

# **AGENDA**



North Liberty Planning Commission Tuesday, February 1, 2022, 6:30 PM North Liberty City Council Chambers 1 Quail Creek Circle, North Liberty, Iowa 52317

This meeting may be accessed live by the public in person or on the internet at northlibertyiowa.org/live, on Facebook at facebook.com/northliberty or on YouTube at youtube.com/northliberty. Meetings are rebroadcast on cable and available on-demand on northlibertyiowa.org.

#### Call to Order

- 1. Roll Call
- 2. Approval of the Agenda
- 3. Review of Conditional Use: Request of Colony Acres, LLC, dba Colony Pumpkin Patch on behalf of Colony 1927 for an Agricultural Experience Conditional Use on approximately 63.17 acres of property located on the east side of Front Street NE approximately 130 feet south of East Tartan Drive (2780 Front Street NE).
  - a. Staff Presentation
  - b. Applicant Presentation
  - c. Public Comments
  - d. Ouestions and Comments
  - e. Recommendation to the Board of Adjustment
- 4. Site Plan: Request of TSS Investments, LLC to approve a Site Plan for a new building on approximately 2.4 acres of property located at 340 Herky Street.
  - a. Staff Presentation
  - b. Applicant Presentation
  - c. Public Comments
  - d. Questions and Comments
  - e. Recommendation to the City Council

- 5. Public Hearing for Amendment to Previously Approved Planned Area Development: Request of Vintage Estates of North Liberty for an amendment to a previously approved RS-4 PAD Single-Unit Residence District Planned Area Development. The property contains 8.42 acres and is located on the west side of South Jones Boulevard west of the terminus of Cory Court.
  - a. Staff Presentation
  - b. Applicant Presentation
  - c. Public Comments
  - d. Questions and Comments
  - e. Recommendation to the City Council
- 6. Approval of Previous Minutes
- 7. Old Business
- 8. New Business
- 9. Adjournment



# **MEMORANDUM**



From Ryan Rusnak, AICP Date January 28, 2022

Re Request of Colony Acres, LLC, dba Colony Pumpkin Patch on behalf of

Colony 1927 for an Agricultural Experience Conditional Use on

approximately 63.17 acres of property located on the east side of Front Street NE approximately 130 feet south of East Tartan Drive (2780 Front

Street NE).

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator

Tracey Mulcahey, Assistant City Administrator

Grant Lientz, City Attorney

Tom Palmer, City Building Official

Kevin Trom, City Engineer

Ryan Rusnak, Planning Director

#### Purpose for the Request:

The property is currently located in unincorporated Johnson County, but the request is to facilitate annexation into the City of North Liberty and allow the continuance of the Colony Pumpkin Patch in City limits.

Section 170.07 of the North Liberty Code of Ordinances requires an agricultural experience use to be granted a Conditional Use from the North Liberty Board of Adjustment. Section 166.02(7)(D) of the North Liberty Code of Ordinances articulates that is the duty of the Commission to review and comment on conditional use application.

The Board of Adjustment will consider the request at its February 2, 2022 meeting. The City Council will consider the annexation of the property into City limits at its February 8, 2022 meeting. See map on the next page.



Anticipated Zoning:

ID Interim Development District.

The ID District is the only zoning district that allows for an Agricultural Use Conditional Use.

Agricultural Experience Use Regulations:
Agricultural Experience Use Regulations are as follows:

- 1. Agricultural Experience.
  - A. Defined. Agriculture Experience means any agriculture-related activity, as a secondary use in conjunction with a permitted agricultural use, which activity is open to the public with the intended purpose of promoting or educating the public about agriculture, agricultural practices, agricultural activities, or agricultural products. An activity is an agriculture experience activity whether or not the participant paid to participate in the activity. The sale of merchandise and service and/or sale of food and drinks, including alcoholic beverages, is permitted as an accessory use to activities sponsored by the organization.

- B. Use Standards.
  - (1) Uses permitted in conjunction with an agricultural experience.
    - (a) Agriculturally related seasonal festivals including crop mazes or hayrides.
    - (b) You-pick operations, including, but not limited to vegetable and berry picking, pumpkin patches and similar uses.
    - (c) Direct sale of agricultural products grown and/or produced on or off-site. Examples of agricultural products grown and/or produced off-site include, but are not limited to, fruits and vegetables and seasonal flowers and trees.
    - (d) Value-added (other than alcohol products) processing of produce and fruit grown on the farm.
    - (e) Agricultural clinics and tours, seminars or classes and organized agricultural related group activities with no overnight accommodations.
    - (f) On-the-farm weddings and wedding receptions.
    - (g) On-the-farm events sponsored by the City of North Liberty.
    - (h) Up to twelve non-agricultural related events may occur within a calendar year. The event shall be described in a permit issued by the Code Official prior to the commencement of the event. The Zoning Code Official may impose such conditions on the event as are necessary to protect the public health, safety and welfare, and adjacent uses. No fee is required for this permit.
  - (2) Dimensional standards (applies to buildings, structures and livestock enclosures.
    - (a) Minimum frontage: 400 feet.
    - (b) Minimum lot width: 400 feet.
    - (c) Minimum lot area: 10 acres.
    - (d) Maximum building height: 35 feet.
    - (e) Required front yard: 100 feet.
    - (f) Required corner side yard: 100 feet.
    - (g) Required side yard: 50 feet.
    - (h) Required rear yard: 100 feet.
  - (3) Design standards.
    - (a) The area devoted to the agricultural experience shall only have direct access to roadway classified as a collector or arterial roadway.
    - (b) In order to maintain the rural theme, agricultural experience uses shall not be subject to any of the provisions of Section

- 169.10. Rather, building style and design standards shall be subject to the following:
- (i) Buildings and structures shall have color schemes primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. White or off-white is also acceptable. Earth tone and white colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors.
- (ii) Buildings and structures shall have the eaves of roof extend a minimum of one foot past the outside walls.
- (iii) Buildings and structures shall have a minimum 5/12 roof pitch.
- (iv) Exterior wall coverings shall be wood vertical or horizontal grooved or lapped siding. Substitute materials achieving a similar appearance may be utilized.
- (v) No building shall exceed 6,000 square feet in area.
- (vi) Design standards do not apply to buildings or structures under 200 square feet in area, playground equipment or other similar structures. Existing buildings or structures 200 square feet in area or greater not meeting design standards may be permitted if identified in the Conditional Use.
- (c) Off-street parking. In order to maintain a rural theme, an agricultural use shall not be subject to the provisions of Section 169.01. Rather, safe vehicular access and customer parking shall be provided on site, such that vehicles are not required to back onto public streets or cause congestion on public streets. The use of gravel is limited to primary and secondary driveway isles. Off-street parking areas shall be located outside of public rights-of-way and shall be maintained in such a manner to allow access to the site by emergency vehicles.
- (d) Lighting. In order to maintain a rural theme, an agricultural use shall not be subject to the provisions of Section 169.06. Rather, any exterior lighting shall be appropriately shielded and/or directed away from adjacent properties and public rights-of-way.

- (e) Sign regulations. Signs shall be subject to the provisions of Chapter 173, except where it conflicts with the exception of the following:
  - (i) One non-internally illuminated sign is permitted per public street access. The surface area for each sign shall not exceed 32 square feet and the height shall not exceed 12 feet. Sign shall be designed with one or more wooden posts that are part of the overall sign structure and sign design. Signs may be externally illuminated.
  - (ii) Electronic message signs are prohibited. Mobile signs are prohibited, but a message board sign may be incorporated in the permanent sign.
  - (iii) Two seasonal event temporary signs are permitted per calendar year. Such signs shall be the only sail-shaped vertical flag signs and shall be removed immediately upon termination of the special event or at the end of 60 days, whichever comes first.
  - (iv) There are no restrictions for signs not visible from the boundary of the property.
- (f) Landscaping requirements. Landscaping shall be subject to the provisions of Chapter 169.02, with the exception of where it conflicts with the following:
  - (i) Along a street frontage. 10 foot wide landscape area.
  - (ii) Adjacent to a residential zone. 25 foot wide landscape area.
  - (iii) Tree planting is encouraged within landscape areas.
- (g) Temporary restroom facilities. Temporary restroom facilities may be provided, but shall not supplant permanent restroom facilities, when required.
- (h) Maximum capacity. The Fire Marshall and Building Official shall establish the maximum occupant capacity for meetings, training, educational or similar events which shall be appropriate to the site and facilities in terms of capacity in buildings, parking areas and sanitation limitations of the site.

# Public Input:

Letters were sent to property owners within 200 feet of the subject property notifying them of the February 2, 2022 Board of Adjustment meeting. No feedback on the request has been received.

#### Staff Commentary:

The Agricultural Experience Ordinance was written such that every element of the use did not have to be identified on a map. Rather, the use standards were written extensively in order to protect and enhance the health, safety, and welfare of the surrounding area. This allows for adaptability as the business grows or responds to community desires.

Pursuant to the (B)(3)(b)(vi) above the applicant is requesting that the buildings below not meeting the design standards be permitted to be used in conjunction with the use.





#### Findings:

- 1. The approval of the Agricultural Experience Conditional Use would allow the Colony Pumpkin Patch to operate within the City of North Liberty; and
- 2. The Agricultural Experience use complying with the use standards would ensure compatibility with the area.

#### Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request for an Agricultural Experience Conditional Use on approximately 63.17 acres of property located on the east side of Front Street NE approximately 130 feet south of East Tartan Drive (2780 Front Street NE) to the Board of Adjustment with a recommendation for approval subject to the following conditions:

- 1. That the property be annexed into the City of North Liberty; and
- 2. That the buildings identified in the staff report not meeting the design standards be permitted to be used in conjunction with the use.

# Suggested motion:

I move that the Planning Commission accept the two listed findings and forward the request to the Board of Adjustment with a recommendation for approval subject to the two conditions listed by City staff.

Colony Pumpkin Patch is an annual fall agritourism attraction that began as a small PYO pumpkin patch and has expanded into 3 seasons for not only PYO, but also as an 'agritainment' farm welcoming people to get back in touch with their rural roots and immerse themselves in the farm.

We begin our seasons in late summer for PYO sunflowers, then move into fall for PYO pumpkins and fall events, and we end the year by opening for 2 weekends to sell pre-cut Chrstmas trees. We sprinkle in a few one off events like drive-in movie nights, a farm dinner, and a 5K race on the farm as well. What began as an honor system field, has blossomed into a destination providing a fun, family friendly venue to celebrate the changing of the seasons in a unique environment right in the heart of our town! Current offerings include pre-picked and pick-your-own flowers and pumpkins, various home decor, play areas, corn cannons, a 10 acre corn maze, hayrack rides around the property, snack foods, mini donuts, and apple cider drinks. In order to provide more for our guests on the weekends we invite a food truck to feed the crowds, invite various vendors to sell their products, and have started providing live music as well. We have hosted a one day fall festival in the past but have found offering a special experience throughout the season is better for our visitors, as well as giving more vendors a chance to be featured.

Our goal has always been to offer a unique experience to our guests and every year we are asked to offer more. More events, more attractions for all ages, more food, more seasons, more pumpkins, more photo ops, more open hours, and more event space. We'd like to do just that, and in our same unique location. Our hope is that this CUP will provide us the opportunity to do this, grow our business, and stay where we are. Where the Colony family has farmed for just shy of a Century!





# **MEMORANDUM**

To City of North Liberty Planning Commission

From Ryan Rusnak, AICP Date January 28, 2022

Re Request of TSS Investments, LLC to approve a Site Plan for a new building

on approximately 2.4 acres of property located at 340 Herky Street.

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator

Tracey Mulcahey, Assistant City Administrator

Grant Lientz, City Attorney

Tom Palmer, City Building Official

Kevin Trom, City Engineer

Ryan Rusnak, Planning Director

# Request Summary:

The site plan proposes to construct a 9,000 square foot warehouse building and related infrastructure.



# Existing Zoning:

The property is currently zoned I-1 Industrial District. Warehouses are listed as a permitted use in the I-1 District.

## I-1 District Description:

The I-1 Industrial District is intended to provide for the development of modern landscaped light-industrial and commercial establishments which have negligible impacts upon areas outside of the zoned district, and seek a hazard- and nuisance-free environment. The district is intended to provide for manufacture, assembly, fabrication, storage, and/or processing of goods listed for the location of compatible uses.



# Consistency with Comprehensive Plan: The property is designated Industrial on the Future Land Use Map.



The North Liberty Comprehensive Plan articulates the following regarding commercial uses:

Historically North Liberty has seen only light industrial development uses. These uses include light manufacturing and processing, lumber yards, research and development, warehousing, mini-storage, and transport operations. The Future Land Use Map identifies the eventual phasing out or redevelopment of spot industrial properties located within the City's central growth area, which will minimize compatibility concerns and allow for more appropriate uses in these locations.

The I-1 District is consistent with the Industrial designation.

#### Public Input:

No public comments have been received.

### Approval Standards:

Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements" sets forth the approval standards (Ordinance language in *italics* and staff analysis in bold).

- 2. Site Plan Requirements. Site plans, which are required for review and approval for any use in any district or elsewhere by this code, shall comply with and illustrate the following:
  - D. All site plans shall clearly illustrate the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, relationship to flood overlay zones, and such other information as necessary to show compliance with the requirements of this code. A preliminary site plan may be submitted for preliminary land use approval; however, the final site plan required by this code shall be submitted, reviewed, and approved prior to the issuance of building or construction permits.

It is staff's opinion that the site plan illustrates the general methods of development, design, special distribution, location, topography (both existing and proposed), soil erosion control measures, and such other information as necessary to show compliance with the requirements of this code.

- E. The site plan shall include the following legal information:
  - (1) Legal property owner's name and description of property.
  - (2) Applicant's name, requested land use, and zoning.
  - (3) If the applicant is other than the legal owner, the applicant's interest shall be indicated and the legal owner's authority to appeal shall be certified. This information has been provided on sheet C-120.
- F. The site plan shall clearly illustrate in color perspective and enumerate the following information:
  - (1) Property boundary lines, dimensions, and total area. This information has been provided on sheet C-120.
  - (2) Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the final site plan.

This information has been provided on sheet C-140.

(3) The availability and location of existing utilities.
This information has been provided on sheet C-120.

(4) The proposed location, size, shape, color, and material type of all buildings or structures.

This information has been provided on the architectural renderings.

- (5) The total square feet of building floor area, both individually and collectively. This information has been provided on sheet C-120. The existing building is 11,220 square feet in area. The proposed building would be 9,000 square feet in area.
- (6) The number of dwelling units, bedrooms, offices, etc., as required to determine special compliance.
  - This information has been provided on sheet C-120.
- (7) The proposed location of identification signs. An identification sign is defined as a sign displaying the name, address, insignia or trademark, and occupant of a building or the name of any building on the premises. Installation shall be in accordance with the Chapter 173 of this code. No signage is being proposed.
- (8) A vicinity sketch showing detailed adjacent land uses within 500 feet of the property and general existing land uses within 1,000 feet of the property. This information has been provided on sheet C-120.
- (9) Existing buildings, right-of-way, street improvements, utilities (overhead or underground), easements, drainage courses, vegetation and large trees, etc. This information has been provided on sheet C-120.
- (10) Parking areas, number of parking spaces proposed, number of parking spaces required by this code, type of surfacing to be used, etc.

