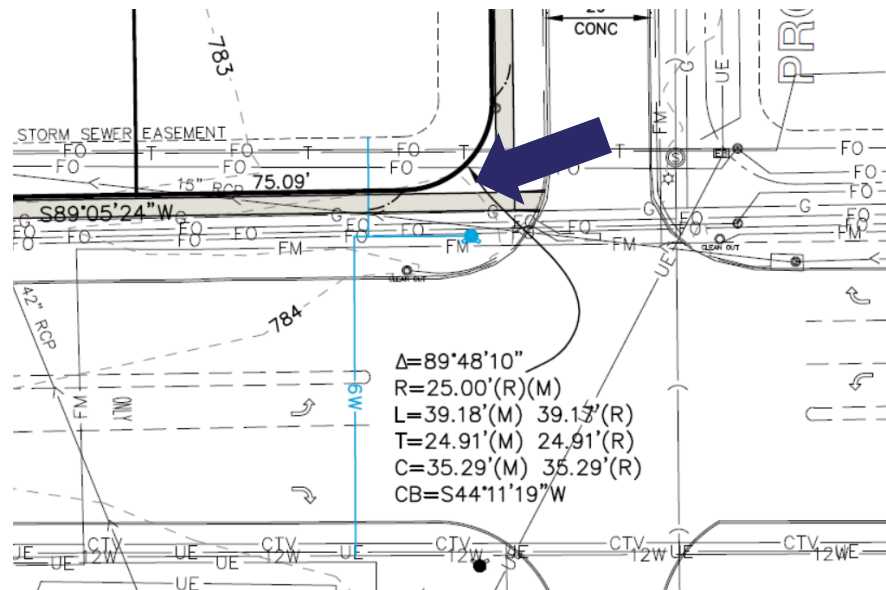
Findings:

1. The commercial use of the property would be consistent with the current C-2A Highway Commercial District and the Comprehensive Plan Future Land Use Map designation of Commercial; and
2. The site plan, with conditions recommended by City staff, would achieve consistency with North Liberty Code of Ordinances Section 165.04(2) entitled, "Site Plan Requirements" Section 169.12 entitled "Design Standards, Section 169.13, entitled "Other Design Standards" and other Code of Ordinance requirements.

Recommendation:

The Planning Commission accepted the two listed findings and forwards the request to approve a Site Plan on approximately .72 acres for a new drive through coffee business for property located at the northwest corner of Penn Street and Penn Court to the City Council with a recommendation for approval subject to the following conditions:

1. That the fire hydrant be located behind the proposed sidewalks in location shown the following diagram:



- That the sidewalk along Penn Court should be designed/constructed at sidewalk elevations and that the sidewalk curb ramps shown at the proposed driveway be removed.

The vote for approval was unanimous (6-0).

Becky Keogh, Chairperson
 City of North Liberty Planning Commission

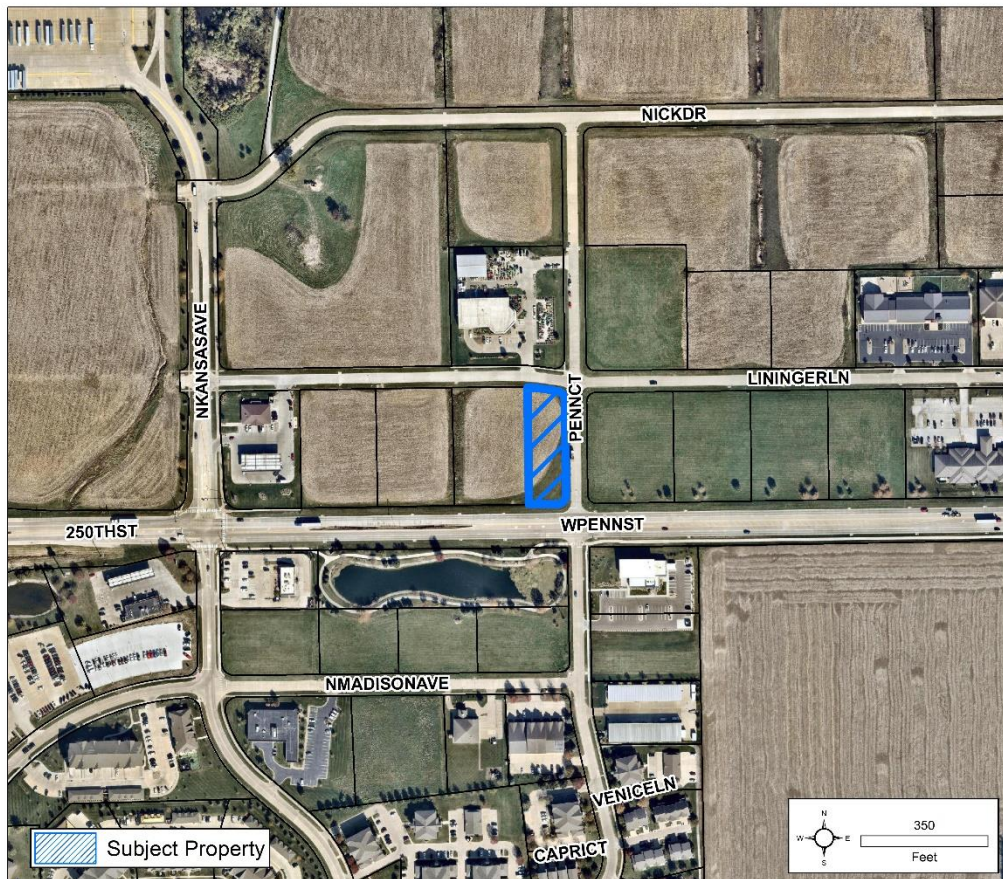


To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **May 28, 2021**
 Re **Request of Red Door Properties I, LLC to approve a Site Plan for a new Scooter's Coffee on approximately .72 acres of property located at the northwest corner of West Penn Street and Penn Court.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:
 Ryan Heiar, City Administrator
 Tracey Mulcahey, Assistant City Administrator
 Grant Lientz, City Attorney
 Tom Palmer, City Building Official
 Kevin Trom, City Engineer
 Ryan Rusnak, Planning Director

Request Summary:

The site plan proposes a new 627 square foot drive through coffee business and related infrastructure.

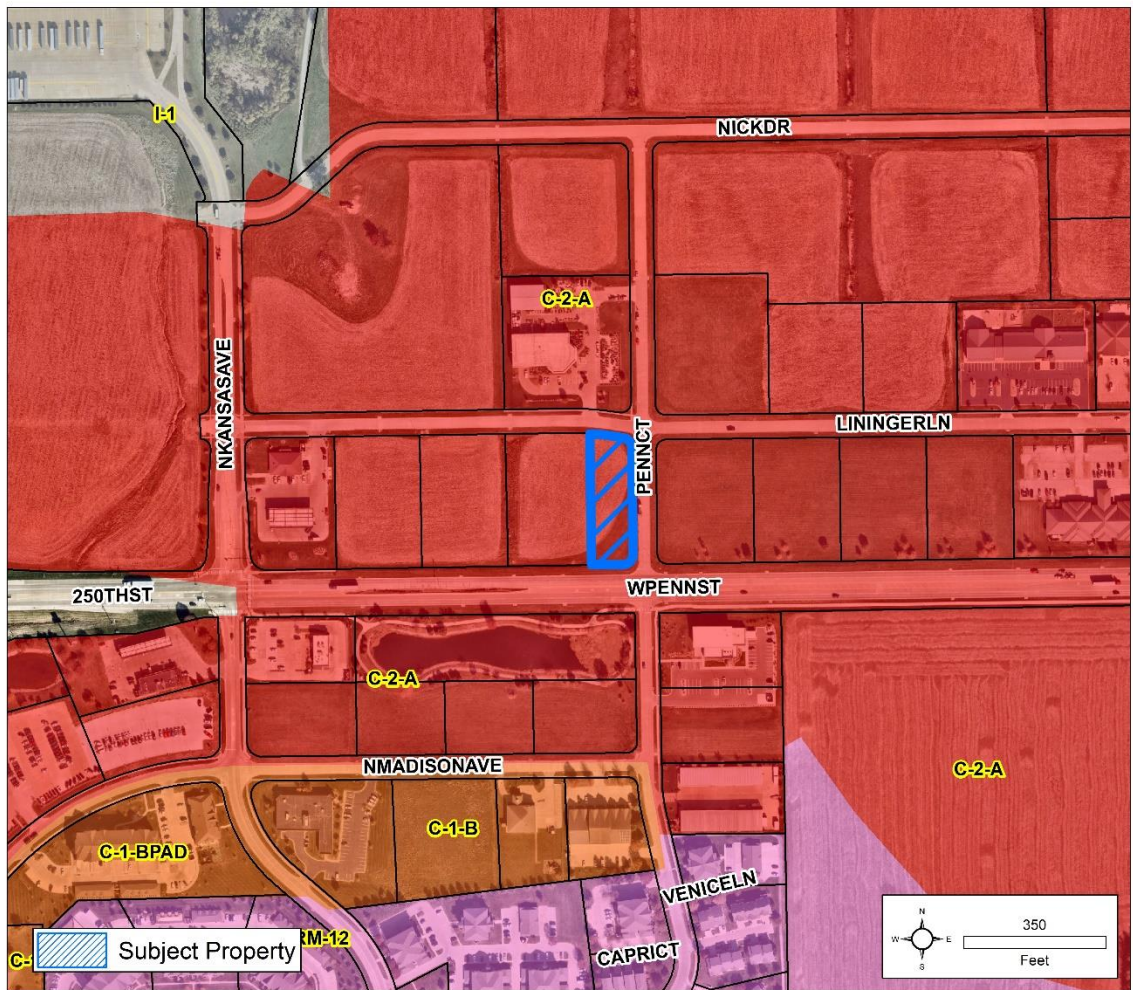


Existing Zoning:

The property is currently zoned C-2-A Highway Commercial District.

C-2-A Description:

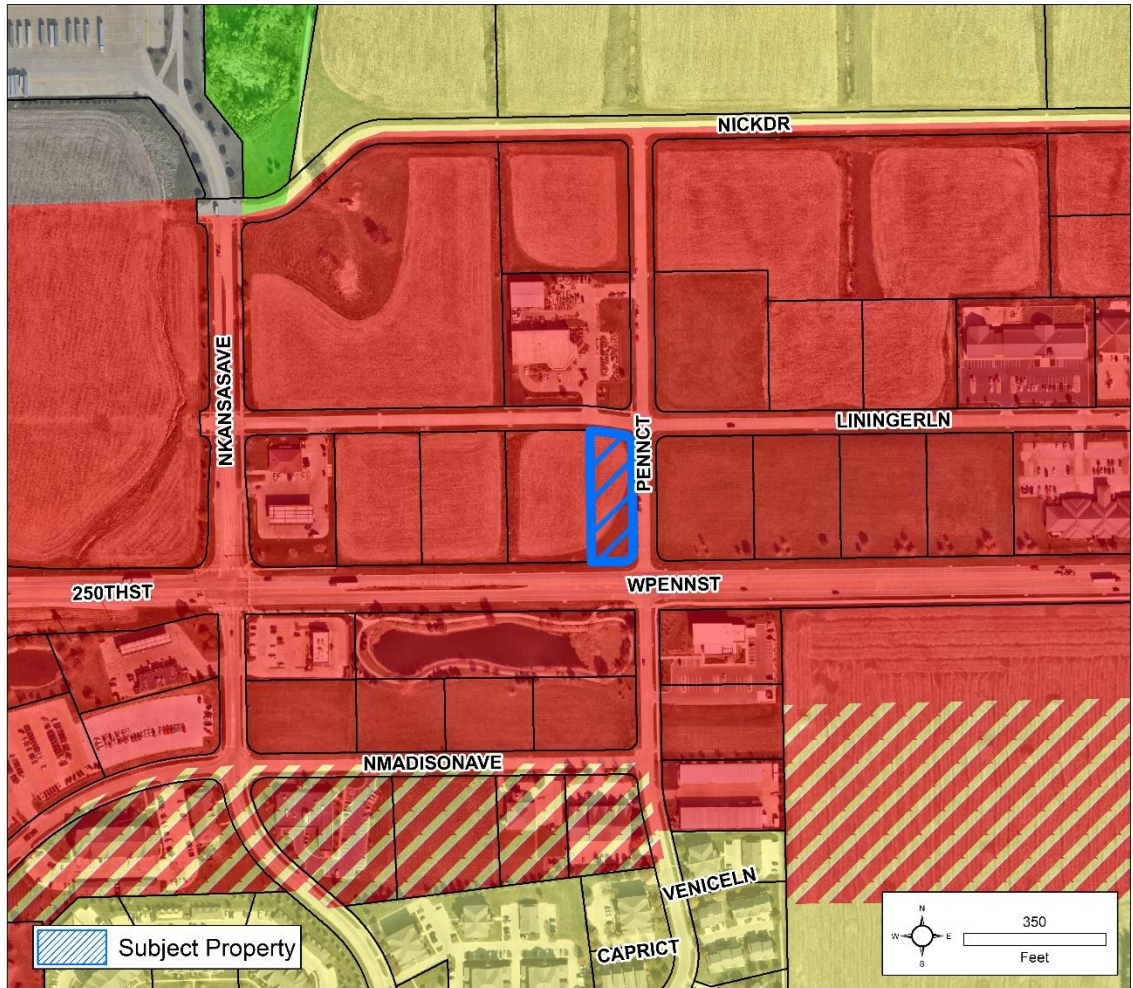
The C-2-A Highway Commercial District is intended to provide for those commercial uses which may take particular advantage of a highway location and/or due to size or other nuisance constraints may be incompatible with the predominantly retail uses permitted in the C-1-A and C-1-B Commercial Districts, and whose service area is not confined to any one neighborhood or community.



Consistency with Comprehensive Plan:

The property is designated Commercial on the Future Land Use Map.

The C-2-A zoning is consistent with the Commercial designation.



Approval Standards:

Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

2. *Site Plan Requirements. Site plans, which are required for review and approval for any use in any district or elsewhere by this code, shall comply with and illustrate the following:*

D. All site plans shall clearly illustrate the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, relationship to flood overlay zones, and such other information as necessary to show compliance with the requirements of this code. A preliminary site plan may be submitted for preliminary land use approval; however, the final site plan required by this code shall be submitted, reviewed, and approved prior to the issuance of building or construction permits.

It is staff's opinion that the site plan illustrates the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, and such other information as necessary to show compliance with the requirements of this code.

E. The site plan shall include the following legal information:

(1) Legal property owner's name and description of property.

(2) Applicant's name, requested land use, and zoning.

(3) If the applicant is other than the legal owner, the applicant's interest shall be indicated and the legal owner's authority to appeal shall be certified.

This information has been provided on sheet 1.

F. The site plan shall clearly illustrate in color perspective and enumerate the following information:

(1) Property boundary lines, dimensions, and total area.

This information has been provided on sheet 1.

(2) Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the final site plan.

This information has been provided on sheet 4.

(3) The availability and location of existing utilities.

This information has been provided on sheet 5.

(4) *The proposed location, size, shape, color, and material type of all buildings or structures.*

This information has been provided on sheet 1 and the architectural renderings. The 627 square foot building would contain masonry and hardie panels.

(5) *The total square feet of building floor area, both individually and collectively.*

This information has been provided on sheet 1. The building would 627 square feet in area.

(6) *The number of dwelling units, bedrooms, offices, etc., as required to determine special compliance.*

This information has been provided on sheet 1. The building would 627 square feet in area.

(7) *The proposed location of identification signs. An identification sign is defined as a sign displaying the name, address, insignia or trademark, and occupant of a building or the name of any building on the premises. Installation shall be in accordance with the Chapter 173 of this code.*

This information has been provided on sheets 1, the sign plan and architectural renderings.

(8) *A vicinity sketch showing detailed adjacent land uses within 500 feet of the property and general existing land uses within 1,000 feet of the property.*

This information has been provided on sheets 1-6.

(9) *Existing buildings, right-of-way, street improvements, utilities (overhead or underground), easements, drainage courses, vegetation and large trees, etc.*

This information has been provided on sheet 5.

(10) *Parking areas, number of parking spaces proposed, number of parking spaces required by this code, type of surfacing to be used, etc.*

This information has been provided on sheet 1.

(11) *Walkways, driveways, outside lighting, walls, fences, signs, monuments, statues and other manmade features to be used in the landscape.*

Walkways and driveways are shown on sheet 1. There is a dedicated pedestrian walkway to the Penn Court sidewalk. A lighting plan has been included with the site plan. No walls, fences, monuments or statues are proposed.

(12) Location and type of all plants, grass, trees, or ground cover to be used in the landscape. Landscaping shall be illustrated in elevation and color perspective with the size and exact names of plants, shrubs, or trees to be planted clearly indicated.

This information has been provided on sheet 6.

(13) Walls, fences or other artificial screens to be used as buffers shall be shown in elevation and color perspective with proposed height and structural material to be used indicated. See Section 169.02 for the guidelines concerning landscaping.

Walls, fences or other artificial screens are not proposed.

(14) Traffic considerations, architectural themes, pedestrian movement, etc., and all other considerations pertinent to the proposed use may be requested for illustration or statistical purposes.

The driveway entrance would be on Penn Court. There is a dedicated pedestrian walkways to the Penn Court sidewalk.

(15) The methods of compliance with all applicable flood plain development standards and flood (overlay) districts as contained in this code.

The subject property is not located within a flood hazard area.

Additional Considerations:

North Liberty Code of Ordinances Section 169.12 entitled, "Design Standards" and Section 169.13 entitled, "Other Design Standards" sets forth certain design standards (applicable Ordinance language in italics and staff analysis in bold).

Section 169.12

1. *Requirements for All Districts. The following requirements shall be observed for all development in all districts:*

A. *Building design shall be visually harmonious and compatible with the neighborhood character.*

It is staff's opinion that the building design would be visually harmonious and compatible with the area. The building would contain masonry, hardie panels and awnings on the south, east and west elevations. The building would have all masonry on the north elevation.

B. *Buildings located on property with double frontages shall have similar wall design facing both streets.*

It is staff's opinion that the building has similar wall design on frontages facing a street.

- C. *Buildings shall have a consistent architectural style throughout the development on each lot, as defined by repetition of exterior building material and colors, and architectural elements.*
This is a single-use site. There is a consistent architectural style throughout the development.
- D. *Except for the ID, RS RD and R-FB districts, color schemes shall be primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited.*
The building would contain masonry and hardie panels, which are earth tones.
- E. *Special attention shall be taken to incorporate external mechanical equipment into the design such that it does not detract from the aesthetics of the site and building.*
At most, an exterior cooling condenser would be located outside of the building. This will need to be screened by the landscaping.
- F. *Except in the R-FB district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs. This does not apply to portions of a roof that are separate from the structure's primary roof. The color of the roof shall be visually harmonious and compatible with the building color scheme.*
The building would have a flat roof with a parapet.
- G. *Roof top equipment shall be screened.*
No rooftop equipment is proposed.
- H. *Reflective surfaces that may cause glare or traffic hazards are not acceptable.*
Reflective surfaces are not proposed.
4. *Requirements for Development in Office and Commercial Zoning Districts.*
- A. *Commercial zoning districts are intended to enhance public welfare by providing for safe, convenient, high quality pedestrian-oriented commercial centers that contribute to community identity as energetic and attractive focus points. Through development and redevelopment within these districts, the city recognizes the importance of creating high quality development areas to the quality of life for residents of the city, the impact quality development has on the image of the community, and the need to provide restrictions and guidelines to enhance visual appearance and functionality. The objectives addressed through these regulations include the following:*

(1) *Design. To achieve appealing aesthetic design through high quality architecture and construction, with attention to placement, relationship, and orientation of structures and amenities to provide both internal cohesiveness and compatibility with surrounding uses.*

The building would contain masonry with hardie panels. It is staff's opinion that the proposed design achieves consistency with this design standard.

(2) *Walkability. To achieve overall development patterns that encourage walking and reduce dependence on the automobile to travel from one business to another, and so reduces the dominance of the automobile within the development.*

There is a dedicated pedestrian walkway to the Penn Court sidewalk. This leads to an outdoor seating area.

(3) *Human-scale Activity. To achieve a sense of place by emphasizing pedestrian interaction with commercial uses rather than sprawling automobile-dominated designs, both in building architecture and public or private outdoor areas.*

It is staff's opinion that the proposed design achieves consistency with this design standard.

(4) *Compatible Uses. To achieve the right blend of uses, compact and well-designed, that complement each other and provide cohesive overall developments.*

This is a single-use site.

B. *In addition to requirements of subsection 1 of this section, the following requirements shall be observed for development in the office and commercial zoning districts:*

(1) *Site Layout Requirements.*

(a) *Pedestrian Areas. Each development shall provide a complete network of paths, plazas, and open spaces that interconnect building entrances, parking, sidewalks, other properties, and other pedestrian amenities. These pedestrian areas are expected to constitute a significant portion of development area, and may include plazas, special paving areas between parking and entrances, and outdoor eating patios. Additionally, portions of pedestrian areas should be at least partly covered so that users are protected from rain and intense sun. New developments will be required to connect to paths and sidewalks established by previously-approved developments.*

This is a single-use site. However, there is a dedicated pedestrian walkway to the Penn Court sidewalk. This leads to an outdoor seating area.

(b) *Outdoor Infrastructure Design.* Each development shall provide outdoor lighting fixtures, integrated street pavers or patterns, and landscaping that reinforces quality building design and blends with previously-approved developments, when appropriate. Design elements may include decorative lighting, seating with benches, low walls, planters, enhanced paving techniques, and other features complimentary to the development.

It is staff's opinion that the proposed design achieves consistency with this design standard.

(c) *Parking Areas.* Parking areas shall consist of areas that are aesthetically pleasing, landscaped to screen public views, and located so as not to be the dominant feature along any street or within any development. The use of alternate materials to designate pedestrian areas within or adjacent to parking lots is encouraged, and pedestrian areas shall be separated from vehicular traffic with landscaping, decorative posts, special paving, or other measures to clearly define the pedestrian spaces. Property owners are encouraged to establish shared parking zones among uses on one or more lots.

It is staff's opinion that the proposed design achieves consistency with this design standard.

(2) *Building Materials and Design Requirements.*

(a) *Materials.* Exterior vertical building elevations in all commercial districts except for the C-3 district shall be composed of at least 60% brick or other masonry products. Exterior vertical building elevations in the C-3 district shall be composed of at least 90% brick or other masonry products. Exterior walls not composed of masonry products shall not be covered with ribbed metal siding commonly referred to as corrugated metal. The required masonry area shall be based on a net wall surface, defined as the total area between ground level and the soffit or roof line, from farthest outside wall left to farthest outside wall right, with window and door areas subtracted out.

The building would contain masonry, hardie panels and awnings on the south, east and west elevations. The building would have all masonry on the north elevation.

(b) *Design. Buildings and building features shall be sized and detailed appropriately for pedestrian use. Projected or recessed doorways and windows, awnings, and other architectural features may be used to achieve this design. Traditional strip-retail type frontages featuring long flat frontages with regularly spaced doors and unbroken expanses of concrete approaching the storefronts are specifically disallowed. Side and rear elevations shall be comprised of the same materials and reasonably similar in character and quality as the front elevation unless screened from view from all public streets and residential areas by topography differences, landscaping materials, or other screening devices, in which case building material may be concrete block or tilt-up concrete panels.*

It is staff's opinion that the proposed design achieves consistency with this design standard.

Section 169.13

2. *Parking Lot Screening. All parking lots shall be screened from public streets utilizing plantings and berms to help maintain visually attractive corridors.*

It is staff's opinion that the parking lot screening achieves consistency with this design standard.

4. *Yards, Ground Cover, and Landscaping. Established grass, either sod or seed, is required for all yards for all new buildings and additions over 500 square feet in area, in addition to trees and screening that may also be required by other code sections, prior to occupancy.*

B. Tree Requirements for Commercial, Office Park, or Industrial Development. For each Commercial, Office Park, or Industrial Development, one tree will be shown for every 2,000 square feet of building footprint.

It is staff's opinion that the parking lot screening achieves consistency with this design standard.

Staff Recommendation:

The applicant worked well with City staff to address concerns related to providing visual interest to a small rectangular building. This was accomplished with the use of exterior building materials, awnings and additional window glazing. Additionally, although primary a vehicle use site, the applicant provided a dedicated pedestrian walkway to the Penn Court sidewalk and an outdoor seating area.

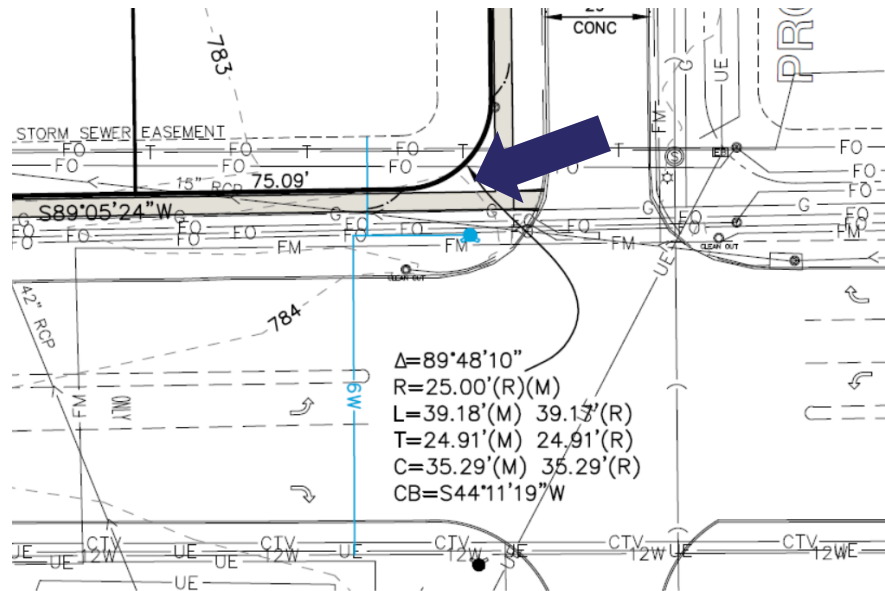
Findings:

1. The commercial use of the property would be consistent with the current C-2A Highway Commercial District zoning and the Comprehensive Plan Future Land Use Map designation of Commercial; and
2. The site plan, with conditions recommended by City staff, would achieve consistency with North Liberty Code of Ordinances Section 165.04(2) entitled, "Site Plan Requirements" Section 169.12 entitled "Design Standards, Section 169.13, entitled "Other Design Standards" and other Code of Ordinance requirements.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request to approve a Site Plan on approximately .72 acres for a new drive through coffee business for property located at the northwest corner of Penn Street and Penn Court to the City Council with a recommendation for approval subject to the following conditions:

1. That the fire hydrant be located behind the proposed sidewalks in location shown the following diagram:



2. That the sidewalk along Penn Court should be designed/constructed at sidewalk elevations and that the sidewalk curb ramps shown at the proposed driveway be removed.

Suggested motion:

I move that the Planning Commission accept the two listed findings and forward the site plan to the City Council with a recommendation for approval subject to the two conditions recommended by City staff.

Resolution No. 2021-61

**RESOLUTION APPROVING THE PRELIMINARY PLAT
AND FINAL PLAT FOR PROGRESS PARK, PART TWELVE,
NORTH LIBERTY, IOWA**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY,
IOWA:**

WHEREAS, the owner and applicant, Red Door Properties, LLC, has filed with the City Clerk a preliminary plat and final plat described in Exhibit A which is attached hereto;

WHEREAS, the property is described as:

Lot 1 of Progress Park Part Six, located in the Southwest Quarter of the Northwest Quarter of Section 11, Township 80 North, Range 7 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa. Said Lot 1 contains 2.28 acres and is subject to easements and restrictions of record.

WHEREAS, said real estate is owned by the above-named party and the subdivision is being made with free consent and in accordance with the desires of the owner;

WHEREAS, said preliminary plat has been examined by the North Liberty Planning and Zoning Commission, which did recommend that the preliminary plat described as Progress Park – Part Twelve be approved with no conditions;

WHEREAS, said preliminary plat and final plat are found to conform with Chapter 354 of the Code of Iowa and ordinances of the City of North Liberty.

NOW, THEREFORE, BE IT RESOLVED that the Preliminary Plat and Final Plat for Progress Park – Part Twelve are approved.

APPROVED AND ADOPTED this 22nd day of June, 2021.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

PRELIMINARY PLAT

PROGRESS PARK - PART TWELVE

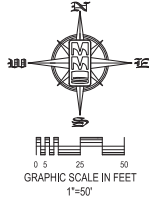
A RESUBDIVISION OF LOT 1 OF PROGRESS PARK - PART SIX
NORTH LIBERTY, JOHNSON COUNTY, IOWA

PLAT PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
IOWA CITY, IOWA 52240

OWNER:
MAJ PROPERTIES I, LLC
901 N. KANSAS AVENUE
NORTH LIBERTY, IOWA 52317

APPLICANT:
RED DOOR PROPERTIES, LLC
4611 TIMBERLAND COURT NE
SOLON, IOWA 52333

APPLICANT'S ATTORNEY:
TIMOTHY S. GRADY
222 S. LINN STREET
IOWA CITY, IOWA 52240-1601



DESCRIPTION - PROGRESS PARK - PART TWELVE

I CERTIFY THAT DURING THE MONTH OF APRIL, 2021, A SURVEY WAS MADE UNDER MY SUPERVISION OF LOT 1 OF PROGRESS PARK - PART SIX, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 80 NORTH, RANGE 7 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, NORTH LIBERTY, JOHNSON COUNTY, IOWA.

