



**North Liberty Planning Commission
Tuesday, April 4, 2023, 6:30 PM
North Liberty City Council Chambers
1 Quail Creek Circle, North Liberty, Iowa 52317**

This meeting may be accessed live by the public in person or on the internet at northlibertyiowa.org/live, on Facebook at facebook.com/northliberty or on YouTube at youtube.com/northliberty. Meetings are rebroadcast on cable and available on-demand on northlibertyiowa.org.

Call to Order

1. Roll Call

2. Approval of the Agenda

3. Water Tower Place Preliminary Site Plan: Request of Dahnovan Holdings to approve a Preliminary Subdivision Plat for 44 townhouse units on approximately 5.31 acres. The property is located on the west side of North Kansas Avenue approximately 175 feet south of West Lake Road.

- a. Staff Presentation
- b. Applicant Presentation
- c. Public Comments
- d. Questions and Comments
- e. Recommendation to the City Council

4. Solomons Entertainment District Preliminary Site Plan: Request of Pratt Real Estate Management, Inc. to approve a Preliminary Site Plan for two commercial buildings on approximately 6.28 acres. The property is located on the north side of West Penn Street approximately 350 feet west of North Jones Boulevard.

- a. Staff Presentation
- b. Applicant Presentation
- c. Public Comments
- d. Questions and Comments
- e. Recommendation to the City Council

- 5. Steindler Orthopedic Clinic Preliminary Plat:** Request of Physician's Building Group, LLC to approve a Preliminary Subdivision Plat for a 2 lot subdivision on approximately 36.22 acres. The property is located on the west side of South Kansas Avenue approximately ¼ mile north of West Forevergreen Road.

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council

- 6. Steindler Orthopedic Clinic Preliminary Site Plan:** Request of Physician's Building Group, LLC to approve a Preliminary Site Plan for 82,894 square foot medical office on approximately 8.93 acres. The property is located on the west side of South Kansas Avenue approximately ¼ mile north of West Forevergreen Road.

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council

- 7. Public Hearing on Zoning Map Amendment:** Request of Modern Horizons, LLC for a zoning map amendment (rezoning) on 9.83 acres of property located on the east side of Scales Bend Road approximately 170 feet south of Fox Run Drive. The rezoning would be from ID Interim Development to RS-4 PAD Single-Unit Residence District Planned Area Development. The purpose of the request is to redevelop the property as an age restricted community (55+) with single-unit residences and a clubhouse/common area on one lot.

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council

- 8. Public Hearing on Zoning Map Amendment:** Request of Twopoint2, LLC and Vantage Point Properties, LLC for a zoning map amendment (rezoning) on approximately 5.23 acres on property located on the west side of North Highway 965/Ranshaw Way approximately 280 feet south of West Cherry Street. The rezoning would be from C-2-A Highway Commercial District to C-2-A PAD Highway Commercial District Planned Area Development. The purpose of the request is to rehabilitate the southeast portion of the property and waive some of the Zoning Ordinance design standards.

9. Approval of Previous Minutes

10. Old Business

11. New Business

12. Adjournment



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **March 30, 2023**
 Re **Request of Dahnovan Holdings to approve a Preliminary Site Plan for 44 townhouse units on approximately 5.31 acres. The property is located on the west side of North Kansas Avenue approximately 175 feet south of West Lake Road.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

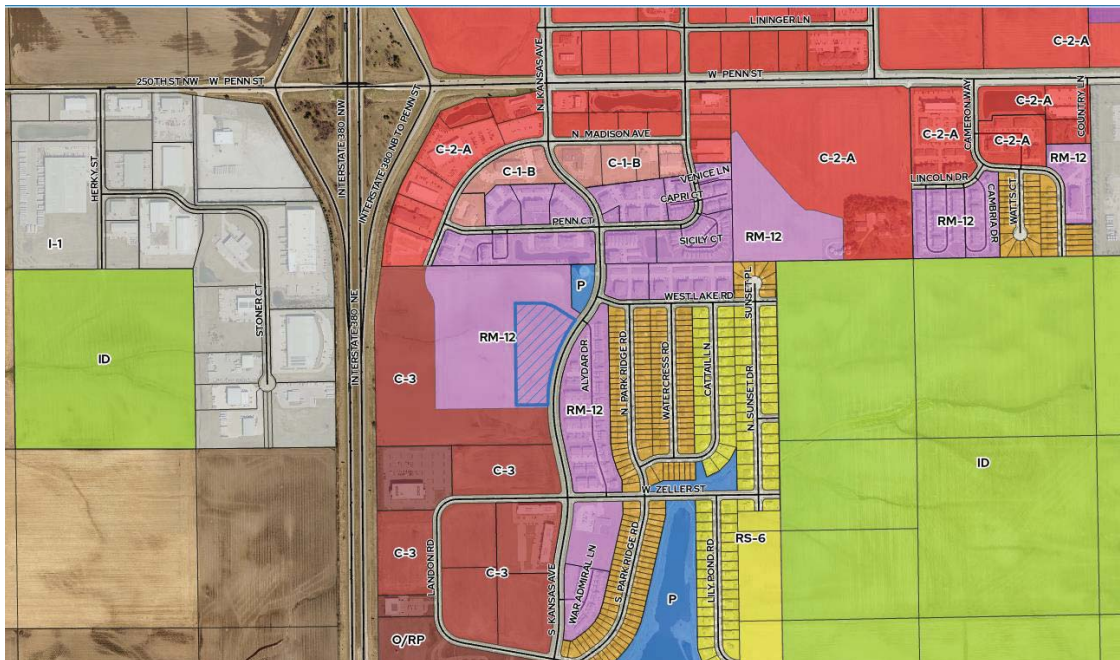
- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

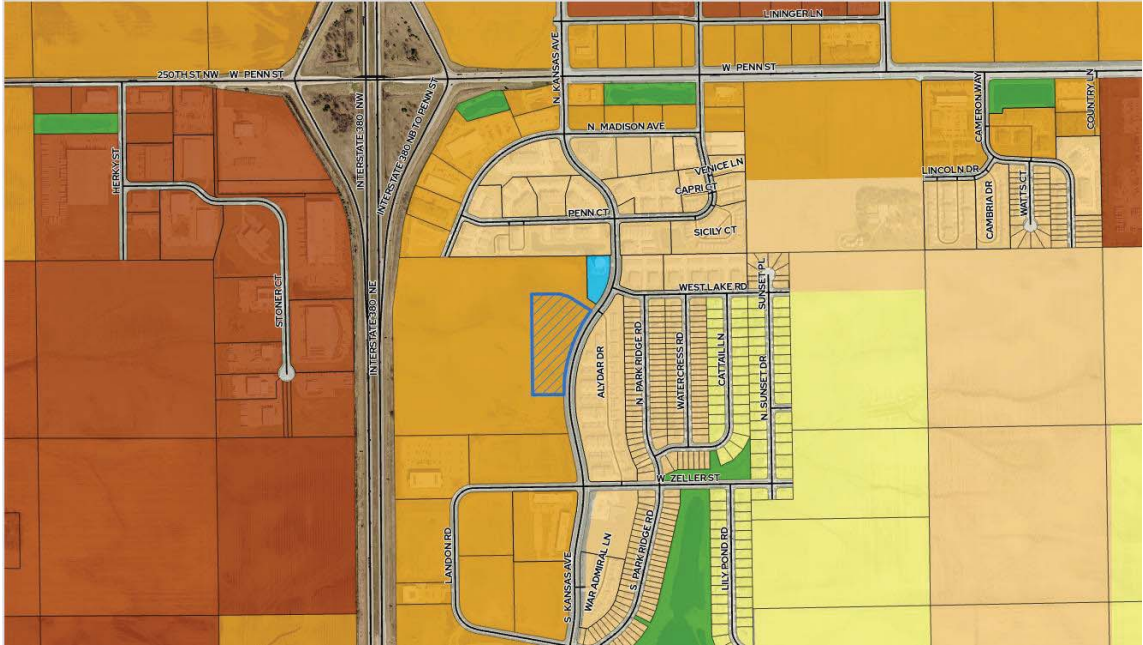
The site plan proposes 44 townhouse units in 11 buildings on approximately 5.31 acres.

2. Existing Zoning:

The property is currently zoned RM-12 Multiple-Unit Residence District. "Townhouse Dwelling" is listed as a permitted use in the RM-12 District.



3. Comprehensive Plan Future Land Use Map Designation: Urban High Intensity.
The RM-12 District is consistent with the Urban High Intensity Land Use Designation.



4. Public Input:
No public comments have been received.

Section 165.05(2) of the North Liberty Code of Ordinances entitled, "Preliminary Site Review" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

- *Date, north arrow and graphic scale.* **Provided.**
- *The property owner's name and description of proposed development.* **Provided.**
- *A vicinity sketch showing the location of the property and other properties within 1,000 feet of it.* **Provided.**
- *Property boundary lines, dimensions, and total area.* **Provided.**
- *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the site plan.* **Provided.**
- *The location of existing streets, sidewalks, easements, utilities, drainage courses.* **Provided.**
- *The total square feet of building floor area, both individually and collectively.* **Provided.**
- *All structures and major features shall be fully dimensioned including distance between structures, distance between driveways, parking areas, property lines and building height.* **Provided.**
- *Off-street parking areas, ingress and egress to the property, number of parking spaces proposed, number of parking spaces required by this code and type of surfacing.* **Provided.**
- *Pedestrian walkways with special consideration given to pedestrian safety.* **Provided.**

- *Trash and refuse enclosures.* **Trash and refuse would be curb side pickup.**
- *The general drainage pattern and location of storm water detention features.* **Provided.**
- *The general location, type and size of landscaping and ground cover illustrated in color perspective.* **Provided.**
- *A rendering, elevation or photo of the proposed development.* **Provided.**

North Liberty Code of Ordinances Section 168.07 entitled, "Uses Defined and Use Standards" sets forth certain design standards (applicable Ordinance language in italics and staff analysis in bold).

Section 168.07(30)

- A. Defined. Townhouse Dwelling means structure consisting of three or more dwelling units, the interior of which is configured in a manner such that the dwelling units are separated by a party wall and may or may not be on separate lots. A townhouse is typically designed so that each unit has a separate exterior entrance and yard areas. A townhouse dwelling does not include a multi-family dwelling.
- B. Use Standards.
- (1) The interior side yard is not applicable to the side of the unit located on the lot line (shared wall attachment to another unit).
 - (2) Each unit must have an approved one-hour fire-resistive wall between them that is built in such a manner as to allow no connections other than the wall itself between the units
 - (3) The front entry must be an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front facade.
 - (4) Minimum required masonry on front and corner side yard building elevations is 25%,
 - (5) A 5% minimum transparency requirement applies to the front facade and is calculated on the basis of the area of the facade below the roofline.

It is staff's opinion that the site plan achieves consistence with the aforementioned design standards.

North Liberty Code of Ordinances Section 169.10 entitled, "Design Standards" sets forth certain design standards (applicable Ordinance language in italics and staff analysis in bold).

Requirements for All Districts.