  This information has been provided on sheet C-120.
- (11) Walkways, driveways, outside lighting, walls, fences, signs, monuments, statues and other manmade features to be used in the landscape.

  This information has been provided on sheet C-120. Lighting would be wall mounted fixtures. No walls, fences, monuments or statues are proposed.
- (12) Location and type of all plants, grass, trees, or ground cover to be used in the landscape. Landscaping shall be illustrated in elevation and color perspective with the size and exact names of plants, shrubs, or trees to be planted clearly indicated.

This information has been provided on sheet L100.

(13) Walls, fences or other artificial screens to be used as buffers shall be shown in elevation and color perspective with proposed height and structural material to be used indicated. See Section 169.02 for the guidelines concerning landscaping.

Walls, fences or other artificial screens are not proposed.

- (14) Traffic considerations, architectural themes, pedestrian movement, etc., and all other considerations pertinent to the proposed use may be requested for illustration or statistical purposes.
  - There are no traffic concerns. There are dedicated pedestrian walkways to the Herky Street sidewalk.
- (15) The methods of compliance with all applicable flood plain development standards and flood (overlay) districts as contained in this code.

  The subject property is not located within a flood hazard area.

#### Additional Considerations:

North Liberty Code of Ordinances Section 169.12 entitled, "Design Standards" and Section 169.13 entitled, "Other Design Standards" sets forth certain design standards (applicable Ordinance language in italics and staff analysis in bold).

#### Section 169.12

- 1. Requirements for All Districts. The following requirements shall be observed for all development in all districts:
  - A. Building design shall be visually harmonious and compatible with the neighborhood character.
    - It is staff's opinion that the building design would be visually harmonious and compatible with the area.
  - B. Buildings located on property with double frontages shall have similar wall design facing both streets.This not applicable.
  - C. Buildings shall have a consistent architectural style throughout the development on each lot, as defined by repetition of exterior building material and colors, and architectural elements.
    - There is a consistent architectural style throughout the development.

- D. Except for the ID, RS RD and R-FB districts, color schemes shall be primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited. The building would be tan in color.
- E. Special attention shall be taken to incorporate external mechanical equipment into the design such that it does not detract from the aesthetics of the site and building. Any exterior equipment will need to be screened.
- F. Except in the R-FB district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs. This does not apply to portions of a roof that are separate from the structure's primary roof. The color of the roof shall be visually harmonious and compatible with the building color scheme.

  The building would achieve consistency with this requirement.
- G. Roof top equipment shall be screened. No rooftop equipment is proposed.
- H. Reflective surfaces that may cause glare or traffic hazards are not acceptable. Reflective surfaces are not proposed.
- 5. Requirements for Development in Industrial Zoning Districts.
  - A. For exterior walls not composed of masonry products, stucco, wood siding, premium-grade vinyl siding if installed horizontally, or other materials similar in appearance are preferred.
    - It is staff's opinion that the parking lot screening achieves consistency with this design standard.

#### Section 169.13

- 2. Parking Lot Screening. All parking lots shall be screened from public streets utilizing plantings and berms to help maintain visually attractive corridors.
  - It is staff's opinion that the parking lot screening achieves consistency with this design standard.

- 4. Yards, Ground Cover, and Landscaping. Established grass, either sod or seed, is required for all yards for all new buildings and additions over 500 square feet in area, in addition to trees and screening that may also be required by other code sections, prior to occupancy.
  - B. Tree Requirements for Commercial, Office Park, or Industrial Development. For each Commercial, Office Park, or Industrial Development, one tree will be shown for every 2,000 square feet of building footprint.

It is staff's opinion that the parking lot screening achieves consistency with this design standard.

Staff Recommendation:

#### Findings:

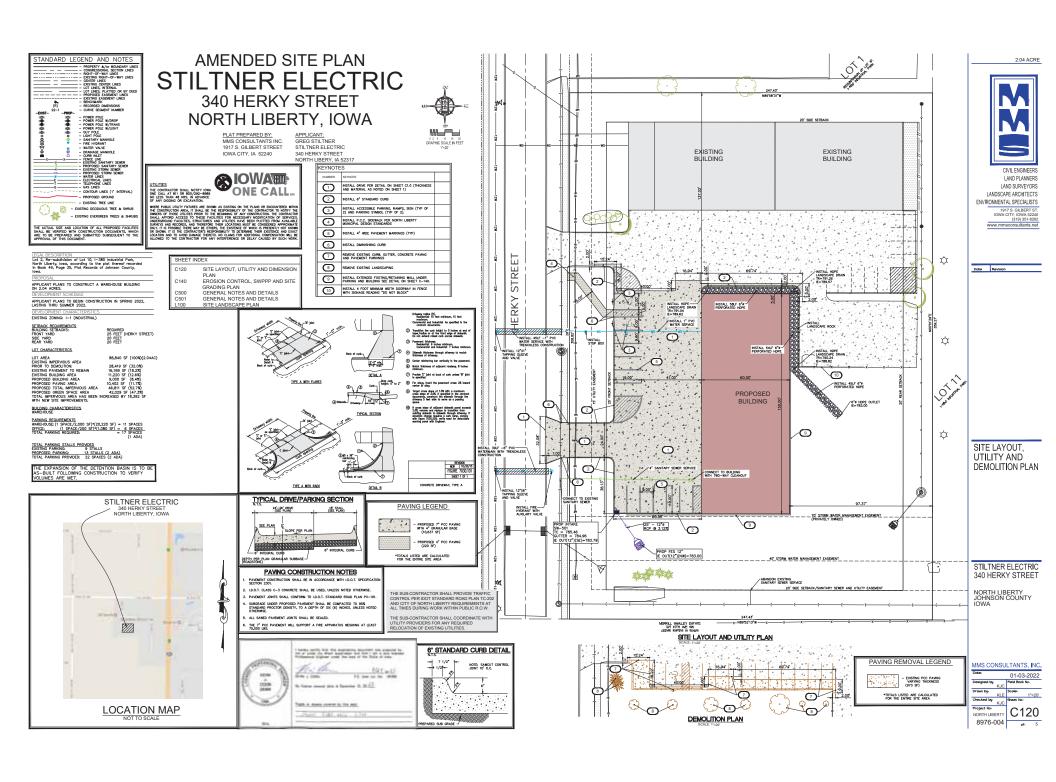
- 1. The industrial use of the property would be consistent with the current I-1 Industrial District and the Comprehensive Plan Future Land Use Map designation of Industrial; and
- 2. The site plan would achieve consistency with North Liberty Code of Ordinances Section 165.04(2) entitled, "Site Plan Requirements" Section 169.12 entitled "Design Standards, Section 169.13, entitled "Other Design Standards" and other Code of Ordinance requirements.

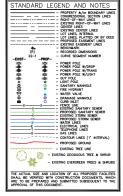
#### Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request to approve a site plan for a new building at 340 Herky Street to the City Council with a recommendation for approval.

#### Suggested motion:

I move that the Planning Commission accept the two listed findings and forward the site plan to the City Council with a recommendation for approval.





THE SUB-CONTRACTOR SHALL COORDINATE WIT UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.

# SILT FENCE DETAIL COMPACTED NATIVE

INSTALLATION

INSTALLATION

INSTALLATION

INSTALLATION

A MANUAL ISSUE OF PART STEEL OFFICE SHEEL

A MANUAL ISSUE OF PART STEEL OFFICE

A MANUAL ISSUE OF PART STEEL OFFI

A MANUAL OFFI

MAINTENANCE

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THE SLT FENCE'S EFFECTIVENESS SHALL BE MADE

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BECOME NEFFECTIVE PRIOR TO STABILIZING THE
UPSLOPE AREAS THE FABRIC SHALL BE REPLACED
PROMPTLY.

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BLEEDED AS DIRECTED BY THE POLLUTION PREVENTION
PLAN, GOMERALLY SELT FENCES SHALL REMAIN UNTIL THE
UPSLOPE AREAS ARE STABILIZED
GRASS COVER AS A MINIMUM.

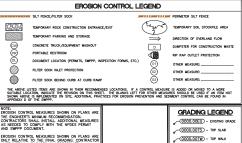
# AMENDED SITE PLAN STILTNER ELECTRIC 340 HERKY STREET

NORTH LIBERTY, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY IA 52240

APPLICANT: GREG STILTNER STILTNER ELECTRIC 340 HERKY STREET NORTH LIBERY, IA 52317





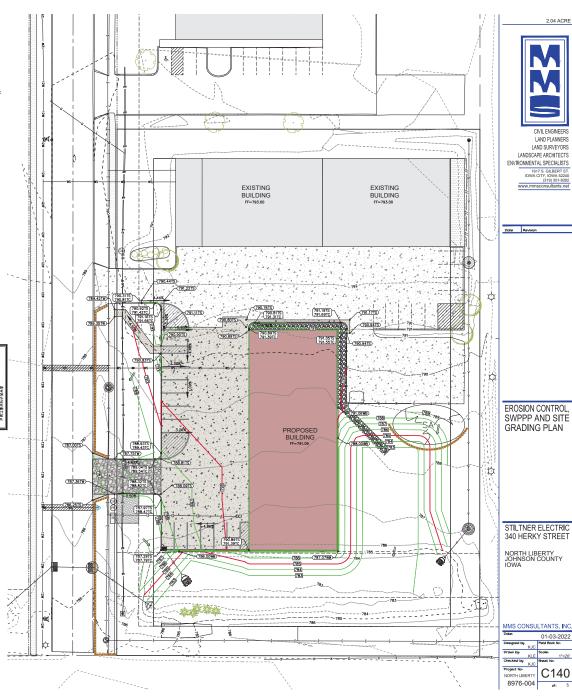
EROSION CONTROL MEASURES SHOWN ON PLANS ARE ONLY RELATIVE TO THE FINAL GRADING. CONTRACTOR MUST INSTALL MEASURES IN APPROPRIATE LOCATIONS DURING ALL PHASES OF SITE GRADING WORK AND ANY OTHER SOIL DISTURBANCE ACTIVITY. C120 SITE LAYOUT, UTILITY AND DIMENSION

PLAN EROSION CONTROL, SWPPP AND SITE GRADING PLAN GENERAL NOTES AND DETAILS C500 C501 GENERAL NOTES AND DETAILS SITE LANDSCAPE PLAN

-(0000.00FG) - FINISHED GRAD ALL ELEVATIONS ARE TOP OF SLAB UNLESS OTHERWISE NOTED.



SEE DIAN MEW COD WALL LOCATION WALL DESIGN SUPPORTING STRUCTURAL LOAD TO BE VERRIED BY A STRUCTURAL ENGINEER.



CIVIL ENGINEERS LAND PLANNERS

LAND SURVEYORS

01-03-2022

KLE Scale: 1"=20"

# GRADING AND EROSION CONTROL NOTES

TOTAL SITE AREA: 2.04 ACRES TOTAL AREA TO BE DISTURBED: 2.04 ACRES ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES THAT COULD BE USED ON SITE, IF NEEDED, CAN BE FOUND IN APPENDIX D OF THE STOM WATER POLLUTION PREVENTION PLAN (SWPPP) BROISE PREPARET FOR THE SITE. IF ADDITIONAL MEASURES ARE USED, INDICATE THE TYPE, AND LOCATION OF SAID MEASURE ON THIS PLAN.

CONTRACTOR SHALL INSTALL A ROCK ENTRANCE AND PERFORM REGULAR CLEANING OF VEHICLES THAT LEAVE THE SITE.

THE CONTRACTOR SHALL FOLLOW THE NPDES PERMIT, SWPPP, AND THE CITY CSR REGULATIONS. THE EROSION CONTROL CONTRACTOR SHALL INSTALL FILTER SOCKS OR OTHER APPROVED FORM OF INLET PROTECTION AT EACH STREET INTAKE ADJACENT TO THE SITE.

#### STABILIZATION SEEDING

STABILIZATION SEEDING SHALL BE IN ACCORDANCE WITH LD.O.T. STANDARD SPECIFICATION SECTION 2801.03 STABILIZING OROP SEEDING AND FERTILIZING

SPRING- MARCH 1 TO MAY 20 OAT GRAIN RYE RED CLOVER

SUMMER - MAY 21 TO JULY 20 OAT GRAIN RYE RED CLOVER TIMOTHY 3 BUSHEL PER ACRE 35 LBS PER ACRE 5 LBS PER ACRE 5 LBS PER ACRE

FERTILIZER SHALL BE APPLIED AT A RATE OF 450 LBS PER ACRE USING CHEMICALLY COMBINED COMMERCIAL 13-13-13 FERTILIZER.



CIVIL ENGINEERS ENVIRONMENTAL SPECIALISTS

Date Revision

LAND PLANNERS

LAND SURVEYORS

LANDSCAPE ARCHITECTS 1917 S. GILBERT ST. IOWA CITY, IOWA 52240 (319) 351-8282

**GENERAL NOTES** AND DETAILS

STILTNER ELECTRIC

NORTH LIBERTY JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

01-03-2022 **Drawn** by KLE Checked by KJC Project No Project Nov NORTH LIBERTY C500

8976-004

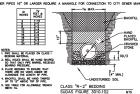
15) ALL STORM INTARES SHALL BE A MANAUM OF 48 INCHES FROM TOP OF CURB/RBM TO SUBGRADE.
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DEAR AT INVESTIGATION SERIES WILL NOT BE ALLOWED.

17) PROVIDE CONCRETE FILLETS IN ALL NEW & EXISTING DRAINAGE STRUCTURES PER REFERENCED DETAILS.

18) MANHOLE AND INTAKE CASTING TO BE NEBRAH R-1642 SELF SEALING OR APPROVED EQUAL WITH PRIVATE LODG FOR U OF I PROPERTY AND A MINNAUM OF ORE-CONCEALED PICK HOLE, MANHOLE FRAMES IN PARMO SHALL ALSO DE KNOR-POOKING. 19) SUBDRAIN CUTLETS SHALL BE CMP AND INCLUDE ROCENT GUARDS MEETING SUDAS 4040 PART 2.05.E.

A FIVE-YEAR MAINTENANCE BOND COVERING DEFECTIVE MATERIALS AND WORKMANSHIP IS REQUIRED FOR ALL STORM SEWER FACILITIES TO BE DEDICATED TO THE CITY.