SAID LOT 1 CONTAINS 2.28 ACRES, AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

LOTS	ZONING	SETBACKS
LOTS 1 AND 2	C-2-A HIGHWAY COMMERCIAL	FRONT -25 FEET REAR -20 FEET SIDE -10 FEET

MINIMUM YARD REQUIREMENT:

FRONTAGE	35 FEET
WIDTH	35 FEET
AREA	- NONE -
MAXIMUM HEIGHT	35 FEET OR 2½ STORIES

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PROPOSED EASEMENT LINES
- EXISTING EASEMENT LINES
- BENCHMARK
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

EXIST -

- 22-1
- POWER POLE
- POWER POLE W/DROP
- POWER POLE W/TRANS
- POWER POLE W/LIGHT
- GUY POLE
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- FENCE LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- ELECTRICAL LINES
- TELEPHONE LINES
- GAS LINES
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

2.28 ACRES

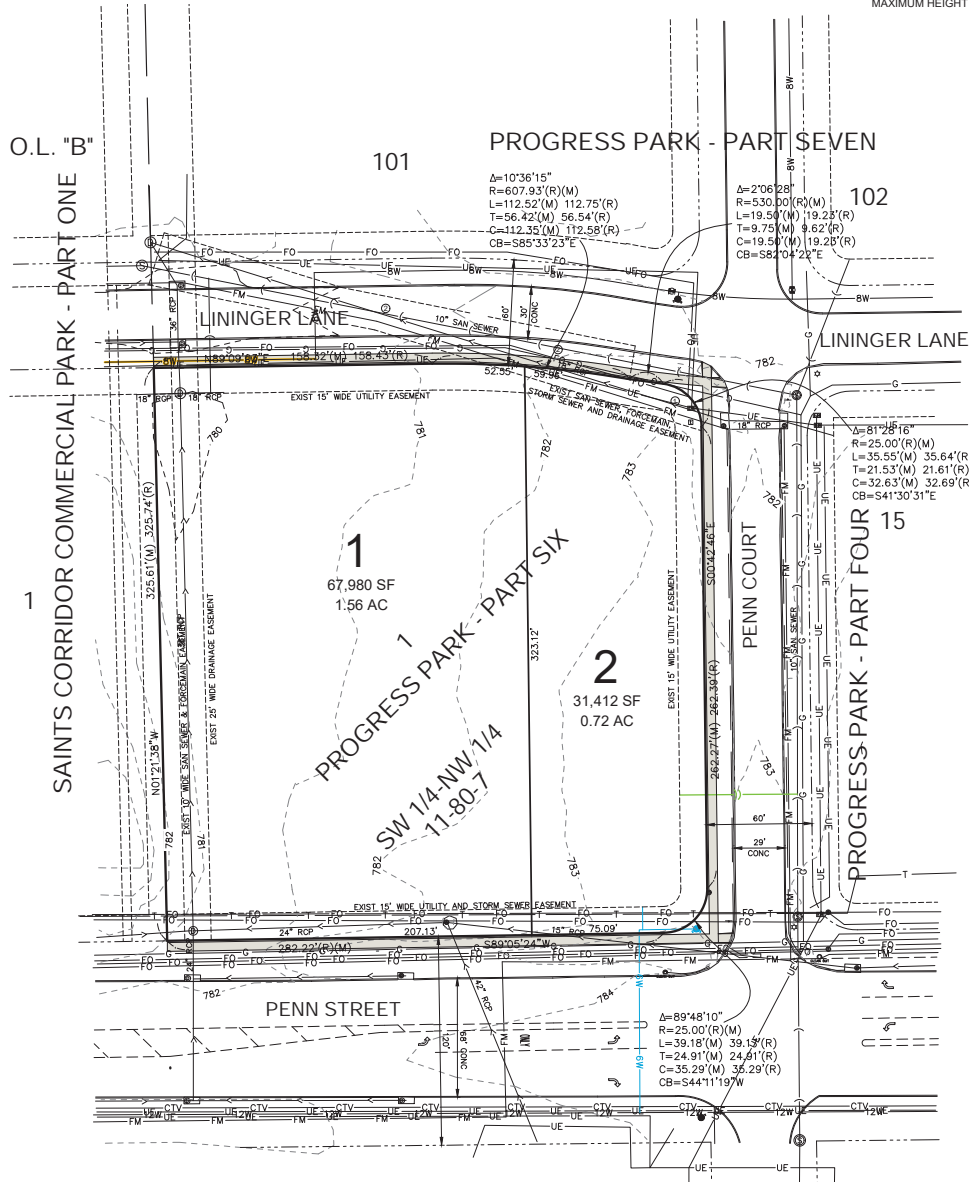


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ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282

www.mmsconsultants.net

Date	Revision
05-24-21	PER CITY REVIEW -JDM
06-11-21	PER CITY COMMENTS -JDM



PRELIMINARY PLAT

PROGRESS PARK - PART TWELVE (A RESUBDIVISION OF PROGRESS PARK - PART SIX)

NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date:	05-03-2021
Designed by:	JDM
Field Book No.:	1302
Drawn by:	JDM
Scale:	1"=50'
Checked by:	JDM
Sheet No.:	1
Project No.:	6802-004

6802-004 of 1

LOCATION: LOT 1 OF PROGRESS PARK - PART SIX IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 80 NORTH, RANGE 7 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, NORTH LIBERTY, JOHNSON COUNTY, IOWA.	SUBDIVIDER: RED DOOR PROPERTIES, LLC 4811 TIMBERLAND COURT NE SOLON, IOWA 52333 SUBDIVIDER'S ATTORNEY: TIMOTHY S. GRADY 222 SOUTH LINN STREET IOWA CITY, IOWA 52240-1801 PROPRIETOR OR OWNER: MAJ PROPERTIES I LLC 901 N KANSAS AVENUE NORTH LIBERTY, IOWA 52317 DOCUMENT RETURN INFORMATION: LAND SURVEYOR
LAND SURVEYOR: RICHARD R. NOWOTNY P.L.S. MMS CONSULTANTS INC. 1917 SOUTH GILBERT STREET IOWA CITY, IOWA, 52240 PHONE: 319-351-8282	DATE OF SURVEY: 04-23-2021

FINAL PLAT

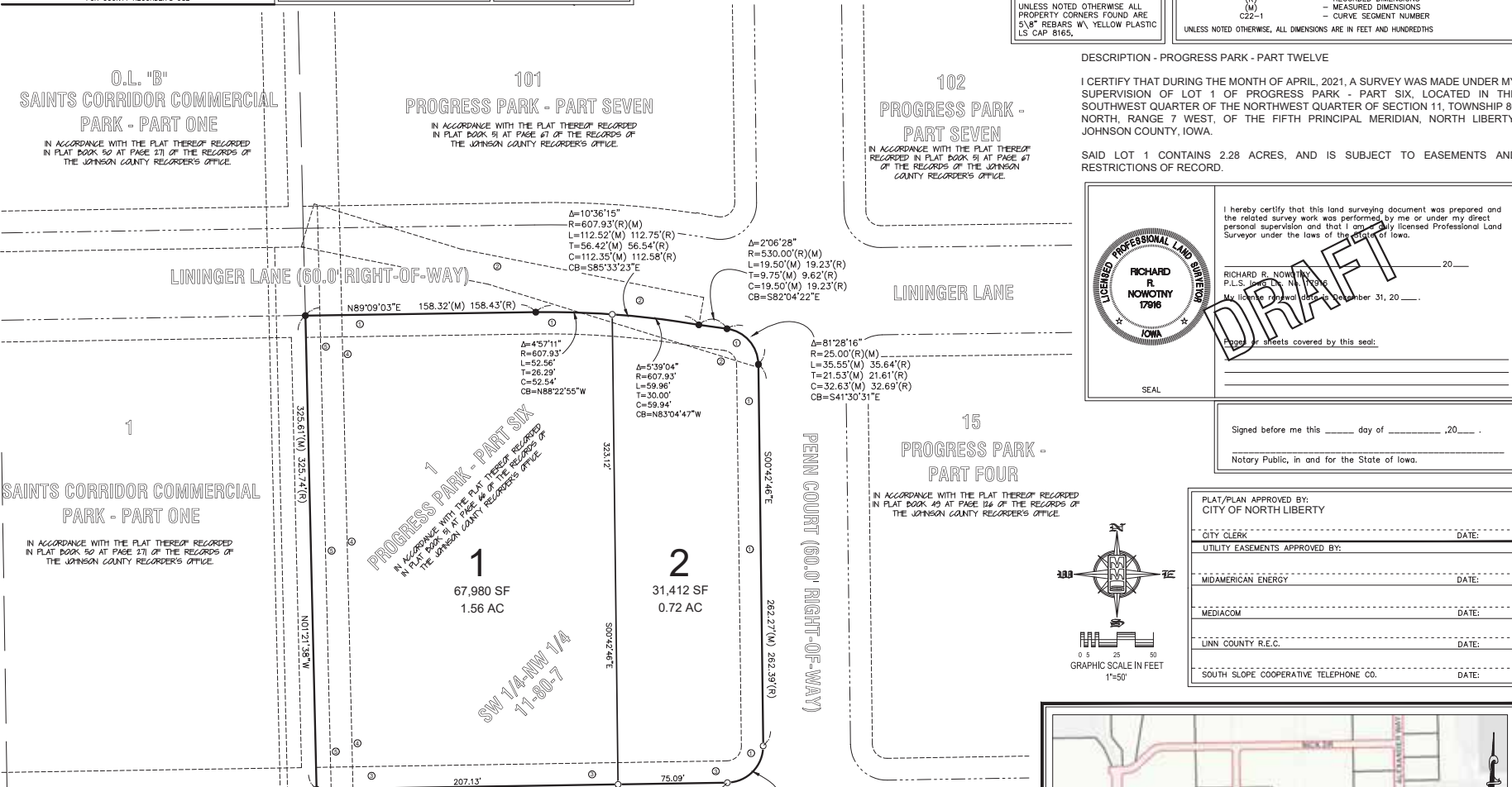
PROGRESS PARK - PART TWELVE

A RESUBDIVISION OF LOT 1 OF PROGRESS PARK - PART SIX
NORTH LIBERTY, JOHNSON COUNTY, IOWA

LEGEND AND NOTES	
	- CONGRESSIONAL CORNER, FOUND
	- CONGRESSIONAL CORNER, REESTABLISHED
	- CONGRESSIONAL CORNER, RECORDED LOCATION
	- PROPERTY CORNER(S), FOUND (as noted)
	- PROPERTY CORNERS SET (3/8" Iron Pin w/ yellow, plastic LS Cap embossed with "MMS")
	- CUT "X"
	- PROPERTY &/or BOUNDARY LINES
	- CONGRESSIONAL SECTION LINES
	- RIGHT-OF-WAY LINES
	- CENTER LINES
	- LOT LINES, INTERNAL
	- LOT LINES, PLATTED OR BY DEED
	- EASEMENT LINES, WIDTH & PURPOSE NOTED
	- EXISTING EASEMENT LINES, PURPOSE NOTED
	- RECORDED DIMENSIONS
	- MEASURED DIMENSIONS
	- CURVE SEGMENT NUMBER
(R)	- RADIUS
(M)	- CURVE SEGMENT NUMBER
C22-1	- CURVE SEGMENT NUMBER

NOTE:
UNLESS NOTED OTHERWISE ALL
PROPERTY CORNERS FOUND ARE
3/8" REBAR'S W/ YELLOW PLASTIC
LS CAP 8165.

FOR COUNTY RECORDER'S USE



DESCRIPTION - PROGRESS PARK - PART TWELVE

I CERTIFY THAT DURING THE MONTH OF APRIL, 2021, A SURVEY WAS MADE UNDER MY SUPERVISION OF LOT 1 OF PROGRESS PARK - PART SIX, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 80 NORTH, RANGE 7 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, NORTH LIBERTY, JOHNSON COUNTY, IOWA.

SAID LOT 1 CONTAINS 2.28 ACRES, AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

RICHARD R. NOWOTNY
P.L.S., Iowa Div. No. 17916
My license renewal date is September 31, 20____.

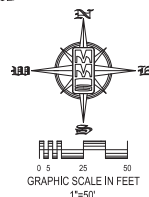
_____, 20____
I agree to effects covered by this seal.

SEAL

Signed before me this _____ day of _____, 20____.

Notary Public, in and for the State of Iowa.

PLAT/PLAN APPROVED BY: CITY OF NORTH LIBERTY	
CITY CLERK	DATE:
UTILITY EASEMENTS APPROVED BY:	
INDIAN ENERGY	DATE:
MEDIACOM	DATE:
LINN COUNTY R.E.C.	DATE:
SOUTH SLOPE COOPERATIVE TELEPHONE CO.	DATE:



A MINIMUM LOW OPENING HAS BEEN ESTABLISHED FOR LOTS 1 AND 2 OF THIS SUBDIVISION. PLEASE REFER TO THE APPROVED MLO EXHIBIT AS RECORDED WITH THE SUBDIVISION DOCUMENTS.

Notes on this plat are not intended to create any vested private interest in any stated use restriction or covenant or create any third party beneficiaries to any noted use restriction or covenant.

EASEMENT IDENTIFICATION TABLE	
LABEL	DESCRIPTION
○	EXISTING 15.00' WIDE UTILITY EASEMENT
○	EXISTING SANITARY SEWER FORCE MAIN, STORM SEWER AND DRAINAGE EASEMENT
○	EXISTING 15.00' WIDE UTILITY AND STORM SEWER EASEMENT
○	EXISTING 25.00' WIDE DRAINAGE EASEMENT
○	EXISTING 10.00' WIDE SANITARY SEWER & FORCE MAIN EASEMENT



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ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
05-24-21	PER CITY REVIEW - JDM

FINAL PLAT

PROGRESS PARK - PART TWELVE

A RESUBDIVISION OF LOT 1 OF PROGRESS PARK - PART SIX IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 80 NORTH, RANGE 7 WEST, OF THE FIFTH PRINCIPAL MERIDIAN

NORTH LIBERTY
JOHNSON COUNTY
IOWA
MMS CONSULTANTS, INC.

Date: 04-26-2021
Designed by: JDM Field Book No: 1302
Drawn by: RLW Scale: 1"=50'
Checked by: RRN Sheet No: 1
Project No: IOWA CITY
6802-004 of 1

MLO EXHIBIT
PROGRESS PARK - PART TWELVE

MINIMUM LOW OPENING	
LOT NUMBER	ELEVATION
1 & 2 (NORTH/FRONT)	782.6
1 & 2 (SOUTH/REAR)	783.4

Resolution No. 2021-62

RESOLUTION APPROVING THE DEVELOPMENT SITE PLAN FOR LOT 2, PROGRESS PARK – PART SIX (SCOOTERS COFFEE), NORTH LIBERTY, IOWA

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

WHEREAS, the owner and applicant, Red Door Properties, LLC, has filed with the City Clerk a development site plan;

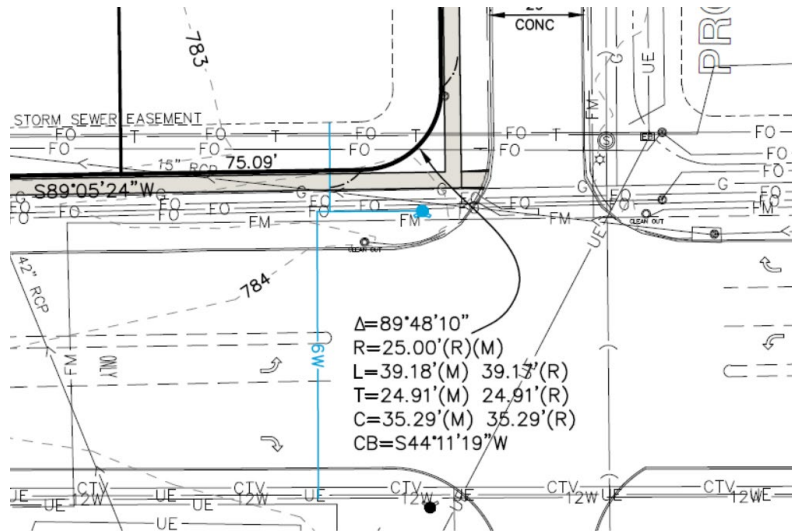
WHEREAS, the property is described as:

Lot 2 of Progress Park – Part Six; said tract of land contains 0.72 acres and is subject to easements and restrictions of record.

WHEREAS, said site plan is found to conform with the Comprehensive Plan and the Zoning Ordinance of the City of North Liberty; and

WHEREAS, said site plan has been examined by the North Liberty Planning and Zoning Commission, which recommended that the site plan be approved with the following conditions:

1. That the fire hydrant be located behind the proposed sidewalks in location shown the following diagram:



2. That the sidewalk along Penn Court should be designed/constructed at sidewalk elevations and that the sidewalk curb ramps shown at the proposed driveway be removed.

NOW, THEREFORE, BE IT RESOLVED that the City Council of North Liberty, Iowa, does hereby approve the development site plan for Scooters Coffee, North Liberty, Iowa.

APPROVED AND ADOPTED this 22nd day of June, 2021.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK



CIVIL ENGINEERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS
1917 S. GILBERT ST.
NORTH LIBERTY, IOWA 52240
(319) 351-8252
www.mmsconsultants.net

Date	Revision
6/11/2021	CITY COMMENTS

SITE LAYOUT AND DIMENSION PLAN

SCOOTERS
NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.
Date: 05/03/2021
Designed by: BTM Field Book No.: 1302
Drawn by: JEB Scale: 1"=20'
Checked by: BTM Sheet No.: 1
Project No.: 6802-004 of 7

SITE PLAN SCOOTERS NORTH LIBERTY, IOWA

PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
NORTH LIBERTY, IA 52240

APPLICANT:
RED DOOR PROPERTIES, LLC
4611 TIMBERLAND COURT NE
SOLON, IOWA 52333

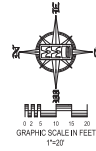
APPLICANT'S ATTORNEY:
TIMOTHY S. GRADY
222 SOUTH LINN STREET
NORTH LIBERTY, IOWA 52240

SHEET INDEX
1 SITE LAYOUT AND DIMENSION PLAN
2 DEMOLITION PLAN
3 SITE EROSION CONTROL PLAN AND SWPPP
4 GRADING PLAN
5 UTILITY PLAN
6 LANDSCAPE PLAN
7 GENERAL NOTES & DETAILS

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER IDOT STANDARD ROAD PLAN TC-419 OR SUDAS 8030-110 AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.
THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

PAVING LEGEND	
	7" PCC OVER 4" GRANULAR BASE (2,688 SF)
	6" PCC OVER 4" GRANULAR BASE (4,290 SF)
	4" PCC (5,708 SF)

INCLUDING OFFSITE PAVING



LEGAL DESCRIPTION
LOT 2 OF PROGRESS PARK - PART SIX, SAID TRACT OF LAND CONTAINS 0.72 ACRES, AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

PROPOSED
APPLICANT PLANS TO DEVELOP RESTAURANT BUSINESS ON THE 0.53 ACRE SITE.

PHASE	AREA OF WORK	LAND USE TYPE(S)	CONSTRUCTION PERIOD
LOT 2	RESTAURANT		FALL 2021 THRU SUMMER 2022

DEVELOPMENT CHARACTERISTICS
CURRENT ZONING IS C-2-A
SETBACK REQUIREMENTS
BUILDING SETBACKS: REQUIRED
FRONT YARD: 25 FEET
SIDE YARD: 10 FEET
REAR YARD: 20 FEET

MINIMUM LOT REQUIREMENTS	NONE
MINIMUM LOT SIZE	35 FEET
LOT FRONTAGE	35 FEET
LOT WIDTH	35 FEET OR 2.5 STORES
MAXIMUM BUILDING HEIGHT	

LOT CHARACTERISTICS
LOT AREA: 31,412 SF (100% 0.72 AC)
BUILDING AREA - PROPOSED: 627 SF (2.02%)
PAVING AREA - PROPOSED: 10,030 SF (31.9%)
GREEN SPACE AREA: 20,215 SF (64.4%)

LAND USE INTENSITY CALCULATIONS
FLOOR AREA (A) / LAND AREA (LA) = FLOOR AREA RATIO (FAR)
BUILDING SP(A) = 627 SF
LAND AREA SF = 31,412 + 20,595 = 52,007 SF (LA)
627 SF(A) / 52,007 SF(LA) = 0.01 (PROPOSED FAR)
1.0 (MAXIMUM FAR)

PARKING REQUIREMENTS
RESTAURANT (627 SF) 1 SPACE / 100 SF OF FLOOR AREA = 7 SPACES
SPACES REQUIRED: 7 SPACES (1 ADA)
SPACES PROVIDED: 7 SPACES (1 ADA)

NOTE: ACCESS ROADS NEED TO BE DESIGNED TO SUPPORT FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.

STANDARD LEGEND AND NOTES	
	PROPERTY &/OR BOUNDARY LINES
	CONCESSIONARY SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES, INTERNAL
	LOT LINES, PLOTTED OR BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	POWER POLE
	POWER POLE W/DROP
	POWER POLE W/FRAMES
	POWER POLE W/LIGHT
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	CURB INLET
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	ELECTRICAL LINES
	TELEPHONE LINES
	GAS LINES
	FIBER OPTIC
	OVERHEAD ELECTRIC
	CONTOUR LINES (INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING DECIDUOUS TREE & SHRUB
	EXISTING EVERGREEN TREE & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

NUMBER	KEYNOTE
1	INSTALL DRIVE AND PARKING (SEE PAVING LEGEND, FARE THIS SHEET FOR FINISHES AND MATERIALS; SEE DETAILS 2, 3, AND 4, SHEET 7)
2	INSTALL STANDARD 4" CURB AND GUTTER PER DETAIL 1, SHEET 7
3	INSTALL SIGN, COORDINATE WITH ARCHITECTURAL PLANS
4	INSTALL EDGE SIDEWALK PER CITY OF NORTH LIBERTY STANDARDS; SEE DETAIL 1, SHEET 7
5	INSTALL THICKENED EDGE SIDEWALK PER DETAIL 1, SHEET 7
6	INSTALL 4" WIDE PAVEMENT MARKINGS (TYP)
7	INSTALL ORDER BOARD; COORDINATE WITH ARCHITECTURAL PLANS
8	INSTALL LOOP COUNTER; COORDINATE WITH ARCHITECTURAL PLANS
9	INSTALL TRAFFIC STRIPES; COORDINATE WITH ARCHITECTURAL PLANS
10	INSTALL DUMPSTER ENCLOSURE; COORDINATE WITH ARCHITECTURAL PLANS
11	PROPOSED ADA PARKING, SYMBOL, BOLLARD W/ SIGNAGE, AND RAMP; PER ADA STANDARDS
12	DRIVE THROUGH STACKING SPACES (8)
13	TRANSITION TO NO CURB
14	INSTALL HEIGHT CLEARANCE BAR; COORDINATE WITH ARCHITECTURAL PLANS
15	SEATING/PATIO AREA
16	INSTALL DRIVE ENTRANCE PER NORTH LIBERTY SUPPLEMENTAL REQUIREMENTS (SUDAS DETAIL 7000.01); USE "T" JOINTS ON EACH SIDE OF THE PROPOSED SIDEWALK

IOWA ONE CALL

UTILITIES
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800-292-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

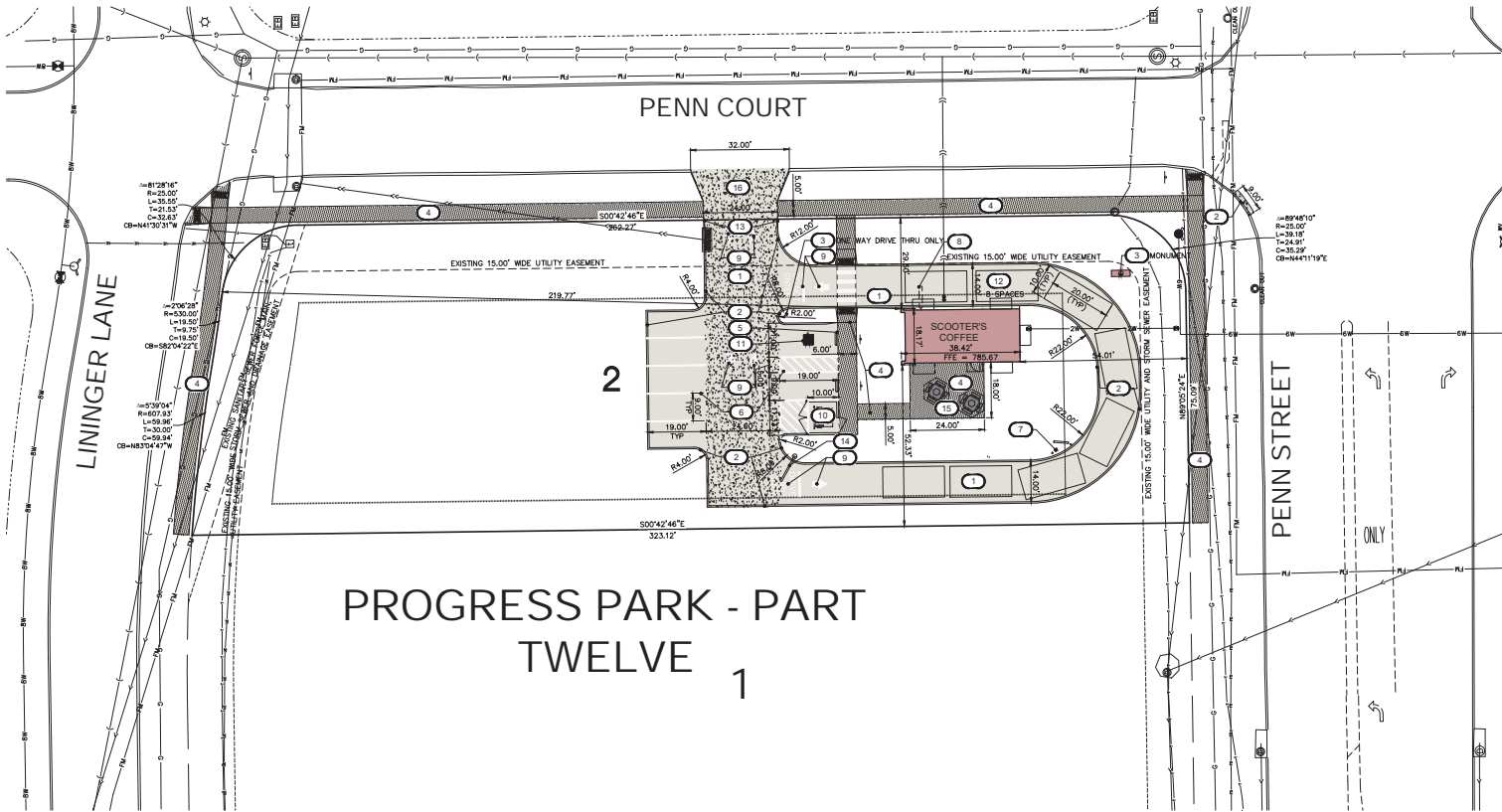
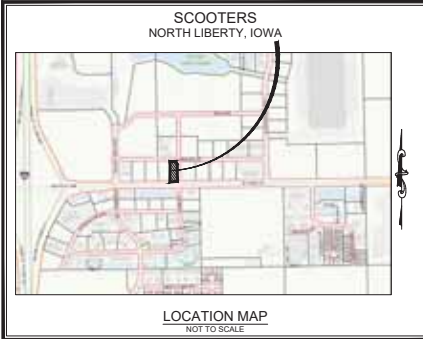
WHERE PUBLIC UTILITY UTILITIES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ACCESS TO THESE UTILITIES FOR NECESSARY MAINTENANCE OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREOF. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

BENJAMIN T. MITCHELL, P.E. Iowa Lic. No. 23397
MICHELL 2897
31, 2021

Project sheets covered by this seal:

SEAL



PROGRESS PARK - PART TWELVE 1

SITE PLAN SCOOTERS NORTH LIBERTY, IOWA

LANDSCAPE LEGEND:

- MULCHED LANDSCAPE BED ~3,088 SF
- SEEDED TURF GRASS ~25,066 SF

LANDSCAPE REQUIREMENTS:

- 1 TREE FOR EVERY 2,000 SF OF BUILDING FOOTPRINT. - 427 SF / 2,000 = 0.31
- 1 TREE PROVIDED
- 1 TREE WITHIN 40' OF EVERY PARKING SPACE. - PROVIDED
- PARKING LOT SCREENING FROM PUBLIC VIEW. - PROVIDED

PREPARED BY:
MMS CONSULTANTS INC.
1917 S. GILBERT STREET
NORTH LIBERTY, IA 52240

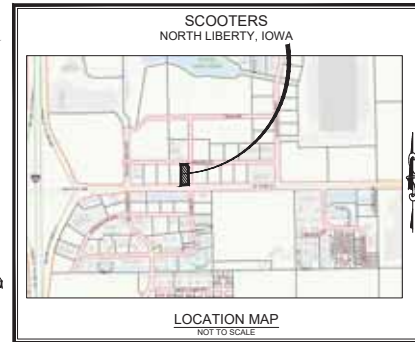
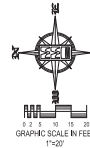
APPLICANT:
RED DOOR PROPERTIES, LLC
4611 TIMBERLAND COURT
SOLON, IOWA 52333

APPLICANT'S ATTORNEY:
TIMOTHY S. GRADY
222 SOUTH LINN STREET
NORTH LIBERTY, IOWA 52240

THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PER DOT STANDARD ROAD PLAN 14-119 OR SUDAS 8030-110 AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R.O.W.