- Building design shall be visually harmonious and compatible with the neighborhood character.
- Buildings located on property with double frontages shall have similar wall design facing both streets.
- Except for RS RD,R-MH and ID districts, color schemes shall be primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys,

- greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited.
- Except in the R-MH district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs and there shall be a minimum roof overhang at the eaves of 12 inches. This does not apply to portions of a roof that are separate from the structure's primary roof. Metal roofs shall not be corrugated or similar appearance. The color of the roof shall be visually harmonious and compatible with the building color scheme.

It is staff's opinion that the site plan achieves consistence with the aforementioned design standards.

6. Staff Recommendation:

Findings:

1. The townhouse dwelling use of the property would be consistent with the current RM-12 District and the Comprehensive Plan Future Land Use Map designation of Urban High Intensity; and
2. The site plan would achieve consistency with North Liberty Code of Ordinances Section 165.05(2) entitled, "Preliminary Site Plan Review", Section 168.07 entitled, "Uses Defined and Use Standards", and Section 169.10 entitled "Design Standards" and other Code of Ordinance requirements.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request to approve a Preliminary Subdivision Plat for 44 townhouse units on approximately 5.31 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the two listed findings and forward the preliminary site plan to the City Council with a recommendation for approval.

PRELIMINARY SITE PLAN
WATER TOWER PLACE, LOT 5
NORTH LIBERTY, IOWA

STANDARD LEGEND AND NOTES

	PROPERTY LINE
	ADJACENT SURVEY BOUNDARY
	EXISTING UTILITY
	EASEMENT
	DRIVEWAY
	TREE
	BUILDING FOOTPRINT
	PARKING SPACE
	LANDSCAPE ELEMENT
	STORM DRAIN
	CONTOUR LINE
	UTILITY POLE
	STORM MANHOLE
	FIRE HYDRANT
	STREET LIGHT
	SIDEWALK
	CURB
	STREET
	ALLEY

APPROXIMATE

DATE	NO. DRAWINGS	DATE	NO. DRAWINGS
1/15/24	1	1/15/24	1

GENERAL NOTES

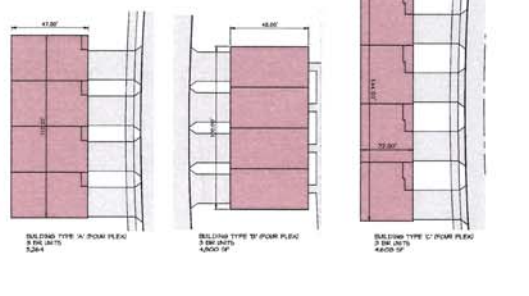
1. ALL BUILDINGS SHALL BE CONSTRUCTED TO THE CITY OF NORTH LIBERTY, IOWA.
2. THE CITY ENGINEER SHALL REVIEW THIS SITE PLAN FOR CONFORMANCE WITH THE CITY OF NORTH LIBERTY, IOWA ORDINANCES.
3. THE CITY ENGINEER SHALL REVIEW THIS SITE PLAN FOR CONFORMANCE WITH THE IOWA SUBDIVISION ACT.
4. THE CITY ENGINEER SHALL REVIEW THIS SITE PLAN FOR CONFORMANCE WITH THE IOWA SUBDIVISION ACT.
5. THE CITY ENGINEER SHALL REVIEW THIS SITE PLAN FOR CONFORMANCE WITH THE IOWA SUBDIVISION ACT.

DEVELOPMENT INFORMATION

PROJECT NAME	DATE	DESIGNER
WATER TOWER PLACE, LOT 5	1/15/24	MMS CONSULTANTS, INC.

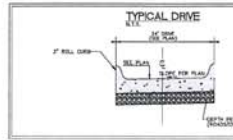
PLANT SCHEDULE

SHADE TREE	12
EVERGREEN TREE	40



LANDSCAPE REQUIREMENTS

ONE-SIDE TREES:
1 TREE FOR EACH 750 SF OF BUILDING FOOTPRINT.
LOT 5: 54 (62) / 750 = 72 TREES



IOWA ONE CALL

UTILITIES:
1. ALL UTILITIES SHALL BE DEPTH MARKED BY THE CONTRACTOR.

IOWA PROFESSIONAL ENGINEER

SEAL

DRAFT

DATE: 1/15/24
PROJECT: WATER TOWER PLACE, LOT 5

DATE Revision

DATE 1/15/24

REVISED PER CITY COMMENTS

PRELIMINARY SITE PLAN

**WATER TOWER PLACE, LOT 5
NORTH LIBERTY IOWA**

MMS CONSULTANTS, INC.

03-01-23

Designed by: Paul Beck

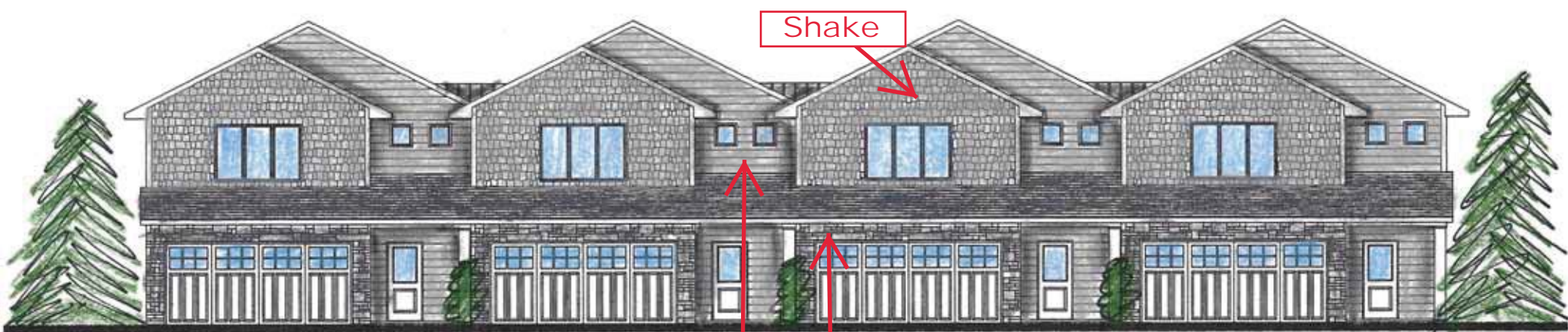
Checked by: AJB

Drawn by: AJB

Date: 1/15/24

Sheet No. 1

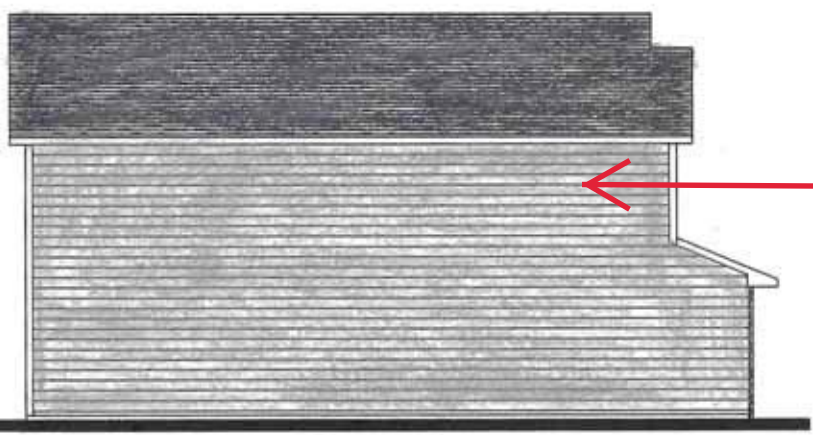
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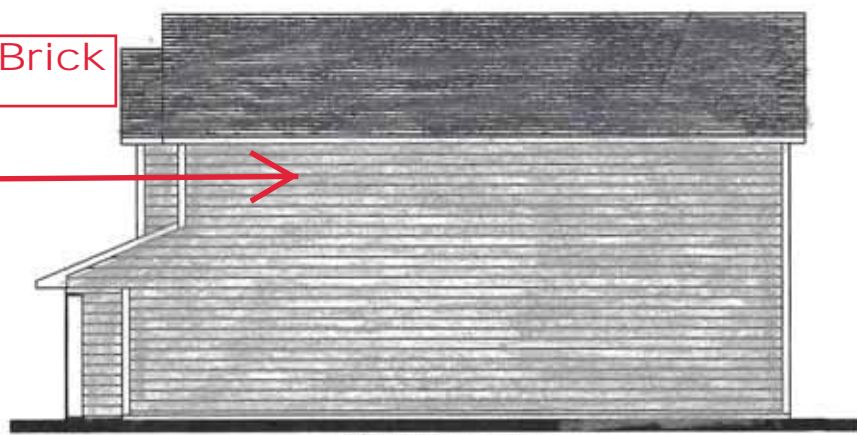
FRONT ELEVATION