21) ENTRY INTO EXISTING MANHOLE OR STORM STRUCTURES SHALL REQUIRE CORE DRILL AND USE OF LINK LEAL TYPE WALL PENTRYATION SEA, OR INNIVERS PHYPROVED COLAL. IF CORE DRILLING IS IMPRACTICAL DUE TO PIELD CONDITIONS, OTHER METHODS FOR CONNECTION MAY BE ALLOWED IT APPROVED BY CITY



WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BYING THE CONTRICTION ABOUT THE SET THE SEPTIMENTALY OF THE CONTRICTION TO THE CONTRICTION THE

14) MANHOLE FRAME AND UD SHALL BE NEENAH R-1842 SELF SEALING OR APPROVED EQUAL, WITH PRIVATE LOGO FOR U OF I PROPERTY, AND A MINIMUM OF ONE-CONCEALED PICK HOLE. MANHOLE FRAMES IN PAVING SHALL ALSO BE NON-ROCKING.

15) PIPE PENETRATIONS INTO STRUCTURES SHALL BE A FLEXIBLE WATERTIGHT SEAL, ALLOWABLE PREMANUFACTURED SEALS INCLUDE LINK-SEAL, A-LOK, PSX-DIRECT DRIVE BOOTS OR ENGINEER APPROVED COULL.

17) ALL SANTARY MANHOLES REQUIRE CHINNEY SEALS. USE EXTERNAL CHINNEY SEALS BY INFI-SHELD UNBAND, CRETEX OR APPROVED EQUAL, INTERNAL CHINNEY SEALS BY ORIETX OR APPROVED EQUAL, WILL BE ALLOWED ONLY IN PROPOSED PAVED AREAS INHERS SUP-FORM PANNO WILL BE UTILIZED FOR CONSTRUCTION.

18) MANHOLES PLACED IN PAYEMENT SHALL HAVE RIM ELEVATION FLUSH WITH THE FINISH GRADE. MANHOLES IN NON-PAYER AREAS SHALL HAVE A RIM ELEVATION 0.20 FOOT ABOVE FINISH GRADE.

19) MANHOLE ADJUSTMENT RINGS SHALL BE CRETEX PRO-RING, AMERICAN HOHMAY PRODUCTS RUBBER ADJUSTMENT RING, LIDITION HEPE ADJUSTMENT RINGS OR STANDAND FOC. IF POC SINGS ARE USED: SHALLS TO LIVED, MANHOLE RINAME MADE (SHALLS AND MATERIALS ORDERS HAVE FOR LIVEDED, CLE. WOOD, SHOCK, MOOST, ORDER MOOST, OR LIVED AND REPORT OF LIVEDED, CLE. WOOD, SHOCK, MOOST, OR HORIZONE AND INTERNAL OR EXTERNAL CHARGEY SE PRINTALLED PRE MANAPACTURES REGORDERENTS.

20) PROTECT SERVICE LINE PIPE FROM THE ELEMENTS AND SOIL WHILE IN STORAGE AND DURING INSTALLATION. EXCESSIVE SOIL MATERIAL FOUND IN THE COMPLETED LINES DURING WASTE WATER DEPARTMENT INSPECTION AND ENTERING THE SANITA SEVER MAIN TO BE TURNED ONE TO THE CITY, WILL CAUSE THE INSTALLATION TO BE RECEIVED BY THE CITY.

25) A FIVE-YEAR MAINTENANCE BOND COVERING DEFECTIVE MATERIALS AND WORKMANSHIP IS REQUIRED FOR ALL SANITARY SEWER AND WATER MAIN IMPROVEMENTS TO BE DEDICATED TO THE CITY.

26) ALL FIELD CONSTRUCTED MANHOLE OR STRUCTURES SHALL USE WATER STOP ON ALL CONSTRUCTION JOINTS AND APPROVED SEALS FOR ALL WALL POINTRATIONISM

MHERE PUBLIC OR PRIVATE UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS, OR ENCOUNTERD WITHIN THE CONSTRUCTION MEAL. IT SHALL BE THE SEPONSEBLITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE ECONTRACTOR SHOWN OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THOSE PACILITIES FOR NICCESSARY MODIFICATION OF SERVICES. UNDERGRADAR PACILITIES, STRUCTURES AND UTILITIES

HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER FADLITIES IN THE CONSTITUCTION AREA, THE ENSTREME OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN HERBOX, IT IS THE CONTROL TOWNSBELLTY TO

DETERMINE THEIR EXISTENCE AND EXACT LOCATION, AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

16) MANHOLE STEPS ARE NOT ALLOWED IN MANHOLES TO BE TURNED OVER TO THE CITY

21) ALL SANTARY SEWER SERVICE LINES SHALL BE EXTENDED TO THE UTILITY EASEMENT LINE 22) SEWER SERVICES 8" OR LARGER REQUIRE A MANHOLE FOR CONNECTION TO CITY SEWER MAINS 23) ANY EXISTING SERVICES TO THE PROPERTY ARE TO BE ABANDONED AT THE MAIN BY MECHANICAL PLUG AND PCC CAP. 24) ANY ADDITIONAL ABANDONED SEMENS OR OTHER ABANDONED UTILITIES IN THE ABEA NOT SHOWN ON PLANS THAT ARE EMERGENE OF THE CONTRACTOR SHALL BE REMOVED AS MEZIEDE ACCORDING TO THE REQUIREMENTS OF THE SPECIFIC UTILITY.

#### SANITARY SEWER CONSTRUCTION NOTES

 SANTARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATEMBLE URBAN DESIGN AND SPECIFICATIONS (SUDAS) STANDARD SPECIFICATIONS, GENERAL SUPPLEMENTAL SPECIFICATIONS AND SUPPLEMENTAL SPECIFICATIONS. 2) CLASS I GRANULAR BEDDING MATERIAL IS REQUIRED FOR ALL SANITARY SEWER UNLESS NOTED OTHERWISE ON THE PLANS.

14) ALL PIPE SHALL BE CERTIFIED.

STORM SEWER CONSTRUCTION NOTES STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SUDAS STANDARDS SPECIFICATIONS, GENERAL SUPPLEMENTAL SPECIFICATIONS, AND SUPPLEMENTAL SPECIFICATIONS.

2) ALL STORM SEWERS SHALL BE CLASS 3 ROP UNLESS NOTED OTHERWISE IN THE PLANS.

AT PLACES WHERE A FLARED END SECTION IS REQUIRED, PIPE LENGTH INCLUDES THE FLARED END. THE LAST THREE JOINTS (FOR FLANDO DID SECTIONS AND LAST TWO PIPE SECTIONS) ARE TO BE TIED WHERE FLARED END SECTIONS ARE REQUIRED.

4) ALL STORM SEWERS SHALL BE PROVIDED WITH CLASS R2 BEDDING PER FIGURE 3010.102, UNLESS NOTED OTHERWISE

O'UNITED SEAT TRACKET LOCATE UNCER AND WHISH S-FILT OF PAND SERVICE, NALIDON ON THE ANGLE SEATON OF THE SERVICE SEATON OF THE SEAT

6) PIPE PIDETRATIONS INTO SPULLINES SHALL HAVE A WATERSTON OF FLORIBLE INTERTRECT SEAL HAVE A SHARP AND A SHARP

ALL MANHOLS AND STRUCTURES ROURS CHIMNEY SEALS, USE EXTERNAL CHANNEY SEALS BY NRT-SHED UNBAND, OSETEX OR APPROVED EQUAL INTERNAL CHANNEY SEALS BY OSETEX OR APPROVED EQUAL INTERNAL CHANNEY SEALS BY OSETEX OR DEPOVED FAUNT

6) FOR ALL STRUCTURES, BATER STOP SHALL BE USED IN ALL FIELD CONSTRUCTION JOINTS AND COLD JOINTS ALL CONSTRUCTION AND FIELD CONTS SHALL USE MATER STOP AND ALL PIPE PRETENTIONS TO STRUCTURE OF THE PROPERTY OF THE PROPERT

) MANHOLES PLACED IN PAYEMENT OR IN THE PARKWAY (BETWEEN THE SIDEWALK AND STREET) SHALL BE FLUSH WITH THE FRISH GRADE, MANHOLES IN NON-PAYED AREAS OUTSIDE OF THE RIGHT-OF-WAY SHALL HAVE A ROW ELEVATION 0.2-POOT ABOVE PINSH GRADE

10) CASTING TO BE PLACED ABOVE OUTLET SIDE OF INTAKES, PLACE MANHOLE OPENING OVER DISCHARGE SIDE OF DOUBLE-BOX INTAKES.

OF DOMEST-BUT NIMES.

IN MANICLE DUSINEMENT RINGS TO BE ORITICE PRO-RING, AMERICAN HIGHBAY PRODUCTS RUBBER ADJUSTMENT RING, LIDECH HOPE ADJUSTMENT RINGS OR STROMAND PICE. F PICE RINGS ARE USED, SHIMS TO LEVEL MANICLE PRIME MACE OF AMERICAN SHIPS TIME MOC OF THE RING MALERIAL DICUSSED ADDIVING HILL NOT BE ADJUSTABLE AND SHIPS THAT OF LIGHTER DICUSSED ADDIVING HILL NOT RECITIES ALL RINGS, BOOK, ROOKS, EUSE AND INSTITUTION OF LIGHTER PROGRAMMENTS.

TO RECITIE AT ROOT, BRITISHAL OR DEPENAL CHARKET SELF, IT RISTILLED PER MANIFACTURES REQUIREMENTS.

12) STEPS WILL NOT BE ALLOWED IN MANHOLES OR INTAKES TO BE TURNED OVER TO THE CITY. 13) ALL STORM SEMERS SHALL HAVE CONFINED "O" RING GASKETS. STORM SEMERS 36" AND SMALLER SHALL HAVE BELL AND SPIGOT JOINTS. STORM SEMERS LARGER THAN 36" MAY HAVE TONGUE AND GROOVE JOINTS. NO MARTIC JONES ALLOWED.

RIRPAP DIMENSIONS

12 4 4 6 3

15" 6' 6' 6" 3"

30° 14' 14' 12° 6°

36" 17' 17' 18" 9" 42" 20' 20' 18" 9"

48" 22' 22' 18" 9"

54" 26' 26' 24" 12"

PLACE P.C.C. SLAB

TWO-WAY CLEANOUT

PLAN

रम्याप्राह्मस्य जाहतस्य

2 LAYERS BUILDING PAPER OR FIBER PACKING BETWEEN PIPE AND CONCRETE SLAB

CLEANOUT BEND AND RISER TO BE THE SAME SIZE AND MATERIAL AS SEWER

(SEE PLANS)

SEE PLANS FOR DIAMETER OF SEWER MAIN.

PLAN

ELEVATION.

SHEET INDEX

C120

C140

C501

SINGLE GRATE INTAKE

FRAME AND LID NEENAH R-1792 -CL. OR EQUAL

7 8" 4"

MIDAS MILE

PRODUCTION.

12" 6"

3) SANITARY SEWER MAINS 8 TO 15 IN DIAMETER WILL BE SEMI-RIGID POLYVINYL CHLORIDE COMPOSITE PIPE (PVC TRUSS PIPE). PVC COMPOSITE PIPE SHALL CONFORM TO ASTM D2880-90. F-3 BEDDING SHALL BE USED FOR SANITARY SEWER CONSTRUCTION AS PER SUIJAS 300-103.

4) SANITARY SEWER MAINS 18" OR LARGER SHALL BE REINFORCED CONCRETE PIPE (RCP), RCP SHALL COMPLY WITH ASTM C76 (AASHTO M 170), MINIMUM CLASS IV, WALL B WITH FLEXIBLE O-RING GASKETS COMPLYING WITH ASTM C443 (ASSHTO M 315).

5) SANITARY SEWER SERVICE PIPE AND FITTINGS SHALL BE SOR 23.5 POLYMINYL CHLORIDE (PVC) PER SECTION 4010 OF SUDAS, SANITARY SEWER SERVICE LINES SHALL BE PVC, SOR 23.5 WITH GASKETED JOINTS, SANITARY SEWER SERVICE LINES SHALL BE 4" DAMETER UNLESS NOTED OTHERWISE.

SANITARY SEMER MAINS AND SERVICES CAN BE INSTALLED BY DIRECTIONAL DRILLING ACCORDING TO SUDAS STANDARD SPECIFICATION SECTION 3020 AND THE FOLLOWING REQUIREMENTS:

A. USE RESTRAND JOHN PIO PRO CRITICIO REGISTRANDE SOR 21 DE APPRICED EQUAL.

1. THE PROPOSED PRE SLOVE MUST BE 2 DOS ON GRACIER.

2. SAMPLANDAMINATOR SAUL, PROVOSE VIDO THE PLESON WITH AN INCLINENTED. THE COMMISSION SAUL PROVINCE VIDO THAN EXCENDE OF THE DITTER PLESON THE MISS SORE INFORMATION SAUL PROVINCE VIDO THAN EXCENSION OF THE DITTER PLESON, THAN IN SOME INFORMATION SAUL AND CONTINUED SAUL SECONDAMINATOR SAUL PROVINCE VIDO THAN THE MORNING SAUL CONTINUED SAUL

7) ALL SERVICE TAPS TO DIRECTIONALLY DRILLED PVC SANITARY SEWER SHALL BE INSTALLED USING CORE DRILL.
COUPONS SHALL HE TURNED OWER TO THE CITY ONCE COMPLETED, CORE DRILLING AT PIPE JOINTS IS NOT ALLOWED.

8) SEWER SERVICES TAPPED INTO DIRECTIONALLY DRILLED PVC SANITARY SEWER SHALL USE CB STYLE SEWER SADDLE WITH STAINLESS STEEL CLAMPS BY ROMAC INDUSTRIES, OR APPROVED EQUAL.

9) CONTRACTOR TO PROVIDE FERNCO STRONG BACK RC 1000 OR 5000 COUPLINGS FOR DISSIMILAR PIPE CONNECTIONS ON ALL SWATTERS PRODUCE, RELIGION STANCE LISE TRANSES, LOCATED MODE AND WHITE SHETCH CON-TRANSPORT AND ALL STANDARD STANCE (ONE ACT SWALTERS AND ALL STANDARD AND ALL STANDARD

11) ALL SANITARY SEWER SERVICE LINES CROSSING STREET RIGHT-OF-WAY SHALL BE BACKFILLED IN ACCOUNT PHE PRECEDING NOTE.

12) ALL SANTHARY SEMER SERVICE LINES SHALL BE EXTENDED:
A. TO THE UTILITY EASIBURIT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ON THE OPPOSITE SECO F THE STREET. FROM THE SEMER MAIN.
B. TO THE UTILITY EASIBURIT LINE FOR THOSE LOCATIONS WHERE THE LOTS BEING SERVED ARE ADJACENT TO THE UTILITY EASIBURIT LINE.

13) ALL SANITARY SEMER AND SERVICE LINES SHALL PASS AIR DEFLECTION TESTS PER SUDAS SECTION 4060: CLEANING, INSPECTION, AND TESTING OF SEMERS

WATER MAIN CONSTRUCTION NOTES WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATEMED URBAIN DESON AND SPECIFICATIONS (SUDAS) STANDARD SPECIFICATIONS, GENERAL SUPPLEMENTAL SPECIFICATIONS AND NORTH-LEBRITY SUPPLEMENTAL SPECIFICATIONS.