THE CONTRACTOR SHALL COORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

- SHEET INDEX
- 1 SITE LAYOUT AND DIMENSION PLAN
 - 2 DEMOLITION PLAN
 - 3 SITE EROSION CONTROL PLAN AND SWPPP
 - 4 GRADING PLAN
 - 5 UTILITY PLAN
 - 6 LANDSCAPE PLAN
 - 7 GENERAL NOTES & DETAILS



STANDARD LEGEND AND NOTES

- PROPERTY &/OR BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING RIGHT-OF-WAY LINES
- CENTER LINES
- EXISTING CENTER LINES
- LOT LINES, INTERNAL
- LOT LINES, PLATTED OR BY DEED
- PLATTED EASEMENT LINES
- EXISTING EASEMENT LINES
- DIMENSIONS
- RECORDED DIMENSIONS
- CURVE SEGMENT NUMBER

PROF. 22-1

- POWER POLE W/DROP
- POWER POLE W/TRANSFORMER
- POWER POLE W/LIGHT
- OIL FILL
- LIGHT POLE
- SANITARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- DRAINAGE MANHOLE
- CURB INLET
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- WATER LINES
- TELEPHONE LINES
- GAS LINES
- FIBER OPTIC
- OVERHEAD ELECTRIC
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GROUND
- EXISTING TREE LINE
- EXISTING DECIDUOUS TREE & SHRUB
- EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



CIVIL ENGINEERS
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PLANT LIST - TREES

QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
1	OR	SHREWGUM PLUM	RED OAK	1" CAL.	D & D	30' X 30'
1	OR	SHREWGUM PLUM	WARY SILK JAPANESE TREE LLAC	1" CAL.	D & D	30' X 30'
1	OR	UMAS AMERICANA NEW HAVANA	NEW HAVANA BLM	1" CAL.	D & D	30' X 30'

PLANT LIST - SHRUBS, PERENNIALS, ORNAMENTAL GRASSES & GRASSCOVER

QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENT	MATURE SIZE
28	CA	CALAMAGROSTIS x AGULIFLORA KARL FORSTERIK	KARL FORSTERIK FEATHER REED GRASS	5/8" HT.	CONT.	4' X 3'
10	CO	CORNUS SERICEA THORNBURY	ARTIC. PINE RED TWIN DOWNS	5/8" HT.	CONT.	4' X 4'
8	PH	HENRICUSALIS SPECIOSA WIELLA DE GRU	WIELLA DE GRU SHAWLEY	8" HT.	CONT.	2' X 2'
10	MS	MARGOLISII SPENSIS TRACALLET	BRACKLEMAN MANDEN GRASS	5/8" HT.	CONT.	4' X 4'
20	JU	JANITORSUS OPHENSIS YEA GREENE	YEA GREEN JAFFER	5/8" HT.	CONT.	4' X 4'
14	SP	SPEREA x BAKULA VIGLAPLANE	VIGLAPLANE SPIREA	5/8" HT.	CONT.	9' X 9'

PERMANENT SEEDING OF URBAN AREAS

THE FOLLOWING SEED MIXTURE SHALL BE USED FOR PERMANENT SEEDING OF URBAN AREAS, INCLUDING ANY AREAS PREVIOUSLY MAINTAINED AS A LAWN. THE APPLICATION RATE SHALL BE 4 POUNDS PER 1,000 SQUARE FEET (2 kg per 100 m²).

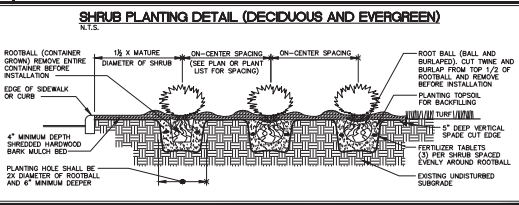
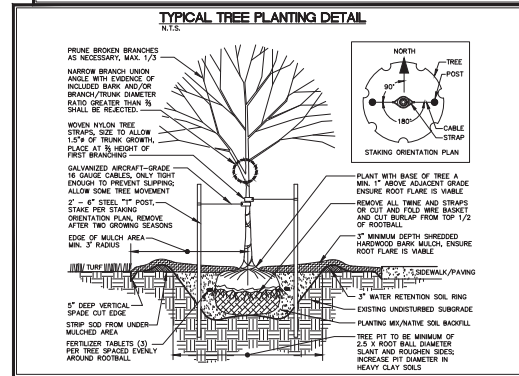
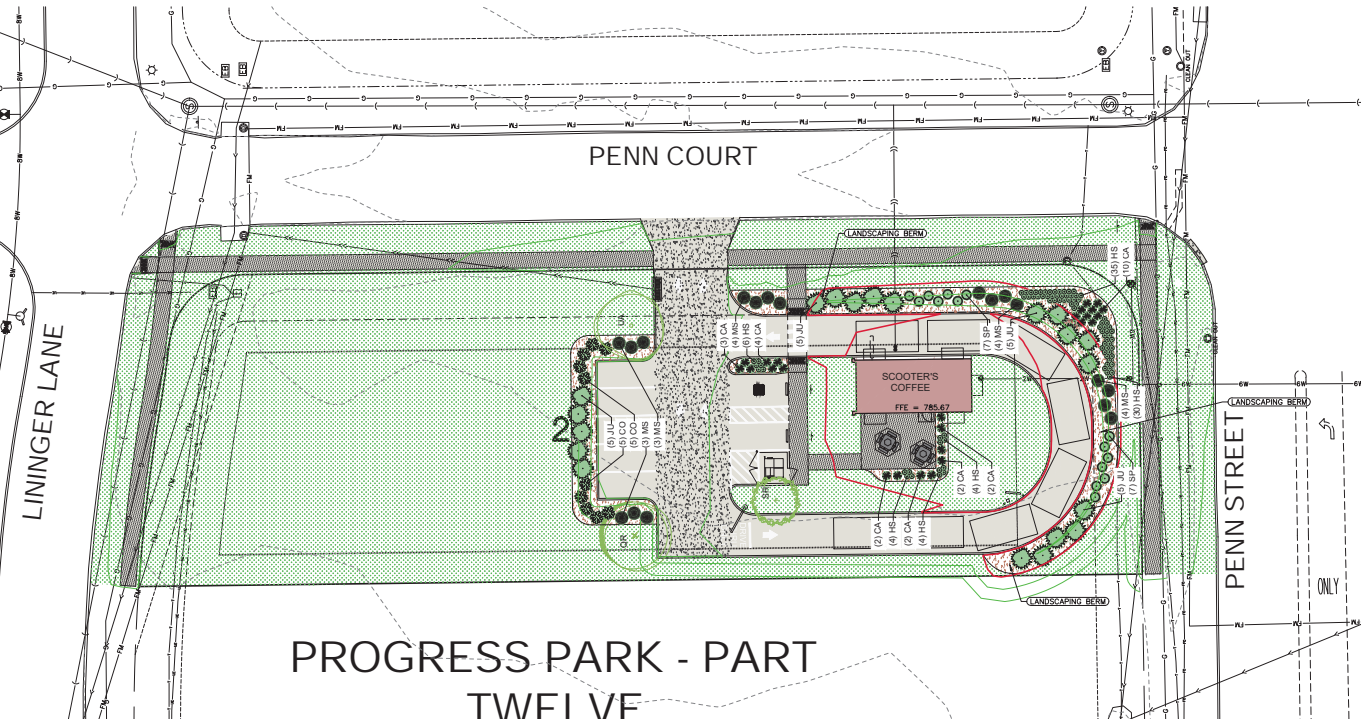
BLUEGRASS, KENTUCKY HYBRIDGRASS, PERENNIAL (FINELAF VARIETY)	70%
FESCUE, CREeping RED	30%

UTILITIES

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WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR DOCUMENTS WITHIN THE CONTRIBUTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER OF THESE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IF IT PROVES THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

- ### LANDSCAPE NOTES:
- 1 - THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES ON SITE PRIOR TO LANDSCAPE INSTALLATION.
 - 2 - PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL IN CONFLICT SITUATIONS.
 - 3 - FIRM SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60 - 2006 OR MOST RECENT EDITION.
 - 4 - LANDSCAPE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF UNDERGROUND UTILITIES ON SITE PRIOR TO LANDSCAPE INSTALLATION.
 - 5 - ALL PLANTING SHALL BE DONE WITH QUALITY TREES. APPROX. 10% OF TREES SHALL BE REPLANTED WITHIN 14 DAYS OF INSTALLATION.
 - 6 - ALL PLANTING SHALL BE DONE WITH QUALITY TREES. APPROX. 10% OF TREES SHALL BE REPLANTED WITHIN 14 DAYS OF INSTALLATION.
 - 7 - ALL TREES PLANTED IN LAWN AREAS SHALL BE PLANTED WITH A MINIMUM 4 FT. DIA. TRUNK OF DOUBLE GRESSED THROUGH DARK MULCH AT A 9" HGT. DEPTH.
 - 8 - ALL TREES PLANTED IN LAWN AREAS SHALL BE PLANTED WITH A MINIMUM 4 FT. DIA. TRUNK OF DOUBLE GRESSED THROUGH DARK MULCH AT A 9" HGT. DEPTH.
 - 9 - ALL LANDSCAPE PLANTING AND SOIL AREAS SHALL BE THOROUGHLY WATERED PRIOR TO INSTALLATION AND A TOTAL OF (5) WATERING SESSIONS SHALL BE REQUIRED AFTER ACCEPTANCE. SOIL SHALL BE MAINTAINED FOR THE FIRST 90 DAYS POST-INSTALLATION.
 - 10 - LANDSCAPE CONTRACTOR MUST FOLLOW ALL DETAILS PROVIDED ON SHEETS REGARDING LANDSCAPE CONSTRUCTION TECHNIQUES.
 - 11 - ALL LANDSCAPE PLANTING SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE.
 - 12 - KEEP ALL ROADWAYS OPEN WITH SURF MATERIAL.



Date	Revision
8/1/2021	CITY COMMENTS

LANDSCAPE PLAN

SCOOTERS

NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.
Date: 05/03/2021
Designed by: BTM Field Book No.: 1302
Drawn by: JEB Scale: 1"=20'
Checked by: BTM Sheet No.: 6
Project No.: 6802-004 of 7



CIVIL ENGINEERS
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Date	Revision
	CITY COMMENTS

GENERAL NOTES AND DETAILS

SCOOTERS

NORTH LIBERTY
JOHNSON COUNTY
IOWA

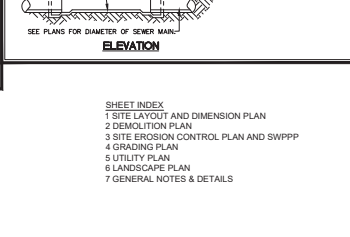
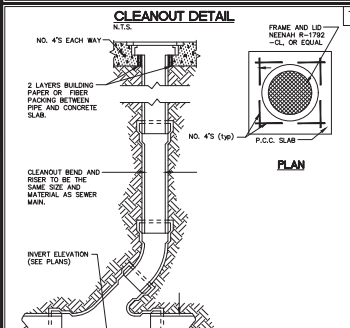
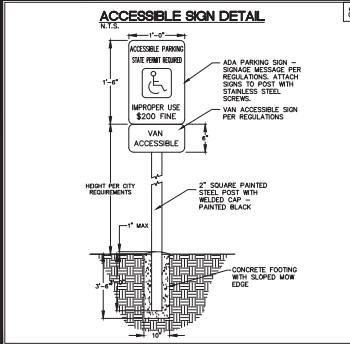
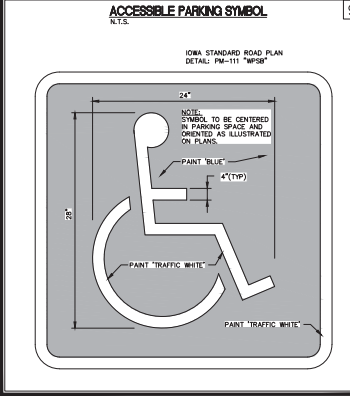
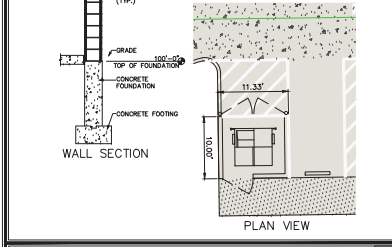
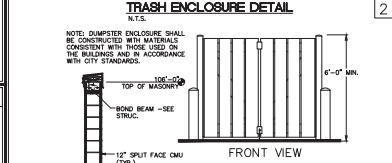
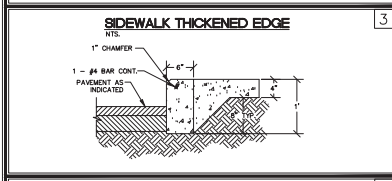
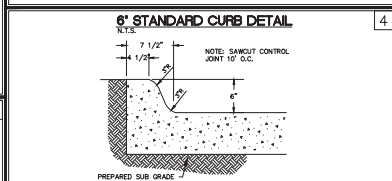
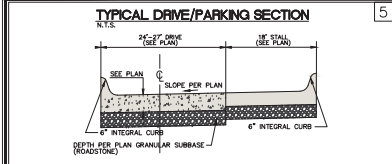
MMS CONSULTANTS, INC.

Date: 05/03/2021
Field Book No.: 1302
Designed by: BTM
Drawn by: JEB
Checked by: BTM
Project No.: 7

6802-004 of 7

PAVING CONSTRUCTION NOTES

- PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH I.D.O.T. SPECIFICATION SECTION 2301.
- I.D.O.T. CLASS C-3 CONCRETE SHALL BE USED, UNLESS NOTED OTHERWISE.
- PAVEMENT JOINTS SHALL CONFORM TO I.D.O.T. STANDARD ROAD PLAN PV-101.
- SUBGRADE UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO SOLE STANDARD PROCTOR DENSITY, TO A DEPTH OF 36 (6) INCHES, UNLESS NOTED OTHERWISE.
- ALL SAND PAVEMENT JOINTS SHALL BE SEALED.



SANITARY SEWER NOTES

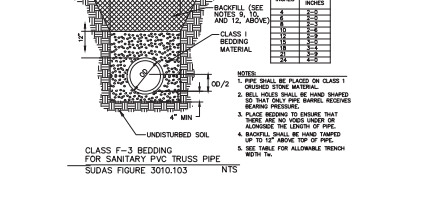
- SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) (2018) AS AMENDED.
- SANITARY SEWERS SHALL BE PVC TRUSS PIPE (SUDAS 4010.101E), ASTM D2689-90 PVC TRUSS PIPE, OR CITY ENGINEER APPROVED EQUAL. ALL SANITARY SEWER SERVICE LINES SHALL BE PVC 120R-23.5 WITH GASKETED JOINTS.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE, COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL SANITARY SEWERS SHOWN ON THE PROFILE VIEW AND ALL SANITARY SEWERS AND WATER MAINS UNDER PAVING OR WITHIN 5 FEET OF PAVEMENT SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING: A. SUTABLE EXCAVATED MATERIAL; IF EXCAVATED MATERIAL IS NOT SUTABLE, THEN B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL.
- ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCORDANCE WITH THE PRECEDING NOTE.
- CONTRACTOR SHALL PROVIDE SUDAS CLASS F-3 BEDDING FOR ALL PVC TRUSS SANITARY SEWERS UNLESS OTHERWISE NOTED.
- ENTRY INTO EXISTING CITY MANHOLE TO BE BY CORE DRILL AND SEAL BY "LINK-SEAL" PENETRATION SEAL, OR CITY ENGINEER APPROVED EQUAL.
- SEA MANHOLES ON SITE:
 - MUST NOT HAVE STEPS.
 - MUST HAVE EXTERNAL CHIMNEY SEAL BY INFILTED UNIMASK, CRETEK, OR APPROVED EQUAL.
 - MUST HAVE MANHOLE FRAME AND LID TO BE NEEMAN R-1642 SELF-SEALING WITH CITY LOGO.
 - MUST HAVE JOISTS CONSISTING OF STANDARD PCC IF PCC JOISTS ARE USED, SHIMS TO LEVEL MANHOLE FRAME MADE OF MATERIALS OTHER THAN PCC OR THE RING MATERIAL DISALLOWED ABOVE WILL NOT BE ALLOWED, IE: WOOD, BRICK, BLOCK, ETC.
 - MUST USE LINK-SEALS PENETRATION SEALS FOR PIPE PENETRATIONS.
 - ALL STRUCTURES SHALL BE WATER TIGHT INCLUDING CONSTRUCTION JOINTS AND WALL PENETRATIONS.
- ALL SANITARY SEWER SERVICE LINES SHALL BE EXTENDED:
 - TO THE END OF ALL SANITARY SEWER SERVICES MUST BE MARKED WITH A WOOD 2 X 4 PAINTED GREEN.
 - ALL SANITARY SEWER MANHOLES IN PAVING AREAS OR AREAS SUBJECT TO WATER URINATION SHALL BE PROVIDED WITH EXTERIOR CHIMNEY SEAL, BY INFILTED UNIMASK, CRETEK, OR APPROVED EQUAL.
- ALL SANITARY SEWER AND SERVICE LINES SHALL BE AIR TESTED TO PASS THE FOLLOWING TEST:
 - CITY REPRESENTATIVE MUST BE PRESENT DURING TESTING.
 - PERFORM FROM MANHOLE-TO-MANHOLE AFTER BACKFILL.
 - PLACE PNEUMATIC FLUID: (1) SEALING LENGTH: EQUAL TO OR GREATER THAN PIPE DIAMETER, (2) CAPABLE OF RESISTING INTERNAL TEST PRESSURE WITHOUT EXTERNAL BRACING OR BLOOMING.
 - INTRODUCE LOW-PRESSURE AIR INTO SEALED LINE AND ACHIEVE INTERNAL AIR PRESSURE OF 8 PSI & MAINTAIN FOR A MINIMUM OF 5 MINUTES.
 - LIMIT INTERNAL PRESSURE IN SEALED LINE BELOW 8 PSI.
 - ALLOW 2 MINUTES MINIMUM FOR AIR PRESSURE TO STABILIZE. DISCONNECT LOW-PRESSURE AIR HOSE FROM CONTROL PANEL.
 - MINIMUM TIME FOR PRESSURE TO DROP FROM 3.5 TO 2.5 PSIG GREATER THAN MAXIMUM PRESSURE EXERTED BY GROUNDWATER ABOVE PIPE INVERT:

AIR TESTING

PIPE DIAMETER IN INCHES	TIME IN MINUTES
4	3.0
6	3.0
8	3.0
10	3.0
12	3.0
15	3.0
18	3.0
24	3.0
30	3.0
36	3.0
42	3.0
48	3.0
60	3.0

CLASS F-3 BEDDING FOR SANITARY PVC TRUSS PIPE

INCHES	IN FEET & INCHES
4	0'-0" / 0"
6	0'-0" / 0"
8	0'-0" / 0"
10	0'-0" / 0"
12	0'-0" / 0"
15	0'-0" / 0"
18	0'-0" / 0"
24	0'-0" / 0"
30	0'-0" / 0"
36	0'-0" / 0"
42	0'-0" / 0"
48	0'-0" / 0"
60	0'-0" / 0"

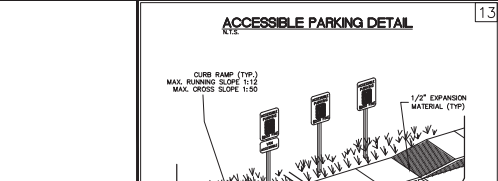
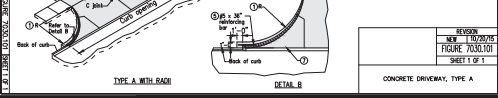
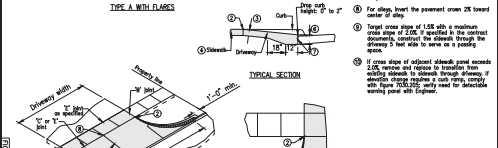
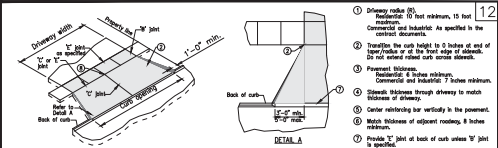
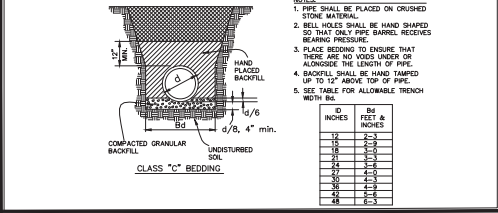


- THE FOLLOWING MINIMUM CLEARANCES MUST BE MAINTAINED:
- WATER MAIN SHALL BE LOCATED TO FEET HORIZONTALLY DISTANT FROM ALL SANITARY SEWER AND STORM SEWER.
 - WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.
 - VERTICAL SEPARATION OF WATER MAINS CROSSING OVER ANY SANITARY SEWER SHOULD BE A MINIMUM OF 18-INCHES, MEASURED OUTSIDE TO OUTSIDE FROM THE CLOSEST EDGE OF EACH PIPE. IF PHYSICAL CONDITIONS PREVENT THIS SEPARATION, THE WATER MAIN SHALL NOT BE PLACED CLOSER THAN 6-INCHES ABOVE A SEWER OR 18-INCHES BELOW A SEWER. THE SEPARATION DISTANCE SHALL BE THE MAXIMUM FEASIBLE IN ALL CASES.
 - WHERE THE WATER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSIBLE FROM THE SEWER. THE WATER AND SEWER PIPES MUST BE ADEQUATELY SUPPORTED AND HAVE WATER TIGHT JOINTS. A LOW PERMEABILITY SOIL SHALL BE USED FOR BACKFILL MATERIAL WITHIN 10-FEET OF THE POINT OF CROSSING.
 - ALL CONCRETE SANITARY MANHOLES SHALL HAVE CONCRETE ANTI-MICROBIALADITIVE INCORPORATED IN THE CONCRETE.

WHERE PUBLIC UTILITY UTILITIES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE FACILITIES FOR NECESSARY MAINTENANCE OF THOSE UTILITIES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FACILITIES IN THE CONSTRUCTION AREA, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THEREIN. NO CLAIM FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

STORM SEWER NOTES

- WHERE SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD DETAILED SPECIFICATIONS AND DETAILED SPECIFICATION REQUIREMENTS PREPARED FOR THIS PROJECT. CITY OF NORTH LIBERTY DESIGN AND CONSTRUCTION STANDARDS AND PROCEDURES SHALL PREVAIL.
- ALL STORM SEWERS SHALL BE CLASS 3 RCP UNLESS NOTED OTHERWISE IN THE PLANS.
- AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST TWO JOINTS ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.
- ALL RCP STORM SEWERS SHALL BE PROVIDED WITH CLASS 1" BEDDING UNLESS NOTED OTHERWISE. PVC SEWERS SHALL BE PROVIDED WITH CRUSHED STONE ENCASEMENT.
- STORM SEWERS SHOWN ON THE PROFILE VIEW SHALL BE BACKFILLED WITH EITHER OF THE FOLLOWING COMPACTED TO 90% MODIFIED PROCTOR DENSITY:
 - SUTABLE EXCAVATED MATERIAL, IF EXCAVATED MATERIAL IS NOT SUTABLE, THEN B. CRUSHED STONE AS SPECIFIED FOR GRANULAR TRENCH BACKFILL SHALL BE USED.
- GRANULAR TRENCH BACKFILL SHALL BE CRUSHED STONE CONFORMING TO I.D.O.T. STANDARD SPECIFICATION 4120.04 WITH 1" MAXIMUM AGGREGATE SIZE, COMPACT TO 90% MODIFIED PROCTOR DENSITY.
- ALL STORM SEWERS SHALL HAVE CONFINED 70" RING GASKETS. STORM SEWERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS. STORM SEWERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MASTIC JOINTS ALLOWED.
- ALL PIPE SHALL BE CERTIFIED.
- ALL STORM INTAKES SHALL BE A MINIMUM OF 48 INCHES FROM TOP OF CURB/FORM TO SUBGRADE. IF INVERT ELEVATIONS ARE INSUFFICIENT TO SHOW THE REQUIRED DEPTH, THE CONTRACTOR TO PROVIDE DEEPER STRUCTURE AND POUR CONCRETE FILLET IN INTAKE TO MAKE INTAKE SPEAK AT INVERT ELEVATIONS LISTED.
- LIFT HOLES IN STORM SEWER WILL NOT BE ALLOWED.
- MANHOLE SHALL NOT HAVE STEPS.
- PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.
- ALL STORM SEWER STRUCTURES ARE TO BE WATER TIGHT WITH WATER STOP USED IN CONSTRUCTION JOINT AND PENETRATIONS. RIDGES SHALL BE LAUNCH HOPE RIDGES OR CRETEK PRO-RIDGE.





Livestock Ordinance



June 1, 2021

Councilor RaQuishia Harrington
Councilor Brent Smith
Councilor Brian Wayson
Councilor Annie Pollock
Councilor Chris Hoffman
City of North Liberty
3 Quail Creek Circle
North Liberty, IA 52317

Re: Veto of Ordinance 2021-06

Dear Council Members,

I am notifying you that I am vetoing Ordinance 2021-06, amending the City's Animal Control code concerning livestock within city limits.

The reasons are as follows:

I do not agree with the provision allowing the entire back yard to be open for chickens to roam. By doing so, we are infringing on property rights of neighbors and/or tenants. It is provoking an atmosphere of possible/probable loss of personal use for these individuals and their animals. In addition, matters could escalate to the level of being confrontational with the chicken owner and neighbors.

The yard rules as passed previously in the original ordinance will stay in place, therefore we are not depriving current and future chicken owners from having such.

The second issue is the permitting process. This is not strong enough. Some chicken owners have gone ahead and developed coop areas and then reached out to Homeowner Associations to allow such. In order to prevent similar problems again, the application process must be front loaded to ensure problems can be avoided. The application is to continue to be sent with consent forms for landlords and HOAs to approve. Persons should know when they purchase a property if their dwelling is in an HOA or not, and take personal responsibility for have that

permission form signed. If no consent forms are presented with the application, the application is incomplete.

I must reiterate that chickens are livestock by definition, not domestic animals in the accepted sense. There are at this time five (5) permit holders, but our rules affect the whole community and its well-being. In closing, I must reference the CDC's positions and advice on urban chickens which can be easily found.

I must also advise you that the council has the right to override this veto within 30 days of receipt of this letter. Feel free to contact the City Attorney regarding these actions.

Sincerely,

A handwritten signature in blue ink, appearing to read "Terry L. Donahue". The signature is fluid and cursive, with a long horizontal stroke at the end.

Terry L. Donahue, Mayor

Cc: City Administrator

City Clerk

City Attorney



June 18, 2021

Mayor and City Council
North Liberty City Hall
3 Quail Creek Circle
North Liberty, IA 52317

Dear Mayor and Council,

As you know, Ordinance 2021-06 was vetoed on Monday, June 7 afternoon by Mayor Donahue. The Council has the option to override that veto by a two-thirds vote within 30 days, if it so chooses. Because there are five Tuesdays this month, the meeting on the 22nd is the only regular Council session that falls within that 30-day window. The draft ordinance will appear as an agenda item in the packet for that meeting, along with Mayor Donahue's veto message, and the proposed option to approve the ordinance notwithstanding the veto. It would require a roll-call vote, and a minimum of four affirmative votes to take effect.

I was asked whether, in making that vote, the Council could amend portions of the underlying ordinance at the same time. I have researched the issue and concluded that amendments are likely not permitted in conjunction with such a vote. The usual three readings of a proposed ordinance under Iowa Code § 380.3 require the council to "consider and vote," prior to passage. The procedure for overriding a veto in § 380.6, however, has no provision for any consideration which would allow an amendment. The only item to be voted on pursuant to that section is whether to override the veto and pass the ordinance into law, in the form it was at the time of its final consideration. If overridden, the ordinance would need to be published a second time before it takes effect.

Regardless of whether the Council chooses to override the veto, we will be happy to prepare a separate ordinance amendment for consideration and deliberation at a future meeting if so desired, following publication of notice and a public hearing.