Stone / Brick

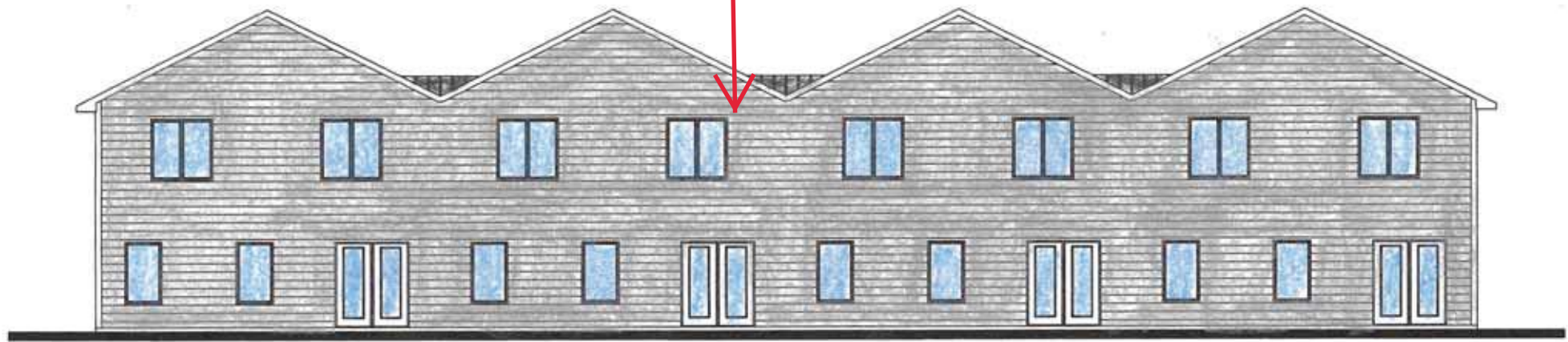
Siding



LEFT ELEVATION



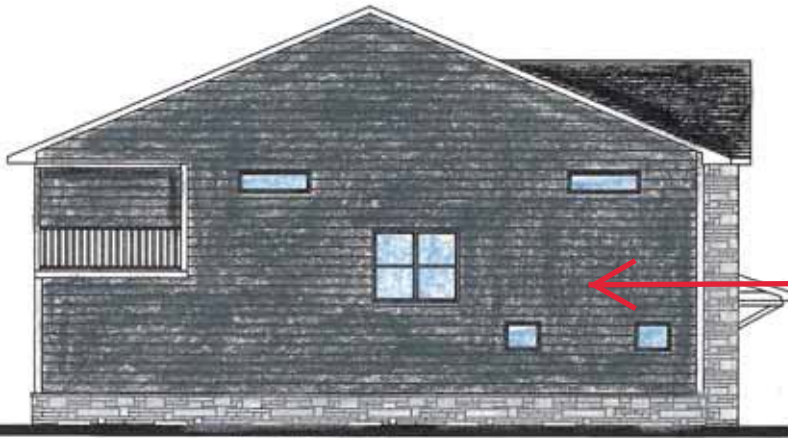
RIGHT ELEVATION



REAR ELEVATION



FRONT ELEVATION

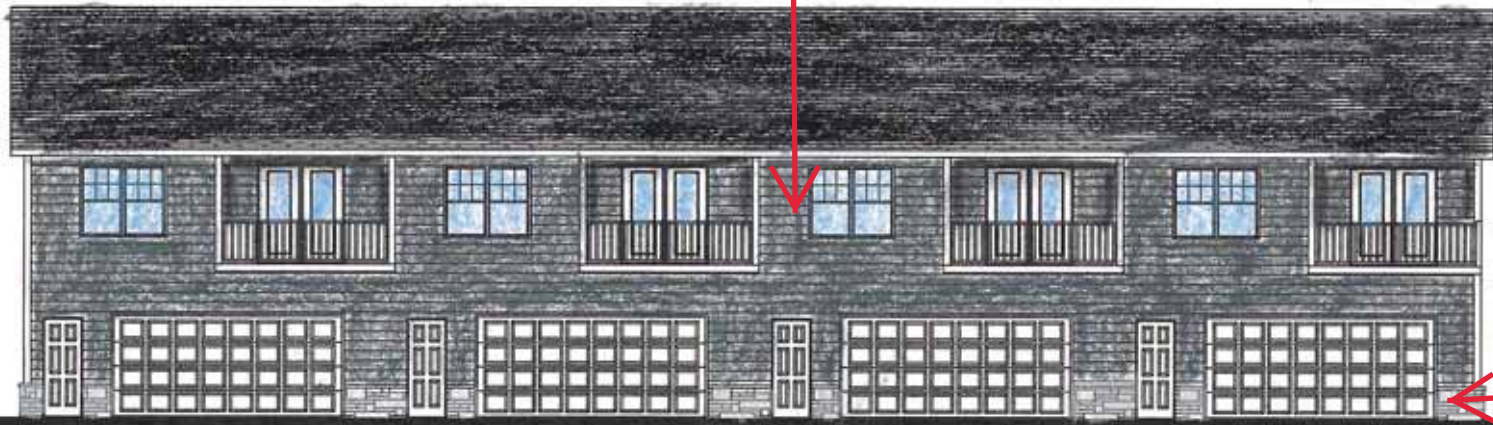


LEFT ELEVATION



RIGHT ELEVATION

Siding



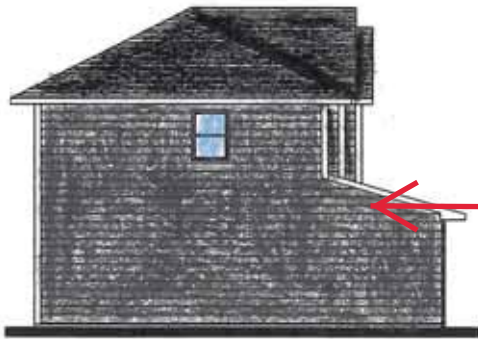
REAR ELEVATION

Brick / Stone



FRONT ELEVATION

Brick / Stone

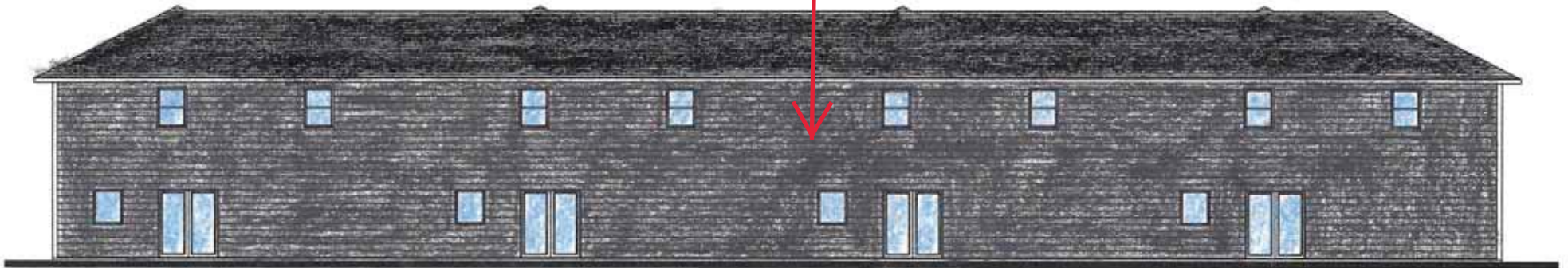


LEFT ELEVATION



RIGHT ELEVATION

Siding



REAR ELEVATION



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **March 30, 2023**
 Re **Request of Pratt Real Estate Management, Inc. to approve a Preliminary Site Plan for two commercial buildings on approximately 6.28 acres. The property is located on the north side of West Penn Street approximately 350 feet west of North.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

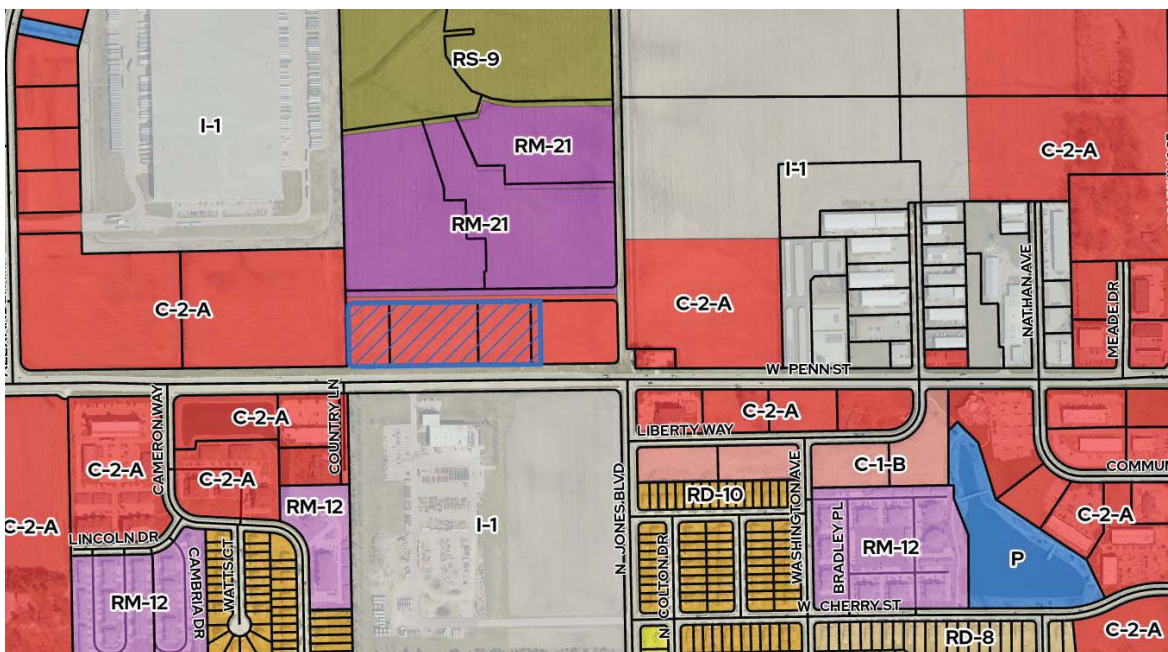
- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

The site plan proposes a 34,359 square foot private recreation building and a 33,528 square foot restaurant/bowling alley on approximately 6.28 acres.

2. Existing Zoning:

The property is currently zoned C-2-A Highway Commercial District. "Indoor Amusement Facility" and "Restaurant" are listed as a permitted uses in the C-2-A District.



3. **Comprehensive Plan Future Land Use Map Designation:** Urban High Intensity. The RM-12 District is consistent with the Urban High Intensity Land Use Designation.



4. **Public Input:**

No public comments have been received.

Section 165.05(2) of the North Liberty Code of Ordinances entitled, "Preliminary Site Review" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

- *Date, north arrow and graphic scale.* **Provided.**
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- *Property boundary lines, dimensions, and total area.* **Provided.**
- *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the site plan.* **Provided.**
- *The location of existing streets, sidewalks, easements, utilities, drainage courses.* **Provided.**
- *The total square feet of building floor area, both individually and collectively.* **Provided.**
- *All structures and major features shall be fully dimensioned including distance between structures, distance between driveways, parking areas, property lines and building height.* **Provided.**
- *Off-street parking areas, ingress and egress to the property, number of parking spaces proposed, number of parking spaces required by this code and type of surfacing.* **Provided.**
- *Pedestrian walkways with special consideration given to pedestrian safety.* **Provided.**
- *Trash and refuse enclosures.* **Provided.**

- *The general drainage pattern and location of storm water detention features.* **Provided.**
- *The general location, type and size of landscaping and ground cover illustrated in color perspective.* **Provided.**
- *A rendering, elevation or photo of the proposed development.* **Provided.**

North Liberty Code of Ordinances Section 168.07 entitled, "Uses Defined and Use Standards" sets forth certain design standards (applicable Ordinance language in italics and staff analysis in bold).

Section 168.07(4)

- A. Defined. Indoor Amusement Facility means a facility for spectator and participatory uses conducted within an enclosed building, such as movie theaters, sports arenas, bowling alleys, tumbling centers, skating centers, roller rinks, escape room/physical adventure game facilities, and pool halls. An indoor amusement facility may include uses such as, but not limited to, concession stands, restaurants, and retail sales as ancillary uses. Indoor amusement facility does not include an adult entertainment establishment, live performance venues. or private recreational facilities.
- B. Use Standards. None.

Section 168.07(68)

- A. Defined. Restaurant means an establishment where food and drinks, including alcoholic beverages, are provided to the public for on-premises consumption by seated patrons and/or for carry-out service.
- B. Use Standards. None.

North Liberty Code of Ordinances Section 169.10 entitled, "Design Standards" sets forth certain design standards (applicable Ordinance language in italics and staff analysis in bold).

Requirements for All Districts.

- Building design shall be visually harmonious and compatible with the neighborhood character.
- Buildings located on property with double frontages shall have similar wall design facing both streets.
- Except for RS RD,R-MH and ID districts, color schemes shall be primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited.
- Except in the R-MH district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs and there shall be a minimum roof overhang at the eaves of 12 inches. This does not apply to portions of a roof that are separate from the structure's primary roof. Metal roofs shall not be corrugated or similar appearance. The color of the roof shall be visually harmonious and compatible with the building color scheme.

It is staff's opinion that the site plan achieves consistence with the aforementioned design standards.

Requirements for Non-Residential and Commercial Districts

Requirements for Non-Residential (including mixed-use) Development in Residential Districts. The following requirements shall be observed for all non-residential development in the RS, RD, RM and ID districts:

- Minimum required masonry on front and corner side yard building elevations is 60%. Required masonry does not apply to accessory structures.
- For exterior walls not composed of masonry products, wall coverings shall be wood and/or vertical or horizontal grooved siding or lapped siding, or materials of similar appearance.

Requirements for Development in Commercial Districts.