FOR DIMETER WITH MAN SHALL BE OF THE PICE PRE, UNLESS ORIGINED ROTTO IN THE PLANS. IN LOCATIONS SO NOTICE OF DIMETER WITH MANS SHALL BE CLASS SO DIF. 12° WATER MANS SHALL BE CLASS SO DIF. MERCE LISE CONTROL TO BE CONTROL THE CONTROL OF THE PLANS SHALL BE CLASS SO DIF. MERCE LISE CONTROL TO SEE CONTROL THE CONTROL OF THE PLANS SHALL BE AN ARTHOR SHALL BE CONTROL OF THE CONTROL OF

ALL WRITE MAN PROMISES ROLLING STRUCK LEK PROMISES, LOCATIO LIMER AND WINKS 4-TEET OF PARE I SACURLING WITH A CASE A CRIMINAL STRUCK CASE OF THE ACCURATE AND WINKS 4-TEET OF PARE I SACURLING WITH A CASE A CRIMINAL STRUCK CASE AND ACCURATE AND ACCURAT

) ALL FITTINGS, JOINTS, AND VALVES SHALL BE RESTRAINED.

4) ALL INTERM. ARTIST, OF THE MATERIAN OF THE

WATER MAIN SHALL NOT PASS THROUGH NOR CONTACT A SEWER OR A SEWER MANHOLE. A MINIMUM HORIZONTAL SEPARATION OF 3 FEET SHALL BE MAINTAINED.

OFFICIAL SPENNING OF MATER MADE CORONIO DEE ANY SHAFFER SINCE SHOULD BE A MARKET OF MI-MORE.

SPANING, BE WITH MAD COLUMN THE MADE CORONIO DEE ANY SHAFFER SINCE SHOULD BE A MARKET OF MI-MORE.

SPANING, BE WITH MAD SHALL NOT BE PAUSE CORON THAN 8-MORES ARROY. A SERVE OF MI-MORE SHOW A
OUT LIST THAN 10 MORE SHOULD BE ANY SHAFFER MAD COLUMN THAN 10 MORE SHOULD BE A MADE AND THAN 10 MORE SHOULD BE ADMITTANT OF THE MADE AND THAN 10 MORE SHOULD BE ADMITTANT OF THE MADE AND THAN 10 MORE SHOULD BE ADMITTANT OF THE MADE AND TH

HARRE THE WAITER MAIN CROSSES SEWER, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS ARE AS FAR AS POSSILE FROM THE SEWEX. THE WATER AND SEWER PIPES MAST BE ADEQUATELY SUPPORTED AND MAKE WATER TIGHT JOINTS. AND PERMEABILITY SOIL SHALL BE USED FOR BACFUL MATERIAL WITHIN 10-PERT OF THE POINT OF CROSSING.

WATER SERVICE LINE AND UTILITY METER PLACEMENT AND ACCESSIBILITY SHALL MEET ALL PERTINENT CITY OF NORTH LIBERTY CODES AND WATER DIVISION STANDARDS, SPECIFICATIONS, AND POLICIES.

EXISTING WATER SERVICE TO BE DISCONNECTED PER CITY OF NORTH LIBERTY STANDARDS, CONTRACTOR TO VIRBITY.

ANY ADDITIONAL ABANDONED WATER SERVICES OR OTHER ABANDONED UTILITIES IN THE AREA NOT SHOWN ON PLANS THAT ARE ENCOUNTERED BY THE CONTRACTOR SHALL BE REMOVED AS NEEDED ACCORDING TO THE REQUIREMENTS OF THE SPECIFIC UTILITY.

A FIVE-YEAR MAINTENANCE BOND COVERING DEFECTIVE MATERIALS AND WORKMANSHIP IS REQUIRED FOR ALL
MATER MAIN IMPROVEMENTS TO BE DEDICATED TO THE CITY.

2 Refer to SW-514 for boxout details. Install four #4 diagonal bars at all Opipe openings. Form Grade SW-603 Type R unless Type Q is Ospecified in the contract documents. ③Cast-in-place base shown. If base is precast integral with walls, the footprint of the base is not required to extend beyond the outer edge of the walls. 12 inch minimum wall height above Location Station (Back of Curb) Base\_2 4b2 Short Wall \_ 3'-0" SECTION A-A PLAN SUDAS CHRIMINION SW-50 REINFORCING BAR LIST FIGURE 6010.501 STANDARDROAD PLAN | MAXIMUM PIPE DIAMETERS | Pipe | Precast | Cast-in-place | Location | Structure | Short Wall | 15" | 18" | Long Wall | 24" | 30" | Zue Scaligent Brian Brita

STEEL SAME SAME

Time.

MINE terms

STEEL Services

See

Total Labour

(i) Found Stand district words of the control of the control

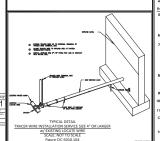
BUDAS TEMAN

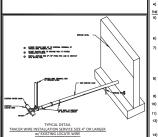
\$100 bearing buildings

COMMAND DESIGNATION

(i) happing day of the star

SUDAS TEMAS



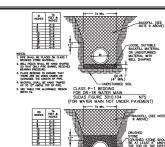


SITE LAYOUT, UTILITY AND DIMENSION

EROSION CONTROL, SWPPP AND SITE

GRADING PLAN GENERAL NOTES AND DETAILS

GENERAL NOTES AND DETAILS



NOTES:

1. PIPE SHALL BE PLACED ON CLASS 1
ORUSHED STONE MATERIAL. 2. BELL HOLES SHALL BE HAND SHAPED SO THAT ONLY PIPE BARREL RECEIVES BLACKS PRINCED TO ENSURE THAT THERE ARE NO VOIDS UNDER OR ALENSADE THE LENGTH OF PRE.

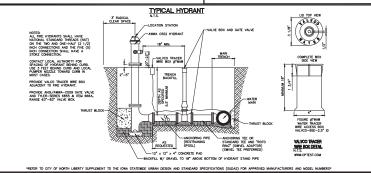
A. BACKFILL SHALL BE HAND TAMPED UP TO 12" ABOVE TOP OF PIPE. S. SEE TABLE FOR ALLOWABLE TRENCH

SUDAS FIGURE 3010.104 NTS DIP AND PVC WATER MAIN SHALL BE PROVIDED WITH CLASS P-1 BEDDING OUTSIDE OF PAVEMENT AND CLASS P-3 TRENCH BEDDING UNDER PAVEMENTS PER SUDAS SW-104.

AND CLASS P-3 TROOK EXCENDING VIEW PARABOTH FOR SLAD SH-164.

WHERE PAREL OF PROVIDENT UTILITY TOWNERS ARE SHOWN AS CENTRO ON IR PLANS. OF EXCENDING WHITE IN CONTRACTOR SHALL AFFORM ACCOSS TO THOSE PARALITIES FOR HICKSSAFF AREPORTED ON CONTRACTOR SHALL AFFORM ACCOSS TO THOSE PARALITIES FOR HICKSSAFF AREPORTED AFFORM ACCOSS TO THOSE PARALITIES FOR HICKSSAFF AREPORTED AFFORM ACCOSS TO THOSE PARALITIES FOR HICKSSAFF AREPORTED AFFORM ACCOSS AND THOSE PARALITIES FOR HICKSSAFF ARE ARE AND ACCOUNT. THE PARABOTH AND THE PARALITIES FOR THE PARALITY FOR THE PARALITIES FOR THE PARALITY FOR TH

340 HERKY STREET



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C120	SITE LAYOUT, UTILITY AND DIMENSION PLAN
C140	EROSION CONTROL, SWPPP AND SITE GRADING PLAN
C500	GENERAL NOTES AND DETAILS
C501	GENERAL NOTES AND DETAILS
L100	SITE LANDSCAPE PLAN

2.04 ACRE



CIVIL ENGINEERS
LAND FLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS
1917 S. GILBERT ST.
JOWA CTY. JOWA 62240
(301) 351-6282
www.mmsconsultants.net

Date Revision

GENERAL NOTES AND DETAILS

STILTNER ELECTRIC 340 HERKY STREET

NORTH LIBERTY JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

# AMENDED SITE PLAN STILTNER ELECTRIC 340 HERKY STREET NORTH LIBERTY, IOWA

PLAT PREPARED BY: MMS CONSULTANTS INC. 1917 S. GILBERT STREET IOWA CITY, IA 52240

APPLICANT: GREG STILTNER STILTNER ELECTRIC 340 HERKY STREET NORTH LIBERY, IA 52317



ONE CALLS

MERE FALLO UNITY FORMERS ARE SHOWN AS DESTINE OF THE FALSO OR ROCATIONS WITH MERICAN PROPERTY OF THE PROPERTY

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C120 SITE LAYOUT, UTILITY AND DIMENSION PLAN
C140 EROSION CONTROL, SWPPP AND SITE GRADING PLAN
C500 GRADING PLAN
C501 GENERAL NOTES AND DETAILS
L100 SITE LANDSCARE PLAN

THE SUB-CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL FER DOT STANDARD POAD PLANT C-202 AND CITY OF NORTH LIBERTY REQUIREMENTS AT ALL TIMES DURING WORK WITHIN PUBLIC R O.W. THE SUB-CONTRACTOR SHALL CORDINATE WITH UTILITY PROVIDERS FOR ANY REQUIRED RELOCATION OF EXISTING UTILITIES.





# | - THE LADSCAPE CONTRACTOR SHALL VERTY ALL LOCATIONS OF UNDERSTAND UTLITIES ON SITE PRIOR TO LADSCAPE INSTALLATION. 2 - PLANT QUARTIES ARE FOR INFORMATION ONLY, DRAWNING SHALL PREVAIL IF COMPLETE OF CHES.

5 - KRD, SIZE AND GULLTY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NESSERY STOCK, ANN ZAO - 1930, OR MOST RECENT ADDITION.
4 - LAYGUT OF PLANT MATERIAL AT SITE SHALL BE APPROXED BY THE LANDSCAPE.
RECENTED FROM TO BATCH LATION.

LANDSCAPE NOTES:

- 4 LAYOUT OF PLANT MATERIAL AT SITE SHALL BE APPROVED BY THE LADISCAPE ACCURTED PRIOR TO NOTALLITION 5 - ALL PLANTING BED AREAS SHALL HAVE QULITY TOPISOL ADDED (IF NEEDED) BY LADISCAPE CONTRACTOR TO PRING BED GRADES 5" - A" BELOW EDISTING CONCRET
- RECOMENDED TO YIST SITE)

  # FINSH GRUPNS OF PLANT BED AND SOD AREAS SHALL BE PERFORMED BY LINDSCAPE CONTRACTOR.
- CONTRACTOR.

  1 ALL SRID AND PERENNAL PLANTING AREAS SHALL HAR A MINIMAL 9 NOT DEEP BED OF DOLLE SPREDDED HIROMODID DAYS, MILLOT AND A APPLICATION OF A DEPLICAMENT OF A PERSONNEL PROPERTY OF A PERSONNEL PROPERTY OF METAL OF A PERSONNEL PROPERTY OF METAL OF A PERSONNEL PROPERTY OF METAL OF
- B LADISAPE EDGIS DETVEDI DIPIX MULCH AP LAWN REDIG GHUL DE A GPADE.

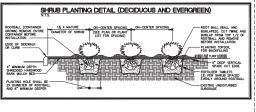
  TO TEME. DIPIC SHUL DE INSTALED VERTICAL AP ACCRONNS TO DETALS.

  5 GTANDS GHUL DE ROQUEDO AN ALL TREED OLDERT MULTI-DATA WRIETEDS

  STANC USING (1) AF STEEL T'P POST PLACED AUTSIDE OF RADITALL.

  APA APREPED TO TIBING A TIBER WITH 16 GABLE AND ANOISM.
- D ALL TREES FREE-STADING IN LAWN AREAS AND IN PLANTING BEDS SHALL BE WRAPPED WITH A STADARD MANUFACTURED TREE WRAP AND PARTINED WITH TWAP OR APPROADD METHOD
- II AL TREES FREE-STAIDING WITHIN LANN AREAS SHALL HAVE A MINIMUM 4 FT. DIA. RING OF DOUBLE SHREDDED HARDWOOD BARK MILLOH AT A 9 NOT DEPTIT.
- B. AL LANDSCAPE PLANTINGS AND SOD AREAS SHALL BE THERADELY WITTERD LIPAI INSTITULATION AND A TOTAL OF (9) WASTERNOS BETO'RE NITH, ACCEPTANCE AND SHALL BE JANNIANED FOR (50) DAYS OR LIMIT, ROOTED IN ID—LANDSCAPE CONTRACTOR MUST FOLLOW ALL BETALS PROVIDED ON STEET'S PESCREDNIS LANDSCAPE CONTRACTOR MUST FOLLOW ALL DETAILS PROVIDED ON STEET'S PESCREDNIS LANDSCAPE CONTRACTOR MUST FOLLOW ALL DETAILS PROVIDED ON STEET'S PESCREDNIS LANDSCAPE CONTRACTOR MUST FOLLOW ALL DETAILS PROVIDED ON STEET'S PESCREDNIS LANDSCAPE CONTRACTOR MUST FOLLOW AND ADMINISTRATION OF THE PROVIDED ON STEET'S PESCREDNIS LANDSCAPE CONTRACTOR MUST FOLLOW AND ADMINISTRATION OF THE PROVIDED ON STEET'S PESCREDNIS LANDSCAPE CONTRACTOR MUST FOLLOW AND ADMINISTRATION OF THE PROVIDED ON STEET'S PESCREDNIS LANDSCAPE CONTRACTOR MUST FOLLOW AND ADMINISTRATION OF THE PROVIDED ON STEET'S PESCREDNIS LANDSCAPE CONTRACTOR MUST FOLLOW AND ADMINISTRATION OF THE PROVIDED ON STEET'S PESCREDNIS LANDSCAPE CONTRACTOR MUST FOLLOW AND ADMINISTRATION OF THE PROVIDED ON STEET'S PESCREDNIS LANDSCAPE CONTRACTOR MUST FOLLOW AND ADMINISTRATION OF THE PROVIDED ON STEET'S PESCREDNIS LANDSCAPE CONTRACTOR MUST FOLLOW AND ADMINISTRATION OF THE PROVIDED ON STEET ON THE PROVIDED ON THE PROVIDE
- PEGORBIS LAPSCAPE CANSTRUCTION TECHNIQUES.

  II AL. LAPSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR
  FROM DATE OF INTIAL ACCEPTANCE.
- 5 SEED ALL REMANNS AREAS WITH DUT URBAN MIX.