Sincerely,



Grant D. Lientz
City Attorney

Ordinance Number 2021-06
AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF
THE CITY OF NORTH LIBERTY, IOWA, UPDATING PORTIONS
OF THE ANIMAL CONTROL CODE CONCERNING LIVESTOCK
WITHIN CITY LIMITS

BE IT ENACTED by the City Council of the City of North Liberty, Iowa:

SECTION 1. AMENDMENT. Section 55.23 of the Code of Ordinances of the City of North Liberty, Iowa, is amended to read as follows:

55.23 LIVESTOCK.

It is unlawful for a person to keep livestock within the City, except in compliance with the City's zoning regulations.

1. Notwithstanding the provisions of this section, the keeping of domestic chickens (members of the subspecies of *Gallus gallus domesticus*) shall be permitted as an accessory use to single-family residences and zero-lot line duplexes (where each unit owner owns a separate and distinct portion of the lot), so long as such keeping is in strict compliance with this subsection and all other applicable City ordinances unless, despite compliance with the following, the presence of any particular chickens endangers the health, safety, peace, quiet, comfort, enjoyment of, or otherwise becomes a public nuisance to nearby residents or occupants or places of business.

A. No person shall keep chickens inside any residence.

B. A tenant must obtain the landlord's written permission to keep chickens, which shall be submitted as part of the application for a permit.

C. Chickens must be confined in a coop or fowl house or, in the alternative, within a single, unenclosed fenced pen area. The fenced pen area may be the entire rear yard, provided that the area satisfies all other requirements of this Chapter. Chickens must be kept within the coop, the fowl house, or the fenced pen area at all times unless removed for a temporary time for cleaning or for the safety of the chicken. Chickens must be housed in the coop from dusk until dawn.

D. The coop, the fowl house, or the fenced pen area shall be located in the rear yard (as defined in Section 167.01) only, must be of such a design to be reasonably expected to prevent entry by dogs, cats, or other animals, shall be completely enclosed (except fenced pen area), shall be well maintained, and shall be well drained so there is no accumulation of moisture.

E. The materials used in making a coop or fowl house (stationary or mobile) shall be substantially uniform for each element of the structure such that the walls are made of the same material, the roof has the same shingles or other covering, and any windows or openings are constructed using the same materials. The use of scrap, waste board, sheet metal, or similar materials is prohibited. Fencing materials must meet all requirements set forth in the zoning regulations; however, except as set forth herein, coops and fowl houses are not subject to building code requirements. By way of example, coop or fowl house walls consisting primarily of sturdy wire fencing, and coop or fowl house roofing consisting of sturdy wire, aviary netting or solid roofing are permitted.

F. A coop or fowl house shall have a minimum of four (4) and a maximum of twelve (12) square feet of floor area for each chicken. Any coop or fowl house shall be a minimum of ten (10) feet from any property line. Any coop or fowl house shall not be less than 18 inches in height, and shall not exceed eight (8) feet in height. Any coop, fowl house, or fenced pen area shall fully comply with all applicable zoning regulations.

G. Any coop, fowl house, or fenced pen area shall be kept clean, sanitary and free from accumulation of chicken excrement and objectionable odors. Chicken manure shall be managed so as not to create a nuisance.

H. Odors from chickens, chicken manure or other chicken related substances shall not be perceptible beyond the boundaries of the permitted tract of land. Noise from chickens shall not violate Section 55.04.

I. All chicken feed shall be stored in rodent-proof containers.

J. No more than six (6) chickens shall be kept or maintained per property.

K. All chickens shall have one wing clipped at any given time so as to eliminate the possibility of flight from the permittee's property.

L. All such chickens must be hens; no roosters are permitted.

M. The City shall not be liable for injury or death of chickens caused by dogs, cats, or other animals, domestic or wild, whether such animals are licensed by the City or not. Further, injury or death of a chicken caused by an animal is not, in and of itself, sufficient grounds for the City to determine that the animal is a vicious animal pursuant to Chapter 56 of this Code of Ordinances. Any dead chicken, not caused by slaughtering, shall be disposed of immediately upon discovering in a manner so as not to cause a nuisance pursuant to Chapter 50 of this Code of Ordinances.

N. Any slaughter of chickens not regulated by state law or otherwise forbidden or regulated shall be done only in a humane and sanitary manner and shall not be done open to the view of any public area or adjacent property owned by another.

2. No person shall keep any chickens unless they possess a City of North Liberty permit issued by the Zoning Code Official or designee.

A. The Zoning Code Official or designee shall provide an application form upon request.

B. The fees and associated costs shall be set by resolution.

C. Permits will be granted for one (1) year valid from January 1 through December 31. Permits may be purchased at any time during the year but will be valid only through December 31.

D. The applicant shall successfully complete an approved class in raising chickens in an urban setting prior to being issued a permit. The Permitting Officer shall maintain a current list of such approved classes.

E. By the granting of the permit to raise chickens and the application thereof, the permittee authorizes that the City or its agents have the right to go onto permittee's property any time and without prior notice for the limited purpose of inspection of the premises to ensure that all applicable conditions have been met.

F. Within thirty (30) days after the expiration of any permit, the permittee shall apply for and secure a renewal of the permit in the manner provided for in this chapter. Failure to renew a permit within the time herein provided shall result in a delinquent fee, in addition to the regular permit fee, as set by the city council. All applicants shall be furnished with permit rules and regulations at the time the application is made. Permit rules and regulations shall be approved by resolution of the city council.

G. The permit is a limited license for the activity, and no vested zoning rights arise from the permit being issued.

H. The permit does not run with the land. Private restrictions on the use of property shall remain enforceable and shall supersede the permit. The private restrictions include, but are not limited to, deed restrictions, condominium restrictions, neighborhood association bylaws, covenants and restrictions, and rental agreements.

3. In the event that an applicant or permittee does not fully and strictly comply with the requirements of this section, the application may be denied or the permit may be revoked. If an application is denied or a permit is revoked, the applicant or

permittee shall be so informed in writing and also informed of the right to appeal said decision.

A. In any instance where the Zoning Code Official or designee has denied, revoked, suspended, or not renewed a permit, the applicant or permit holder may appeal the Zoning Code Official or designee's decision to the City Administrator within ten (10) business days of receipt by the applicant or holder of the permit of the notice of the decision. The applicant or holder of the permit will be given an opportunity for a hearing. The decision of the City Administrator or any decision by the Zoning Code Official or designee that is not appealed in accordance to this chapter shall be deemed final action.

B. When an application for a permit is denied or when a permit is revoked:

(1) The applicant may not re-apply for a new permit for a period of 1 year from the date of the denial or revocation unless the denial or revocation is due to administrative reasons only, as determined by the Zoning Code Official or designee.

(2) Any chickens shall be removed immediately.

(3) Any coop, fowl house, fencing or other structures shall be removed within ten (10) days of the date of the permit being denied or revoked.

4. An owner or possessor of animals on property that is newly annexed has ninety (90) days from the date of annexation to bring the property into compliance required by this section.

5. Any property owner possessing chickens in violation of the City's Animal Code prior to the date this ordinance or its amendment becomes effective, which is an illegal nonconforming use, shall have thirty (30) days to meet all requirements of this section and all other applicable provisions of the City's code of Ordinances.

6. A violation of this subsection is a simple misdemeanor or a municipal infraction, as provided in Chapter 3 of this Code of Ordinances.

SECTION 2. REPEALER. All Ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 3. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 4. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the

Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5. WHEN EFFECTIVE. This Ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on April 27, 2021.

Second reading on May 11, 2021.

Third and final reading on May 25, 2021.

CITY OF NORTH LIBERTY

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance 2021-06 in the *North Liberty Leader* on June 3, 2021.

TRACEY MULCAHEY, CITY CLERK



Water Rate Amendment

Ordinance No. 2021-09

AN ORDINANCE AMENDING CHAPTER 92.02, ENTITLED "RATES FOR SERVICE," OF THE MUNICIPAL CODE OF NORTH LIBERTY BY ADOPTING A NEW SECTION 92.02 TO INCREASE THE CHARGES FOR WATER USED

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT Chapter 92.02 "Rates for Service," of the Municipal Code of North Liberty be, and the same is hereby amended, by repealing Section 92.02 therein, and enacting in lieu thereof new sections to be codified the same to read as follows:

92.02 RATES FOR SERVICE.

Gallons Used Per Month	Rate
First 1,000 gallons	\$ 17.44
All over 1,000 gallons	\$ 7.01

Service to industrial establishments may be by contract, if the City finds such an arrangement to be in the best interest of the City.

SECTION 2. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 3. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 4. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on May 25, 2021.
Second reading on June 8, 2021.
Third and final reading _____.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2021-09 in *The Leader* on the ___ day of ___, 2021.

TRACEY MULCAHEY, CITY CLERK

Waste Water Utility Budget & Forecast

	FY20 Actual	FY21 Budget	FY22 Budget	FY23 Estimated	FY24 Estimated	FY25 Estimated	FY26 Estimated	FY27 Estimated	FY28 Estimated	FY29 Estimated	FY30 Estimated	FY31 Estimated	FY32 Estimated
Budget Inflation Rate		2.00%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%
Number of Accounts	8,849	9,026	9,161	9,299	9,438	9,580	9,724	9,869	10,017	10,168	10,320	10,475	10,632
Gallons Sold	378,708,000	387,000,000	392,805,000	398,697,075	404,677,531	410,747,694	416,908,910	423,162,543	429,509,981	435,952,631	442,491,920	449,129,299	455,866,239
Proposed Rate Increase	1%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	2%	2%
Base Rate	\$ 31.24	\$ 31.24	\$ 31.24	\$ 31.24	\$ 31.24	\$ 31.24	\$ 31.24	\$ 31.24	\$ 31.24	\$ 31.24	\$ 31.24	\$ 31.86	\$ 32.50
Rate/1000 Gallons	\$ 5.63	\$ 5.63	\$ 5.63	\$ 5.63	\$ 5.63	\$ 5.63	\$ 5.63	\$ 5.63	\$ 5.63	\$ 5.63	\$ 5.63	\$ 5.74	\$ 5.86
Revenues													
Waste Water Sales	\$ 4,827,711	\$ 4,901,919	\$ 4,975,448	\$ 5,050,080	\$ 5,125,831	\$ 5,202,718	\$ 5,280,759	\$ 5,359,971	\$ 5,440,370	\$ 5,521,976	\$ 5,604,805	\$ 5,802,655	\$ 6,007,489
Sales Tax	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Connection Fees/Permits	\$ 23,500	\$ 35,000	\$ 35,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000
Use of Money	\$ 47,947	\$ 20,000	\$ 20,000	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300
Miscellaneous	\$ 16,129	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000
Transfers	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Accounts Receivable/Payable	\$ (36,754)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total Revenues	\$ 4,878,533	\$ 4,962,919	\$ 5,036,448	\$ 5,081,380	\$ 5,157,131	\$ 5,234,018	\$ 5,312,059	\$ 5,391,271	\$ 5,471,670	\$ 5,553,276	\$ 5,636,105	\$ 5,833,955	\$ 6,038,789
Expenditures													
Budget Inflation Rate		9.30%	2.53%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%
Personnel Services	\$ 633,728	\$ 754,543	\$ 777,103	\$ 815,958	\$ 856,756	\$ 899,594	\$ 944,574	\$ 991,802	\$ 1,041,392	\$ 1,093,462	\$ 1,148,135	\$ 1,205,542	\$ 1,265,819
Services & Commodities	\$ 882,265	\$ 1,055,975	\$ 1,074,975	\$ 1,128,724	\$ 1,185,160	\$ 1,244,418	\$ 1,306,639	\$ 1,371,971	\$ 1,440,569	\$ 1,512,598	\$ 1,588,228	\$ 1,667,639	\$ 1,751,021
Capital	\$ -	\$ 9,600	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Transfers													
Equipment Revolving	\$ 65,000	\$ 125,000	\$ 12,500	\$ 90,000	\$ 50,000	\$ 65,000	\$ 65,000	\$ 65,000	\$ 65,000	\$ 65,000	\$ 65,000	\$ 65,000	\$ 65,000
Capital Reserve	\$ 530,388	\$ 570,083	\$ 475,000	\$ 390,000	\$ 290,000	\$ 290,000	\$ 290,000	\$ 290,000	\$ 290,000	\$ 290,000	\$ 290,000	\$ 290,000	\$ 290,000
Revenue Debt	\$ 1,725,139	\$ 1,778,283	\$ 1,741,808	\$ 1,752,322	\$ 1,765,229	\$ 1,778,560	\$ 1,781,351	\$ 1,459,729	\$ 1,391,175	\$ 1,183,624	\$ 1,315,120	\$ 1,643,470	\$ 1,639,908
GO Debt	\$ 472,350	\$ 473,200	\$ 565,290	\$ 559,840	\$ 554,265	\$ 548,565	\$ 547,765	\$ 551,715	\$ 550,315	\$ 548,715	\$ 411,665	\$ 83,515	\$ 81,915
Billing & Accounting	\$ 303,049	\$ 274,255	\$ 240,166	\$ 252,174	\$ 264,783	\$ 278,022	\$ 291,923	\$ 306,519	\$ 321,845	\$ 337,938	\$ 354,835	\$ 372,576	\$ 391,205
Upcoming Projects													
SW Growth Utilities	\$ -	\$ -	\$ 281,879	\$ 280,851	\$ 283,131	\$ 281,670	\$ 283,449	\$ 281,415	\$ 282,567	\$ 283,308	\$ 283,670	\$ 285,000	\$ 285,000
Mid/Long Term Projects	\$ -	\$ -	\$ -	\$ 206,638	\$ 206,438	\$ 206,438	\$ 206,438	\$ 206,438	\$ 206,438	\$ 206,438	\$ 206,438	\$ 206,550	\$ 206,550
Total Expenditures	\$ 4,611,919	\$ 5,040,939	\$ 5,168,721	\$ 5,476,507	\$ 5,455,762	\$ 5,592,267	\$ 5,717,139	\$ 5,524,589	\$ 5,589,302	\$ 5,521,082	\$ 5,663,090	\$ 5,819,292	\$ 5,976,418
Net Change in Fund Balance	\$ 266,614	\$ (78,020)	\$ (132,273)	\$ (395,127)	\$ (298,631)	\$ (358,249)	\$ (405,079)	\$ (133,319)	\$ (117,632)	\$ 32,193	\$ (26,985)	\$ 14,663	\$ 62,371
Beginning Fund Balance	\$ 4,407,331	\$ 4,673,945	\$ 4,595,925	\$ 4,463,652	\$ 4,068,525	\$ 3,769,894	\$ 3,411,645	\$ 3,006,566	\$ 2,873,247	\$ 2,755,615	\$ 2,787,809	\$ 2,760,824	\$ 2,775,487
Ending Fund Balance	\$ 4,673,945	\$ 4,595,925	\$ 4,463,652	\$ 4,068,525	\$ 3,769,894	\$ 3,411,645	\$ 3,006,566	\$ 2,873,247	\$ 2,755,615	\$ 2,787,809	\$ 2,760,824	\$ 2,775,487	\$ 2,837,857
% Reserved	101.34%	91.17%	86.36%	74.29%	69.10%	61.01%	52.59%	52.01%	49.30%	50.49%	48.75%	47.69%	47.48%
Total Personnel Costs	\$ 633,728	\$ 754,543	\$ 777,103	\$ 815,958	\$ 856,756	\$ 899,594	\$ 944,574	\$ 991,802	\$ 1,041,392	\$ 1,093,462	\$ 1,148,135	\$ 1,205,542	\$ 1,265,819
% of Waste Water Utility Expenditures	13.74%	14.97%	15.03%	14.90%	15.70%	16.09%	16.52%	17.95%	18.63%	19.81%	20.27%	20.72%	21.18%
Debt Service Coverage													
Net Revenue/All Revenue Debt	1.95	1.77	1.83	1.79	1.76	1.74	1.72	2.07	2.15	2.49	2.20	1.80	1.84
Required Coverage	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20	1.20
Desired Coverage	1.25	1.25	1.25	1.25	1.25	1.25	1.25	1.25	1.25	1.25	1.25	1.25	1.25
Difference (Actual vs. Required)	0.75	0.57	0.63	0.59	0.56	0.54	0.52	0.87	0.95	1.29	1.00	0.60	0.64

REPLACE locator truck (\$12.5K) w/ water, storm water & streets

Anticipate new debt for SW Growth Utilities to come on line.

REFURBISH manholes (\$70K); west trunk sewer (\$185K)
REPLACE membranes (\$220K)

Waste Water Utility Budget & Forecast

Waste Water Rate Increase Analysis																										
		Monthly Waste Water Costs Based on Usage																								
		FY20	FY21	FY22	FY23	FY24	FY25	FY26	FY27	FY28	FY29	FY30	FY31	FY32												
Consumption in Gallons	3,000	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 42.50	\$ 43.35	\$ 44.22			
	5,000	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 53.76	\$ 54.84	\$ 55.93		
	8,000	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 70.65	\$ 72.06	\$ 73.50	
	11,000	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 87.54	\$ 89.29	\$ 91.08
	15,000	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 110.06	\$ 112.26	\$ 114.51
	3,000																							0.85	0.87	
	5,000	Additional Waste Water Cost/Month	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1.08	\$ 1.10	
	8,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1.41	\$ 1.44	
	11,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1.75	\$ 1.79	
	15,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2.20	\$ 2.25	
	3,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 10.20	\$ 10.40	
	5,000	Additional Waste Water Cost/Year	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 12.90	\$ 13.16	
	8,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 16.96	\$ 17.30	
	11,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 21.01	\$ 21.43	
	15,000		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 26.41	\$ 26.94	

Water Utility Budget & Forecast

Water Rate Increase Analysis																
Monthly Water Costs Based on Usage																
		FY20	FY21	FY22	FY23	FY24	FY25	FY26	FY27	FY28	FY29	FY30	FY31	FY32		
Consumption in Gallons	3,000	\$ 29.94	\$ 30.84	\$ 31.45	\$ 32.08	\$ 32.73	\$ 32.73	\$ 32.73	\$ 33.71	\$ 34.72	\$ 35.76	\$ 36.83	\$ 37.94	\$ 39.08		
	5,000	\$ 43.28	\$ 44.58	\$ 45.47	\$ 46.38	\$ 47.31	\$ 47.31	\$ 47.31	\$ 48.73	\$ 50.19	\$ 51.69	\$ 53.24	\$ 54.84	\$ 56.49		
	8,000	\$ 63.29	\$ 65.19	\$ 66.49	\$ 67.82	\$ 69.18	\$ 69.18	\$ 69.18	\$ 71.25	\$ 73.39	\$ 75.59	\$ 77.86	\$ 80.20	\$ 82.60		
	11,000	\$ 83.30	\$ 85.80	\$ 87.51	\$ 89.27	\$ 91.05	\$ 91.05	\$ 91.05	\$ 93.78	\$ 96.60	\$ 99.49	\$ 102.48	\$ 105.55	\$ 108.72		
	15,000	\$ 109.98	\$ 113.28	\$ 115.54	\$ 117.86	\$ 120.21	\$ 120.21	\$ 120.21	\$ 123.82	\$ 127.53	\$ 131.36	\$ 135.30	\$ 139.36	\$ 143.54		
	3,000		\$ 0.90	\$ 0.62	\$ 0.63	\$ 0.64	\$ -	\$ -	\$ 0.98	\$ 1.01	\$ 1.04	\$ 1.07	\$ 1.10	\$ 1.14		
	5,000		\$ 1.30	\$ 0.89	\$ 0.91	\$ 0.93	\$ -	\$ -	\$ 1.42	\$ 1.46	\$ 1.51	\$ 1.55	\$ 1.60	\$ 1.65		
	8,000		\$ 1.90	\$ 1.30	\$ 1.33	\$ 1.36	\$ -	\$ -	\$ 2.08	\$ 2.14	\$ 2.20	\$ 2.27	\$ 2.34	\$ 2.41		
	11,000		\$ 2.50	\$ 1.72	\$ 1.75	\$ 1.79	\$ -	\$ -	\$ 2.73	\$ 2.81	\$ 2.90	\$ 2.98	\$ 3.07	\$ 3.17		
	15,000		\$ 3.30	\$ 2.27	\$ 2.31	\$ 2.36	\$ -	\$ -	\$ 3.61	\$ 3.71	\$ 3.83	\$ 3.94	\$ 4.06	\$ 4.18		
	3,000		\$ 10.78	\$ 7.40	\$ 7.55	\$ 7.70	\$ -	\$ -	\$ 11.78	\$ 12.13	\$ 12.50	\$ 12.87	\$ 13.26	\$ 13.66		
	5,000		\$ 15.58	\$ 10.70	\$ 10.91	\$ 11.13	\$ -	\$ -	\$ 17.03	\$ 17.54	\$ 18.07	\$ 18.61	\$ 19.17	\$ 19.74		
	8,000		\$ 22.78	\$ 15.65	\$ 15.96	\$ 16.28	\$ -	\$ -	\$ 24.90	\$ 25.65	\$ 26.42	\$ 27.21	\$ 28.03	\$ 28.87		
	11,000		\$ 29.99	\$ 20.59	\$ 21.00	\$ 21.42	\$ -	\$ -	\$ 32.78	\$ 33.76	\$ 34.77	\$ 35.82	\$ 36.89	\$ 38.00		
	15,000		\$ 39.59	\$ 27.19	\$ 27.73	\$ 28.29	\$ -	\$ -	\$ 43.28	\$ 44.57	\$ 45.91	\$ 47.29	\$ 48.71	\$ 50.17		

Utility Rate Analysis

Waste Water Rate Increase Analysis					
		FY21	FY22	Difference	
Base Rate	\$	31.24	\$ 31.24	\$ -	
Rate/1000 gallons	\$	5.63	\$ 5.63	\$ -	
		Cost per Month		FY22 Increase	
Consumption (in gallons)		FY21	FY22	%	\$
3,000	\$	42.50	\$ 42.50	0%	\$ -
5,000	\$	53.76	\$ 53.76	0%	\$ -
8,000	\$	70.65	\$ 70.65	0%	\$ -
11,000	\$	87.54	\$ 87.54	0%	\$ -

Water Rate Increase Analysis					
		FY21	FY22	Difference	
Base Rate	\$	17.10	\$ 17.44	\$ 0.34	
Rate/1000 gallons	\$	6.87	\$ 7.01	\$ 0.14	
		Cost per Month		FY22 Increase	
Consumption (in gallons)		FY21	FY22	%	\$
3,000	\$	30.84	\$ 31.45	2%	\$ 0.62
5,000	\$	44.58	\$ 45.47	2%	\$ 0.89
8,000	\$	65.19	\$ 66.49	2%	\$ 1.30
11,000	\$	85.80	\$ 87.51	2%	\$ 1.72

Storm Water Rate Increase Analysis					
		FY21	FY22	Difference	
Base Rate	\$	2.00	\$ 2.00	\$ -	
Rate/1000 gallons	\$	-	\$ -	\$ -	
		Cost per Month		FY22 Increase	
Consumption (in gallons)		FY21	FY22	%	\$
3,000	\$	2.00	\$ 2.00	0%	\$ -
5,000	\$	2.00	\$ 2.00	0%	\$ -
8,000	\$	2.00	\$ 2.00	0%	\$ -
11,000	\$	2.00	\$ 2.00	0%	\$ -

Utility Rates Increase Analysis					
		Cost per Month		FY22 Increase	
Consumption (in gallons)		FY21	FY22	%	\$
3,000	\$	75.34	\$ 75.95	1%	\$ 0.62
5,000	\$	100.34	\$ 101.23	1%	\$ 0.89
8,000	\$	137.84	\$ 139.14	1%	\$ 1.30
11,000	\$	175.34	\$ 177.05	1%	\$ 1.72



Physician's Building Rezoning Request

Ordinance No. 2021-10

AN ORDINANCE AMENDING CHAPTER 167 OF THE NORTH LIBERTY CODE OF ORDINANCES BY AMENDING THE USE REGULATIONS ON PROPERTY LOCATED ON THE WEST SIDE OF SOUTH KANSAS AVENUE APPROXIMATELY .23 MILES NORTH OF WEST FOREVERGREEN ROAD LOCATED IN NORTH LIBERTY, IOWA TO THOSE SET FORTH IN THE MUNICIPAL CODE FOR THE O/RP OFFICE AND RESEARCH PARK DISTRICT

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT. Chapter 167 of the North Liberty Code of Ordinances (2013) is hereby amended by amending the zoning for the property located on the west side of South Kansas Avenue approximately .23 miles north of West Forevergreen Road. The property is more particularly described as follows:

That portion of the northeast quarter of the northeast quarter of Section 22, Township 80 North, Range 7 West of the 5th P.M. lying north and east of the parcel conveyed for highway right of way by deed recorded in Book 339, Page 344, Deed Records of Johnson County, Iowa, subject to easements and restrictions of record, as recorded in Book 3830, Page 323, Office of the Recorder of Johnson County, Iowa. The property is also known as Johnson County, Iowa Parcel Number: 0622101003. Said property contains 33.48 acres, more or less.

Such that said property shall be classified and zoned as O/RP Office and Research Park District.

SECTION 2. CONDITIONS IMPOSED. The North Liberty Planning Commission voted to recommend approval with no conditions at the May 4, 2021 meeting with no conditions.

SECTION 3. ZONING MAP. It is hereby authorized and directed that the Zoning Map of the City of North Liberty, Iowa, be changed to conform to this amendment upon final passage, approval and publication of this ordinance as provided by law.

SECTION 4. RECORDATION. The City Clerk is hereby authorized and directed to record this ordinance at the Johnson County Recorder's office upon final passage and approval.

SECTION 5. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 6. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 7. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 8. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on May 25, 2021.

Second reading on June 8, 2021.

Third and final reading on _____.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2021-10 in the *North Liberty Leader* on _____.

TRACEY MULCAHEY, CITY CLERK



May 4, 2021

Terry L. Donahue, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of Physician's Building Group, LLC, contract purchaser, for a zoning map amendment (rezoning) on 33.48 acres, more or less, from ID Interim Development District to O/RP Office and Research Park District on property located on the west side of South Kansas Avenue approximately .23 miles north of West Forevergreen Road.

Mayor Donahue:

The North Liberty Planning Commission considered the above-reference request at its May 4, 2021 meeting. The Planning Commission took the following action:

Findings:

1. The zoning map amendment would be consistent the North Liberty Comprehensive Plan Land Use Plan; and
2. The proposed use of the property would be compatible with the area.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request for zoning map amendment from ID Interim Development District to O/RP Office and Research Park District to the City Council with a recommendation for approval.

The vote for approval was 7-0.

Becky Keogh, Chairperson
City of North Liberty Planning Commission



May 4, 2021

Terry L. Donahue, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of Physician's Building Group, LLC, contract purchaser, for a zoning map amendment (rezoning) on 33.48 acres, more or less, from ID Interim Development District to O/RP Office and Research Park District on property located on the west side of South Kansas Avenue approximately .23 miles north of West Forevergreen Road.

Mayor Donahue:

The North Liberty Planning Commission considered the above-reference request at its May 4, 2021 meeting. The Planning Commission took the following action:

Findings:

1. The zoning map amendment would be consistent the North Liberty Comprehensive Plan Land Use Plan; and
2. The proposed use of the property would be compatible with the area.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request for zoning map amendment from ID Interim Development District to O/RP Office and Research Park District to the City Council with a recommendation for approval.

The vote for approval was 7-0.

Becky Keogh, Chairperson
City of North Liberty Planning Commission



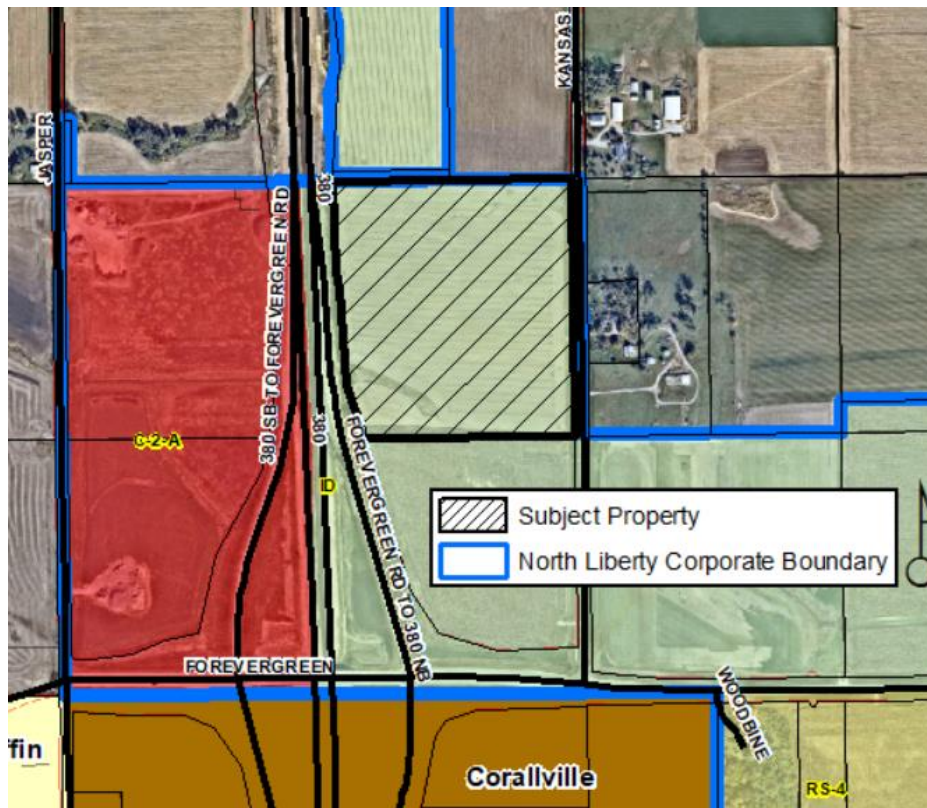
To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **April 29, 2021**
 Re **Request of Physician’s Building Group, LLC, contract purchaser, for a zoning map amendment (rezoning) on 33.48 acres, more or less, from ID Interim Development District to O/RP Office and Research Park District on property located on the west side of South Kansas Avenue approximately .23 miles north of West Forevergreen Road.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

Current Zoning:

The property is currently zoned ID – Interim Development District.