Commercial zoning districts are intended to enhance public welfare by providing for safe, convenient, high quality pedestrian-oriented commercial centers that contribute to community identity as energetic and attractive focus points. Through development and redevelopment within these districts, the city recognizes the importance of creating high quality development areas to the quality of life for residents of the city, the impact quality development has on the image of the community, and the need to provide restrictions and guidelines to enhance visual appearance and functionality. The objectives addressed through these regulations include the following:

- Design. To achieve appealing aesthetic design through high quality architecture and construction, with attention to placement, relationship, and orientation of structures and amenities to provide both internal cohesiveness and compatibility with surrounding uses.
- Walkability. To achieve overall development patterns that encourage walking and reduce dependence on the automobile to travel from one business to another, and so reduces the dominance of the automobile within the development.
- Human-scale Activity. To achieve a sense of place by emphasizing pedestrian interaction with commercial uses rather than sprawling automobile-dominated designs, both in building architecture and public or private outdoor areas.
- Compatible Uses. To achieve the right blend of uses, compact and well-designed, that complement each other and provide cohesive overall developments.

It is staff's opinion that the site plan achieves consistence with the aforementioned design standards.

Findings:

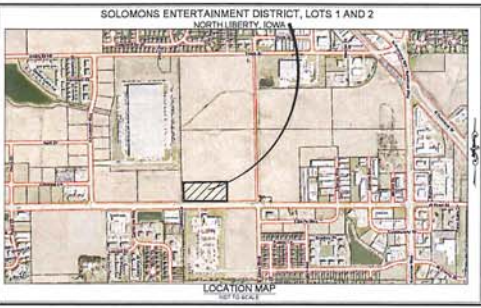
1. The commercial use of the property would be consistent with the current C-2-A District and the Comprehensive Plan Future Land Use Map designation of Urban High Intensity; and
2. The site plan would achieve consistency with North Liberty Code of Ordinances Section 165.05(2) entitled, "Preliminary Site Plan Review", and Section 169.10 entitled "Design Standards" and other Code of Ordinance requirements.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request to approve a preliminary site plan for a 34,359 square foot private recreation building and a 33,528 square foot restaurant/bowling alley on approximately 6.28 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the two listed findings and forward the preliminary site plan to the City Council with a recommendation for approval.

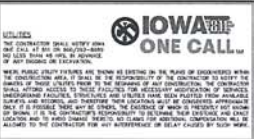


PRELIMINARY SITE PLAN SOLOMONS ENTERTAINMENT DISTRICT, LOTS 1 AND 2 NORTH LIBERTY, IOWA

GENERAL NOTES:
1. THE PROJECT IS SUBJECT TO THE CITY OF NORTH LIBERTY'S SUBMITTAL AND REVIEW PROCESS. THE CITY ENGINEER'S REVIEW IS LIMITED TO TECHNICAL MATTERS ONLY AND DOES NOT CONSTITUTE AN ENDORSEMENT OF THE PROJECT OR A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NORTH LIBERTY AND THE IOWA DEPARTMENT OF TRANSPORTATION (DOT).
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND STRUCTURES AND SHALL BE RESPONSIBLE FOR ANY NECESSARY REPAIRS OR REPLACEMENTS.
4. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES AND SHALL BE RESPONSIBLE FOR ANY NECESSARY REPAIRS OR REPLACEMENTS.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND STRUCTURES AND SHALL BE RESPONSIBLE FOR ANY NECESSARY REPAIRS OR REPLACEMENTS.

STANDARD LEGEND AND NOTES

Symbol	Description
[Symbol]	PROPERTY AND BOUNDARY LINES
[Symbol]	EXISTING CONTOUR LINES
[Symbol]	EXISTING EASEMENT LINES
[Symbol]	EXISTING UTILITY LINES
[Symbol]	EXISTING STRUCTURE LINES
[Symbol]	EXISTING DRIVEWAY LINES
[Symbol]	EXISTING SIDEWALK LINES
[Symbol]	EXISTING CURB LINES
[Symbol]	EXISTING DRIVEWAY CURB LINES
[Symbol]	EXISTING SIDEWALK CURB LINES
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[Symbol]	EXISTING DRIVEWAY SIDEWALK CURB LINES

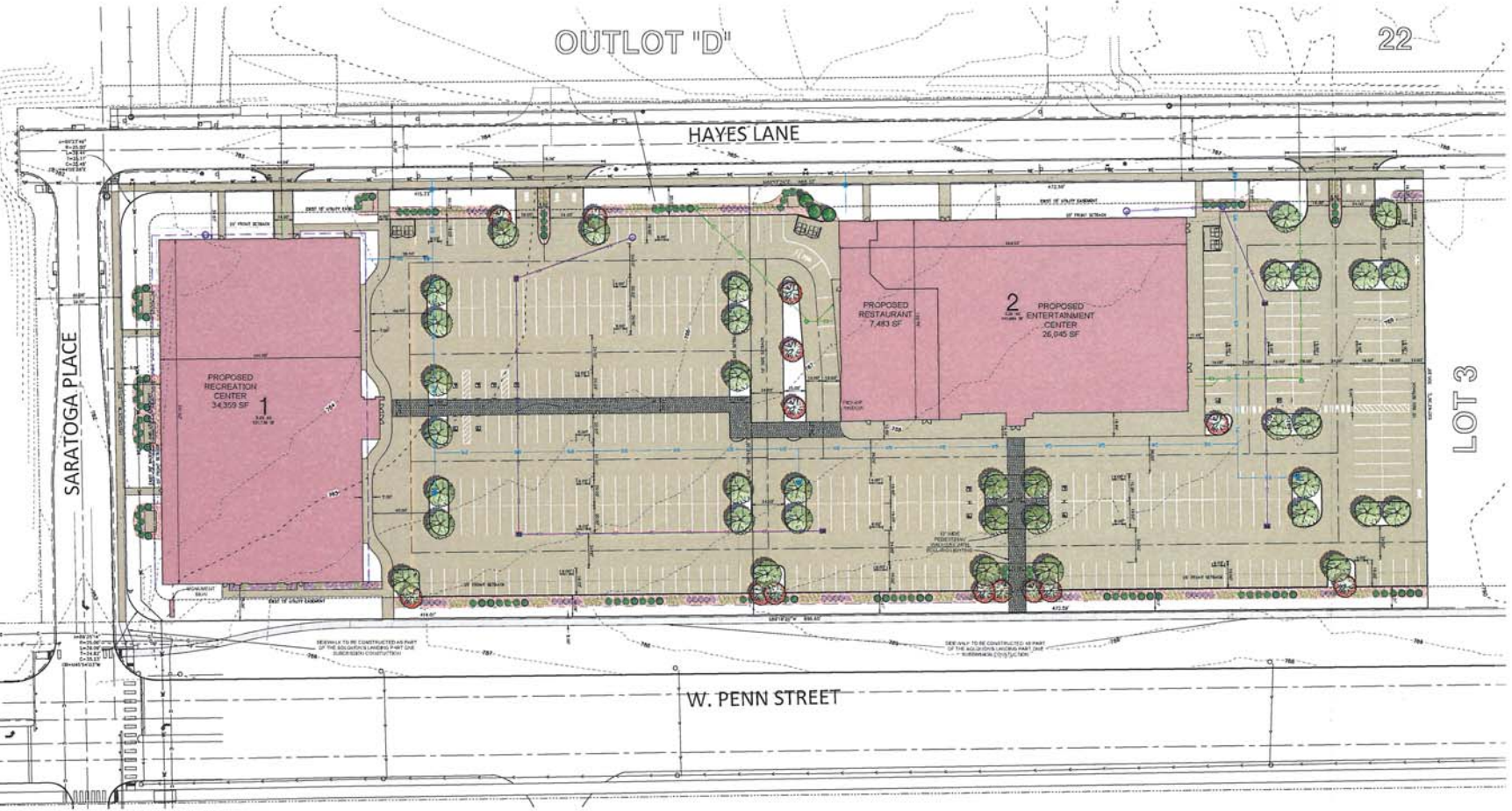


PROFESSIONAL ENGINEER
KELLY & BICKEL
1000 11th St, SE
Des Moines, IA 50319
P: 515.281.1111
F: 515.281.1112
www.kellyandbickel.com

DRAFT

PLANT SCHEDULE

Plant Type	Quantity
[Symbol] 1" CALIBER TREE	25
[Symbol] 2" CALIBER TREE	14
[Symbol] 3" CALIBER TREE	3
[Symbol] 4" CALIBER TREE	05
[Symbol] 6" CALIBER TREE	01
[Symbol] 8" CALIBER TREE	005



6.28 ACRES

MMS CONSULTANTS, INC.
CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

117 E. GILBERT ST.
EAST DES MOINES, IOWA 50309
515.281.2282
www.mmsinc.com

SOLOMONS ENTERTAINMENT DISTRICT, LOTS 1 AND 2
NORTH LIBERTY, IOWA

MMS CONSULTANTS, INC.

Drawn by: [Name]	Plot Book No: [Number]
Checked by: [Name]	Sheet No: [Number]
Project No: [Number]	

11669-001

SOLOMONS LANDING



SOLOMONS LANDING



SOLOMONS LANDING PIZZA RANCH | BOWLDOGS



SOLOMONS LANDING PIZZA RANCH | BOWLDOGS



SOLOMONS LANDING PIZZA RANCH | BOWLDOGS



SOLOMONS LANDING PIZZA RANCH | BOWLDOGS



SOLOMONS LANDING PIZZA RANCH | BOWLDOGS



SOLOMONS LANDING PIZZA RANCH | BOWLDOGS



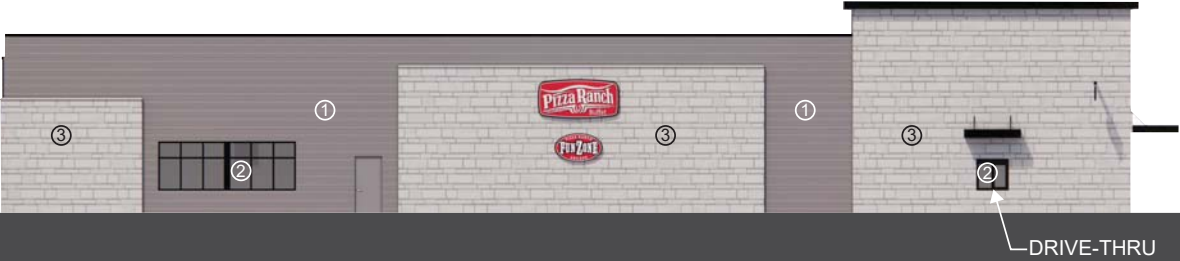
SOUTH ELEVATION



①	ARCHITECTURAL MTL. PANELS	
②	GLAZING - BLACK ANODIZED	6%
③	MASONRY (BRICK & STONE)	57%
④	NICHIHA (COMMERCIAL FIBER CEMENT)	23%
⑤	WOOD GRAIN NICHIHA (COMMERCIAL FIBER CEMENT)	11%
⑥	INTERNALLY LIT COLOR CHANGING TOWER	3%