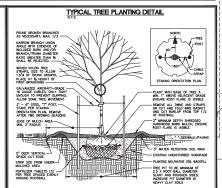


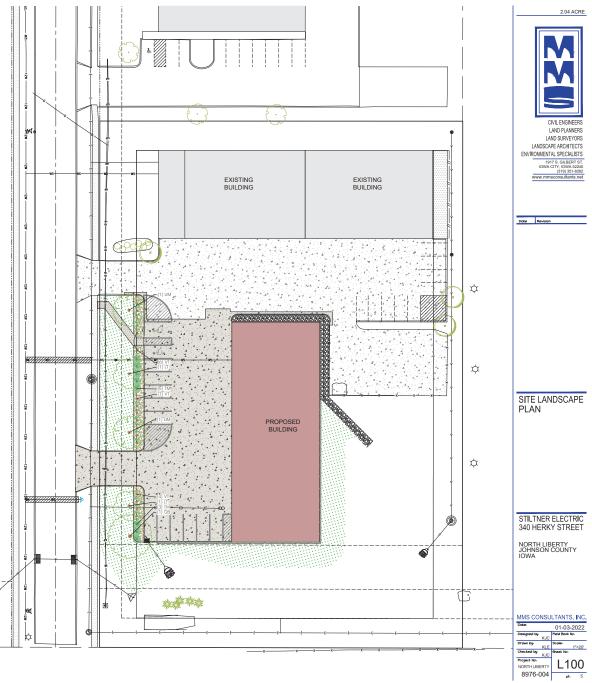
TREE REQUIREMENTS.

1 TREE WITHIN 40' OF EACH SPACE

1 TREE / 2,000 SF BUILDING FOOTPRINT
OF 18017 SF - 10 TREES
TOTAL TREES REQUIRED = 10 TREES
TOTAL TREES FROMEDE = 10 TREES (3 EXISTING)

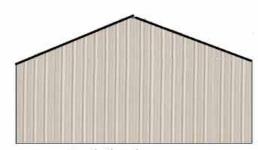
Pl	_AN1	LIST - TREES				
aTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SUZE	COMMENT	MATURE SIZE
4	AR.	ACER RUPRUM	RED SUNSET RED MAPLE	2" CAL	D&D	50 X 90
,	ew	QUERCUS DICALOR	SWAMP WHITE ONK	2° CAL	D & D	70 X 90











North Elevation

South Elevation



Proposed Building: Match Existing building elevations (4) 16'x16' overhead doors

(2) 36"x80" service doors



# Lumière

#### DESCRIPTION

The Lumiere Eon LED 303-W1-LEDB1 is a compact, low profile, dimmable LED direct/indirect luminaire. The luminaire features full vertical adjustment (180°) for easy aiming and mounts directly to any wall or ceiling surface over a standard 4" square junction box. It is standard with a universal input LED driver (120 - 277V, 50/60 Hz). Dimming is achieved with a standard ELV, reverse phase dimming driver or an optional 0-10V dimming driver. 303-W1-LEDB1 may be used indoors or outdoors and carries an IP66 rating.

Catalog #	303-W1-LEDB1-4K-UNV-T4-DIMELV-BK-	Туре
Project	Courtyard Gen 1 Reno	K04
Comments		Date
Prepared by	Kathleen Kenny, National Accounts, 678-447-5208, kathleenkenny@eaton.com	

#### **SPECIFICATION FEATURES**

#### Construction

Head and back plate are precision machined from corrosion-resistant 6061-T6 aluminum. A universal mounting plate and one piece silicone key hole gasket is provided for adaption to junction box or surface. Stainless steel hardware is included.

#### Mounting

The luminaire mounts directly to a standard 4" square junction box. For further mounting information see technical notes section on page 2.

#### Optical

LightBAR™ and optical assembly are sealed by a diffused, impact resistant tempered glass lens. The optical assembly is available in three distributions: T2 (lateral

throw), T4 (forward throw) and T5X (Extra Wide Flood). Available in several color temperatures: 2700K, 3000K, 3500K, 4000K and TSAM (Amber). Both color temperature and distribution must be specified when ordering – see catalog logic for details. An edge-lit option is available.

#### **Electrical**

The 8.5W 303-W1-LEDB1 is standard with an ELV trailing edge phase dimmable driver that accepts a universal input (120-277, 50/60Hz). It will operate in -40°C to 50°C [-40°F to 122°F]. The driver incorporates surge protection. An optional 0-10V dimming driver is also available.

#### Finish

The luminaires are double protected by a RoHS compliant chemical film undercoating and polyester powder coat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available. RAL and custom color matches available upon request. Luminaries can also be brushed with a clear coat finish. The LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing (LCF).

#### Warranty

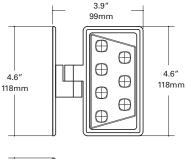
Lumiere warrants the EON series of fixtures against defects in material and workmanship for five (5) years. Auxiliary equipment such as LED drivers carries the original manufacturer's warranty.

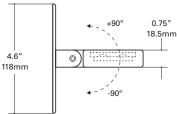


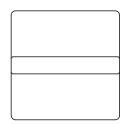
303-W1-LEDB1

**EON LED** 

APPLICATIONS: CEILING / WALL MOUNT DIRECT INDIRECT







#### CERTIFICATION DATA

UL and cUL Wet Location Listed LM79 / LM80 Compliant ROHS Compliant IP66 Ingressed Protection Rated

#### TECHNICAL DATA

50°C Maximum Temperature Rating External Supply Wiring 90°C Minimum



#### ORDERING INFORMATION

Sample Number: 303-W1-LEDB1-2700-UNV-T2-DIM10-BK-EDGE

Series <sup>4</sup>	Color Temperature	Input Voltage	Optics	Dimming	Finish <sup>1</sup>	Options <sup>2,3</sup>
303-W1-LEDB1	2700=2700K 3000=3000K	<b>UNV</b> =Universal 120-277, 50/60Hz	T2=Type II, LateralThrow	DIMELV=Trailing Edge Phase DIM10=0-10V Dimming	Painted BK=Black	EDGE=Edge lit glass lens LCF=LightBAR cover plate
Head contains one (1) Mini LightBAR™	3500=3500K 4000=4000K TSAM =Turtle Safe Amber		T4=Type IV, ForwardThrow T5X=Type V,		BZ=Bronze CS=City Silver WT=White	matches housing finish
	(585-595nm)		Extra Wide Flood		Premium Finish BA=Brushed NSS=Solid Stainless Steel	

NOTES: 1 Custom and RAL color matching available upon request. Consult factory for further information. 2 Add suffix in the order shown. 3 LCF option not available when WT (white) finish is selected. 4 DesignLights Consortium Qualified and classified for DLC Standard. Refer to <a href="https://www.designlights.org">www.designlights.org</a> for details on exact qualified EON 303-W1-LEDB1 product as not all configurations are DLC classified.



#### **LUMEN MAINTENANCE**

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	TM-21 Reported L70(10k) (Hours)	Theoretical L70 (Hours)
25°C			
40°C	> 94%	> 60,000	365,000
50°C			

#### **CURRENT DRAW**

Model	Line Voltage	Current Draw
303-W1-LEDB1	120-277V, 50/60Hz	0.068A

#### **LUMENS - CRI/CCT TABLE**

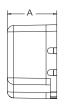
Optic Type	Distribution	Watts	Delivered Lumens	LPW	CCT (K) / Color	CRI nom./ Wavelength
			354	42	2700	95
T2		8.5	588	71	3000	75
		8.5	411	50	3500	85
(Lateral Throw)			648	77	4000	75
		6.5	180	28	TSAM (Amber)	585-595nm
			310	37	2700	95
T4		8.5	541	65	3000	75
	-(	8.5	360	43	3500	85
(ForwardThrow)			568	67	4000	75
		6.5	158	24	TSAM (Amber)	585-595nm
			381	46	2700	95
T5X		0.5	663	80	3000	75
		8.5	443	53	3500	85
(Extra Wide Flood)			698	83	4000	75
		6.5	194	30	TSAM (Amber)	585-595nm

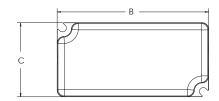
NOTES: 1 When the LCF option is selected use a lumen multiplier of .85

# OPTIONS Edge When specifying with the EDGE option, the diffuse glass lens is replaced with a thicker diffuse glass lens adding a visible line of light around the edge accentuating the luminaries' aesthetics and styling.

#### **TECHNICAL NOTES**

- 1. Junction box size and depth is important when specifying product. Recommended junction boxes include 2-1/8" deep, 4" square weld/drawn Crouse Hinds part numbers TP403, TP434, TP494, TP196, TP395 or equivalent. Use with included universal mounting plate or with Crouse-Hinds part number TP480 or equivalent cover with similar fixture mounting locations.
- 2. The universal wall plate provided with all EON wall mount fixtures can be used with an outdoor rated two gang 30.5 cubic inch capacity outlet box. Cooper Crouse-Hinds part numbers TP7086 TP7122 or equivalent. The universal mounting plate will attach with four (4) 6-32 pan head/flat stainless steel screws (not provided).
- 3. Driver can be remote mounted in a junction box a max distance of 25 feet (voltage drop needs to be considered) or placed in the junction box behind the luminaire.
- 4. When specifying with the EDGE option, the diffused glass becomes thicker adding a visible line of light around the edge accentuating the luminaries' aesthetics and styling.
- 5. If Luminaire will not be dimmed, the Luminaire must be ordered with DIMELV option, but does not have to be dimmed.
- 6. Driver Dimensions:





Luminaire	Dimming	Driver D	Dimensions	in [mm]
Туре	Type	Α	В	С
303-W1-LEDB1	DIMELV	.98 [25.0]	2.78 [70.5]	1.14 [28.9]
303-W I-LEDB I	DIM10	.98 [25.0]	3.36 [85.3]	1.49 [37.9]





# **MEMORANDUM**

To City of North Liberty Planning Commission

From Ryan Rusnak, AICP Date January 28, 2022

Re Request of Vintage Estates of North Liberty for an amendment to a

previously approved RS-4 PAD Single-Unit Residence District Planned Area Development. The property contains 8.42 acres and is located on the west

side of South Jones Boulevard west of the terminus of Cory Court.

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator

Tracey Mulcahey, Assistant City Administrator

Grant Lientz, City Attorney

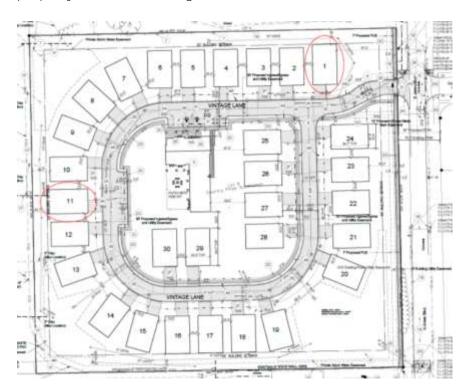
Tom Palmer, City Building Official

Kevin Trom, City Engineer

Ryan Rusnak, Planning Director

## Purpose for the Request:

The applicant is requesting a setback reduction from 30' to 25 for certain units adjacent to the north and west perimeter property lines. The RS-4 District requires a 30' rear yard setback. If approved, other units all units adjacent to the north and west perimeter property lines would be eligible for this setback reductions.



#### Current Zoning:

RS-4 PAD Single-Unit Residence District Planned Area Development.

The Planned Area Development is being requested to allow the flexibility of having multiple single-family residences on one lot, which is not permitted in RS Single-Unit Residence Districts or RM Multi-Unit Residence Districts alone.

Section 168.12 of the North Liberty Code of Ordinances entitled "PAD Zone – Planned Area Development Overlay District" reads in part:

- 1. Defined. A Planned Area Development Zone District is intended to encourage innovation and flexibility in planning the development of land so development is compatible with the site's physical and environmental characteristics. This district allows for flexibility in zone district requirements. The Planned Area Development District provides an opportunity for the development of a mixture of uses and housing types in a coordinated manner. The intent of the underlying zone district shall guide the development. It is incumbent upon the person proposing the PAD to justify the project, and any variations from the underlying zone district. A PAD is considered an amendment to the underlying zone district regulations. Section 165.04(2) specifies the PAD requirements.
- 2. General. Planned area developments may be allowed by Council approval in any zoning district. No such planned area development permit shall be granted unless such development either meets the use limitations of the zoning district in which it is located and the density and other limitations of such district, except as such requirements may be lawfully modified as provided by this code. Compliance with the regulations of this section in no way excuses the developer from the applicable requirements of a subdivision ordinance, except as modifications thereof are specifically authorized in the approval of the application for the planned area development.

#### Public Input:

Letters were sent to property owners within 200 feet of the subject property notifying them of the January 24, 2022 good neighbor meeting. A few people attended the meeting. The abutting property to the north asked if the fence would still be installed along the north property. The plans depict this fence and it will need to be installed prior to completion of the project.

### Staff Commentary:

It is staff's opinion that the change is minor and wouldn't negatively impact adjacent properties.

#### Findings:

- 1. The zoning map amendment would be consistent the North Liberty Comprehensive Plan Land Use Plan;
- 2. The proposed use and density of the development would be compatible with the area:
- The zoning map amendment achieves consistency with Section 168.12 of the North Liberty Code of Ordinances, entitled "PAD Zone – Planned Area Development Overlay District and the site plan achieves consistency with Section 165.04(2) of the North Liberty Code of Ordinances entitled, "Site Plan Requirements".

#### Recommendation:

Staff recommends the Planning Commission accept the three listed findings and forward the request of Vintage Estates of North Liberty for an amendment to a previously approved RS-4 PAD Single-Unit Residence District Planned Area Development to the City Council with a recommendation for approval subject to the following conditions:

- 1. That the development be subject to the design standards and maximum height limitations for buildings in the single-unit residence district;
- 2. That no building in the proposed development have basements:
- 3. That the setback reduction not affect the design of the stormwater management system.

#### Suggested motion:

I move that the Planning Commission accept the three listed findings and forward the amendment to the City Council with a recommendation for approval subject to the three conditions listed by City staff.

# PAD SITE PLAN **FOR**

# **VINTAGE ESTATES**

CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

HARVEST INVESTMENT, LLC. 2521 WASHINGTON STREET PELLA, IOWA 50219 CONTACT: RAY BISBEE PHONE: (641) 780-3408

# PROJECT LOCATION NOT TO SCALE

VICINITY MAP

#### **Index of Sheets**

Sheet Number	Sheet Title
C100	TITLE SHEET
C101	PROJECT INFORMATION
C200	DEMOLITION PLAN
C300	DIMENSION PLAN
C400	UTILITY PLAN
C500	STORM SEWER PLAN
C600	GRADING AND EROSION CONTROL PLA
C700	PLANTING PLAN

INTERSECTION DETAILS





I hereby certify that the portion of this technical submission described below was prepared by me or under direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the lows of

C800

License Number 553





TITLE SHEET VINTAGE

**ESTATES** 

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NYDI

Project No: 119.1037 Sheet C100

#### LEGEND EXISTING FEATURES Spot Elevation ontour Elevation Contour Elevation Fence (Barbed, Field, Hog) Fence (Chain Link) Fence (Wood) Fence (Silt) Tree Line www.... Tree Stump (5)0 Deciduous Tree \\ Shrub Overhead Communication Fiber Optic --- ross ---Underground Electric Overhead Electric Overhead Electric Gas Main with Size High Pressure Gas Main with Size Water Main with Size Sanitary Sewer with Size Duct Bank Test Hole Location for SUE w/ID

(B) Denotes the survey quality service level for utilities

0 Storm Sewer with Size Storm Manhole Single Storm Sewer Intake ouble Storm Sewer Intake ire Hydrant Q R.E Fire Hydrant on Building Water Main Valve Guy Anchor Utility Pole with Light Utility Pole with Transformer Street Light Yard Light Electric Box Electric Transformer Electric Transformer
Traffic Sign
Communication Pedestal
Communication Manhole Communication Handhole Fiber Optic Manhole Fiber Optic Handhole Gas Valve Gas Valve
Gas Manhole
Gas Apparatus
Fence Post or Guard Post
Underground Storage Tank Above Ground Storage Tank (ASI) Sign Satellite Dish Mailbox

#### UTILITY QUALITY SERVICE LEVELS

COALTY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESISS WITH THE UTILITY TYPE AND WHEN APPULDED E. SIZE: THE CULLITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD.