Proposed Zoning:

The applicant is requesting a zoning map amendment to the O/RP, Office and Research Park District to allow the property to be developed as medical offices with the potential for a hospital.

The O/RP Office and Research Park District is intended to accommodate office buildings, similar structures, and complementary uses in a mutually compatible environment. It is designed to provide landscaping and space requirements suitable for an office and research setting. Uses are limited to those compatible with an office setting and those which do not produce noise, air, or other environmental nuisances which might interfere with activities within the district and surrounding residential areas.

O/RP Uses

Land Use	
Banks, Credit Unions and Other Financial Institutions	P
Cable Communication Stations	C
Clinics, Health	P
Country Club	C
Educational Research Development and Service Facilities	P
Electrical Research Development and Service Facilities	P
Golf Courses	C
Hospitals and Institutions	P
Hotels	P
Libraries	P
Nurseries / Day Care	A
Office Uses Related to Medical, Educational, Financial, Research, Utility, Government, Nonprofit and Similar Operations	P
Office - Related Accessory Uses	A
Parks	P
Playgrounds	A
Print Shops	C
Radio Stations	C
Research Laboratories	P
Television Stations	C

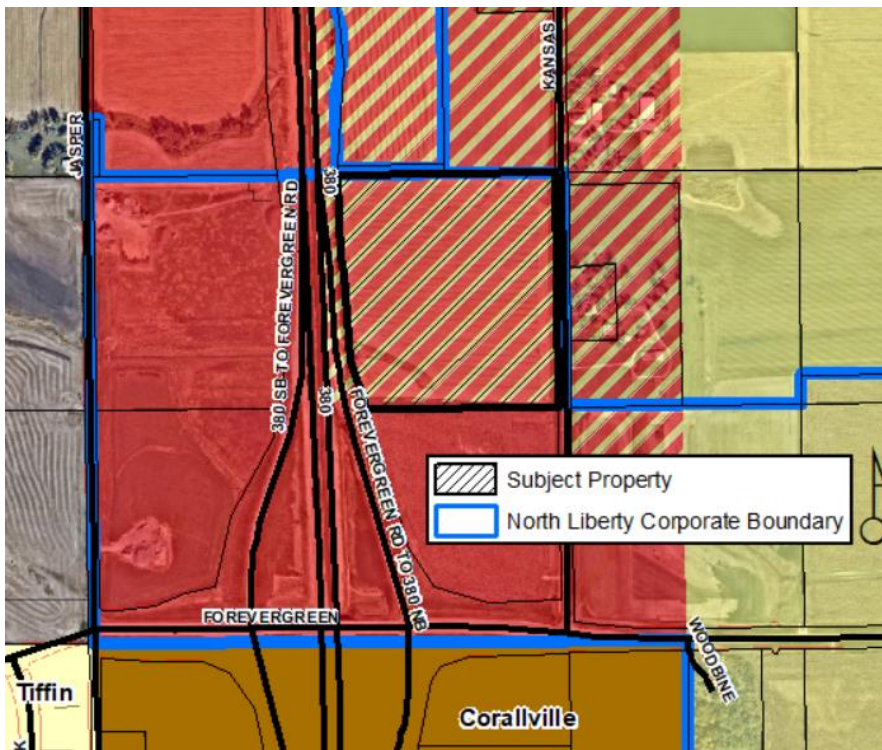
Temporary Construction Buildings	A
Trade Schools	P
Utility and Service Uses	P

Bulk Requirements

Principal Permitted Uses	Minimum Lot Size Requirement		
	Frontage	Width	Area
All Uses	100 feet	150 feet	1.5 acres
Minimum Yard Requirement			
Front Yard Depth	Each Side Yard Width	Rear Yard Depth	Maximum Height
50 feet	20 feet	50 feet	75 feet

Consistency with Comprehensive Plan:

Land Use Plan designation: Commercial with Residential.



The North Liberty Comprehensive Plan articulates the following regarding commercial uses:

The highest densities of more locally-oriented commercial uses are generally planned along Penn Street and along Highway 965. Interstate-related large scale office and mixed-use developments are planned for the Kansas Avenue corridor, especially between Kansas and I-380 and near the planned Forevergreen Road interchange. High visibility from the I-380 corridor presents an excellent opportunity to introduce high-quality office and commercial uses in this “front door” area, that may serve both the external demand associated with the I-380 proximity and access and the internal demand generated by substantial recent and planned residential development in the area.

Relevant Comprehensive Plan Policies Related to Land Use:

- Establish and maintain an advantageous property tax situation and pursue a strengthened and sound tax base through a diversification of land uses, including commercial and industrial development, as well as a variety of residential options.
- The preferred commercial use for I-380 frontage.

Public Input:

Letters were sent to property owners within 200 feet of the subject property notifying them of the April 8, 2021 good neighbor meeting. Approximately 10 people attended the meeting. People just had general questions about the type of development proposed.

The applicant shared that no plans have been generated at this point. They are seeking approval of the rezoning before formally acquiring the property.

Staff assured the adjacent property owners that development plans would be shared when they are received by the City.

Additional Considerations:

This property would be served by the southwest growth sewer project, which is programmed to be completed in late spring/early summer.

Staff Recommendation:

It is staff's opinion that the proposed use of the property is ideal with respect to Comprehensive Plan Land Use Policies and the proposed zoning is compatible with the area.

Staff is confident that Zoning Ordinance design regulations will ensure that the forthcoming development will add to North Liberty's high-quality built environment.

Findings:

1. The zoning map amendment would be consistent the North Liberty Comprehensive Plan Land Use Plan; and
2. The proposed use of the property would be compatible with the area.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request for zoning map amendment from ID Interim Development District to O/RP Office and Research Park District to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the two listed findings and forward the zoning map amendment to the City Council with a recommendation for approval.



Solomon Holdings LLC Rezoning Request

Ordinance No. 2021-11

AN ORDINANCE AMENDING CHAPTER 167 OF THE NORTH LIBERTY CODE OF ORDINANCES BY AMENDING THE USE REGULATIONS ON PROPERTY LOCATED ON THE WEST SIDE OF COMMUNITY DRIVE APPROXIMATELY 240 FEET SOUTH OF WEST PENN STREET LOCATED IN NORTH LIBERTY, IOWA TO THOSE SET FORTH IN THE MUNICIPAL CODE FOR THE C-2A PAD HIGHWAY COMMERCIAL DISTRICT PLANNED AREA DEVELOPMENT

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT. Chapter 167 of the North Liberty Code of Ordinances (2013) is hereby amended by amending the zoning for the property located on the west side of Community Drive approximately 240 feet south of West Penn Street. The property is more particularly described as follows:

All of Lot 2, Liberty Centre Part 1B, a Subdivision of Lot 13, Liberty Centre Part One, according to the plat thereof recorded in book 52, page 308, Plat Records of Johnson County, Iowa, and part of Lot 12, Liberty Centre – Part One, North Liberty, Iowa, according to the plat thereof recorded in Book 47, Page 107, Plat Records of Johnson County, Iowa, being more particularly described as follows: Beginning at the northeasterly corner of said Lot 2; thence south 33° 51' 37" west 271.61 feet along the southerly line of said Lot 2 to the southeasterly corner of said Lot 2; thence north 56° 08' 20" west 252.48 feet along the westerly line of said Lot 2 to the southwesterly corner of said Lot 2; thence north 16° 55' 54" west 250.42 feet along a westerly line of said Lot 12; thence north 82° 25' 46" east 260.67 feet to the easterly line of said Lot 12; thence southeasterly 273.85 feet along the arc of a 230.00 foot radius curve concave northeasterly (chord bearing south 42° 52' 41" east 257.96 feet) along said easterly line of Lot 12 and along the easterly line of said Lot 2 to the point of beginning and containing 2.32 acres more or less.

Such that said property shall be classified and zoned as C-2A PAD Highway Commercial District Planned Area Development.

SECTION 2. CONDITIONS IMPOSED. The North Liberty Planning Commission voted to recommend approval with no conditions at the May 4, 2021 meeting with the following conditions:

1. That the bulk regulations on Sheet C101 be revised to "rear yard setback: 20"; **2.** That the parking calculations on Sheet C101 be revised for the Tin Roost to "restaurant – 1 for every 100 SF – 81 spaces". 81 parking spaces was shown on the 2016 approved site plan; **3.** That a Plat of Survey be prepared and recorded, which shows the reconfigured lots and all easements. All easements shall be subject to approval as to form and content by the City Attorney; **4.** That the ownership of the newly created lot be transferred from NLCD Lot 12 LC to a new ownership entity; **5.** That a temporary construction easement be obtained for the construction occurring on Lot 1 Liberty Center Part 1B. The easement shall be subject to approval as to form and content

by the City Attorney; **6.** That the Driveway Crossing Detail on Sheet C201 be amended such that the public sidewalk be designed and constructed through the proposed drive approach at sidewalk elevation and detectable warnings be removed in accordance with SUDAS and North Liberty amendments to SUDAS; **7.** That the plans be updated to provide sufficient detail on grading and all spot elevations, slopes, etc, especially near the proposed overflow weir location; **8.** That the plans be updated to demonstrate how the overland overflow route for the Community Drive will flow through this site without causing damage to buildings and property. That the plans graphically illustrate the 100-year ponding elevation on site as the overland flow flows over the proposed weir to the pond; **9.** That the plans be updated to clearly list the inverts and length/slope of 24" storm sewer pipe on the plans and that the drainage analysis be revised accordingly. This is due to the existing 24" storm sewer pipe running through this site being listed at 2.6% in the 5-year drainage analysis and the same pipe being listed as 1.7% slope in the 100-year drainage analysis. Surveyed inverts/slopes are not clearly provided on the plans, but appear to be 1.7% slope; **10.** That the drainage calculations be revised to address the following: Provide supporting calculations and the computer generated HGL line for the 100-year storm event; Shive-Hattery did not provide a 100-year pond elevation of 767.00. This was simply a guess. Remove this statement from the report. The Snyder calculations appear to have the 100-year pool elevation on the last page. The engineer is responsible for determining the tailwater elevation for the drainage analysis; The calculations need to include the analysis of the emergency overland flow between the proposed two buildings. Show all supporting calculations. The paragraph submitted is not acceptable with "rough" elevations and no calculations. This paragraph is also based on a weir elevation of 773.00. The elevation on the grading plans show one spot elevation at this location (more information is needed on the grading plans) of 773.50; **11.** That the revised plans and stormwater report be signed and sealed.

SECTION 3. ZONING MAP. It is hereby authorized and directed that the Zoning Map of the City of North Liberty, Iowa, be changed to conform to this amendment upon final passage, approval and publication of this ordinance as provided by law.

SECTION 4. RECORDATION. The City Clerk is hereby authorized and directed to record this ordinance at the Johnson County Recorder's office upon final passage and approval.

SECTION 5. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 6. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 7. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 8. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on May 25, 2021.

Second reading on June 8, 2021.

Third and final reading on _____.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2021-11 in the *North Liberty Leader* on _____.

TRACEY MULCAHEY, CITY CLERK



May 4, 2021

Terry L. Donahue, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of Solomon Holdings, LLC on behalf of NLDC Lot 12, LC for a zoning map amendment (rezoning) on 2.46 acres, more or less, from C-2A Highway Commercial District to C-2A PAD Highway Commercial District Planned Area Development on property located on the west side of Community Drive approximately 240 feet south of West Penn Street.

Mayor Donahue:

The North Liberty Planning Commission considered the above-reference request at its May 4 2021 meeting. The Planning Commission took the following action:

Findings:

1. Since the underlying zoning is C-2A, the request would be consistent the North Liberty Comprehensive Plan Land Use Plan;
2. The proposed use and density of the development would be compatible with the area;
3. The zoning map amendment achieves consistency with Section 168.12 of the North Liberty Code of Ordinances, entitled "PAD Zone – Planned Area Development Overlay District and the site plan achieves consistency with Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements" with the conditions recommended by City staff.

Recommendation:

The Planning Commission accepted the three listed findings and forwards the request for a for a zoning map amendment (rezoning) to the City Council with a recommendation for approval subject to the following conditions:

1. That the bulk regulations on Sheet C101 be revised to "rear yard setback: 20"
2. That the parking calculations on Sheet C101 be revised for the Tin Roost to "restaurant – 1 for every 100 SF – 81 spaces". 81 parking spaces was shown on the 2016 approved site plan.
3. That a Plat of Survey be prepared and recorded, which shows the reconfigured lots and all easements. All easements shall be subject to approval as to form and content by the City Attorney.
4. That the ownership of the newly created lot be transferred from NLCD Lot 12 LC to a new ownership entity.

5. That a temporary construction easement be obtained for the construction occurring on Lot 1 Liberty Center Part 1B. The easement shall be subject to approval as to form and content by the City Attorney.
6. That the Driveway Crossing Detail on Sheet C201 be amended such that the public sidewalk be designed and constructed through the proposed drive approach at sidewalk elevation and detectable warnings be removed in accordance with SUDAS and North Liberty amendments to SUDAS.
7. That the plans be updated to provide sufficient detail on grading and all spot elevations, slopes, etc, especially near the proposed overflow weir location.
8. That the plans be updated to demonstrate how the overland overflow route for the Community Drive will flow through this site without causing damage to buildings and property. That the plans graphically illustrate the 100-year ponding elevation on site as the overland flow flows over the proposed weir to the pond.
9. That the plans be updated to clearly list the inverts and length/slope of 24" storm sewer pipe on the plans and that the drainage analysis be revised accordingly. This is due to the existing 24" storm sewer pipe running through this site being listed at 2.6% in the 5-year drainage analysis and the same pipe being listed as 1.7% slope in the 100-year drainage analysis. Surveyed inverts/slopes are not clearly provided on the plans, but appear to be 1.7% slope.
10. That the drainage calculations be revised to address the following:
 - Provide supporting calculations and the computer generated HGL line for the 100-year storm event.
 - Shive-Hattery did not provide a 100-year pond elevation of 767.00. This was simply a guess. Remove this statement from the report. The Snyder calculations appear to have the 100-year pool elevation on the last page. The engineer is responsible for determining the tailwater elevation for the drainage analysis.
 - The calculations need to include the analysis of the emergency overland flow between the proposed two buildings. Show all supporting calculations. The paragraph submitted is not acceptable with "rough" elevations and no calculations. This paragraph is also based on a weir elevation of 773.00. The elevation on the grading plans show one spot elevation at this location (more information is needed on the grading plans) of 773.50.
11. That the revised plans and stormwater report be signed and sealed.

The vote for approval was 7-0.

Becky Keogh, Chairperson
City of North Liberty Planning Commission



May 4, 2021

Terry L. Donahue, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of Solomon Holdings, LLC on behalf of NLDC Lot 12, LC for a zoning map amendment (rezoning) on 2.46 acres, more or less, from C-2A Highway Commercial District to C-2A PAD Highway Commercial District Planned Area Development on property located on the west side of Community Drive approximately 240 feet south of West Penn Street.

Mayor Donahue:

The North Liberty Planning Commission considered the above-reference request at its May 4 2021 meeting. The Planning Commission took the following action:

Findings:

1. Since the underlying zoning is C-2A, the request would be consistent the North Liberty Comprehensive Plan Land Use Plan;
2. The proposed use and density of the development would be compatible with the area;
3. The zoning map amendment achieves consistency with Section 168.12 of the North Liberty Code of Ordinances, entitled "PAD Zone – Planned Area Development Overlay District and the site plan achieves consistency with Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements" with the conditions recommended by City staff.

Recommendation:

The Planning Commission accepted the three listed findings and forwards the request for a for a zoning map amendment (rezoning) to the City Council with a recommendation for approval subject to the following conditions:

1. That the bulk regulations on Sheet C101 be revised to "rear yard setback: 20"
2. That the parking calculations on Sheet C101 be revised for the Tin Roost to "restaurant – 1 for every 100 SF – 81 spaces". 81 parking spaces was shown on the 2016 approved site plan.
3. That a Plat of Survey be prepared and recorded, which shows the reconfigured lots and all easements. All easements shall be subject to approval as to form and content by the City Attorney.
4. That the ownership of the newly created lot be transferred from NLCD Lot 12 LC to a new ownership entity.

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8. That the plans be updated to demonstrate how the overland overflow route for the Community Drive will flow through this site without causing damage to buildings and property. That the plans graphically illustrate the 100-year ponding elevation on site as the overland flow flows over the proposed weir to the pond.
9. That the plans be updated to clearly list the inverts and length/slope of 24" storm sewer pipe on the plans and that the drainage analysis be revised accordingly. This is due to the existing 24" storm sewer pipe running through this site being listed at 2.6% in the 5-year drainage analysis and the same pipe being listed as 1.7% slope in the 100-year drainage analysis. Surveyed inverts/slopes are not clearly provided on the plans, but appear to be 1.7% slope.
10. That the drainage calculations be revised to address the following:
 - Provide supporting calculations and the computer generated HGL line for the 100-year storm event.
 - Shive-Hattery did not provide a 100-year pond elevation of 767.00. This was simply a guess. Remove this statement from the report. The Snyder calculations appear to have the 100-year pool elevation on the last page. The engineer is responsible for determining the tailwater elevation for the drainage analysis.
 - The calculations need to include the analysis of the emergency overland flow between the proposed two buildings. Show all supporting calculations. The paragraph submitted is not acceptable with "rough" elevations and no calculations. This paragraph is also based on a weir elevation of 773.00. The elevation on the grading plans show one spot elevation at this location (more information is needed on the grading plans) of 773.50.
11. That the revised plans and stormwater report be signed and sealed.

The vote for approval was 7-0.

Becky Keogh, Chairperson
City of North Liberty Planning Commission



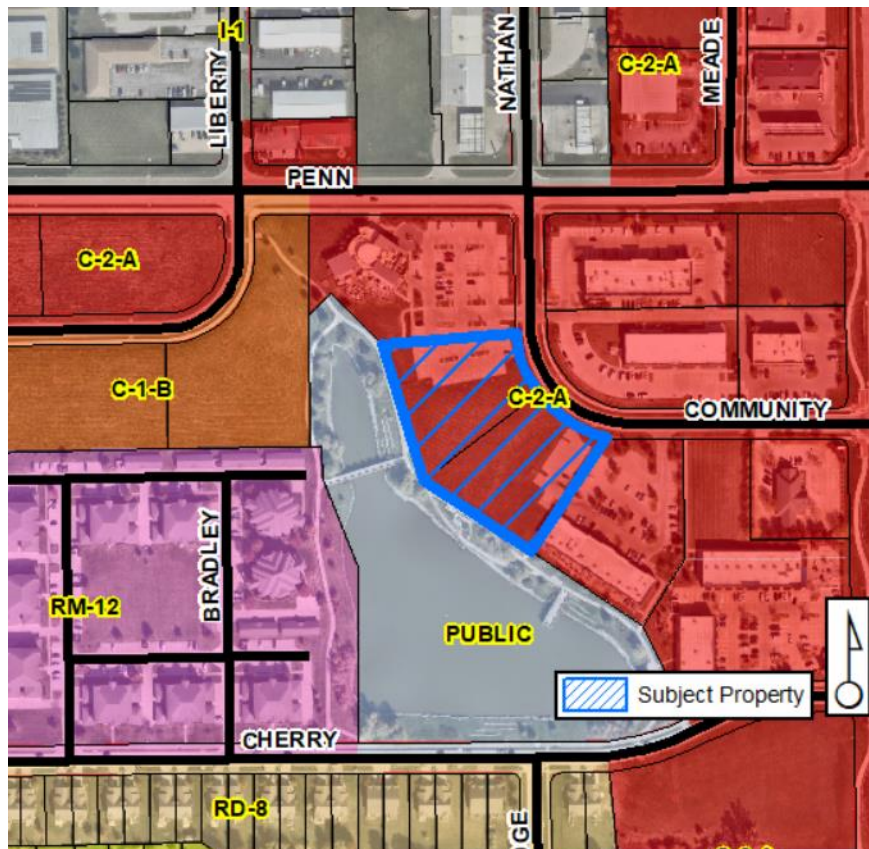
To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **April 29, 2021**
 Re **Request of Solomon Holdings, LLC on behalf of NLDC Lot 12, LC for a zoning map amendment (rezoning) on 2.46 acres, more or less, from C-2A Highway Commercial District to C-2A PAD Highway Commercial District Planned Area Development on property located on the west side of Community Drive approximately 240 feet south of West Penn Street.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Current Zoning:

The property is currently zoned C-2A Highway Commercial District.



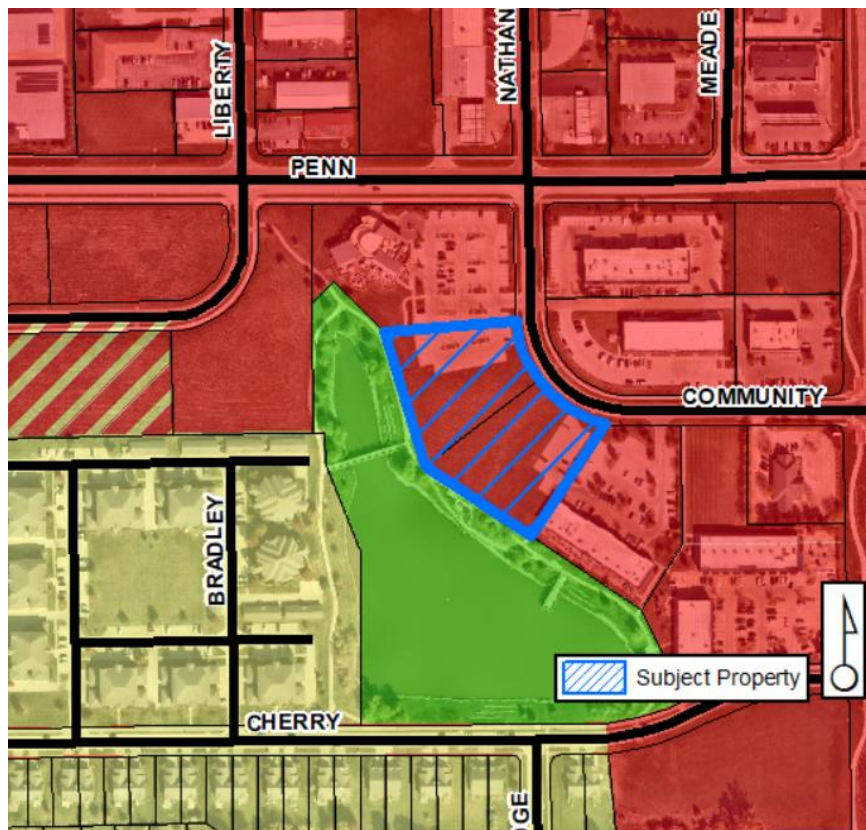
2. Proposed Zoning:

The applicant is requesting the Planned Area Development Overlay District to allow for a four-story, 60-unit residential building and a one-story office/retail building.

The application proposes expanding a commercial lot with overflow parking into the southern part of the Tin Roost property. The development contemplates the relocation of a stormwater drainage infrastructure, which is currently located between the existing two lots.

A Planned Area Development Zone District is intended to encourage innovation and flexibility in planning the development of land so development is compatible with the site's physical and environmental characteristics. This district allows for flexibility in zone district requirements. The Planned Area Development District provides an opportunity for the development of a mixture of uses and housing types in a coordinated manner. The intent of the underlying zone district shall guide the development. It is incumbent upon the person proposing the PAD to justify the project, and any variations from the underlying zone district. A PAD is considered an amendment to the underlying zone district regulations.

3. Comprehensive Plan Future Land Use Map Designation: Commercial



The North Liberty Comprehensive Plan articulates the following regarding commercial uses:

The highest densities of more locally-oriented commercial uses are generally planned along Penn Street and along Highway 965. Interstate-related large scale office and mixed-use developments are planned for the Kansas Avenue corridor, especially between Kansas and I-380 and near the planned Forevergreen Road interchange. High visibility from the I-380 corridor presents an excellent opportunity to introduce high-quality office and commercial uses in this “front door” area that may serve both the external demand associated with the I-380 proximity and access and the internal demand generated by substantial recent and planned residential development in the area.

Relevant Comprehensive Plan Policies Related to Land Use:

- Establish and maintain an advantageous property tax situation and pursue a strengthened and sound tax base through a diversification of land uses, including commercial and industrial development, as well as a variety of residential options.
- Support high density and medium density housing in close proximity to commercial and service centers to provide intensity-of-use buffers for low density residential uses.
- Concentrate higher density, apartment-type housing in proximity to areas that offer a wide range of existing supportive services, commercial and recreational facilities.

It is staff’s opinion that because the underlying zoning is C-2A that the request would be consistent with the North Liberty Comprehensive Plan Land Use Plan. The Liberty Commerce Center west of the subject property, contains residential development, is zoned C-2A and is designated Commercial on the Future Land Use Map.

4. Public Input:

Letters were sent to property owners within 200 feet of the subject property notifying them of the March 10, 2021 good neighbor meeting. The map below shows the notice boundary. The residential property to the west is a condominium. Therefore, all of the 120 unit owners were notified.

A small number of people attended the good neighbor meeting and had general questions about the development.

To date, staff has received two letters of objection. The objection pertains to the use of the property being residential.



5. Analysis of the Request:

Permissibility of the Request:

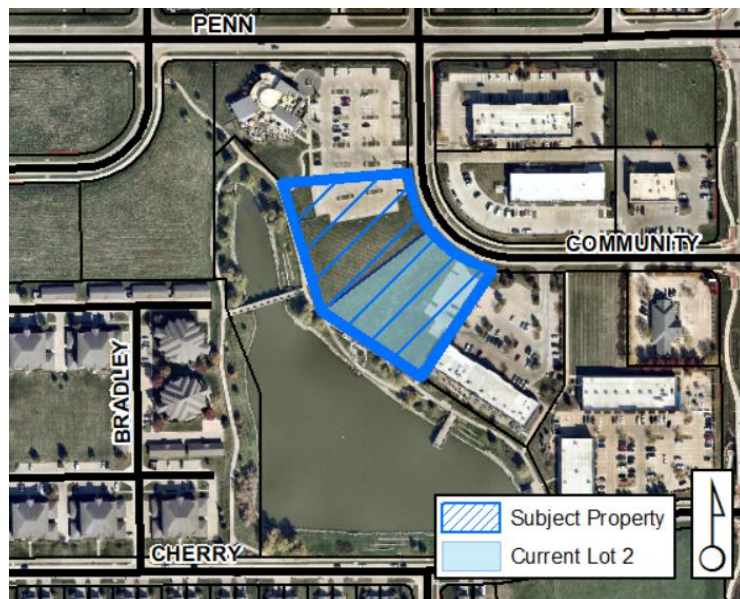
As mentioned, the applicant is requesting the Planned Area Development Overlay District (PAD) to allow for a four-story, 60-unit residential building and a one-story office/retail building.

The Planned Area Development is being requested to allow the flexibility of having a multiple-unit dwellings, which is not allowed with in the underlying C-2A District alone. However, the PAD reads in part, "A planned area development that will contain uses not permitted in the zoning district in which it is to be located will require a change of zoning and shall be accompanied by an application for a zoning amendment, except that any residential use shall be considered a permitted use and shall be governed by density, design and other requirements of the planned area development permit."

Therefore, from an approval standpoint, the number of proposed residential units is permissible if approved as a PAD.

Reconfiguration of Lots and Existing Infrastructure:

The application proposes reconfiguring Liberty Centre Part 1B, Lot 2 and a portion of Liberty Centre Part One, Lot 12.



Lot 2 is currently developed with overflow parking for the adjacent commercial building to the east and a stormwater infrastructure, which drains stormwater from Community Drive to Liberty Centre Pond. Lot 12 is currently developed with the Tin Roost restaurant, but also contains a portion of the lot, which is underutilized. The stormwater infrastructure would be partially relocated to accommodate the proposed development. A plat of survey will be required for the reconfigured lots.

Reduction in Required Off-Street Parking:

It is staff's opinion that the required minimum number of off-street parking spaces for several uses are both excessive and antiquated. Staff is currently drafting a repeal and replacement of the City's Off-Street Parking Ordinance to address many of the forthcoming concerns.