GLAZING + MASONRY
6% + 57% = 63%

SOLOMONS LANDING PIZZA RANCH | BOWLDOGS



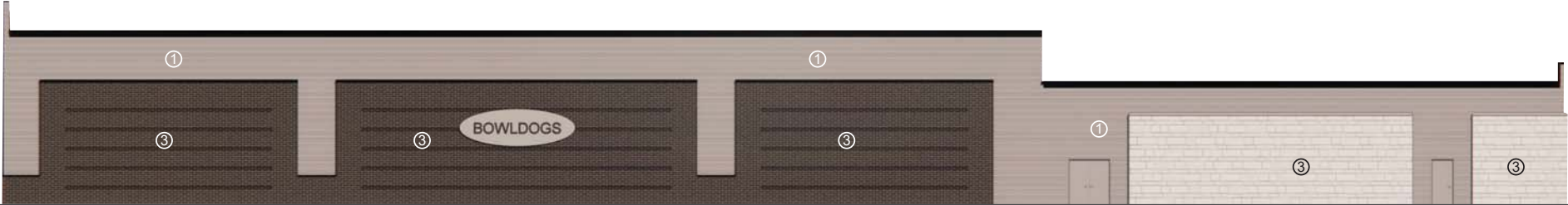
WEST ELEVATION



- ① ARCHITECTURAL MTL. PANELS 36%
- ② GLAZING - BLACK ANODIZED 3%
- ③ MASONRY (BRICK & STONE) 61%
- ④ NICHIHA (COMMERCIAL FIBER CEMENT)
- ⑤ WOOD GRAIN NICHIHA (COMMERCIAL FIBER CEMENT)
- ⑥ INTERNALLY LIT COLOR CHANGING TOWER

GLAZING + MASONRY
3% + 61% = 64%

SOLOMONS LANDING PIZZA RANCH | BOWLDOGS



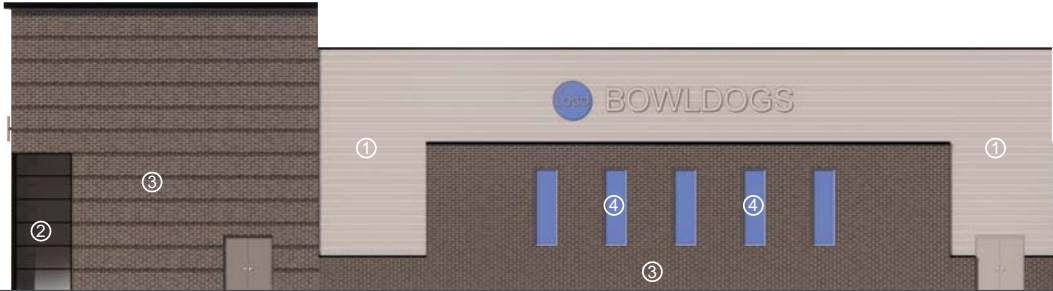
NORTH ELEVATION



- ① ARCHITECTURAL MTL. PANELS 39%
- ② GLAZING - BLACK ANODIZED
- ③ MASONRY (BRICK & STONE) 62%
- ④ NICHIHA (COMMERCIAL FIBER CEMENT)
- ⑤ WOOD GRAIN NICHIHA (COMMERCIAL FIBER CEMENT)
- ⑥ INTERNALLY LIT COLOR CHANGING TOWER

GLAZING + MASONRY
0% + 62% = 62%

SOLOMONS LANDING PIZZA RANCH | BOWLDOGS



EAST ELEVATION



①	ARCHITECTURAL MTL. PANELS	35%
②	GLAZING - BLACK ANODIZED	3%
③	MASONRY (BRICK & STONE)	58%
④	NICHIHA (COMMERCIAL FIBER CEMENT)	3%
⑤	WOOD GRAIN NICHIHA (COMMERCIAL FIBER CEMENT)	
⑥	INTERNALLY LIT COLOR CHANGING TOWER	

GLAZING + MASONRY
3% + 58% = 61%

SOLOMONS LANDING THE PALESTRA



SOLOMONS LANDING THE PALESTRA



SOLOMONS LANDING THE PALESTRA



SOLOMONS LANDING THE PALESTRA



SOLOMONS LANDING THE PALESTRA



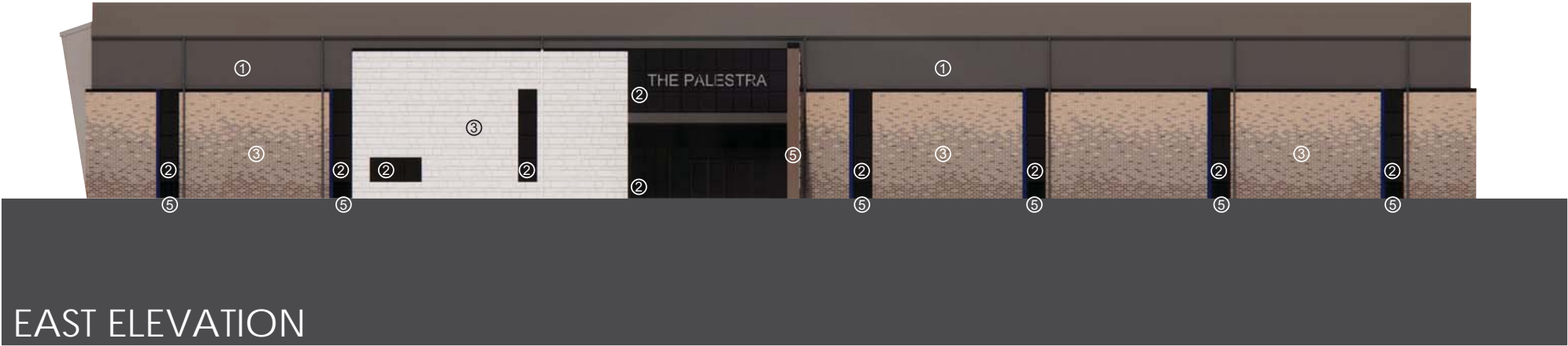
SOLOMONS LANDING THE PALESTRA



SOLOMONS LANDING THE PALESTRA



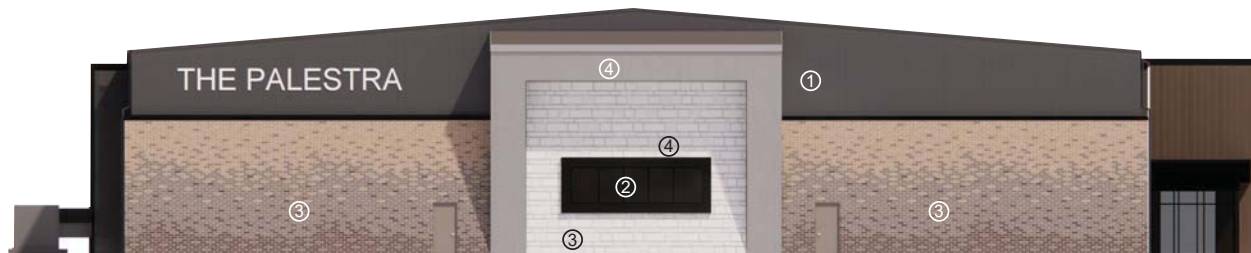
SOLOMONS LANDING THE PALESTRA



①	PEMB PANELS	24%
②	GLAZING - BLACK ANODIZED	18%
③	MASONRY (BRICK & STONE)	56%
④	NICHIHA (COMMERCIAL FIBER CEMENT)	1%
⑤	ALUMINUM COMPOSITE PANELS	1%

GLAZING + MASONRY
18% + 56% = 74%

SOLOMONS LANDING THE PALESTRA



SOUTH ELEVATION



①	PEMB PANELS	27%
②	GLAZING - BLACK ANODIZED	2%
③	MASONRY (BRICK & STONE)	58%
④	NICHIHA (COMMERCIAL FIBER CEMENT)	13%
⑤	ALUMINUM COMPOSITE PANELS	

GLAZING + MASONRY
2% + 58% = 60%

SOLOMONS LANDING THE PALESTRA



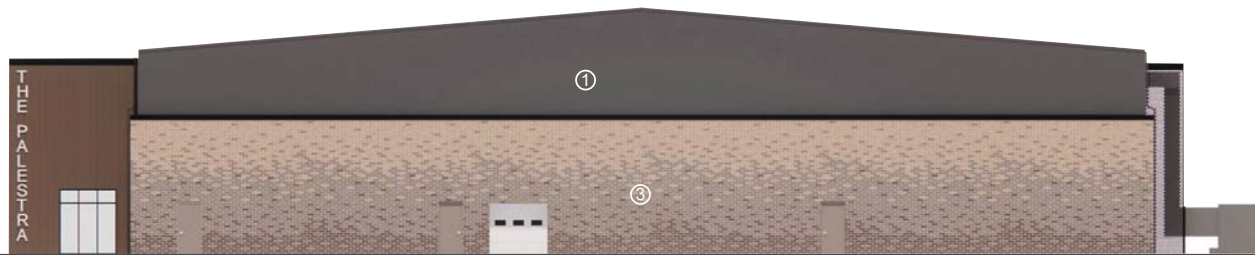
WEST ELEVATION



①	PEMB PANELS	32%
②	GLAZING - BLACK ANODIZED	
③	MASONRY (BRICK & STONE)	68%
④	NICHIHA (COMMERCIAL FIBER CEMENT)	
⑤	ALUMINUM COMPOSITE PANELS	

GLAZING + MASONRY
0% + 68% = 68%

SOLOMONS LANDING THE PALESTRA



NORTH ELEVATION



①	PEMB PANELS	38%
②	GLAZING - BLACK ANODIZED	
③	MASONRY (BRICK & STONE)	62%
④	NICHIHA (COMMERCIAL FIBER CEMENT)	
⑤	ALUMINUM COMPOSITE PANELS	

GLAZING + MASONRY
0% + 62% = 62%



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **March 31, 2023**
 Re **Request of Physician's Building Group, LLC to approve a Preliminary Subdivision Plat for a 2 lot subdivision on approximately 36.22 acres. The property is located on the west side of South Kansas Avenue approximately ¼ mile north of West.**