QUALITY LEVEL, I) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.

RECORDS OR ORAL RECOLLECTIONS.

VISITED AND CONTROL OF THE THE AND AND PLOTTING VISITED VISITED AND PLOTTING VISITED VISITED AND PLOTTING VISITED AND PLOTTING VISITED VISITED AND PLOTTING VISITED VI

QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE XISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE

UTILLIES.

QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILLITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

#### UTILITY WARNING

THE LITH ITIES SHOWN HAVE BEEN LOCATED FROM FIELD SLIPVEY INFORMATION NNDIOR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.



#### NOTES

- A NOTEY LITLITY PROJUBER PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH LITLITY PROVIDED AS NECESSARY DUBRIS CONSTRUCTION. ACTIVITIES AND CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE. EXACT LOCATION, AND DEPTH OF ALL LUTLITY. PRIOR SAND STRUCTURES NOT SHOWN FOR OWN OR AND STRUCTURES NOT SHOWN FOR CONTRACTORS AND STRUCTURES NOT SHOWN FOR CONTRACTORS SHOWN IS REPORTED TO THE UTILITY OWNERS SPECIFICATIONS AT THE CONTRACTORS EXPENSE.
- C. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
- D. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES MUTCO). WHEN CONSTRUCTION ACTIVITES OSSITULOT PORTIONS OF THE ROADWAY, FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCO IN APPEARANCE, EQUIPMENT AND ACTIONS.
- E. NOTIFY OWNER, ENGINEER, AND CITY OF NORTH LIBERTY AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- F. CONSTRUCT MANHOLES AND APPURTENANCES AS WORK PROGRESSES. BACKFILL WITH SUITABLE MATERIAL AND COMPACT TO 95% MAXIMUM DENSITY.
- G. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- I. DIMENSIONS, BUILDING LOCATION, UTILITIES AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECTENSINEER PRIOR TO STARTING CONSTRUCTION.
- J. CONTRACTOR TO LOAD AND TRANSPORT ALL MATERIALS CONSIDERED TO BE UNDESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.
- K. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 6" DEPTH TO FINISH GRADES.
- L ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
- M. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES IN A TIMELY MANNER.
- N. THE ADJUSTMENT OF ANY EXISTING UTILITY APPURTENANCES TO FINAL GRADE IS CONSIDERED INCIDENTAL TO THE SITE WORK.
- O. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING ANY EXISTING EROSION CONTROL MEASURES ON SITE AT THE TIME OF CONSTRUCTION, GRADING AND SOIL EROSION CONTROL CODE REQUIREMENTS SHALL BE MET BY CONTRACTOR. A GRADING PERMIT OF SEQUIRED FOR THIS PROJECT.
- P. CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, TELEPHONE AND ANY OTHER FRANCHISE UTILITY SERVICES WITH UTILITY SERVICE PROVIDER, CITY OF NORTH LIBERTY AND THE OWNER PRIOR TO CONSTRUCTION.
- Q. CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN MINIMUM 18" VERTICAL AND HORIZONTAL CLEARANCE BETWEEN UTILITIES. CONTRACTOR TO COORDINATE UTILITY ROUTING TO BUILDING AND VERIFY CONNECTION LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.
- R. ALL PROPOSED STORM SEWER, SANITARY SEWER, AND WATER MAIN WILL BE PRIVATE.
- S. ALL MAINTENANCE OF COMMON GROUND AND CLUBHOUSE WILL BE THE RESPONSIBILITY OF THE COOPERATIVE.
- T. THE BUILDING LINES SHOWN ARE FOR MAXIMUM BUILDING FOOTPRIN
- U. CONTRACTOR SHALL SCHEDULE INSPECTION WITH THE CITY OF NORTH LIBERTY WHEN DRAINAGE TILES ARE LOCATED AND THE CITY OF NORTH LIBERTY. IS GRANTED THE AUTHORITY TO INSPECT ALL WORK ASSOCIATED WITH LOCATED DRAINAGE TILES. DIGGING SHOULD BE ALONG THE ENTIRE NORTHERN AND WESTERN PROPERTY LINES TO A DEPTH OF 4 FEET.
- V. THE PCC PRIVATE ROAD PAVEMENT SHALL BE DESIGNED TO SUPPORT 75,000 LBS

#### UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 552001248.

ALLIANT ENERGY
Contact Name : Aliant Energy Field Engineer
Contact Phone: 8002554268
Contact Email: locate IPL@alliantenergy.com

LINN COUNTY REC Contact Name : Johna Nunemaker Contact Phone: 3193771587 Contact Email: nunemaker@linncountyrec.com

Contact Email: crhemphili@midamerican.com

NORTH LIBERTY CITY OF Contact Name : Tom Palmer Contact Phone: 3196265736 Contact Email: tpalmer@northlibertylowa.org

SOUTH SLOPE TELEPHONE Contact Name : Brian Frese Contact Phone: 3192277111 Contact Email: brian@southslope.com

MEDIACOM IOWA CITY
Contact Name : Carl Norton
Contact Phone: 3195946201
Contact Email: cnorton@mediacomcc.com

#### CONTROL POINTS

IOWA SOUTH STATE PLANE COORDINATE SYSTEM NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET

- CP10 N=640693.83 E=2154174.78 Z=787.11 IRON ROD WITH CONTROL CAP (AS SHOWN ON SURVEY)
- CP11 N=640362.68 E=2154180.26 Z=779.89 IRON ROD WITH CONTROL CAP (AS SHOWN ON SURVEY)
- CP12 N=640001.23 E=2154187.97 Z=776.48 IRON ROD WITH CONTROL CAP (AS SHOWN ON SURVEY)

#### BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A) IARTN DERIVED - US SURVEY FEET

BM500 ELEV=788.01 BOLT ON FIRE HYDRANT, BOLT WITH 'X' AT ARROW

EXISTING ZONING

ID - INTERIM DEVELOPMENT DISTRICT

PROPOSED ZONING
RS-4: PAD - SINGLE-UNIT RESIDENTIAL DISTRICT PLANNED AREA DEVELOPMENT

#### PROPERTY DESCRIPTION

PROPERTY ADDRESS 175 S JONES BLVD

#### LAND USE

30 AGE RESTRICTED SINGLE FAMILY DWELLING UNITS AND A CLUBHOUSE

#### BUILDING DESCRIPTION

MAXIMUM UNIT SF = 2,716 SF CLUBHOUSE = 6,507 SF TOTAL MAX BUILDING AREA = 87,987 SF

#### **BULK REGULATIONS**

OVERALL FRONT YARD SETBACK: 30' REAR YARD SETBACK: 30' SIDE YARD SETBACK: 30'

INTERIOR
MINIMUM SEPARATION DISTANCE: 10'
MINIMUM SEPARATION DISTA FRONT YARD SETBACK: 25' FROM BACK OF CURB REAR YARD: 20' FROM OTHER UNITS

#### PROPERTY ACRAGE

8.51 AC (370,819 SF

#### PARKING CALCULATIONS

REQUIRED: 2 PARKING STALLS PER UNIT 30 UNITS X 2 SPACES = 60 PARKING SPACES REQUIRED

PROVIDED:
2 GARAGE STALLS PER UNIT
30 UNITS X 2 GARAGE STALLS = 60 SPACES
2 DRIVEWAY STALLS PER UNIT
30 UNITS X 2 DRIVEWAY STALLS = 60 SPACES
CLUBHOUSE PARKING = 20 SPACES

#### POLLUTION PREVENTION NOTES

- CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) NPDES PERMIT, THE US. CLEAN WATER ACT AND ANY LOCAL DRIDNIANCES. THE CONTRACTOR SHALL TAKE ALL RECESSARY STEPS TO PROTECT AGAINST EROSION AND POLLUTION FROM THIS PROJECT SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.
- DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / ENGINEER HARMLESS FROM ANY AND ALL
  CLAIMS OF ANY TYPE WHATSGEVER RESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY. INCLUDING
  REAGNORAGE LATTONINEY FEES INJURIED TO SWEEKE RUTHER, IT FILE ONTRACTION FALLS TO TAKE NECESSARY STEPS TO
  PROMPTLY REMOVE EARTH SEDMENTATION OR DEBRIS WHICH COMES ONTO ADJOINING PUBLIC OR PRIVATE PROPERTY. TO
  WHEN MAY, DUT NEED NOT, REMOVE SOLCH TEMS AND DEDUCT THE COST THEREOF PROM AMOUNTS DUE TO.

#### B. STORM WATER DISCHARGE PERMIT

- THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES
  ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE IDNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH AND FULFILLMENT OF ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- 2. ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, INCLUDING, BUT NOT LIMITED TO, THE NOTICE OF INTENT, PROOF OF PRILICATIONS, DISCHARGE AUTHORIZATION LETTER, CURRENT SWPPP SITE INSPECTION LOG, AND OTHER TIEMS, SHALL BE KEPT ON SITE AT ALL TIMES AND WIST SE PRESENTED TO ANY JURISDICTIONAL ASSENCES UPON REQUEST. FAILURE TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF THE CLEAN WATER ACT AND THE CODE OF JOWA.
- 3. A NOTICE OF DECONTRILATION MUST BE FLED WITH THE IDBRU UPON FINAL STABILIZATION OF THE DISTURBED SITE AND REMOVAL OF ALL TEMPORARY REGION CONTROL MEASURES, ALL PAIRS, INSPECTION REPORTS, AND OTHER DOCUMENTS MUST BE RETAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT COMPLETION. THE CONTRACTOR SHALL RETAIN A RECORD COPY AND PROVIDE HE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT CACCEPTANCE AMORE SUBMITTAL OF

#### C. POLLUTION PREVENTION PLAN

- THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE DOCUMENT IN ADDITION TO THESE PLAN DRAWNINGS. THE CONTRACTOR SHOULD REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS AND MODIFICATIONS TO THE POLLUTION PREVENTION PLAN MADE DURING CONSTRUCTION.
- 2. THE SYMPP ILLUSTRATES GENERAL MEASURES AND BEST MANAGEMENT PRACTICES (BMP) FOR COMPLANCE WITH THE PROJECTS WIDGS FERMIN COMPROKE ALL BMRS AND ENGOING OMOTHOL MEASURES REQUIRED AS RESULT OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, NOTE AND IMPLEMENT, ADDITIONAL BMPS FROM THOSE SHOWN ON THE PLAN MAY BE REQUIRED.
- 3. THE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSLY REVISED TO REFLECT CONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND SWPPP INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING BMP'S UNLESS INFEASIBLE OR NOT APPLICABLE:
  - UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS, PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILITATION, AND MINIMIZE SOIL
- INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SILT BARRIERS, DITCH CHECKS, DIVERSION BERMS, OR SEDIMENTATION BASINS DOWNSTREAM OF SOIL DISTURBING ACTIVITIES PRIOR TO SITE CLEARING AND GRADING OPERATIONS.
- PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.
- MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SILT CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.
- INSPECT THE PROJECT AREA AND CONTROL EDUCES BY CAULE PER PRECONEL ASSOCIATED BY THE CONTROLLOR ENERTY SERVED AND EMBORADE AND SERVED THE PROBLEMS OF THESE RESPECTIONS AND ANY RESULTING ACTIONS THE SWIPP WITH A COPY SUBMITTED WEEKLY TO THE OWNER OR ENGINEER DURING CONSTRUCTION. REVISE THE SWIPP AND IMPLEMENT ANY RECOMMENDED MEASURES WITHOUT DAYS.
- PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES, INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRIANGEWAYS, OR UNDERGROUND SEWERS, REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR TUTURE PREVENTION.
- INSTALL RECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MILCH, DITCH CHECKS OR RIPAPA AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROFISED STO EMBURE CONTINUOUS RUNOFF CONTROL PROVIDE INLET AND OUTLET CONTROL MEASURES AS SOON AS STORM SEVERS ARE INSTALLED.
- RESPREAD A MINIMUM OF 6 INCHES OF TOPSOIL (INCLUDING TOPSOIL FOUND IN SOD) ON ALL DISTURBED AREAS, EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE LOCATED.
- STABLEZ LUNGVICLOPED, DISTURBED AREAS WITH MILLOT, TEMPORARY SEED MIX, PERMANENT SEED MIX, SOD, OR PAVEMENT MEMBER ATE VAS SOON, AS POSSIBLE LUNG COMMETION OR DELY OF GRADING OPERATIONS. INITIATE STABLEZATION MEASURES IMMEDIATELY AFTER CONSTRUCTION ACTIVITY IS FINALLY COMPLETED OR TEMPORARIY. CLASED ON ANY PORTION OF THE SITE AND WHICH MILL OFT RESUME FOR A PRICTIC SECREDING 14 CALENDAR DAYS
- COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP. UNLESS NOTED OTHERWISE, STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELING / VEHICLE MAINTENANCE AREA, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, AND CONCRETE WASHOUTH FACILITY. CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BERMS AND/OR SILT BARRIERS AND DIRECT TO A SEDIMENT BASIN OR OTHER CONTROL DEVICE WHERE POSSIBLE. CONCRETE WASHOUT MUST BE CONTAINED ONSITE.
- REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".

#### D. PROJECT SPECIFIC REQUIREMENTS FOR POLLUTION PREVENTION AND EROSION PROTECTION

- - SIGN NPDES CERTIFICATION STATEMENT AS PERMITEE

#### 2. RESPONSIBILITIES OF THE ENGINEER

- PUBLISH THE PUBLIC NOTICE OF STORM WATER DISCHARGE.
- FILE THE NOTICE OF INTENT WITH APPLICATION FEE FOR NPDES GENERAL PERMIT No. 2 COVERAGE
- 3. RESPONSIBILITIES OF THE CONTRACTOR
- SIGN NPDES CERTIFICATION STATEMENT AS CO-PERMITEE AND COORDINATING CERTIFICATION OF SUBCONTRACTOR CO-PERMITEES.
- INSTALL, MAINTAIN, AND REMOVE EROSION CONTROL AND POLLUTION PREVENTION MEASURES.
- WEEKLY INSPECTIONS AND CORRESPONDING RECORDS
- UPDATE AND MAINTAIN THE ONSITE SWPPP
- COOPERATE TO PROVIDE INFORMATION UNDER THE RESPONSIBILITY OF OTHERS.