Current Ordinance:

Required Number of Parking Spaces. The off-street parking spaces required for each use permitted by this code shall not be less than as set out in Table 169-A, provided that any fractional parking space be computed as a whole space. Notwithstanding the amount of off-street parking required by this code, the Code Official may approve less off-street parking when the proponent of a use demonstrates that, because of special circumstances involved with a particular use, it is obvious that the off-street parking required by this code exceeds any reasonable likely need.

Table 169-A – Off-Street Parking Schedule (abbreviated)

USE	NUMBER OF PARKING SPACES REQUIRED
Professional/Medical Office	1 for every 200 gross square feet
Retail	1 for every 200 gross square feet
Restaurant	1 for every 100 gross square feet
Restaurant, Delivery, No seating	1 for every 500 gross square feet, plus 1 per employee
Multi-Family Units	2.2 per dwelling unit

It appears that the City required the overflow parking on Lot 2 because a large restaurant was being proposed in the adjacent commercial building.

Jimmy Jacks – 3096 sf, Sushiya Restaurant – 1560 sf – 47 parking spaces

Overall, the building is 13,856. So 9,200 is non-restaurant – 46 parking spaces.

Total Required – 93 parking spaces. Total provided – 92 parking spaces.

Notably, the off-street parking regulations do not provide a parking ratio for a multi-unit commercial building. This is troubling because a potential commercial tenant could be denied because it is a different use, such as from retail to restaurant.

The Tin Roost was required to provide a minimum of 81 parking spaces, but chose to provide 127 parking spaces.

The parking calculations provided for the proposed development are as follows:

Multi-Unit Residence

- Required by Ordinance – 132 spaces (2.2 per DU)
- Proposed – 100 spaces (1.67 per DU)

4,300 sf Office/Retail

- Required by Ordinance – 22 spaces.
- Proposed – 22 spaces.

The site plan notes that an additional 20 spaces on the Tin Roost property would be available for shared parking for the residential use.

The table below represents contemplated changes based on research of recently adopted Off-Street Parking Ordinance. Please note that the purpose of the off-street parking is to require a minimum amount of off-street parking.

Table 169.01-3: Off-Street Vehicle Parking Requirements				
USE	CONTEMPLATED CHANGE	CURRENT CODE	CEDAR RAPIDS Adopted in 2020	DAVENPORT ADOPTED in 2019
Dwelling, Multiple Unit				
<i>Studio, 1 bedroom</i>	1.5 per du	2.2 per du	Studio – 1 per du 1 bedroom – 1.5 per du	1.5 per du
<i>2 bedroom</i>	1.5 per du	2.2 per du	2 per du	1.5 per du
<i>Over 2 bedroom</i>	2 per du + .5 for each bedroom over 2	2.2 per du	2 per du + .5 for each bedroom over 2	1.5 per du
Restaurant	1 per 200 sf GFA	1 per 100 GFA 1 per 500 GFA (no delivery)	1 per 200 SF GFA	1 per 300sf GFA
Retail Goods Establishment	1 per 350sf GFA	1 per 200sf GFA	1 per 333 SF GFA	1 per 500sf GFA
Office	1 per 350sf GFA	1 per 200sf GFA	1 per 333sf GFA	1 per 500sf GFA

* Parking for multi-tenant commercial centers is calculated as one space required per 300 square feet of gross floor area, rather than by the individual uses.

Applying contemplated changes to the Off-Street Parking Ordinance reveals the following:

Subject Property:

Multi-Unit Residence

- Contemplated changes – 90 spaces (1.5 per DU)
- Proposed – 100 spaces (1.67 per DU)

4,300 sf Office/Retail

- Contemplated changes – 13 spaces.
- Proposed – 22 spaces.

The site plan notes that an additional 20 spaces on the Tin Roost property would be available for shared parking for the residential use.

Tin Roost Property:

8,057 sf Restaurant

- Contemplated changes – 41 spaces.
- Proposed – 75 spaces.

Adjacent Property to the East:

13,856 sf Multi-Tenant Building

- Contemplated changes – 47 spaces.
- Provided – 92 spaces.

It is staff's opinion that "...it is obvious that the off-street parking required by this code exceeds any reasonable likely need" for all three properties. Therefore, City staff would approve less off-street parking pursuant to the proposed plan and stated remaining parking spaces.

Compatibility of the Use with the Area:

Building Scale:

As mentioned, the application proposes a four-story, 60-unit residential building with a building area of just under 60,000 square feet. The proposed building height from grade to the top of the parapet is 48' 8" (52' 4" to the top of the turret).

To draw some comparison, Keystone Place at Forevergreen is a three-story, 75 unit building with a building area of 148,549 square feet. The building height from grade to the top of the roof is 48.5' from grade to the top of roof. Notably, Keystone has much larger footprint (43,434 SF vs. 14,687 SF) and width along the public street (343' vs 257') than the proposed building.

Compatibility with the Surrounding Area:

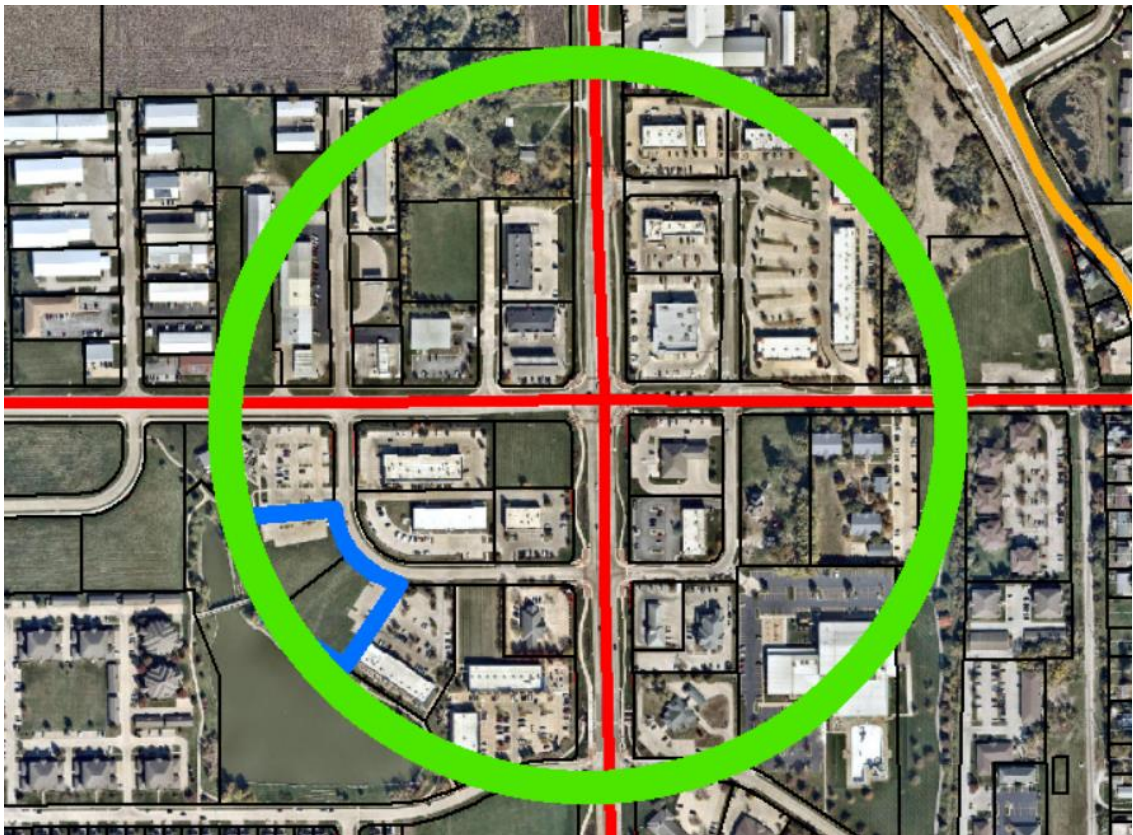
The property to the west is zoned RM-12 and contains 120 units on 9.67 acres (12.41 units/acre). The PAD was utilized to allow for a three story building as opposed to a two and half story building. Eight of the buildings are 41' from grade to the top of the roof. Two buildings adjacent to the subject property are 43' from grade to the top of the roof.

One notable Comprehensive Plan Policy related to Land Use is worth repeating:

- Concentrate higher density, apartment-type housing in proximity to areas that offer a wide range of existing supportive services, commercial and recreational facilities.

Below is a graphical representation of an urban node, which is an approximately 1,000 foot radius from the intersection of two major arterial roadways, Ranshaw Way and West Penn Street. A node is the concentration of development near the intersection of major arterials where higher density, mixed-use development should occur. Within this node there is retail, office, restaurant and recreational amenities within walking distance. Additionally, Ranshaw Way and Penn Street are likely transit corridors, so mixed use intensity and density should be encouraged in this location.

Staff recognizes that the proposed development is on the higher end of residential density. Certainly, this density wouldn't be appropriate in all locations within the City. However, staff advocates that the proposed development is appropriate at this urban node.



Approval standards:

Section 168.12 of the North Liberty Code of Ordinances, entitled "PAD Zone – Planned Area Development Overlay District" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

3. *Conditions.*

A. *Area. No planned area development shall have area less than that approved by the Council as adequate for the proposed development.*

Compliant. See Sheet C101.

B. *Uses. A planned area development that will contain uses not permitted in the zoning district in which it is to be located will require a change of zoning and shall be accompanied by an application for a zoning amendment, except that any residential use shall be considered a permitted use and shall be governed by density, design and other requirements of the planned area development permit.*

Compliant. There would be 60 residential units on 2.32 acres and a 4,300 sf office/retail building.

C. *Ownership. The development shall be in single or corporate ownership at the time of application, or the subject of an application filed jointly by all owners of the property.*

Staff is recommending that the ownership of the newly created lot be transferred from NLCD Lot 12 LC to a new ownership entity. The applicant is in agreement with this condition.

D. *Design. The Commission and Council shall require such arrangements of structures and open spaces within the site development plan as necessary to ensure that adjacent properties will not be adversely affected.*

(1) *Density. Density of land use shall in no case be more than 25 percent higher than allowed in the zoning district, except not more than 10 percent higher in residential districts.*

Compliant. There is no density limitation in commercial zoning.

(2) *Arrangement. Where feasible, the least height and density of buildings and uses shall be arranged around the boundaries of the development.*

Compliant. Architectural Sheet 03 shows a building height of 48'8" to the top of the parapet (52'4" to the top of turret).

(3) *Specific Regulations. Lot area, width, yard, height, density, and coverage regulations shall be determined by approval of the site plan.*

See analysis of site plan.

- E. *Open Spaces. Preservation, maintenance, and ownership of required open spaces within the development shall be accomplished by either:*
- (1) *Dedication of land as a public park or parkway system, or*
 - (2) *Granting to the jurisdiction a permanent, open space easement on and over the said private open space to guarantee that the open space remain perpetually in recreational use, with ownership and maintenance being the responsibility of an owners' association established with articles of association and bylaws which are satisfactory to the Council.*

Compliant. Open space is not required to be provided in the C-2A District. However, the proposed development would contain walkways and a common area feature. Notably, the property is adjacent to the Liberty Centre Pond, which is a wonderful community open space.

- F. *Landscaping. Landscaping, fencing, and screening related to the uses within the site and as means of integrating the proposed development into its surroundings shall be planned and presented to the Commission and Council for approval, together with other required plans for the development. A planting plan showing proposed tree and shrubbery plantings shall be prepared for the entire site to be developed. A grading and drainage plan shall also be submitted to the Commission and Council with the application.*

Compliant. See Sheet C500.

- G. *Signs. The size, location, design, and nature of signs, if any, and the intensity and direction of floodlighting shall be detailed in the application.*

Compliant. Building mounted signage shown on architectural renderings.

- H. *Exterior Lighting. The size, material type, location, and intensity of all exterior lighting shall be detailed in the application.*

Compliant. See Sheet PH1.

- I. *Desirability. The proposed use of the particular location shall be shown, as necessary or desirable, to provide a service or facility which will contribute to the general well-being of the surrounding area. It shall also be shown that under the circumstances of the particular case, the proposed use will not be detrimental to the health, safety, or general welfare of persons residing in the vicinity of the planned area development.*

Complaint. The applicant has provided a write-up providing the vision and desirability of the proposed development.

4. *Commission and Council Determination. In carrying out the intent of this section, the Commission and Council shall consider the following principles:*

- A. *It is the intent of this section that site and building plans for a planned area development shall be prepared by a designer or team of designers having professional competence in urban planning as proposed in the application. The Commission and Council may require the applicant to engage such expertise as a qualified designer or designer team.*

Compliant. Plans have been provided by a professional design team.

- B. *The Council may approve or disapprove an application for a planned area development. In approval, the Council may attach such conditions as it may deem necessary to secure compliance with the purpose set forth in this chapter.*

Determined at the time of City staff's recommendation and/or City Council's consideration.

Site Plan Requirements:

The Planned Area Development Overlay District requires submittal of a site plan. Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements" sets forth the approval standards.

2. *Site Plan Requirements. Site plans, which are required for review and approval for any use in any district or elsewhere by this code, shall comply with and illustrate the following:*

- D. *All site plans shall clearly illustrate the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, relationship to flood overlay zones, and such other information as necessary to show compliance with the requirements of this code. A preliminary site plan may be submitted for preliminary land use approval; however, the final site plan required by this code shall be submitted, reviewed, and approved prior to the issuance of building or construction permits.*

See analysis of site plan.

- E. *The site plan shall include the following legal information:*

- (1) *Legal property owner's name and description of property.*

Staff is recommending that a Plat of Survey be prepared and recorded, which shows the reconfigured lots and all easements. The applicant is in agreement with this condition.

- (2) *Applicant's name, requested land use, and zoning.*

Compliant. See Sheet C101.

- (3) *If the applicant is other than the legal owner, the applicant's interest shall be indicated and the legal owner's authority to appeal shall be certified.*

Solomon Holdings LLC is part of the ownership structure of NLCD Lot 12 LC.

- F. *The site plan shall clearly illustrate in color perspective and enumerate the following information:*

- (1) *Property boundary lines, dimensions, and total area.*

Compliant. This information is shown on multiple sheets.

- (2) *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the final site plan.*

Compliant. See Sheet C300.

- (3) *The availability and location of existing utilities.*
Compliant. See Sheet C400.
- (4) *The proposed location, size, shape, color, and material type of all buildings or structures.*
Compliant. See Architectural renderings.
- (5) *The total square feet of building floor area, both individually and collectively.*
Compliant. See Sheet C101 and Architectural renderings. (6) *The number of dwelling units, bedrooms, offices, etc., as required to determine special compliance.*
Compliant. Sheet C101 and Architectural Sheets 01 and 02.
- (7) *The proposed location of identification signs. An identification sign is defined as a sign displaying the name, address, insignia or trademark, and occupant of a building or the name of any building on the premises. Installation shall be in accordance with the Chapter 173 of this code.*
Compliant. Building mounted signage shown on architectural renderings.
- (8) *A vicinity sketch showing detailed adjacent land uses within 500 feet of the property and general existing land uses within 1,000 feet of the property.*
Compliant. See Sheet C100.
- (9) *Existing buildings, right-of-way, street improvements, utilities (overhead or underground), easements, drainage courses, vegetation and large trees, etc.*
Compliant. See Sheet C102.
- (10) *Parking areas, number of parking spaces proposed, number of parking spaces required by this code, type of surfacing to be used, etc.*
Compliant. Sheet C103. An ingress, egress and parking easement will need to be recorded for the area of shared parking and to allow for the side parking lots setback to be 0'. The easement document will subject to approval as to form and content by the City Attorney.
- (11) *Walkways, driveways, outside lighting, walls, fences, signs, monuments, statues and other manmade features to be used in the landscape.*
Compliant. Sheets C200 and 201 for walkways, drives and common area feature. No walls, fences, freestanding signs or monuments are proposed.
- (12) *Location and type of all plants, grass, trees, or ground cover to be used in the landscape. Landscaping shall be illustrated in elevation and color perspective with the size and exact names of plants, shrubs, or trees to be planted clearly indicated.*
Compliant. Sheet C500 and Architectural sheet 06.

(13) *Walls, fences or other artificial screens to be used as buffers shall be shown in elevation and color perspective with proposed height and structural material to be used indicated. See Section 169.02 for the guidelines concerning landscaping.*

Not applicable.

(14) *Traffic considerations, architectural themes, pedestrian movement, etc., and all other considerations pertinent to the proposed use may be requested for illustration or statistical purposes.*

Compliant. The additional traffic created by the proposed development is not anticipated to cause a negative impact to the transportation network. The architectural theme would blend nicely with the adjacent Tin Roost development

(15) *The methods of compliance with all applicable flood plain development standards and flood (overlay) districts as contained in this code.*

Not applicable.

Additional Considerations:

This is a challenging site to design from an engineering standpoint. It is staff's opinion that the overall design is acceptable. It should be recognized that the Planned Area Development Overlay District requires a concurrent site plan, which in turn requires such level of detail as construction plans. Therefore, there are a few minor details that need to be provided or addressed. It is staff's opinion that the plans would achieve consistency with Section 168.12 of the North Liberty Code of Ordinances, entitled "PAD Zone – Planned Area Development Overlay District and the site plan achieves consistency with Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements" with conditions recommended by City staff.

Findings:

1. Since the underlying zoning is C-2A, the request would be consistent the North Liberty Comprehensive Plan Land Use Plan;
2. The proposed use and density of the development would be compatible with the area;
3. The zoning map amendment achieves consistency with Section 168.12 of the North Liberty Code of Ordinances, entitled "PAD Zone – Planned Area Development Overlay District and the site plan achieves consistency with Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements" with the conditions recommended by City staff.

Recommendation:

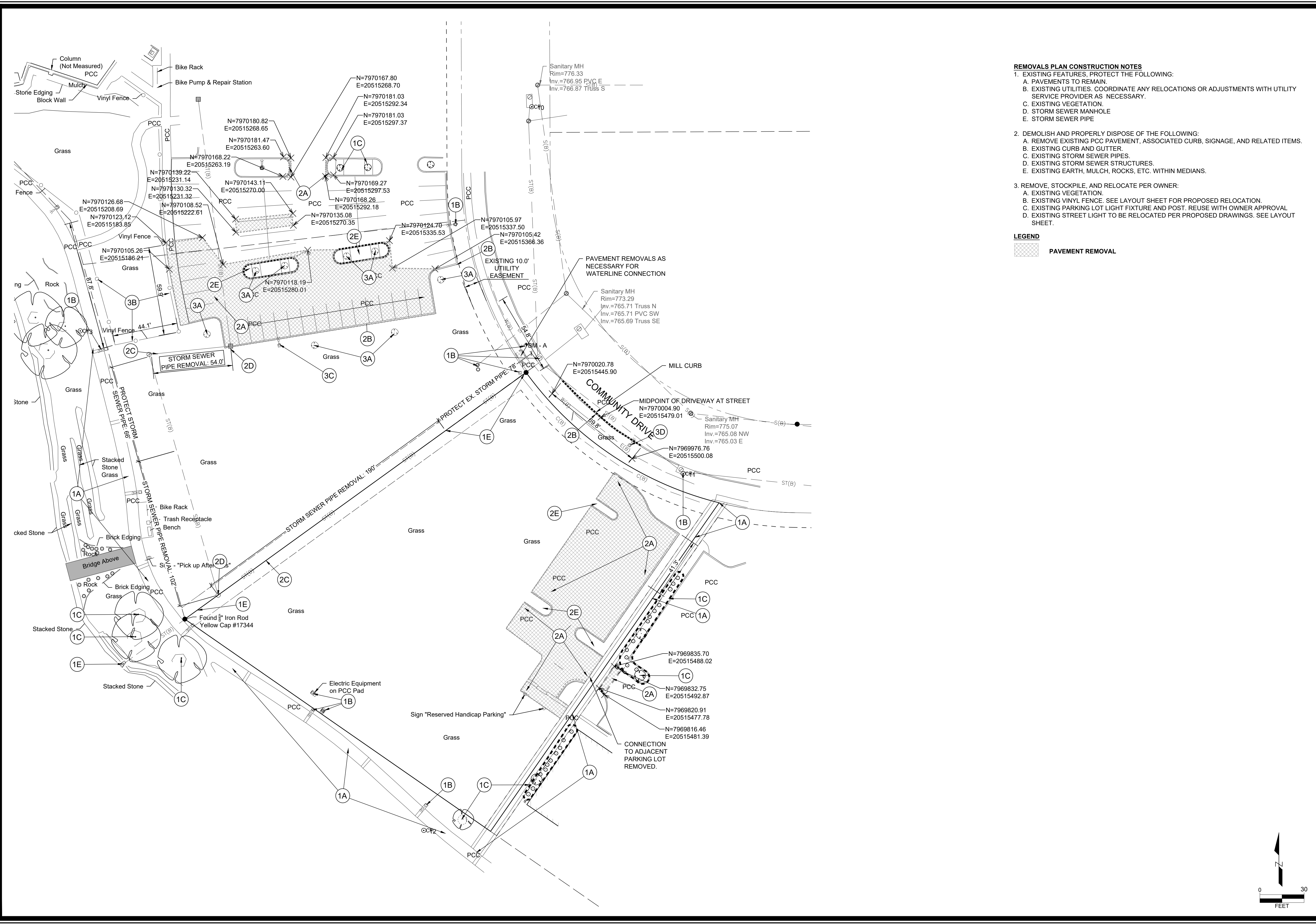
Staff recommends the Planning Commission accept the three listed findings and forward the request of Solomon Holdings, LLC on behalf of NLDC Lot 12, LC for a zoning map amendment (rezoning) on 2.46 acres, more or less, from C-2A Highway Commercial District to C-2A PAD Highway Commercial District Planned Area Development on property located on the west side of Community Drive approximately 240 feet south of West Penn Street to the City Council with a recommendation for approval subject to the following conditions:

1. That the bulk regulations on Sheet C101 be revised to "rear yard setback: 20"
2. That the parking calculations on Sheet C101 be revised for the Tin Roost to "restaurant – 1 for every 100 SF – 81 spaces". 81 parking spaces was shown on the 2016 approved site plan.
3. That a Plat of Survey be prepared and recorded, which shows the reconfigured lots and all easements. All easements shall be subject to approval as to form and content by the City Attorney.
4. That the ownership of the newly created lot be transferred from NLCD Lot 12 LC to a new ownership entity.
5. That a temporary construction easement be obtained for the construction occurring on Lot 1 Liberty Center Part 1B. The easement shall be subject to approval as to form and content by the City Attorney.
6. That the Driveway Crossing Detail on Sheet C201 be amended such that the public sidewalk be designed and constructed through the proposed drive approach at sidewalk elevation and detectable warnings be removed in accordance with SUDAS and North Liberty amendments to SUDAS.
7. That the plans be updated to provide sufficient detail on grading and all spot elevations, slopes, etc, especially near the proposed overflow weir location.
8. That the plans be updated to demonstrate how the overland overflow route for the Community Drive will flow through this site without causing damage to buildings and property. That the plans graphically illustrate the 100-year ponding elevation on site as the overland flow flows over the proposed weir to the pond.
9. That the plans be updated to clearly list the inverts and length/slope of 24" storm sewer pipe on the plans and that the drainage analysis be revised accordingly. This is due to the existing 24" storm sewer pipe running through this site being listed at 2.6% in the 5-year drainage analysis and the same pipe being listed as 1.7% slope in the 100-year drainage analysis. Surveyed inverts/slopes are not clearly provided on the plans, but appear to be 1.7% slope.

10. That the drainage calculations be revised to address the following:
 - Provide supporting calculations and the computer generated HGL line for the 100-year storm event.
 - Shive-Hattery did not provide a 100-year pond elevation of 767.00. This was simply a guess. Remove this statement from the report. The Snyder calculations appear to have the 100-year pool elevation on the last page. The engineer is responsible for determining the tailwater elevation for the drainage analysis.
 - The calculations need to include the analysis of the emergency overland flow between the proposed two buildings. Show all supporting calculations. The paragraph submitted is not acceptable with "rough" elevations and no calculations. This paragraph is also based on a weir elevation of 773.00. The elevation on the grading plans show one spot elevation at this location (more information is needed on the grading plans) of 773.50.
11. That the revised plans and stormwater report be signed and sealed.

Suggested motion:

I move that the Planning Commission accept the three listed conditions and forward the zoning map amendment with the 11 listed conditions recommended by City staff to the City Council with a recommendation for approval.

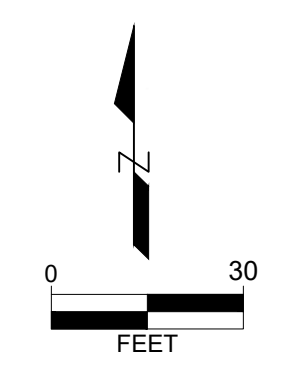


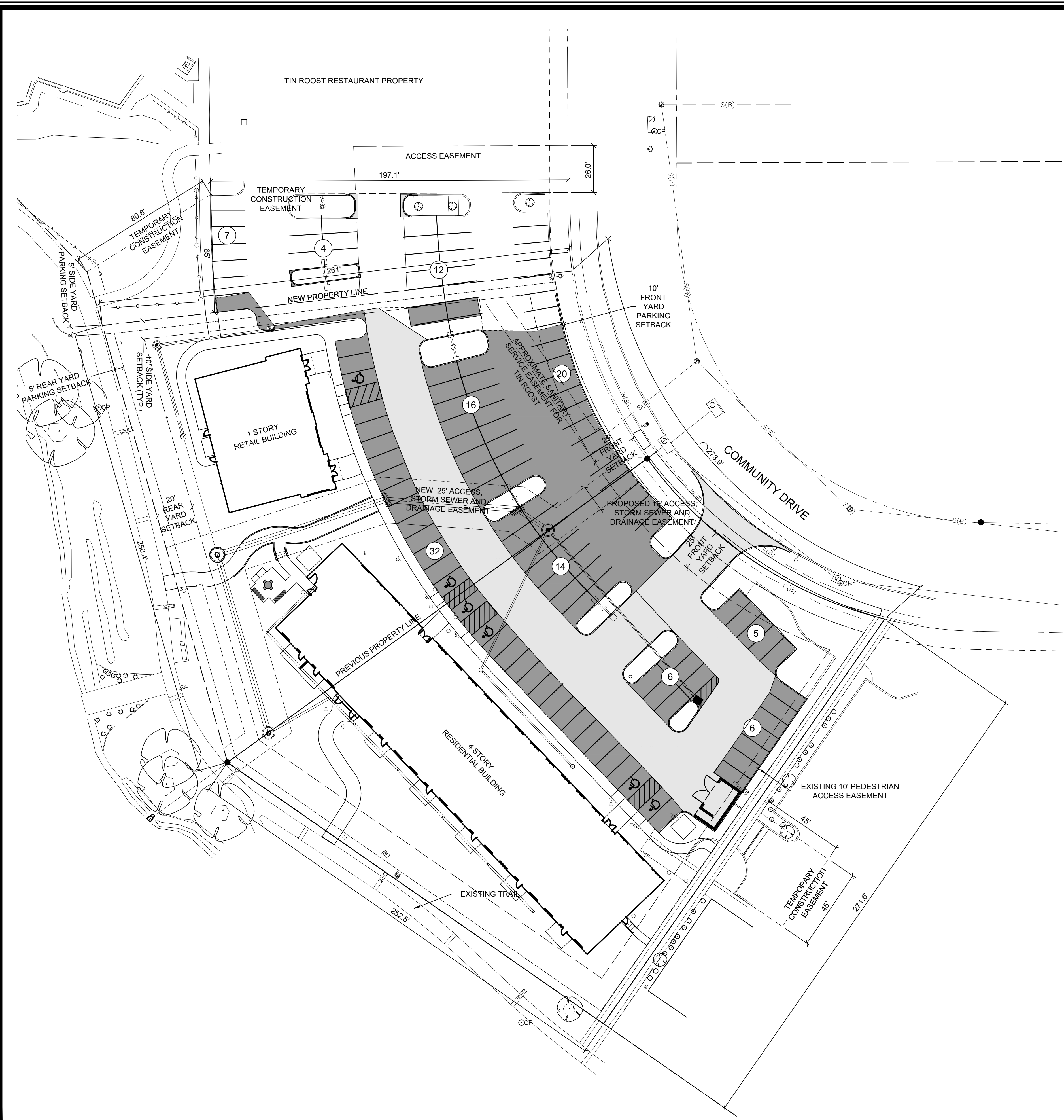
MARK	CITY COMMENTS	REVISION	DATE	BY
			5/20/2021	

Engineer: TAC
 Technician: NHS
 Checked By: NHS
 Date: 05/05/2021
 T-R-S: TTN/RRW-SS
 Project No: 120.1068.07
 Sheet C102

PENN STREET PLACE
REMOVALS PLAN
NORTH LIBERTY, IOWA
SNYDER & ASSOCIATES, INC. |
 320 E. PRENTISS STREET
 IOWA CITY, IOWA 52240
 319-358-7676 | www.snyder-associates.com

SNYDER & ASSOCIATES
 Project No: 120.1068.07
 Sheet C102





PARKING CALCULATIONS

REQUIREMENTS:

TIN ROOST

ADJACENT PROPERTY - TIN ROOST
RESTAURANT - 1 FOR EVERY 100 SF = 81 SPACES

PENN STREET PLACE

CURRENT PARKING CODE CALCULATION REQUIREMENTS
A. MULTI-FAMILY UNITS (PHASE 1) - 2.2 PER DWELLING UNIT = 132 SPACES
B. PROFESSIONAL OFFICE (PHASE 2) - 1 FOR EVERY 200 SF = 22 SPACES

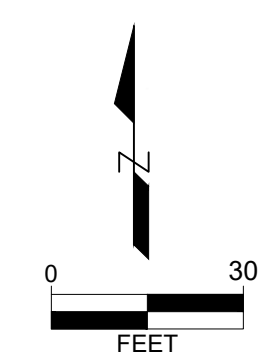
PROPOSED PARKING CALCULATION ARRANGEMENT:

A. ADJACENT PROPERTY - TIN ROOST = 81 SPACES
B. PENN STREET PLACE - MULTI-FAMILY = 1.57 PER DWELLING UNIT = 94 SPACES
C. PENN STREET PLACE - PROFESSIONAL OFFICE = 22 SPACES

- * TIN ROOST AND PENN STREET PLACE OWNERS HAVE A PARKING AGREEMENT THAT PERMITS SHARED PARKING.
- * 14 PARKING SPACES LOCATED ON TIN ROOST PROPERTY ARE DEDICATED FOR PENN STREET PLACE USE.