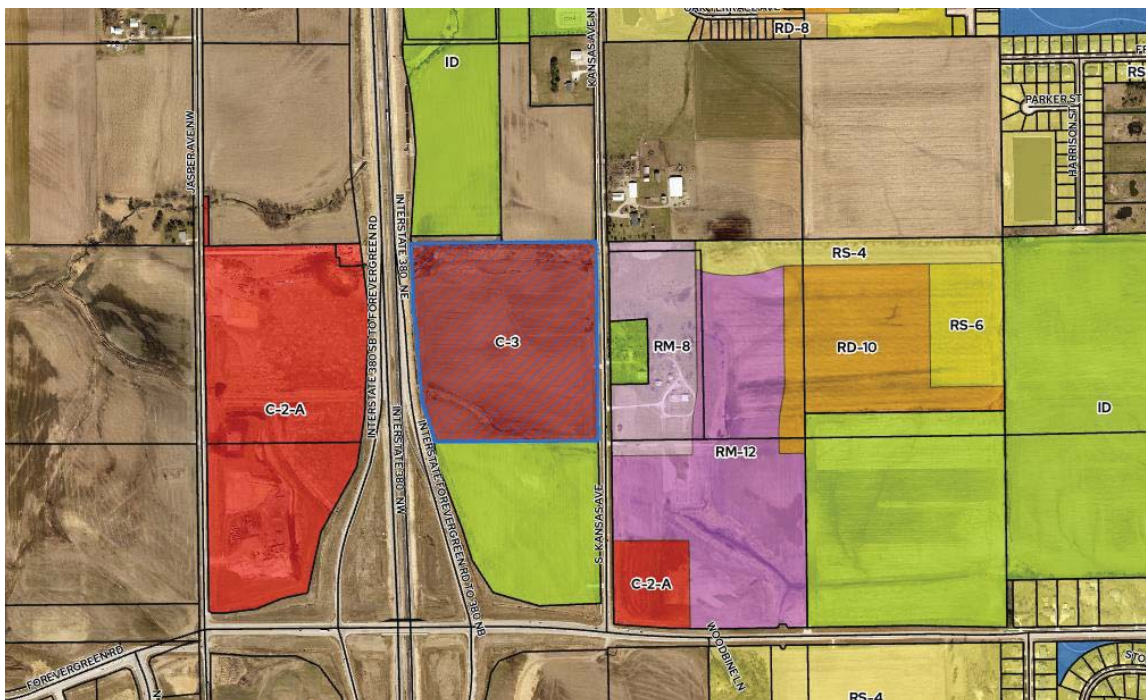
North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:
 Ryan Heiar, City Administrator
 Tracey Mulcahey, Assistant City Administrator
 Grant Lientz, City Attorney
 Tom Palmer, City Building Official
 Kevin Trom, City Engineer
 Ryan Rusnak, Planning Director

1. Request Summary:

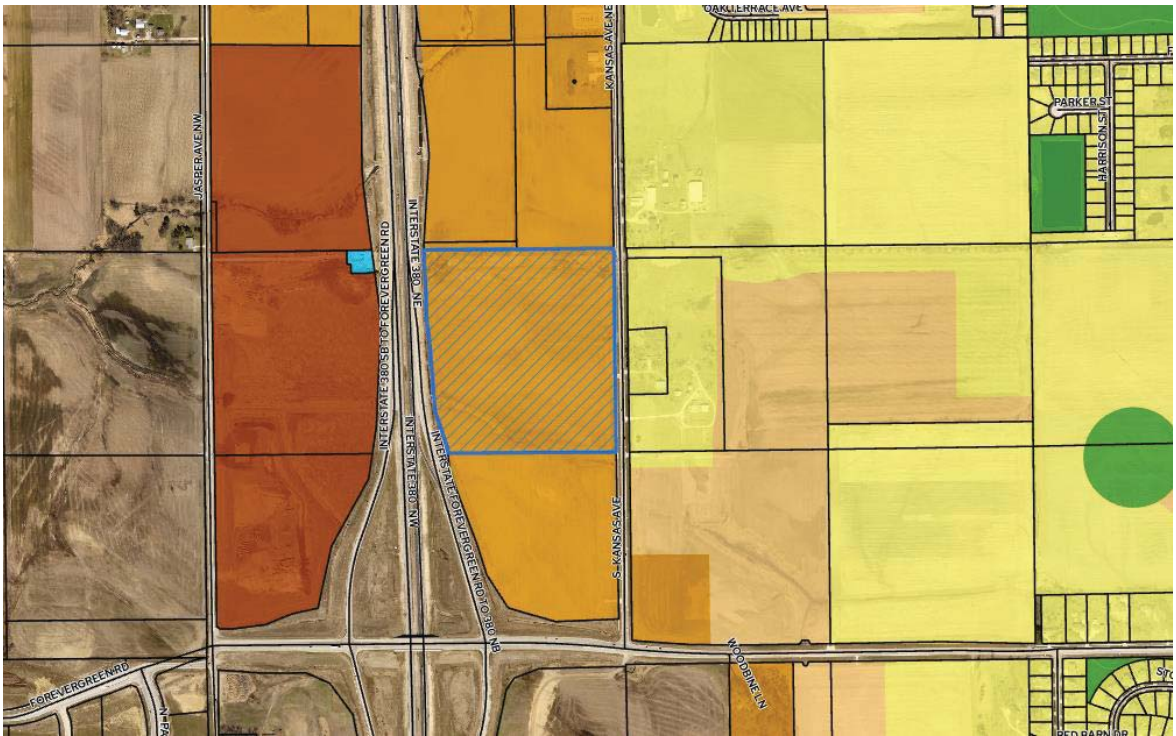
The Preliminary Plat proposes 2 lots and related infrastructure approximately 36.22 acres.

2. Current Zoning:

The property is currently zoned C-3 Higher Intensity Commercial District.



3. Comprehensive Plan Future Land Use Map Designation: Urban High Intensity.



The proposed preliminary plat would achieve consistency with the Future Land Use Map.

4. Public Input:

Good neighbor meetings were held on December 22, 2022. One person outside of City staff and the applicant attended the virtual meeting and just had general questions. There are no formal objection to the request.

5. Approval Standards:

Section 180.11(3)(A) of the North Liberty Code of Ordinances sets forth the preliminary subdivision plat submittal requirements and review (Ordinance language in *italics* and staff analysis in **bold**).

- 3. Preliminary Subdivision Plat Submittal Requirements and Review. The preliminary plat, in general, contains more information than the final plat, so that the subdivider and the City can ensure conformance with codes, master facility plans, and good planning and engineering practices. Though the preliminary plat is not recorded, it is approved by resolution of the City Council, and conditions for approval of the plat shall be addressed on any final plats of the same area.*

A. *Preliminary Plat Contents. The application shall include a preliminary plat of the subdivision drawn to a scale of one inch to one hundred feet minimum, and shall show:*

(1) *A location map to provide spatial reference, showing the outline of the area to be subdivided, existing streets and corporate limits in the vicinity, a north arrow and scale or note stating "not to scale," and other information that might help clarify where the plat is located as well as its surroundings and size relative to other City features;*

This has been provided on the Preliminary Plat.

(2) *Name of proposed subdivision and date;*

This has been provided on the Preliminary Plat.

(3) *Legal description and acreage;*

This has been provided on the Preliminary Plat.

(4) *Name and address of owner;*

This has been provided on the Preliminary Plat.

(5) *Names of the persons preparing the plat, owner's attorney, representative or agent, if any;*

This has been provided on the Preliminary Plat.

(6) *Existing and proposed zoning district classification of all land within the proposed subdivision and within about 200 feet of the subdivision;*

Staff is not requiring this information on the Preliminary Plat.

(7) *North point and graphic scale;*

This has been provided on the Preliminary Plat.

(8) *Contours at two-foot intervals or less, both existing and as generally proposed (subject to more refinement in subsequent construction plans);*

This has been provided on the Preliminary Plat.

(9) *Building setback lines as required by the current or proposed zoning district classifications;*

This has been provided on the Preliminary Plat.

(10) *The approximate boundaries of areas of known flood levels or floodplains, areas covered by water, wooded areas, floodways, and all open channel drainage ways;*

This has been provided on the Preliminary Plat.

(11) Locations, names, and dimensions of existing lot lines, streets, public utilities, water mains, sewers, drainpipes, culverts, watercourses, bridges, railroads and buildings within in the proposed subdivision and within about 200 feet of the subdivision;

This has been provided on the Preliminary Plat.

(12) Layout of proposed blocks, if used, and lots, including the dimension of each lot, and the lot and block number in numerical order;

This has been provided on the Preliminary Plat.

(13) Layout and dimensions of proposed streets, sidewalks, trails, alleys, utility and other easements, parks and other open spaces or reserved areas;

This has been provided on the Preliminary Plat.

(14) Grades of proposed streets and alleys;

This has been provided on the Preliminary Plat.

(15) A cross-section of the proposed streets showing the roadway locations, the type of curb and gutter, the paving, and sidewalks to be installed;

This has been provided on the Preliminary Plat.

(16) The layout of proposed water mains and sanitary sewer systems;

This has been provided on the Preliminary Plat.

(17) The drainage of the land, including proposed storm sewers, ditches, culverts, bridges and other structures;

This has been provided on the Preliminary Plat.

(18) Stormwater management facilities when applicable;

This has been provided on the Preliminary Plat.

(19) A signed certificate of the Johnson County Auditor for the subdivision name;

This information has been provided.

(20) Other special details or features that may be proposed or required.

None required.

6. Staff Recommendation:

Findings:

1. The preliminary plat, which proposes commercial development, would consistency with the Comprehensive Plan Future Land Map designation, which is Urban High Intensity; and
2. The preliminary plat, with conditions recommended by City staff, would achieve consistency with Section 180.11(3)(A) and 180.12 of the North Liberty Code of Ordinances, which sets forth the preliminary subdivision plat submittal requirements and design standards, respectively.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request of Physician's Building Group, LLC to approve a Preliminary Subdivision Plat for a 2 lot subdivision on approximately 36.22 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the two listed findings and forward the Preliminary Subdivision Plat to the City Council with a recommendation for approval.

OWNER/APPLICANT

PHYSICIAN'S BUILDING GROUP, LLC / RDG PLANNING AND DESIGN
 201 E WASHINGTON STREET STE. 201
 IOWA CITY, IOWA 52240
 (515) 282-3141
 WDOWNING@RDGUSA.COM
 ATTN: WILL DOWNING

ENGINEER/SURVEYOR

McCLURE ENGINEERING
 1740 LININGER LANE
 NORTH LIBERTY, IOWA 52317
 (319) 531-7764
 AFULLER@MCCLUREVISION.COM
 ATTN: ALEC FULLER

SITE LOCATION

NE 1/4 NE 1/4, SEC. 22, T80N, R7W

BULK REGULATIONS

ZONING - C-3 - HIGHER DENSITY COMMERCIAL DISTRICT
C-3 BULK REGULATIONS:
 MINIMUM LOT AREA: 20,000 SF C-3
 BUILDING HEIGHT: 75 FEET C-3
 FRONT YARD SETBACK: 25 FEET C-3
 SIDE YARD SETBACK: 10 FEET C-3
 REAR YARD SETBACK: 25 FEET C-3

FLOOD INFORMATION

PANEL NUMBER: 19103C0180E
 EFFECTIVE DATE: 2/16/2007
 ZONE: ZONE X - AREA OF MINIMAL FLOOD HAZARD

LEGAL DESCRIPTION

(PER WARRANTY DEED FILED IN BOOK 6309, PAGE 438)

AUDITOR'S PARCEL 2021037 ACCORDING TO THE PLAT OF SURVEY RECORDED IN BOOK 65, PAGE 60, PLAT RECORDS OF JOHNSON COUNTY, IOWA.