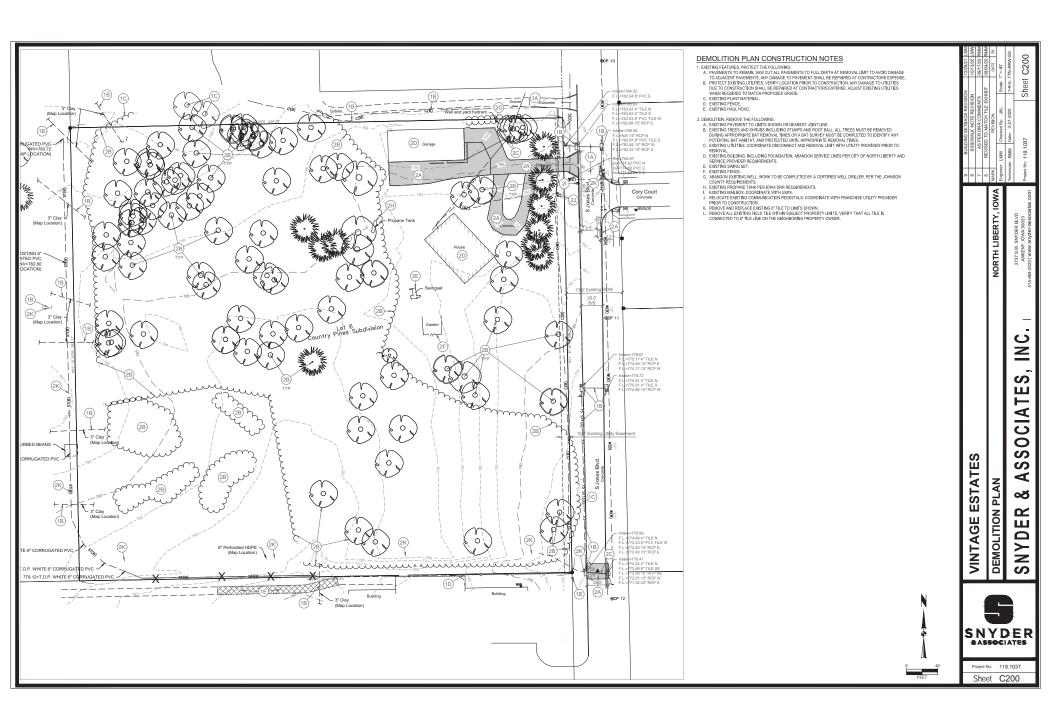
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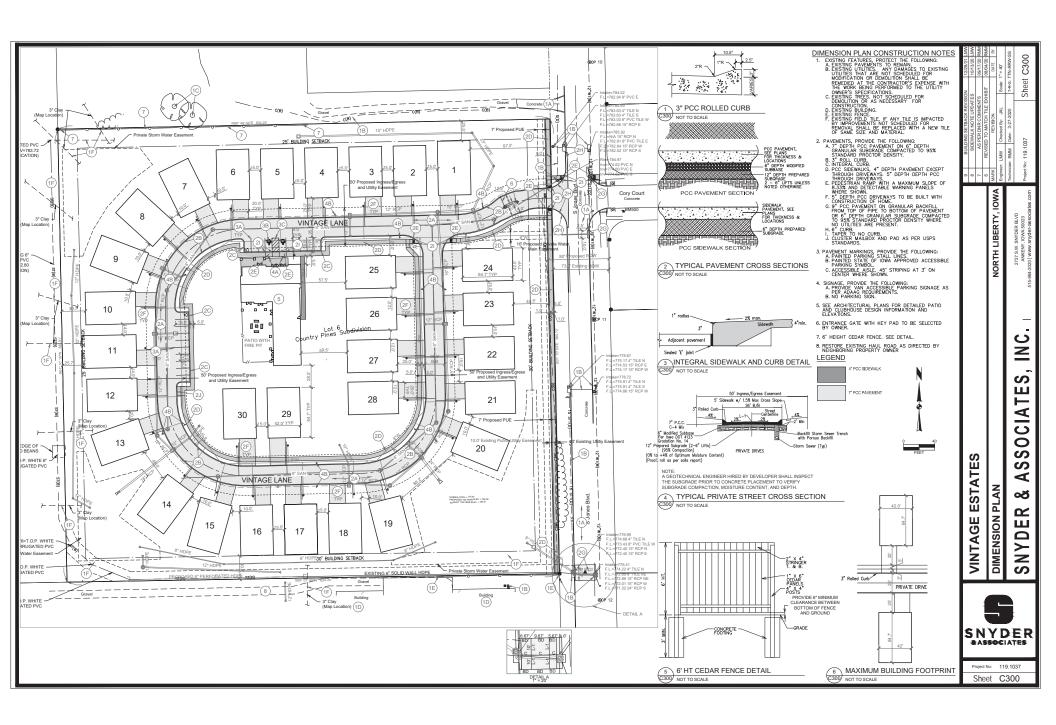
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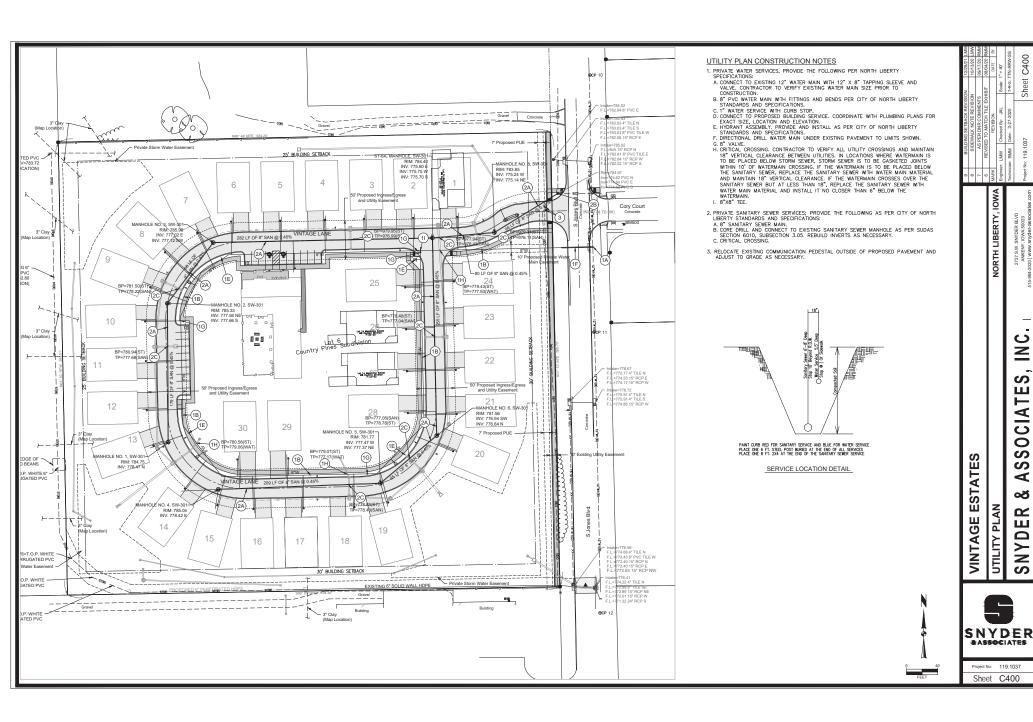
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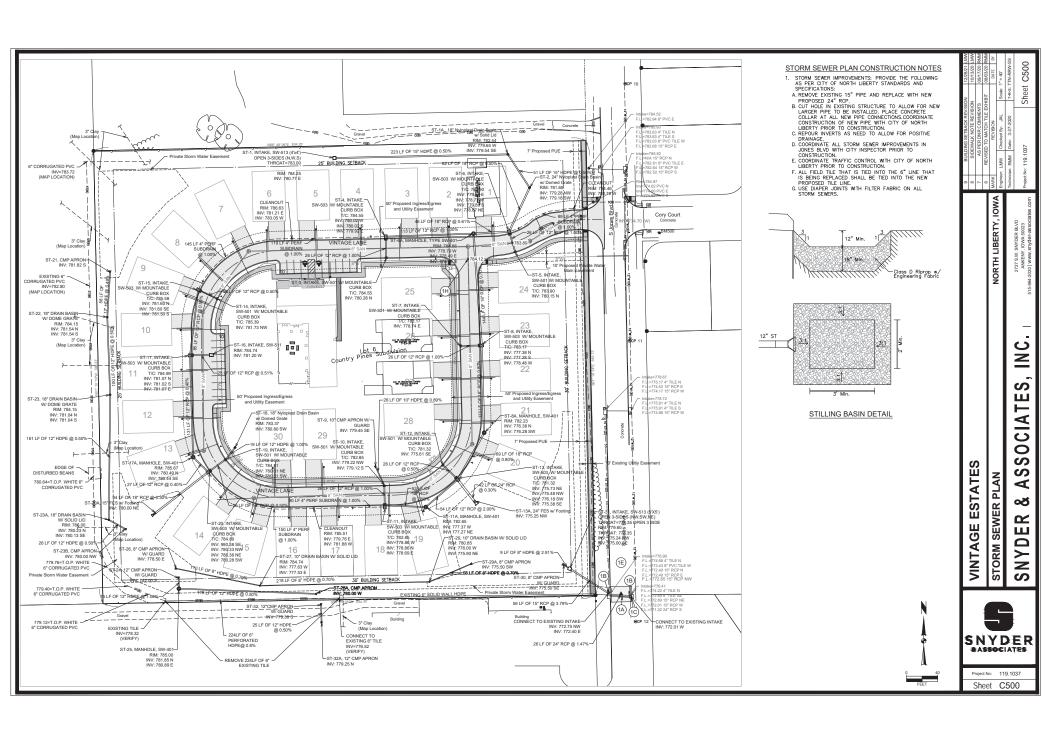
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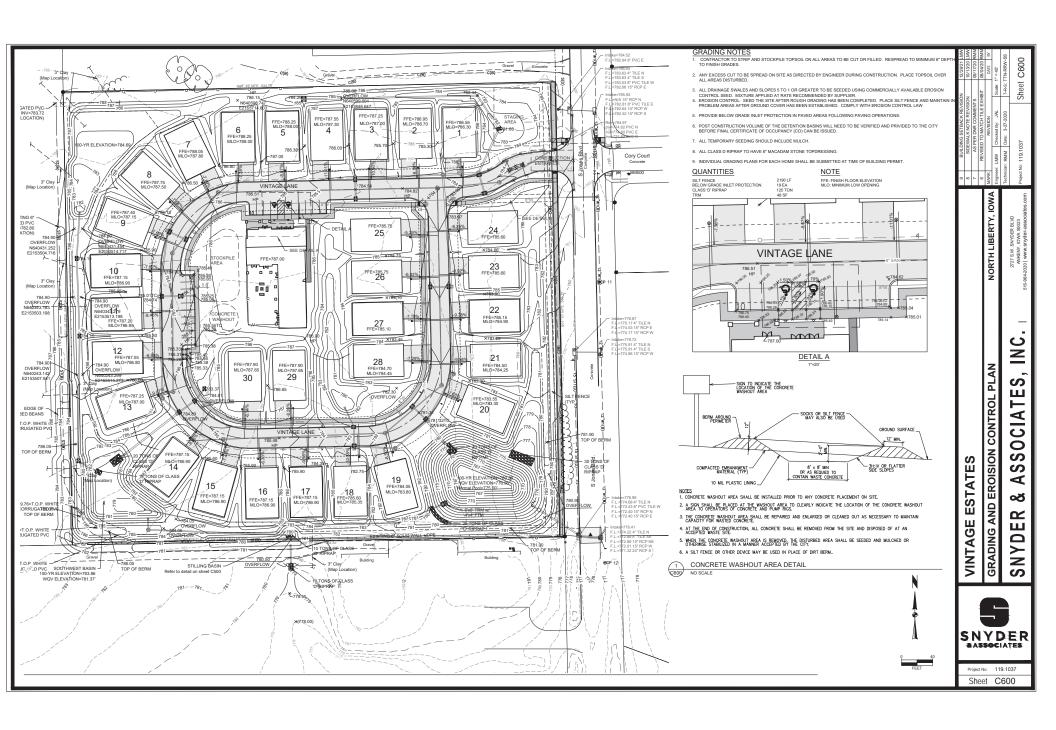
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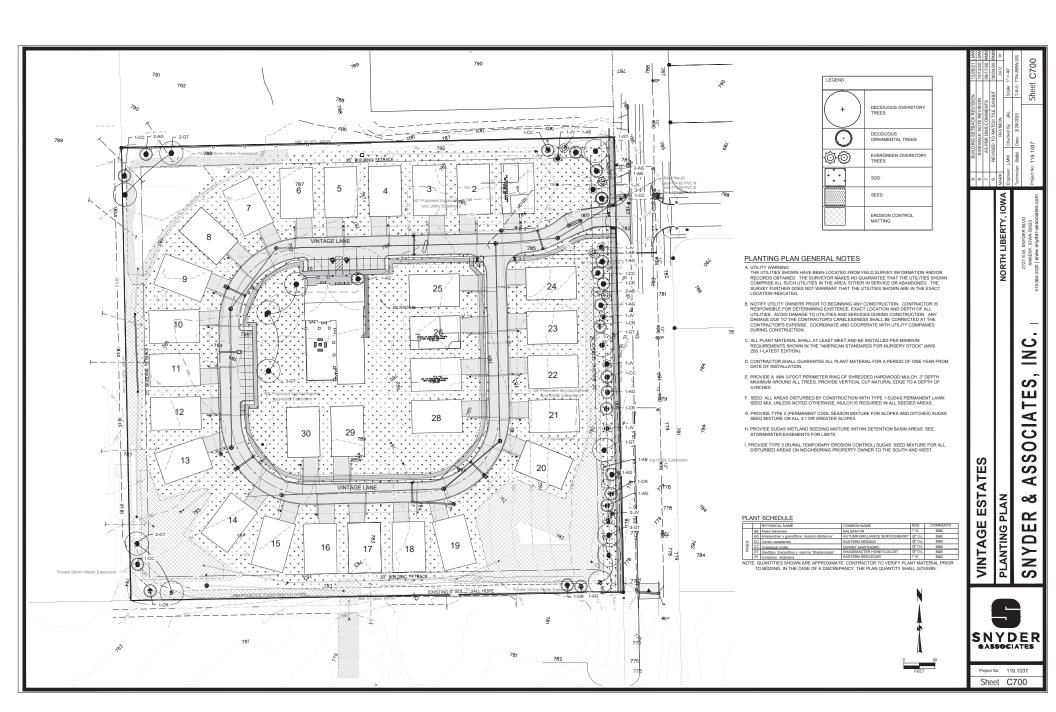