LEGEND

- PENN ST PLACE DESIGNATED PARKING: 6" DEPTH PCC
- PENN ST PLACE DESIGNATED PARKING: 5" DEPTH PCC



MARK	CITY COMMENTS	REVISION	DATE	BY
			5/20/2021	

Checked By: NHS
Date: 05/05/2021
Scale: 1" = T-R-S: TTN-RRW-SS
Technician: NHS

PENN STREET PLACE
BOUNDARY & PARKING EXHIBIT
NORTH LIBERTY, IOWA

SNYDER & ASSOCIATES, INC.

320 E. PRENTISS STREET
IOWA CITY, IOWA 52240
319-358-7676 | www.snyder-associates.com



Project No: 120.1068.07
Sheet C103

Sheet C103

Project No: 120.1068.07

EXISTING SITE SURVEY

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD.
 QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.
 QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.
 QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.
 QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

NOTES

- 1) BUILDING LINES AND CORNERS ARE FOR USE IN PREPARING CIVIL SITE PLAN DOCUMENTS. BUILDING CORNERS AND BUILDING LINES SHOULD BE SPECIFICALLY VERIFIED, AS NECESSARY, PRIOR TO DESIGN FOR CONSTRUCTION OF ANY PROPOSED EXPANSION OR CONNECTION OF BUILDING COMPONENTS.
- 2) FOR CLARITY PURPOSES, SURVEY SPOT ELEVATIONS ARE NOT SHOWN ON THIS SURVEY, BUT ARE CONTAINED WITHIN THE DIGITAL CADD FILES.
- 3) FOR THE PURPOSE OF THIS SURVEY, STORM SEWER, SANITARY SEWER AND WATER MAIN LINES ARE ASSUMED TO FOLLOW A STRAIGHT LINE FROM STRUCTURE TO STRUCTURE.
- 4) UTILITY SERVICE LINES TO BUILDINGS ARE APPROXIMATE ONLY. AN INTERNAL BUILDING INVESTIGATION, EXCAVATION AND/OR SUBSURFACE LOCATING/DESIGNATING WOULD NEED TO BE PERFORMED TO DETERMINE THE LOCATION OF SERVICES ENTERING THE BUILDING.
- 5) UNDERGROUND PIPE MATERIALS AND SIZES ARE BASED UPON VISIBLE EVIDENCE VIEWED FROM ACCESS MANHOLES/STRUCTURES. DUE TO THE CONFIGURATION AND/OR CONSTRUCTION OF THE STRUCTURE, IT MAY BE DIFFICULT TO ACCURATELY DETERMINE THE PIPE MATERIAL AND/OR SIZE. THE SURVEYOR WILL USE THEIR JUDGMENT AND EXPERIENCE TO ATTEMPT TO DETERMINE, BUT COMPLETE ACCURACY CANNOT BE GUARANTEED.
- 6) BOUNDARY LINES SHOWN ON THE EXISTING SITE SURVEY ARE TO FACILITATE DESIGN OR CONCEPT NEEDS AND ENABLE CREATION OF SAID CONSTRUCTION DOCUMENTS. THESE LINES DO NOT CONSTITUTE A CERTIFIED BOUNDARY SURVEY AND MISSING MONUMENTS WILL NOT BE SET.

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 552007362.

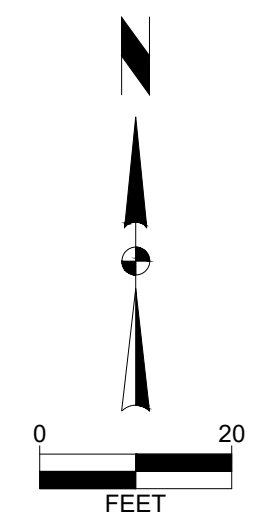
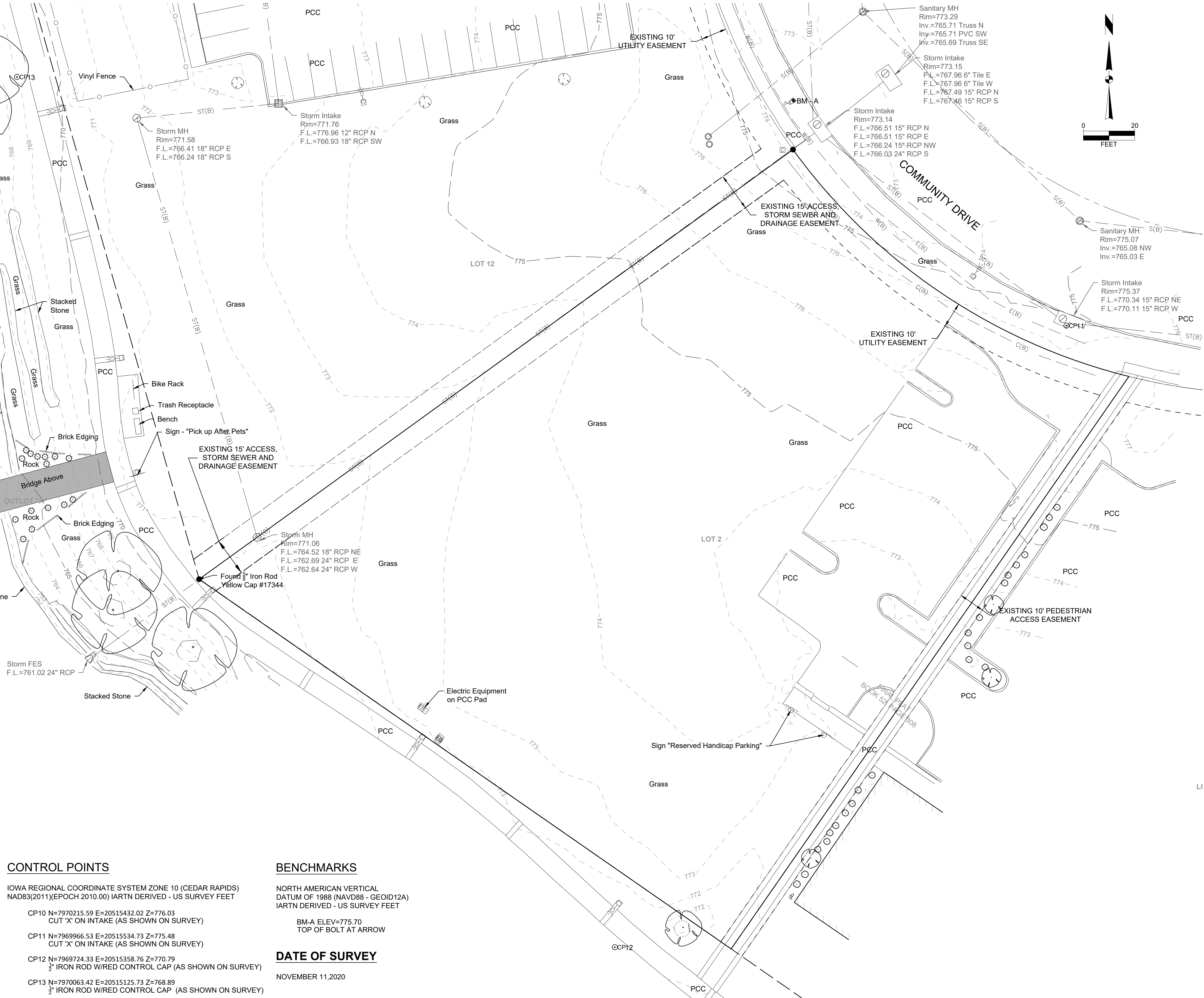
ALLIANT ENERGY
 Contact Name : Alliant Energy Field Engineer
 Contact Phone: 8002554268
 Contact Email: locate_IPL@alliantenergy.com

MIDAMER-GAS
 Contact Name : Carson Hemphill
 Contact Phone: 3193414461
 Contact Email: crhemphill@midamerican.com

NORTH LIBERTY, CITY OF
 Contact Name : Tom Palmer
 Contact Phone: 3196265736
 Contact Email: tpalmer@northlibertyiowa.org

SOUTH SLOPE TELEPHONE
 Contact Name : Brian Frese
 Contact Phone: 3192277111
 Contact Email: brian@southslope.com

MEDIACOM IOWA CITY
 Contact Name : Carl Norton
 Contact Phone: 3195946201
 Contact Email: cnorton@mediacomcc.com



CONTROL POINTS

- IOWA REGIONAL COORDINATE SYSTEM ZONE 10 (CEDAR RAPIDS)
 NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET
- CP10 N=7970215.59 E=20515432.02 Z=776.03
CUT 'X' ON INTAKE (AS SHOWN ON SURVEY)
 - CP11 N=7969966.53 E=20515534.73 Z=775.48
CUT 'X' ON INTAKE (AS SHOWN ON SURVEY)
 - CP12 N=7969724.33 E=20515358.76 Z=770.79
1/2" IRON ROD W/RED CONTROL CAP (AS SHOWN ON SURVEY)
 - CP13 N=7970063.42 E=20515125.73 Z=768.89
1/2" IRON ROD W/RED CONTROL CAP (AS SHOWN ON SURVEY)

BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
 IARTN DERIVED - US SURVEY FEET

BM-A ELEV=775.70
 TOP OF BOLT AT ARROW

DATE OF SURVEY

NOVEMBER 11, 2020



MARK	CITY COMMENTS	5/20/2021	DATE	BY
REVISION				
Engineer: TAC	Checked By: NHS	Date: 05/05/2021	Scale: 1" =	T-R-S: TTN-RRW-SS
Technician: NHS				
Project No: 120.1068.07				
Sheet C104				

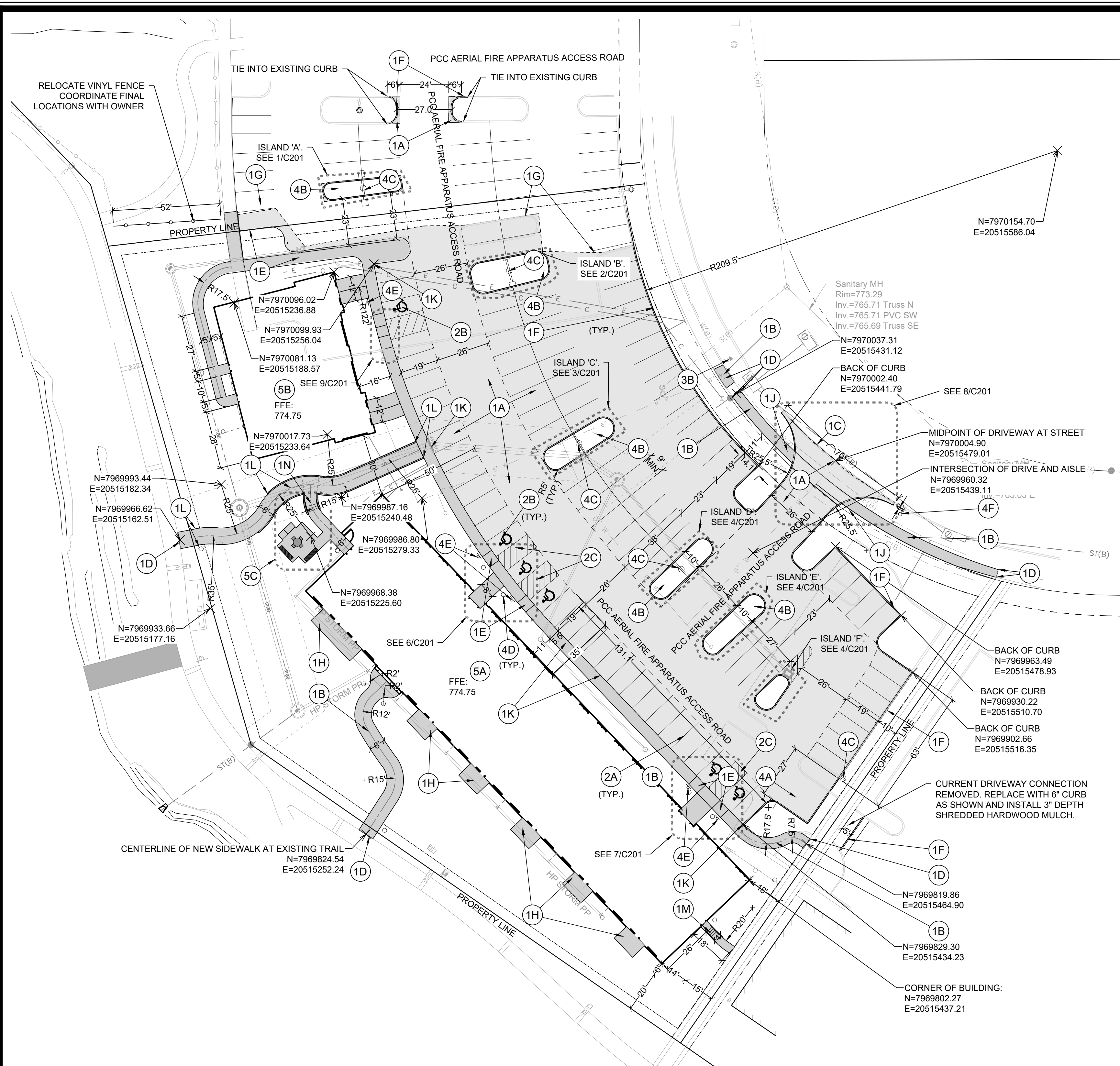
PENN STREET PLACE
EXISTING SITE SURVEY

NORTH LIBERTY, IOWA

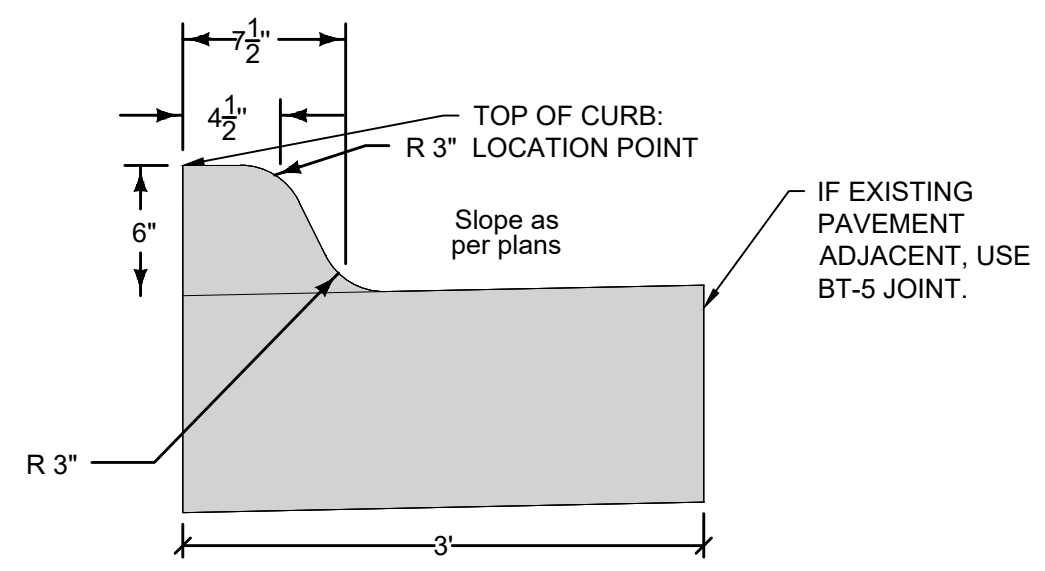
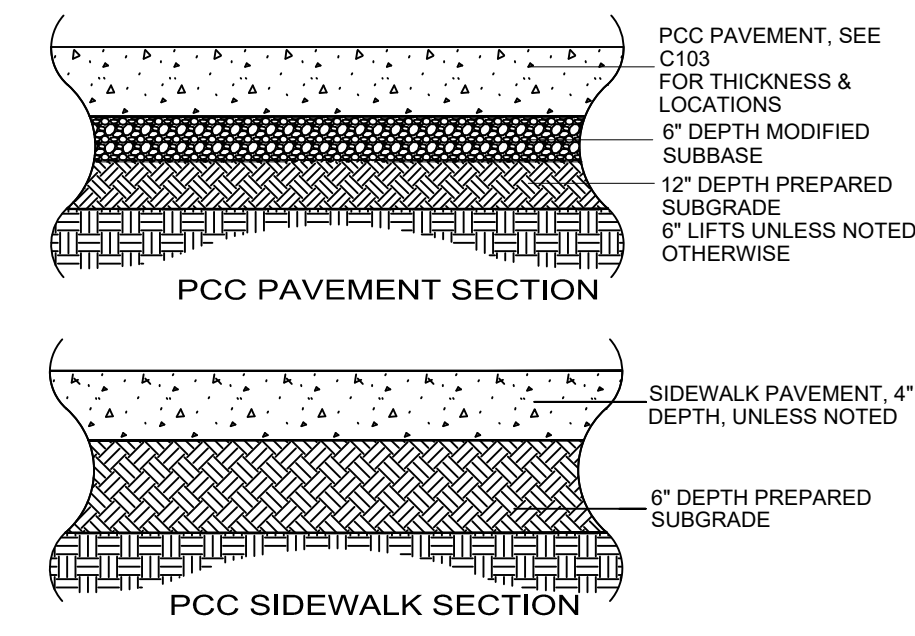
SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com



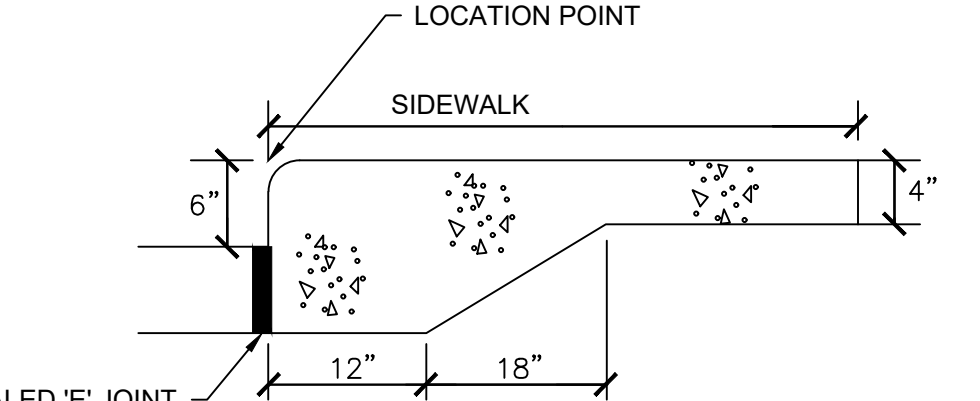
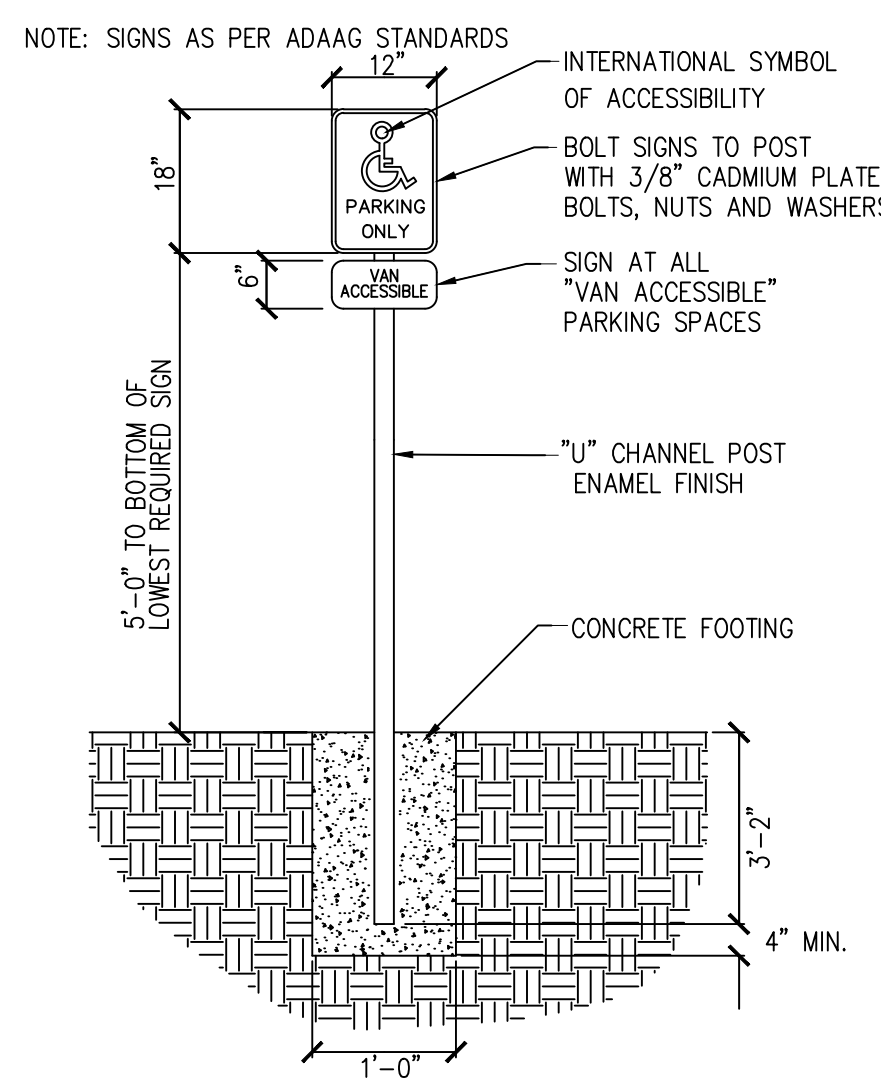


- SITE LAYOUT PLAN CONSTRUCTION NOTES**
- PAVEMENTS, PROVIDE THE FOLLOWING:
 - PCC DRIVES AND PARKING. REFER TO C103. 6" PAVEMENT IN AREAS INTENDED FOR AERIAL FIRE APPARATUS ACCESS ROAD.
 - PCC SIDEWALKS, 4" DEPTH PAVEMENT.
 - CONNECT TO EXISTING PAVEMENT WITH SUDAS TYPE "A" DRIVEWAY WITH RADI CONNECTION (7030.101). MATCH EXISTING ELEVATIONS.
 - MATCH EXISTING SIDEWALK ELEVATIONS.
 - ADA PEDESTRIAN RAMP WITH A MAXIMUM SLOPE OF 8.33%. PROVIDE DETECTABLE WARNINGS WHEN SHOWN PER SUDAS 7030.206.
 - 6" STANDARD CURB. SEE DETAIL ON THIS SHEET.
 - CONNECT TO EXISTING PAVEMENT, BT-5 JOINT.
 - PCC PATIOS. SEE ARCHITECTS PLANS FOR MORE INFORMATION.
 - ADA DETECTIBLE WARNING PANELS. PER SUDAS.
 - PCC SIDEWALK WITH INTEGRAL CURB PER SUDAS 7030.202. SEE 4/C200.
 - 5" DEPTH SIDEWALK WITH INTEGRAL CURB. SEE 5/C200.
 - SUDAS TYPE A PCC STAIRS WITH SUDAS HANDRAILS. SEE SUDAS DETAIL 9080.101. 12" TREADS/ 6" RISERS.
 - SUDAS TYPE B PCC STAIRS WITH SUDAS HANDRAILS. SEE SUDAS DETAIL 9080.102. 12" TREADS/ 6" RISERS.
 - PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
 - 4" WIDE WHITE PAINTED PARKING STALL LINES.
 - PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
 - ACCESSIBLE AISLE. 45" STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
 - UTILITIES: SEE UTILITY PLAN.
 - SITE AMENITIES AND SIGNAGE, PROVIDE THE FOLLOWING:
 - TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAIL.
 - LANDSCAPED PARKING LOT ISLANDS.
 - PARKING LOT LIGHTING.
 - LIGHT BOLLARDS. SEE ELECTRICAL PLAN SHEETS.
 - PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS. SEE DETAIL.
 - RELOCATED STREET LIGHT.
 - BUILDINGS AND RELATED IMPROVEMENTS:
 - 4-STORY RESIDENTIAL BUILDING. SEE ARCHITECTURAL PLANS.