SITE USAGE

LOT 1 - FUTURE DEVELOPMENT
 LOT 2 - FUTURE DEVELOPMENT

ONE CALL UTILITY INFORMATION

DESIGN INFORMATION REQUEST TICKET #: 552300882, 552300883, 552300884

CITY OF NORTH LIBERTY
 CONTACT: TOM PALMER
 PHONE #: 319-626-5736
 EMAIL: TPALMER@NORTHLIBERTYIOWA.ORG

MIDAMERICAN - GAS
 CONTACT: CARSON HEMPHILL
 PHONE #: 319-341-4461
 EMAIL: CRHEMPHILL@MIDAMERICAN.COM

IOWA DEPT. OF TRANSPORTATION
 CONTACT: TIM ZEIMET
 PHONE #: 319-626-2386
 EMAIL: TIMOTHY.ZEIMET@DOT.IOWA.GOV

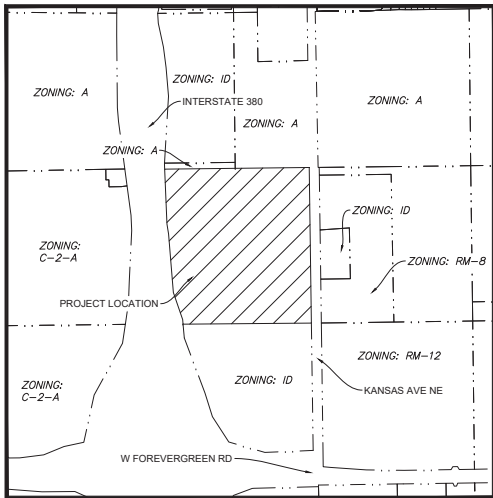
LINN COUNTY REC
 CONTACT: JOHNA NUNEMAKER
 PHONE #: 319-377-1587
 EMAIL: NUNEMAKER@LINNCOUNTYREC.COM

SOUTH SLOPE TELEPHONE
 CONTACT: BRIAN FRESE
 PHONE #: 319-665-5328
 EMAIL: BRIAN@SOUTHSLOPE.COM

UTILITY WARNING

THE UTILITIES DEPICTED ON THIS DOCUMENT HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

PRELIMINARY PLAT STEINDLER MEDICAL PARK MINOR SUBDIVISION NORTH LIBERTY, IOWA



VICINITY MAP

1" = 600'



1-800-292-9989
 www.iowasonecall.com



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

ALEC FULLER
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024 DATE: _____
 PAGES OR SHEETS COVERED BY THIS SEAL: THREE SHEETS
 DATE SURVEYED: 2/15/2023



ENGINEER: A. FULLER
 SURVEYOR: W. GIERZYK
 DRAWING NO.: 01/03
 PROJECT: STEINDLER MEDICAL PARK
 PRELIMINARY PLAT
 NORTH LIBERTY, IOWA
 JOHNSON COUNTY
 20240209



EXISTING SURVEY LEGEND

LINework

— — — — —	SANITARY SEWER	--- 949 ---	INTERMEDIATE CONTOUR
— — — — —	SANITARY SEWER FORCE MAIN	--- 950 ---	INDEX CONTOUR
— — — — —	STORM SEWER	— 949 —	PROPOSED INT. CONTOUR
— — — — —	WATER	— 950 —	PROPOSED IND. CONTOUR
— — — — —	UNDERGROUND ELECTRIC	— · — · — · —	PROPERTY LINE
— — — — —	OVERHEAD ELECTRIC	— · — · — · —	RIGHT OF WAY
— — — — —	UNDERGROUND COMMUNICATIONS	— · — · — · —	SECTION LINE
— — — — —	OVERHEAD COMMUNICATIONS	— · — · — · —	EASEMENT
— — — — —	UNDERGROUND TELEPHONE	— · — · — · —	GUARD RAIL
— — — — —	OVERHEAD TELEPHONE	— · — · — · —	FIELD FENCE
— — — — —	UNDERGROUND FIBER OPTIC	— · — · — · —	CHAIN LINK FENCE
— — — — —	OVERHEAD FIBER OPTIC	— · — · — · —	WOODEN FENCE
— — — — —	UNDERGROUND CABLE	— · — · — · —	AGRICULTURE LINE
— — — — —	OVERHEAD CABLE	— · — · — · —	EDGE OF TREES
— — — — —	GAS	— · — · — · —	ROAD CENTERLINE
— — — — —	TRAFFIC	— · — · — · —	WATERWAY FLOWLINE

UTILITY QUALITY LEVELS:

UTILITY QUALITY LEVELS ARE BASED ON THE CIVASCE 38-02 STANDARD.

UTILITY QUALITY LEVEL A:

PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY THE ACTUAL EXPOSURE (OR VERIFICATION OF PREVIOUSLY EXPOSED AND SURVEYED UTILITIES) AND SUBSEQUENT MEASUREMENT OF SUBSURFACE UTILITIES

UTILITY QUALITY LEVEL B:

INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.

UTILITY QUALITY LEVEL C:

INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.

UTILITY QUALITY LEVEL D:

INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

ADDITIONALLY IN THE CASE OF MULTIPLE OWNERS OF THE SAME UTILITY TYPE SAID UTILITIES WILL BE ABBREVIATED WITH AN OWNER NUMBER (1, 2, 3, ETC) AND REFERENCED IN THE IOWA ONE CALL UTILITY INFORMATION SECTION.

EXAMPLES:

— C1(2) —	UNDERGROUND COMMUNICATIONS- OWNER 1
— C2(2) —	UNDERGROUND COMMUNICATIONS- OWNER 2

ABBREVIATIONS

CP	CONTROL POINT	CI	CAST IRON PIPE
BM	BENCHMARK	DI	DUCTILE IRON PIPE
R.O.W.	RIGHT-OF-WAY	CMP	CORRUGATED METAL PIPE
ASPH	ASPHALT	HDPE	HIGH-DENSITY POLYETHYLENE PIPE
PCC	CONCRETE	VCP	VITRIFIED CLAY PIPE
FL	FLOWLINE	PVC	POLYVINYL CHLORIDE PIPE
TYP	TYPICAL	RCP	REINFORCED CONCRETE PIPE
FND	FOUND	UNK	UNKNOWN
PUE	PUBLIC UTILITY EASEMENT	FF	FINISHED FLOOR

AVIATION

	AVIATION GUIDANCE SIGN
	BEACON LIGHT
	MALS LIGHT
	PAPI LIGHT
	REIL LIGHT
	RUNWAY MULTILIGHT W/BASE
	RUNWAY MULTILIGHT W/STAKE
	TAXIWAY LIGHT W/BASE
	TAXIWAY LIGHT W/STAKE
	TAXIWAY REFLECTOR
	WIND CONE
	WIND TEE

ELECTRIC

	AIR CONDITIONING UNIT
	BREAKER BOX
	ELECTRIC MANHOLE
	ELECTRIC METER
	ELECTRIC PEDESTAL
	HEAT PUMP

GAS

	GAS MARKER
	GAS METER
	GAS VALVE

GENERAL SITE FEATURES

	BOLLARD
	FLAGPOLE
	FLOOD LIGHT
	GUY WIRE
	MAILBOX
	SIGN- DOUBLE POST
	SIGN- SINGLE POST
	SOILBORE
	STREET LIGHT
	UTILITY POLE
	UTILITY POLE W/STREET LIGHT
	UNKNOWN MANHOLE

MONUMENTS

	BENCHMARK
	BENCHMARK (TEMPORARY)
	CONTROL POINT
	CUT X FOUND
	CUT X SET
	MONUMENT FOUND (FIRST TYPE)
	MONUMENT FOUND (SECOND TYPE)
	MONUMENT SET (FIRST TYPE)
	MONUMENT SET (SECOND TYPE)
	SECTION CORNER FOUND
	SECTION CORNER SET
	T POST
	WOODEN POST

OIL

	OIL PIPELINE MARKER
--	---------------------

RAILROAD

	MAINLINE MILE MARKER
	POINT OF SWITCH
	RAILROAD SIGNAL

SANITARY SEWER

	SANITARY SEWER CLEANOUT
	SANITARY SEWER MANHOLE
	SEPTIC TANK LID

STORM SEWER

	BEEHIVE INTAKE (SIZE VARIES)
	DOUBLE CURB INTAKE
	DOUBLE CURB INTAKE W/MANHOLE LEFT
	DOUBLE CURB INTAKE W/MANHOLE RIGHT
	DOUBLE CURB INTAKE W/MODIFIED MANHOLE
	DRAINAGE INTAKE
	FLARED END SECTION (SIZE VARIES)
	SINGLE CURB INTAKE
	SINGLE CURB INTAKE W/MANHOLE
	STAND PIPE
	STORM SEWER CLEANOUT
	STORM SEWER MANHOLE
	OPEN SIDED AREA INTAKE (SIZE VARIES)

TELECOMMUNICATIONS

	COMPOSITE HANDHOLE
	FIBER OPTIC MARKER
	SATELLITE DISH
	TELEPHONE MANHOLE
	TELEPHONE PEDESTAL
	TV/CABLE BOX
	TV/CABLE MANHOLE
	TV/CABLE PEDESTAL

TRAFFIC

	PEDESTRIAN SIGNAL
	SIGNAL CONTROL CABINET
	TRAFFIC BOX
	TRAFFIC HANDHOLE
	TRAFFIC MANHOLE
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL W/STREET LIGHT

VEGETATION

	CONIFEROUS TREE (SIZE VARIES)
	DECIDUOUS TREE (SIZE VARIES)
	SHRUB (SIZE VARIES)
	TREE STUMP (SIZE VARIES)

WATER

	CURB STOP
	FIRE HYDRANT
	IRRIGATION VALVE
	MONITORING WELL
	POST INDICATOR VALVE
	SPRINKLER BOX
	WATER MANHOLE
	WATER MARKER
	WATER SPIGOT
	WATER VALVE
	WATER VALVE MANHOLE
	YARD HYDRANT

NOTE:
DEVELOPER SHALL BE RESPONSIBLE FOR
EXPLORATORY DIGGING ALONG THE
PERIMETER OF THE SUBDIVISION TO LOCATE
EXISTING FIELD TILE LINES. TILE LINES SHALL
BE REMOVED OR CONNECTED TO ENSURE
THE PROPOSED DRAINAGE SYSTEM TO ENSURE
ACTIVE TILE LINES REMAIN FUNCTIONAL

NW CORNER A.P. 2021037
FOUND 1" REBAR
RPC #13842

R.O.W. OWNER:
STATE OF IOWA

INTERSTATE 380

S02°24'52"E 468.12'

EXISTING CIPCO
RIGHT OF WAY EASEMENT
BOOK 4086, PAGES 97-99

FOUND 3/8" REBAR
ALUMINUM DOT CAP

S09°09'08"E 85.59'

FOUND 3/8" REBAR

S04°40'58"E 500.40'

INTERSTATE 380

R.O.W. OWNER:
STATE OF IOWA

FOUND 3/8" REBAR
ALUMINUM DOT CAP

S18°59'40"E 245.20'

FOUND 3/8" REBAR
ALUMINUM DOT CAP

S04°08'15"E 38.34'

SW CORNER A.P. 2021037
FOUND 1" REBAR
RPC #13842

S89°31'24"W 356.32'

N89°31'24"E 1093.78'

N89°31'24"E 737.46'

SE CORNER A.P. 2021037
FOUND 1" REBAR
RPC #13842

LOT 2
27.29 AC
1,168,681 SF

LOT 1
8.93 AC
388,941 SF

EXISTING CIPCO
RIGHT OF WAY EASEMENT
BOOK 4086, PAGES 97-99

EXISTING SANITARY SEWER
AND WATER MAIN EASEMENT
BOOK 6001, PAGE 779

EXISTING DRAINAGE EASEMENT
BOOK 5804, PAGE 212

EXISTING LINN COUNTY REC
ELECTRIC UTILITY EASEMENT
BOOK 4874, PAGES 394-398

EXISTING SANITARY
SEWER EASEMENT
BOOK 6287, PAGE 5

EXISTING DRAINAGE EASEMENT
BOOK 5804, PAGE 212

EXISTING DRAINAGE EASEMENT
BOOK 5804, PAGE 212

PART OF AUDITOR'S PARCEL
99010
BOWMAN PROPERTY LLC.