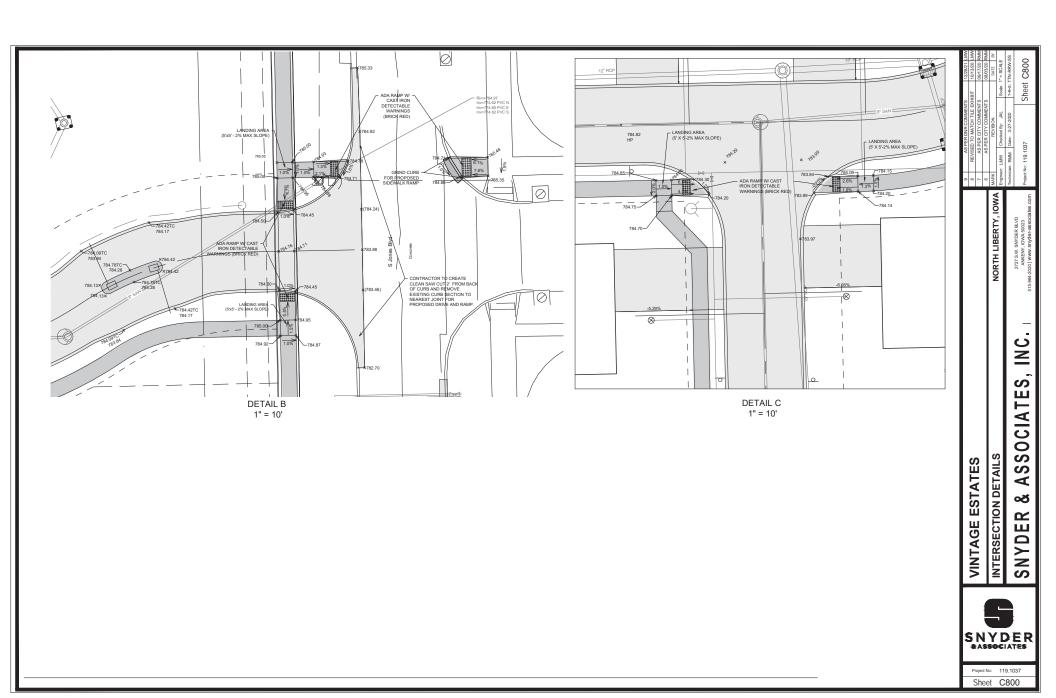












# North Liberty

# **MINUTES**



# Planning Commission January 4, 2022

#### Call to Order

Planning Commission Chair Becky Keogh called the January 4, 2022 Planning Commission to order at 6:30 p.m. Commission members present: Barry A'Hearn, Josey Bathke, Jason Heisler, Becky Keogh, Patrick Staber, Brian Vincent, Dave Willer.

Others present: Ryan Rusnak, Ryan Heiar, Tracey Mulcahey, Grant Lientz, Kevin Trom, Carter Kurdlre, Nick Bettis and other interested parties.

Staber moved to table the 2780 Front Street NE Conditional Use Application. Bathke seconded. The vote was: ayes- Bathke, Heisler, Keogh, Staber, Vincent, Willer, A'Hearn; nays – none. Motion carried.

### Approval of the Agenda

Staber moved, A'Hearn seconded to approve the agenda. The vote was all ayes. Agenda approved.

#### Brewland LLC Site Plan

Staff Presentation

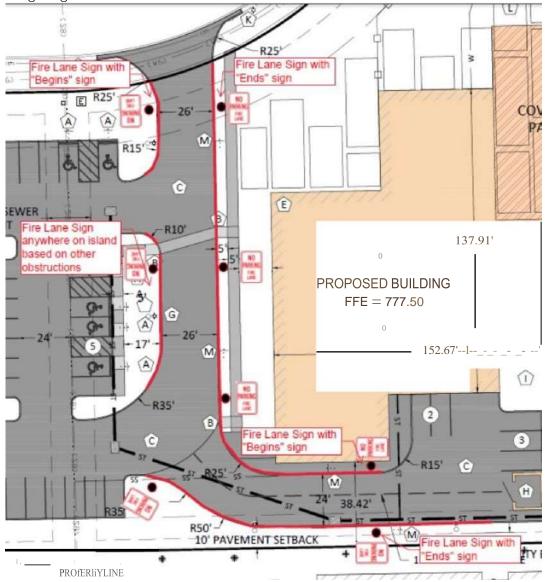
Rusnak presented the request of Brewland, LLC to approve a Site Plan for a new micro-brewery on approximately 3.9 acres of property located at 925 and 945 Liberty Way. Staff recommends that the Staff recommends the Planning Commission accept the two listed findings that

- 1. The commercial use of the property would be consistent with the current C-1-B General Commercial District and the Comprehensive Plan Future Land Use Map designation of Commercial and Commercial with Residential; and
- 2. The site plan, with recommended conditions, would achieve consistency with North Liberty Code of Ordinances Section 165.04(2) entitled, "Site Plan Requirements" Section 169.12 entitled "Design Standards, Section 169.13, entitled "Other Design Standards" and other Code of Ordinance requirements;

and forward the request to approve a Site Plan on 3.9 acres for a new micro-brewery to the City Council with a recommendation for approval with the following conditions.

- 1. That prior to issuance of a certificate of occupancy the applicant dedicate a sidewalk easement to the City for any portion of the public sidewalk that extends onto private property as are shown on the site plan, subject to approval as to form and content by the City Attorney.
- 2. That prior to issuance of a certificate of occupancy a plat of survey formally combining the two lots into one lot in accordance with Section 180.10(2) North Liberty Code of Ordinances be recorded with the Johnson County Recorder, and that applicant is responsible for any costs associated therewith.

- 3. That the plans be revised to show the sidewalk ramps at the southeast corner of Liberty Way and Washington Avenue with a crossing across Liberty Way and that the curb ramps at the southwest corner of the same streets be removed from the plans.
- 4. That the plans be revised to include the installation of a "tee" on the water main so that any valves are located outside of the sidewalk/trail.
- 5. That the plans be revised to show retaining walls/blocks, fencing and other improvements outside of the public access easement (where the pond trail in located).
- 6. That the grading at the southeast portion of the parking lot be revised such that the grades do not exceed 3:1. Otherwise, a retaining wall be installed.
- 7. That a fence detail be provided on the plans.
- 8. That a dumpster enclosure detail be provided on the plans.
- 9. That fire lane signs be installed and curbing painted red accordance with the following diagram:



## Applicants Presentation

Nick Bettis, Axiom Consultants, was present on behalf of the applicant and offered to answer questions.

#### **Public Comments**

No public comments were offered.

#### Questions and Comments

The Commission discussed the application including the positive addition to the area, requirement for food service in the updated code, and compliance with parking standards.

#### Recommendation to the City Council

Willer moved, Bathke seconded to accept the two listed findings and forward the site plan to the City Council with a recommendation for approval subject to the nine conditions listed by staff. The vote was: ayes – Heisler, Keogh, Bathke, Vincent, Willer, A'Hearn, Staber; nays – none. Motion carried.

#### Taco Bell Site Plan

Staff Presentation

Rusnak presented the request of Haza Bell of Nebraska, LLC to approve a Site Plan for a new Taco Bell on 1.5 acres of property located at 1000 Liberty Way. Staff recommends approval with the findings of:

- 1. The commercial use of the property would be consistent with the current C-2A Highway Commercial District and the Comprehensive Plan Future Land Use Map designation of Commercial; and
- 2. The site plan would achieve consistency with North Liberty Code of Ordinances Section 165.04(2) entitled, "Site Plan Requirements" Section 169.12 entitled "Design Standards, Section 169.13, entitled "Other Design Standards" and other Code of Ordinance requirements;

and forward the request to approve a Site Plan on 1.5 acres for a new Taco Bell at 1000 Liberty Way to the City Council with the following condition:

1. That the sidewalk ramp for the Liberty Way crossing be included on the plans prior text consideration

#### Applicants Presentation

The applicant was present and offered to answer questions. of the applicant and offered X.

#### Public Comments

No comments were offered on the application.

Questions and Comments

The applicant discussed the application including the design aesthetic, increase in traffic on Liberty Way, queuing of customer cars, dining in vs. drive through, comparison to Coralville's size, Liberty Way pavement markings, and street width.

#### Recommendation to the City Council

Bathke moved, A'Hearn seconded that the Planning Commission accept the two listed findings and forward the site plan to the City Council with a recommendation for approval subject to the condition listed by City staff. The vote was: ayes – A'Hearn, Heisler, Keogh, Vincent, Bathke, Willer, Staber; nays - none. Motion carried.

# Public Hearing for Zoning Code Amendment

#### Staff Presentation

Rusnak presented the request of the City of North Liberty for an Ordinance amending Chapters 165 through 170 and Chapter 173 of the North Liberty Code of Ordinances, governing the administration, organization, enforcement, requirements and definitions of the zoning districts, development and sign regulations. Staff recommends the Planning Commission accept the listed finding that the proposed ordinance would modernize the Zoning Code, make it more user friendly, and revise outdated and/or antiquated language, and forward the Ordinance amending several chapters of the Zoning Code to the City Council with a recommendation for approval subject to the following condition:

- 1. That the following uses be prohibited within the Villas at Liberty Executive Square Parts One, Two, Three and Four:
  - A. Heavy Retail Establishment.
  - B. Enclosed Self-Storage Facility.
  - C. Outdoor Self-Storage Facility.
  - D. Vehicle Dealership, New and Used.

#### **Public Comments**

No comments were received regarding this application.

#### **Questions and Comments**

The Commission discussed the ordinance amendments including the relevance, the improvements, streamline look at codes, site plan revisions, rental code, parking amendments, and the lone RM-6 Parcel.

#### Recommendation to the City Council

Heisler moved, Willer seconded to amend the proposed ordinance amendments to include the following staff recommended amendments:

- 1. Amend Section 168.06 Table 168.06 by allowing the use "Healthcare Institution" as a permitted use in the P District.
- 2. Amend Section 168.07(2)(B)(3)(b)(v) by increasing the maximum building size to 6,000 square feet in area.

3. Amend Section 169.01(3) – Table 169.01-C by changes the minimum required vehicle spaces for a healthcare to "1 per 3 beds + 1 per 250 SF GFA office and administrative area" and for a medical/dental office to "1 per 350 SF GFA"

After discussion, the vote was: ayes – Staber, Bathke, Vincent, Heisler, Willer, A'Hearn, Keogh; nays – none. Motion carried.

A'Hearn moved, Staber seconded to recommend approval of the proposed ordinance amendments as amended with the following condition:

- 1. That the following uses be prohibited within the Villas at Liberty Executive Square Parts One, Two, Three and Four:
  - A. Heavy Retail Establishment.
  - B. Enclosed Self-Storage Facility.
  - C. Outdoor Self-Storage Facility.
  - D. Vehicle Dealership, New and Used.

to the City Council. The vote was: ayes – Willer, Staber, Keogh, Bathke, Vincent, A'Hearn, Heisler; nays – none. Motion carried.

### Comprehensive Plan Amendment

Staff Presentation

Prior to the meeting the University of Iowa Hospitals and Clinics communicated their desire to have the zoning be P-Public instead of C-3 Higher Intensity Commercial. Rusnak presented the request of the City of North Liberty for a Comprehensive Plan Future Land Use Map Amendment from Residential to Public on approximately 20.12 acres of property located on the east side of South Jones Boulevard east of the termini of Copper Mountain Drive. Staff recommends the Planning Commission accept the two following findings:

- 1. The Commercial Future Land Map Amendment would allow the P-Public District zoning to achieve consistency with the Comprehensive Plan.
- 2. The Commercial Future Land Map Amendment would allow the University of Iowa Hospitals and Clinics development to achieve consistency with the Comprehensive Plan;

and forward the Comprehensive Plan Amendment to the City Council with a recommendation for approval.

#### Public Comments

No public comments were offered on this application.

#### Questions and Comments

The Commission discussed the application including the benign nature of the application and the nature of the use on this property.

Heisler moved to amend the designation to be P-Public. Willer seconded. The vote was: ayes-Vincent, A'Hearn, Heisler, Willer, Staber, Keogh; nays – none; abstain – Bathke.

Recommendation to the City Council

A'Hearn moved, Staber seconded to accept the two listed findings and forward the Comprehensive Plan Amendment to the City Council with a recommendation for approval. The vote was: ayes – A'Hearn, Staber, Willer, Vincent, Heisler, Keogh; nays – none; abstain - Bathke. Motion carried.

### Public Hearing for Zoning Map Amendments

Staff Presentation

Rusnak presented the request of the City of North Liberty for the following Zoning Map Amendments (Rezonings): C-2-A Highway Commercial District and RM-8 Multi-Unit Residence District to C-3 High Intensity Commercial District on property located at the southwest corner of West Forevergreen Road and Coral Ridge Avenue; RM-6 Multi-Unit Residence District to RM-8 Multi-Unit Residence District on properties located at 22 through 77 Jaro Way; and RS-O Single-Unit Residential Special Use District to RS-4 Single-Unit Residence District Professional Office Overlay District on property located at 205 West Penn Street. Staff recommends the Planning Commission accept the two listed findings:

- 1. The zoning map amendments would be consistent with the North Liberty Comprehensive Plan Future Land Use Map designations;
- 2. The zoning map amendment would facilitate amendments in the proposed Ordinance amending the Zoning Code;

and forward the zoning map amendments to the City Council with a recommendation for approval.

#### Public Comments

No public comments were offered.

#### Questions and Comments

The Commission discussed the application including talking to property owners and the timing.

Heisler moved, A'Hearn seconded to amend the zoning map amendment to revise the zoning on the southwest corner of West Forevergreen Road and Coral Ridge Avenue to P-Public per the request of the University of Iowa Hospitals and Clinics. The vote was: ayes – Keogh, Staber, Willer, Vincent, A'Hearn, Heisler; nays – none; abstain – Bathke. Motion carried.

#### Recommendation to the City Council

A'Hearn moved, Heisler seconded to accept the two listed findings and forward the zoning map amendments to the City Council with a recommendation for approval. The vote was: ayes – Heisler, A'Hearn, Staber, Willer, Keogh, Vincent; nays – none; abstain - Bathke. Motion carried.

#### <u>Approval of Previous Minutes</u>

Willer moved, Bathke seconded to approve the minutes of the December 7, 2021 meeting. The vote was all ayes. Minutes approved.

#### Old Business

No old business was presented.

# New Business

Rusnak spoke regarding the email from newly elected Mayor Hoffman.

# <u>Adjournment</u>

At 7:32 p.m., Staber moved, Willer seconded to adjourn. The vote was all ayes. Meeting adjourned.

# Signed:

Tracey Mulcahey, City Clerk