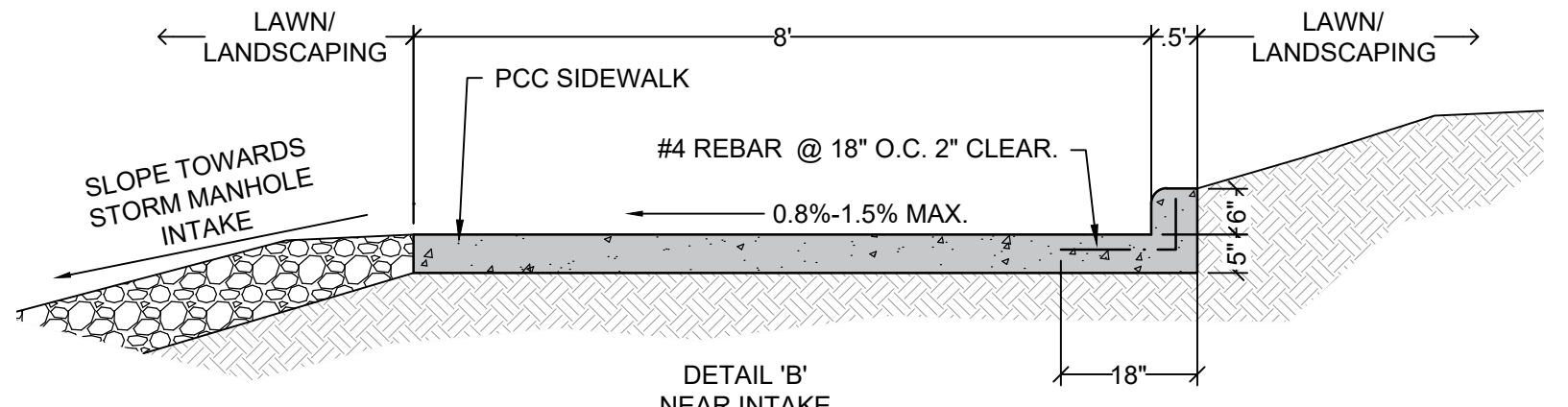
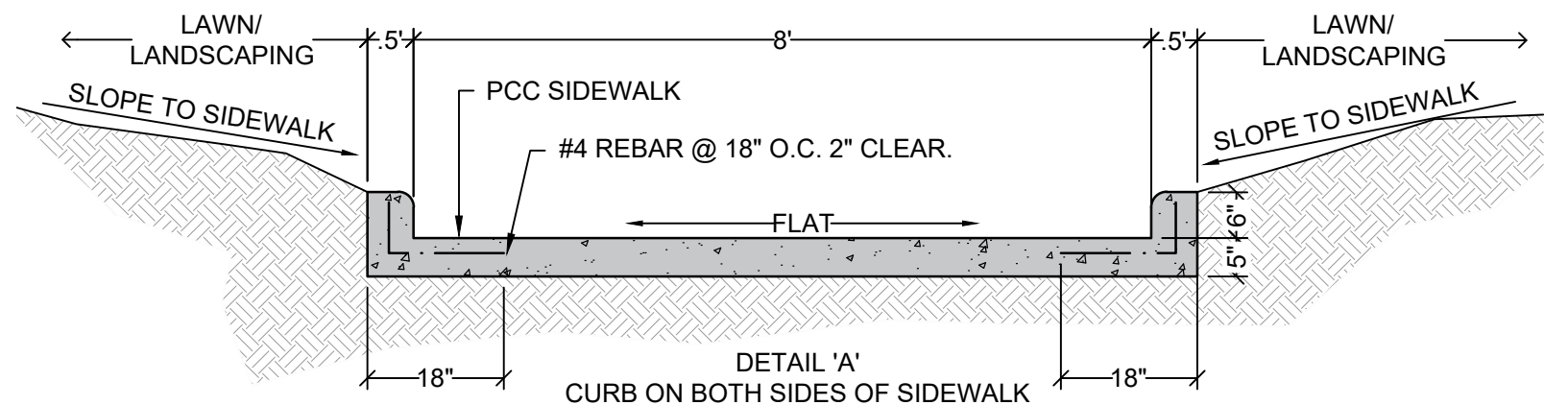


1 C200
 TYPICAL PAVEMENT CROSS SECTIONS
 NOT TO SCALE

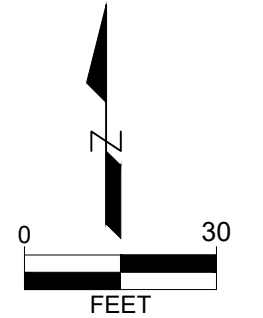
2 C200
 6" STANDARD CURB
 NOT TO SCALE



3 C200
 ACCESSIBLE PARKING SIGN
 NOT TO SCALE



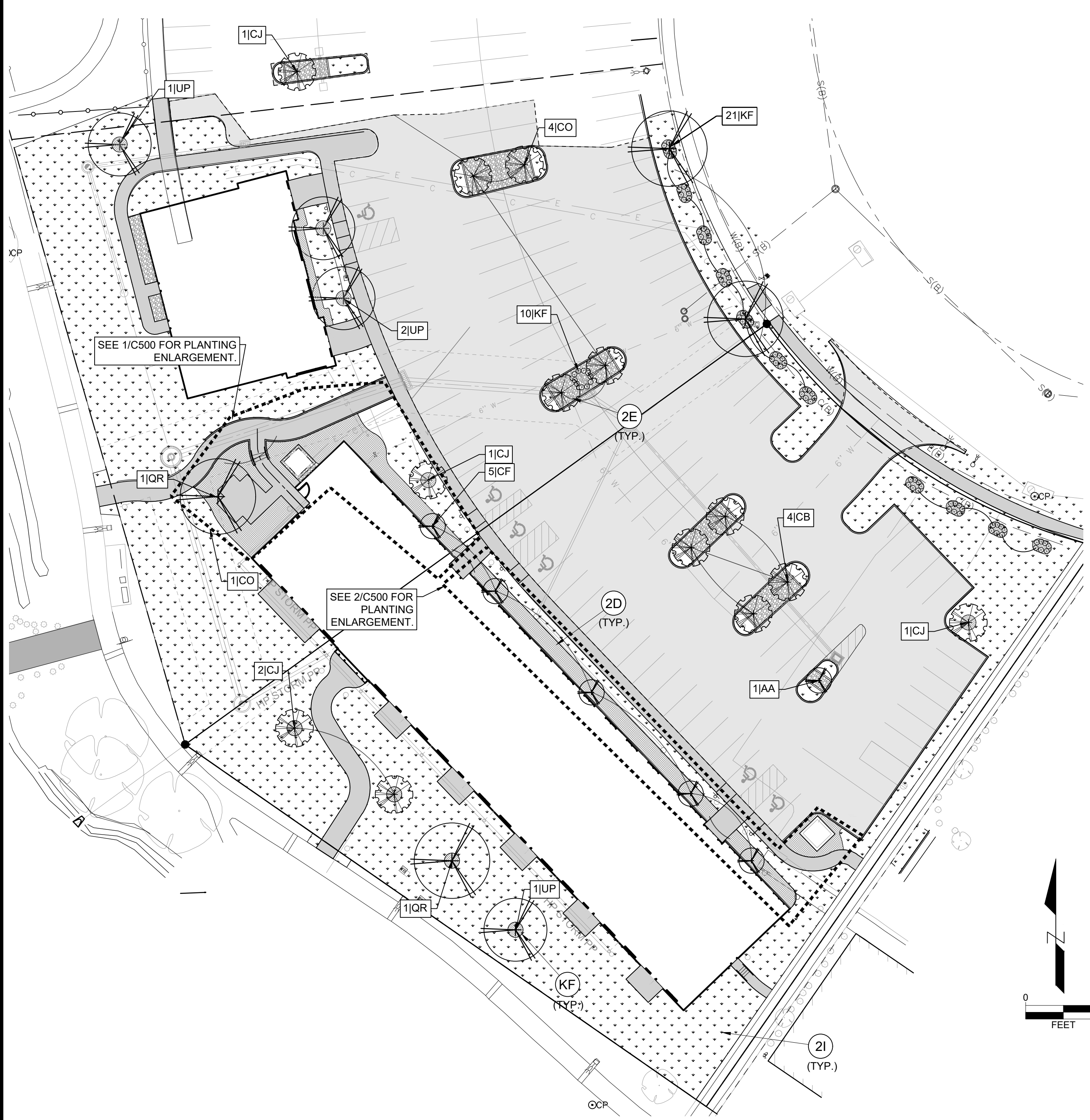
5 C200
 5" DEPTH REINFORCED SIDEWALK BETWEEN BUILDINGS CROSS SECTION ITEM #1L
 NOT TO SCALE



MARK	CITY COMMENTS	5/20/2021	DATE	BY
REVISION	REVISION			
Engineer: TAC	Checked By: NHS	Scale: 1" =		
Technician: NHS	Date: 05/05/2021	T-R-S: TTN-RRW-SS		
Project No: 120.1068.07				Sheet C200

PENN STREET PLACE
DIMENSION PLAN
NORTH LIBERTY, IOWA
SNYDER & ASSOCIATES, INC.
 320 E. PRENTISS STREET
 IOWA CITY, IOWA 52240
 319-358-7676 | www.snyder-associates.com





PLANTING PLAN GENERAL NOTES

1. **PLANTING UTILITY NOTES**

A. **UTILITY WARNING:**
 THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.

B. **NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION.** CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.

2. **PLANTING INSTALL NOTES**

A. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).

B. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

C. PROVIDE A MIN. 3-FOOT PERIMETER RING OF SHREDDED HARDWOOD MULCH, 3" DEPTH. AROUND ALL TREES, UNLESS NOTED OTHERWISE. PROVIDE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4-INCHES.

D. PROVIDE 3" DEPTH SHREDDED HARDWOOD MULCH IN ALL MULCH BEDS, UNLESS NOTED OTHERWISE. PROVIDE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4-INCHES.

E. PROVIDE 3" DEPTH WASHED RIVER ROCK MULCH AT LOCATIONS SHOWN. COLOR PER OWNER. RIVER ROCK BED EDGED WITH 6" LIMESTONE EDGER PER OWNER AT MEDIANS

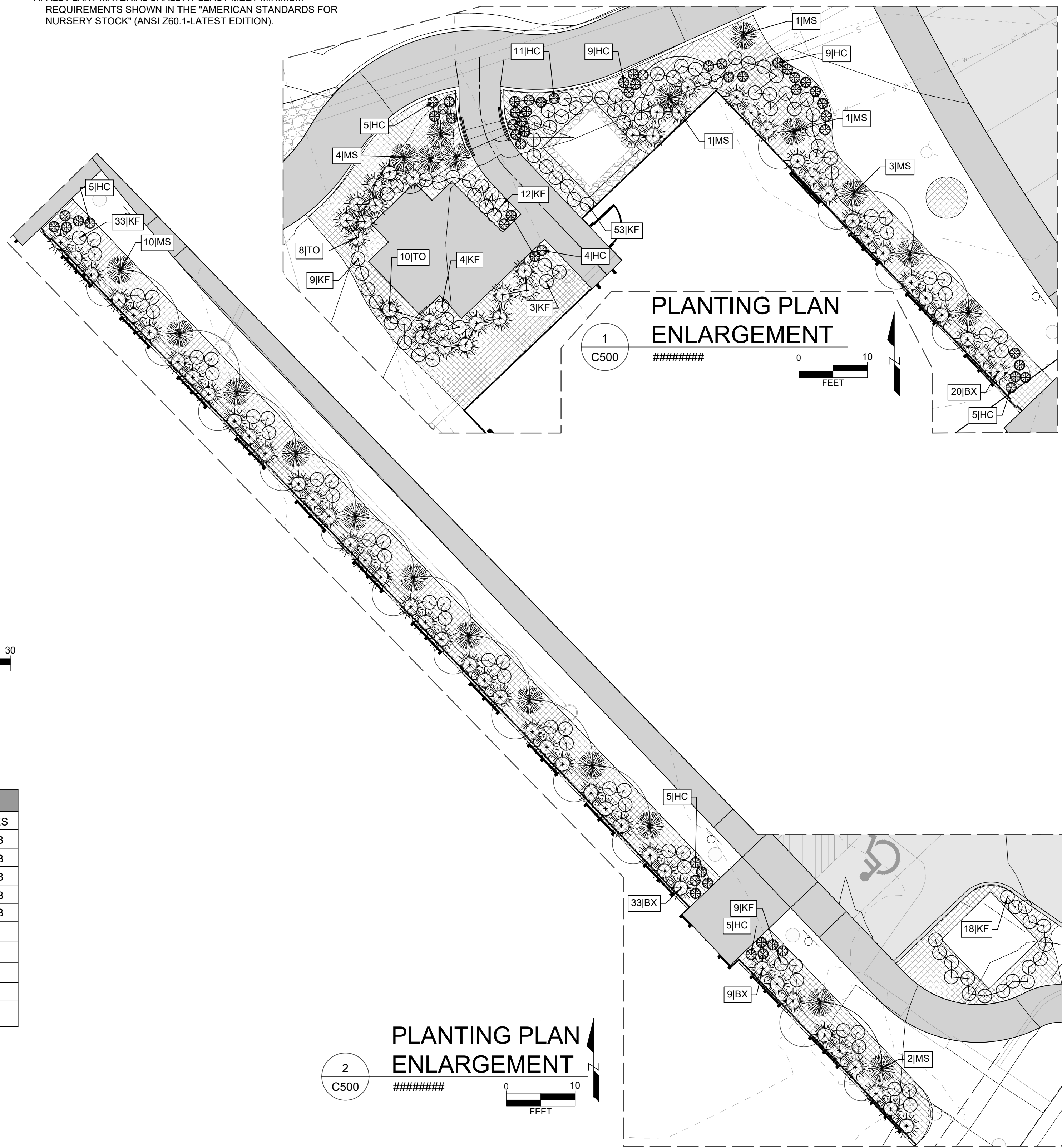
ONLY.

F. SEED ALL AREAS DISTURBED BY CONSTRUCTION WITH TYPE 1 SUDAS PERMANENT LAWN SEED MIX, UNLESS NOTED OTHERWISE.

G. PROVIDE TYPE 2 (PERMANENT COOL SEASON MIXTURE FOR SLOPES AND DITCHES) SUDAS SEED MIXTURE ON ALL 3:1 OR GREATER SLOPES.

H. PROVIDE TYPE 5 (RURAL TEMPORARY EROSION CONTROL) SUDAS SEED MIXTURE FOR ALL DISTURBED AREAS ON NEIGHBORING PROPERTY OWNER TO THE NORTH AND SOUTH.

I. PROVIDE SUDAS TYPE 1 SEEDING AS SHOWN AND PER SUDAS AND CITY STANDARDS.



PLANT SCHEDULE					
TYPE	KEY	SCIENTIFIC NAME	COMMON NAME	INSTALL SIZE	NOTES
TREES	CB	CARPINUS BETULUS FASTIGIATA	Fastigiata European Hornbeam	1-1/2" CAL.	B & B
	CJ	CERCIDIPHYLLUM JAPONICUM 'RED FOX'	Red Fox Katsura Tree	1-1/2" CAL.	B & B
	CO	CORYLUS COLURNA	Turkish Filbert	1-1/2" CAL.	B & B
	TO	THUJA OCCIDENTALIS	DWARF ARBORVITAE	3 'HT.	B & B
	UP	ULMUS PARVIFOLIA 'BOSQUE'	Bosque Lacebark Elm	1-1/2" CAL.	B & B
SHRUBS/ GRASSES/ PERNNIALS	BX	BUXUS 'GREEN VELVET'	Green Velet Boxwood	5 GAL.	
	HC	HEMEROCALLIS 'STELLA D'ORO'	Stella D'oro Daylily	1 GAL.	
	KF	CALAMAGROSTIS x ACUTIFLORA 'KARL FOERSTER'	Karl Foerster Feather Reed Grass	2 GAL.	
	MS	MISCANTHUS SINENSIS 'MORNING LIGHT'	Morning Light Silver Grass	3 GAL.	

PLANTING PLAN ENLARGEMENT
 2
 C500
 #####
 0 10
 FEET

MARK	CITY COMMENTS	5/20/2021	DATE	BY
Engineer: TAC	REVISION	Checked By: NHS	Scale: 1" =	
Technician: NHS	Date: 05/05/2021	T-R-S: TTN-RRW-SS		

Project No: 120.1068.07
 Sheet C500

PENN STREET PLACE
LANDSCAPE PLAN
NORTH LIBERTY, IOWA

SNYDER & ASSOCIATES, INC.

320 E. PRENTISS STREET
 IOWA CITY, IOWA 52240
 319-358-7676 | www.snyder-associates.com



Ryan Rusnak

From: kevin@builtbyhbd.com
Sent: Monday, May 03, 2021 9:41 PM
To: Ryan Rusnak
Subject: [EXTERNAL] Liberty Centre

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Ryan

My original response nearly 2 months ago, was a knee jerk reaction to how the old policies of development have been administered since World War II. I am not sure when North Liberty last updated their comprehensive plan, but with North Liberty being a very young municipality, the young citizens who will be raising their children and grand children here, should have direct input in how they want the commercial developments to be planned and built.

Now that I have had some time to think and analyze the Liberty Centre development, the residential density within 300 to 400 yards of the commercial lots should have been 20 to 40 units per acre, instead of the 8 to 12 units per acre. The intent of the development, was to create an area similar to parts of West Des Moines, with shops and restaurants, but the thing that is lacking is the residential density. Cities encourage developers to make their developments walkable and bikeable, and the more people who are living within walking distance to a commercial area with shops and restaurants, the better the chance of survival for the commercial businesses.

It is good to see a young developer coming forward with some new ideas, attempting to bring more people to this area. Would have liked to see some of the commercial buildings in Liberty Centre to have residential units above, but this can also lead to other issues for business and residents alike, so maybe a stand alone residential building is the best way to increase the density in Liberty Centre.

I will leave it to you and the P & Z Commission whether to approve of the proposed residential building or not, but I very much support increasing the residential units in the Liberty Centre area.

With our world coming out of the pandemic, we would like to see new innovative buildings and developments, catering to new technology, new ways to generate electricity and lower the carbon footprint for these buildings. Maybe grant developers an added density bonus, for building buildings which can lower the carbon footprint?

Can you print this email off, and get a copy to everyone please.

All the best in 2021.

Thank you,

Kevin Hochstedler

Hochstedler Building & Development
P.O. Box 1208
Iowa City, IA 52244
www.builtbyhbd.com
Cell number: 319-631-8072

----- Original Message -----

Subject: RE: [EXTERNAL] Liberty Centre
From: <kevin@builtbyhbd.com>
Date: Sat, March 13, 2021 5:40 pm
To: "Ryan Rusnak" <rrusnak@northlibertyiowa.org>

Ryan

I could see the lots on the south side of Liberty Drive becoming multi family, but the lots on the south side of Community Drive should remain as commercial lots.

Kevin Hochstedler

Hochstedler Building & Development
P.O. Box 1208
Iowa City, IA 52244
www.builtbyhbd.com
Cell number: 319-631-8072
Realtor/ Lopic Kroeger Realtors

----- Original Message -----

Subject: RE: [EXTERNAL] Liberty Centre
From: Ryan Rusnak <rrusnak@northlibertyiowa.org>
Date: Fri, March 12, 2021 12:53 pm
To: "kevin@builtbyhbd.com" <kevin@builtbyhbd.com>

Kevin,

We had a neighborhood meeting the other day.

Here is the information page:

<https://northlibertyiowa.org/2021/02/26/good-neighbor-meeting-for-property-west-of-community-drive-and-south-of-penn-street/>

If you scroll to the bottom, you watch a replay of the meeting, which summarizes the proposal.



RYAN RUSNAK, AICP
PLANNING DIRECTOR
(319) 626-5747 office

Messages to and from this account are subject to public disclosure unless otherwise provided by law.

From: kevin@builtbyhbd.com [<mailto:kevin@builtbyhbd.com>]
Sent: Friday, March 12, 2021 11:00 AM
To: Ryan Rusnak <rrusnak@northlibertyiowa.org>
Subject: [EXTERNAL] Liberty Centre

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Ryan

I was involved when Liberty Centre was being developed, Cherry Street being paved, the pond excavated etc.

A number of contacts living in Liberty Centre have contacted me, asking about something new coming to the commercial area of Liberty Centre.

I check on North Liberty's Planning and Zoning agenda, and do not see anything.

Is there any information you can share? Anything being proposed?

Just looking to share information with people living in Liberty Centre.

Thank you,

Kevin Hochstedler

Hochstedler Building & Development
P.O. Box 1208
Iowa City, IA 52244

www.builtbyhbd.com

Cell number: 319-631-8072
Realtor/ Lopic Kroeger Realtors

Ryan Rusnak

From: David Novak <dcnsafety@gmail.com>
Sent: Wednesday, April 28, 2021 2:33 PM
To: Ryan Rusnak
Subject: Re: [EXTERNAL] Good Neighbor meeting

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Hi Ryan,

I don't think this area should be rezoned from commercial to residential.

Thanks,

David

On Tue, Apr 20, 2021 at 11:56 AM Ryan Rusnak <rusrnak@northlibertyiowa.org> wrote:
David,

The developer wants to build a market rate 60 unit apartment building and a 4,200 square foot commercial building.

I have attached pages from the site plan and architectural renderings.

It is anticipated that this will be on the May 4, 2021 Planning Commission meeting.

RYAN RUSNAK, AICP
PLANNING DIRECTOR
(319) 626-5747 office

Messages to and from this account are subject to public disclosure unless otherwise provided by law.

-----Original Message-----

From: David Novak [mailto:dcnsafety@gmail.com]
Sent: Tuesday, April 20, 2021 9:37 AM
To: Ryan Rusnak <rusrnak@northlibertyiowa.org>
Subject: [EXTERNAL] Good Neighbor meeting

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Hi Ryan,

I missed the good neighbor meeting for the rezoning of an area by the North Liberty pond near Tin Roost.

Anyway to give me a brief overview?

Thanks,

David

Sent from my iPhone



Hate Crime Ordinance

ORDINANCE NO. _____

**AN ORDINANCE AMENDING CHAPTER 40.03 OF THE
NORTH LIBERTY CODE OF ORDINANCES**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. NEW SECTION. Chapter 42 of the North Liberty Code of Ordinances (2021) is amended to include the new subsection:

42.08: VIOLATION OF INDIVIDUAL RIGHTS - HATE CRIME:

1. It shall be unlawful for a person to commit a hate crime. "Hate crime" means one of the following public offenses when committed against a person or a person's property because of the victim's actual or perceived race, color, creed, religion, national origin, sex, gender identity, sexual orientation, age, disability, or marital status or the person's association with a person or group with one or more of these actual or perceived characteristics:
 - A. Harassment under Iowa Code section 708.7.
 - B. Trespass, as defined in Iowa Code section 716.7(2)(a).
2. A violation of this section is punishable as follows:
 - A. First offense: A fine of at least three hundred dollars (\$300.00) and not to exceed eight hundred fifty-five dollars (\$855.00), and imprisonment of at least three (3) days and not to exceed seven (7) days.
 - B. Subsequent offenses: A fine of eight hundred fifty-five dollars (\$855.00) and thirty (30) days imprisonment.
3. Nothing herein shall be construed to allow a court, in the absence of a stipulation by the parties, to admit evidence of speech, beliefs, association, group membership, or expressive conduct unless that evidence is relevant and admissible under the Iowa Rules of Evidence. Nothing herein is intended to affect the existing rules of evidence.

SECTION 2. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 3. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 4. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____, 2021.

Second reading on _____, 2021.

Third and final reading on _____, 2021.

CITY OF NORTH LIBERTY:

TERRY L. DONAHUE, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. _____ in the North Liberty *Leader* on the ____ day of _____, 2021.

TRACEY MULCAHEY, CITY CLERK



Additional Information



To North Liberty Mayor and City Council Members
CC Ryan Heiar, City Administrator
From Brian Platz, Fire Chief
Date June 17th, 2021
Re Fire Department Report to Council – June 2021

The fire station continues to receive a few remaining upgrades due to last year's storms. Moxie Solar spent a good portion of a week on the roof removing the solar arrays from the building. Because of the hail damage to the roof, the arrays had to be removed to make way for new shingles and gutters. At the time of this report, the roofing contractor is on site installing spot sheeting and new shingles. We hope to get the gutters and downspouts replaced in the weeks to come. In addition, the new fence to the rear of the property that separates city land from the property on Front Street will soon be installed. This project was the result of the August Derecho. We are looking forward to seeing both projects to completion.

We have a plan to expand the part-time program in July to include staffing on the weekends. The coming fiscal budget will allow us the ability to staff two positions for 24 hours on the weekends. In addition to currently staffing two positions during the week, 6 pm to 6 am, Sunday through Friday, we will be staffing two part-time positions from 6 am on Saturday to 6 am on Sunday. Saturday continues to be the most difficult day of the week to ensure we have appropriate coverage. Additionally, our data is showing that Saturday is the busiest day of the week for call volume. This appears to be the next logical step in our staffing plan.

As we expand our staffing, department administration will again turn our attention to the next step in the plan. We have discussed and are interested in taking a very serious look at recent changes to the federal SAFER grants. This could determine if hiring three full-time firefighters is the next judicious step for the city. Our vision is that these firefighters would work 24 hour shifts and be supervisors to the part-time positions. Additionally, they would have program management responsibilities related to equipment, public education, facilities, etc. Currently, many of these responsibilities are handled by paid-per-call (volunteer) members, which naturally causes timing and planning issues. I will have more information for you during the budget preparation process.

Lastly, we have finalized the plans to purchase a new grass/field fire truck. As you remember from discussions during budget preparation, \$270,000 was requested to fund this purchase. We have signed a contract with Reliant Fire Apparatus for just under \$240,000. This truck will be built in Texas and Skeeter Brush Trucks, a company that has a great reputation for reliable off-road fire trucks, will be the builder. We certainly appreciate the support of the council related to this purchase.





North Liberty Fire Department 2021 Monthly/YTD Response Report

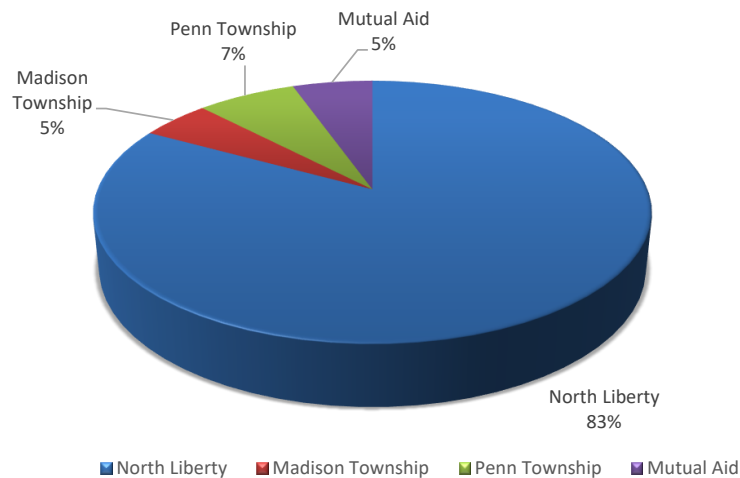
North Liberty Fire Department Responses By Fire District

	January	February	March	April	May	June	July	August	September	October	November	December	Year To Date	Percent To Date
North Liberty	99	88	101	101	112								501	82.95%
Madison Township	4	11	3	7	4								29	4.80%
Penn Township	8	9	5	9	10								41	6.79%
Mutual Aid	4	7	5	6	11								33	5.46%
Total Responses	115	115	114	123	137								604	

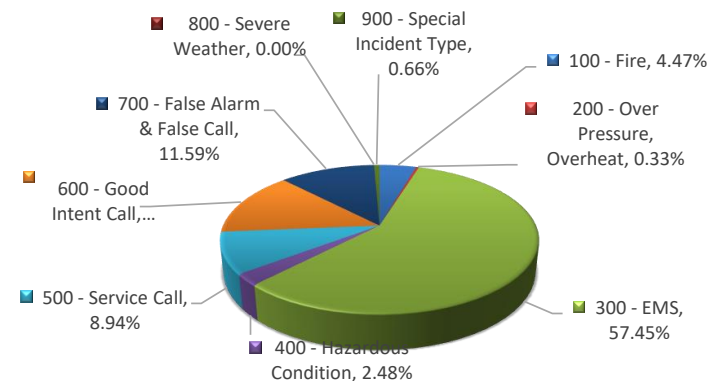
North Liberty Fire Department Responses By Type of Incident

	January	February	March	April	May	June	July	August	September	October	November	December	Year To Date	Percent To Date
100 - Fire	1	6	6	7	7								27	4.47%
200 - Over Pressure, Overheat				1	1								2	0.33%
300 - EMS													347	57.45%
400 - Hazardous Condition	2	2	3	4	4								15	2.48%
500 - Service Call	16	10	8	9	11								54	8.94%
600 - Good Intent Call	10	22	14	17	22								85	14.07%
700 - False Alarm & False Call	15	19	10	10	16								70	11.59%
800 - Severe Weather														
900 - Special Incident Type	1		1		2								4	0.66%
Total Responses	115	115	114	123	137								604	

2021 District Responses YTD
(Rounded Percentage)



2021 Type of Incidents YTD
(Percentage)





North Liberty Fire Department 2021 Monthly/YTD Response Report

North Liberty Fire Department Response Statistics (All Incidents)

	January	February	March	April	May	June	July	August	September	October	November	December	Year To Date	Year To Date	Percent To Date
Total Responses for Month	115	115	114	123	137	0	0	0	0	0	0	0	604		
Average Responders per Incident	5.1	5.3	5.8	6.6	5.5								5.7		
# Incidents with 2 or less Responders	13	15	10	6	15								59		
% Incidents with 2 or less Responders	11.3%	13.0%	8.8%	4.9%	10.9%								9.8%		
# Incidents with No NLFD Response	0	0	0	0	0										
# Incidents Cancelled Enroute or Prior to Arrival	7	17	10	14	14								62	10.26%	
# Incidents Cancelled by JCAS	2	2	3	1	3								11	17.74%	
# Incidents Cancelled by JECC	0	3	4	2	2								11	17.74%	
# Incidents Cancelled by Law Enforcement	3	8	0	8	3								22	35.48%	
# Incidents Cancelled by Fire Department	2	4	3	3	6								18	29.03%	

North Liberty Fire Department Emergent Response Turnout Statistics (Lights & Sirens)

	January	February	March	April	May	June	July	August	September	October	November	December	Year To Date	Year To Date	Percent To Date
Total Emergent (Lights & Sirens) Responses for Month	67	68	67	71	74										
# of Incidents with Turnout Time 2 Minutes or Less - PPC/Admin	12	12	21	13	15										
# of Incidents with Turnout Time 2 Minutes or Less - PT	7	9	10	9	9										
# of Incidents with Turnout Time 2 Minutes or Less - Total	19	21	31	22	24										
% Incidents with Turnout Time 2 Minutes or Less	28.4%	30.9%	46.3%	31.0%	32.4%										
90th Percentile Turnout Time - (Minutes) Part-Time	3:46	3:07	2:30	2:07	2:28									2:40	
90th Percentile Turnout Time - (Minutes) Paid Per Call	9:09	6:37	3:30	4:30	7:31									6:34	

** (Turnout Time is defined as Dispatch Time to Unit Enroute Time) (PPC-Paid Per Call) (PT-Part Time)

North Liberty Fire Department Auto Aid & Mutual Aid Given

	January	February	March	April	May	June	July	August	September	October	November	December	Year To Date	Year To Date	Percent To Date
Auto Aid - Coralville (52001)	1	3	3	2	2								11	1.82%	
Auto Aid - Iowa City (52003)				1	2								3	0.50%	
Auto Aid - Solon (52008)	2	1	3		3								9	1.49%	
Auto Aid - Swisher (52009)	1	3	1	3	3								11	1.82%	
Mutual Aid - Other Fire Departments					1								1	0.17%	
Total Responses	4	7	7	6	11	0	0	0	0	0	0	0	35	5.79%	

North Liberty Fire Department Auto Aid & Mutual Aid Received

	January	February	March	April	May	June	July	August	September	October	November	December	Year To Date	Year To Date	Percent To Date
Auto Aid - Coralville (52001)	1	1	1	3	5								11	1.82%	
Auto Aid - Iowa City (52003)				1									1	0.17%	
Auto Aid - Solon (52008)	1	1	1	3	5								11	1.82%	
Auto Aid - Swisher (52009)	2	6	2	4	1								15	2.48%	
Mutual Aid - Other Fire Departments			1		1								2	0.33%	
Total Responses	4	8	5	11	12	0	0	0	0	0	0	0	40	6.62%	