NE CORNER A.P. 2021037
FOUND 3/8" REBAR
YPC #12531
0.12' NORTH OF SEC. LINE
0.29' WEST OF ROW LINE

R.O.W. OWNER:
CITY OF NORTH
LIBERTY, IOWA

KANSAS AVENUE NE
85' ROW WIDTH

AUDITOR'S PARCEL
2011021

BOWMAN PROPERTY LLC.

LOT 1
RARIFIED ACRES
ROBERT A RARICK
JOYCE K RARICK

KANSAS AVENUE NE
85' ROW WIDTH

AUDITOR'S PARCEL
2011021

BOWMAN PROPERTY LLC.

SE CORNER
NE 1/4 SEC. 22-80-7
FOUND CUT X
BOOK 64, PAGE 366



ENGINEER: A. FULLER
SURVEYOR: C. FULLER
DRAWING NO.: 2021037-01
SHEET NO.: 03/3
DATE: 02/24/2023



STEINDLER
AMERICAL PARK
PRELIMINARY PLAT
NORTH LIBERTY, IOWA
JOHNSON COUNTY
2021037-01
02/24/2023



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **March 31, 2023**
 Re **Request of Physician's Building Group, LLC to approve a Preliminary Site Plan for 82,894 square foot medical office on approximately 8.93 acres. The property is located on the west side of South Kansas Avenue approximately ¼ mile north of West Forevergreen Road.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

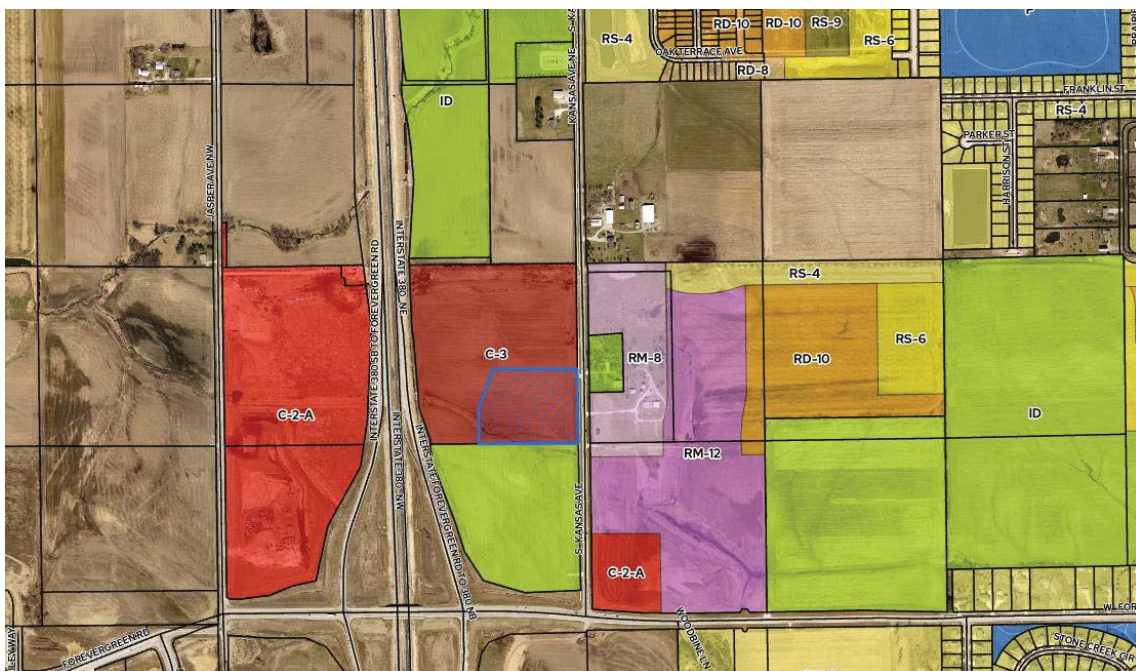
- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

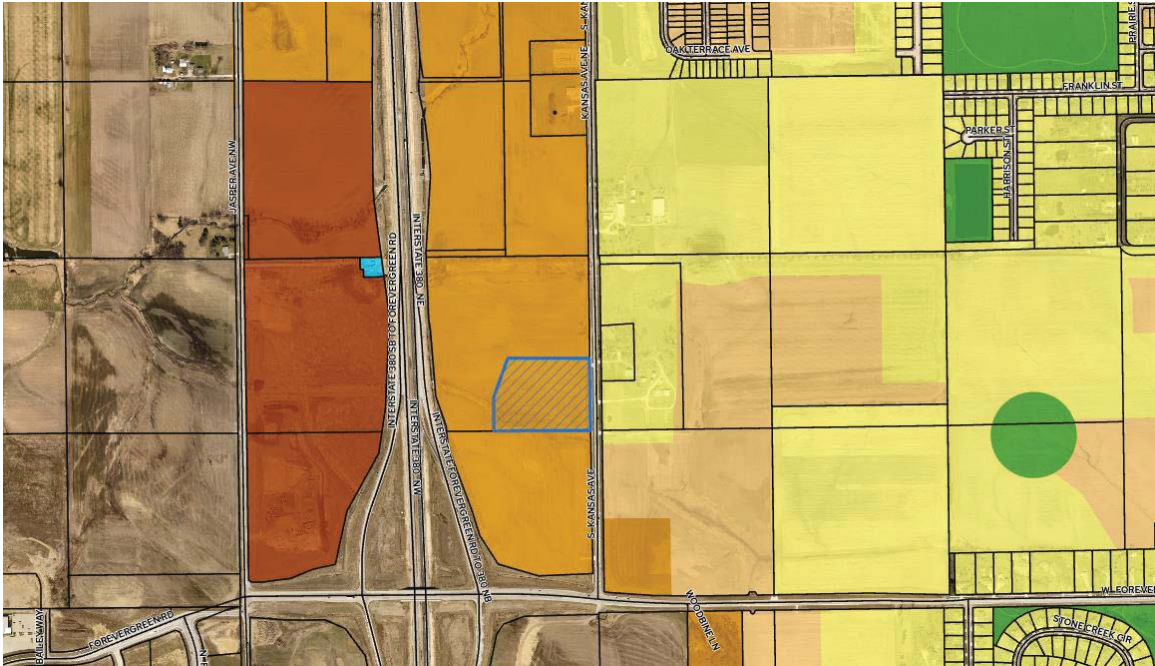
The site plan proposes an 82,894 square foot medical office on approximately 8.93 acres.

2. Existing Zoning:

The property is currently zoned C-3 Higher Intensity Commercial District. "Medical/Dental Office" is listed as a permitted uses in the C-3 District.



3. Comprehensive Plan Future Land Use Map Designation: Urban High Intensity. The C-3 District is consistent with the Urban High Intensity Land Use Designation.



4. Public Input:

No public comments have been received.

Section 165.05(2) of the North Liberty Code of Ordinances entitled, "Preliminary Site Review" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**)

- *Date, north arrow and graphic scale.* **Provided.**
- *The property owner's name and description of proposed development.* **Provided.**
- *A vicinity sketch showing the location of the property and other properties within 1,000 feet of it.* **Provided.**
- *Property boundary lines, dimensions, and total area.* **Provided.**
- *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the site plan.* **Provided.**
- *The location of existing streets, sidewalks, easements, utilities, drainage courses.* **Provided.**
- *The total square feet of building floor area, both individually and collectively.* **Provided.**
- *All structures and major features shall be fully dimensioned including distance between structures, distance between driveways, parking areas, property lines and building height.* **Provided.**
- *Off-street parking areas, ingress and egress to the property, number of parking spaces proposed, number of parking spaces required by this code and type of surfacing.* **Provided.**

- *Pedestrian walkways with special consideration given to pedestrian safety.* **Staff is requesting a dedicated pedestrian access to the public sidewalk prior to City Council's consideration of the request.**
- *Trash and refuse enclosures.* **Provided.**
- *The general drainage pattern and location of storm water detention features.* **Provided.**
- *The general location, type and size of landscaping and ground cover illustrated in color perspective.* **Provided.**
- *A rendering, elevation or photo of the proposed development.* **Provided.**

North Liberty Code of Ordinances Section 168.07 entitled, "Uses Defined and Use Standards" sets forth certain design standards (applicable Ordinance language in italics and staff analysis in bold).

Section 168.07(54)

- A. Defined. Medical/dental office means a facility operated by one or more physicians, dentists, chiropractors, psychiatrists, physiotherapists, or other licensed practitioners of the healing arts for the examination and treatment of persons solely on an outpatient basis. Medical/dental offices also include alternative medicine clinics, such as acupuncture and holistic therapies, and physical therapy offices for physical rehabilitation.
- B. Use Standards. None.

North Liberty Code of Ordinances Section 169.10 entitled, "Design Standards" sets forth certain design standards (applicable Ordinance language in italics and staff analysis in bold).

Requirements for All Districts.

- Building design shall be visually harmonious and compatible with the neighborhood character.
- Buildings located on property with double frontages shall have similar wall design facing both streets.
- Except for RS RD,R-MH and ID districts, color schemes shall be primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited.
- Except in the R-MH district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs and there shall be a minimum roof overhang at the eaves of 12 inches. This does not apply to portions of a roof that are separate from the structure's primary roof. Metal roofs shall not be corrugated or similar appearance. The color of the roof shall be visually harmonious and compatible with the building color scheme.

It is staff's opinion that the site plan achieves consistence with the aforementioned design standards.

Requirements for Non-Residential and Commercial Districts

Requirements for Non-Residential (including mixed-use) Development in Residential Districts. The following requirements shall be observed for all non-residential development in the RS, RD, RM and ID districts:

- Minimum required masonry on front and corner side yard building elevations is 60%. Required masonry does not apply to accessory structures.
- For exterior walls not composed of masonry products, wall coverings shall be wood and/or vertical or horizontal grooved siding or lapped siding, or materials of similar appearance.

Requirements for Development in Commercial Districts.

Commercial zoning districts are intended to enhance public welfare by providing for safe, convenient, high quality pedestrian-oriented commercial centers that contribute to community identity as energetic and attractive focus points. Through development and redevelopment within these districts, the city recognizes the importance of creating high quality development areas to the quality of life for residents of the city, the impact quality development has on the image of the community, and the need to provide restrictions and guidelines to enhance visual appearance and functionality. The objectives addressed through these regulations include the following:

- Design. To achieve appealing aesthetic design through high quality architecture and construction, with attention to placement, relationship, and orientation of structures and amenities to provide both internal cohesiveness and compatibility with surrounding uses.
- Walkability. To achieve overall development patterns that encourage walking and reduce dependence on the automobile to travel from one business to another, and so reduces the dominance of the automobile within the development.
- Human-scale Activity. To achieve a sense of place by emphasizing pedestrian interaction with commercial uses rather than sprawling automobile-dominated designs, both in building architecture and public or private outdoor areas.
- Compatible Uses. To achieve the right blend of uses, compact and well-designed, that complement each other and provide cohesive overall developments.

It is staff's opinion that the site plan achieves consistence with the aforementioned design standards.

Findings:

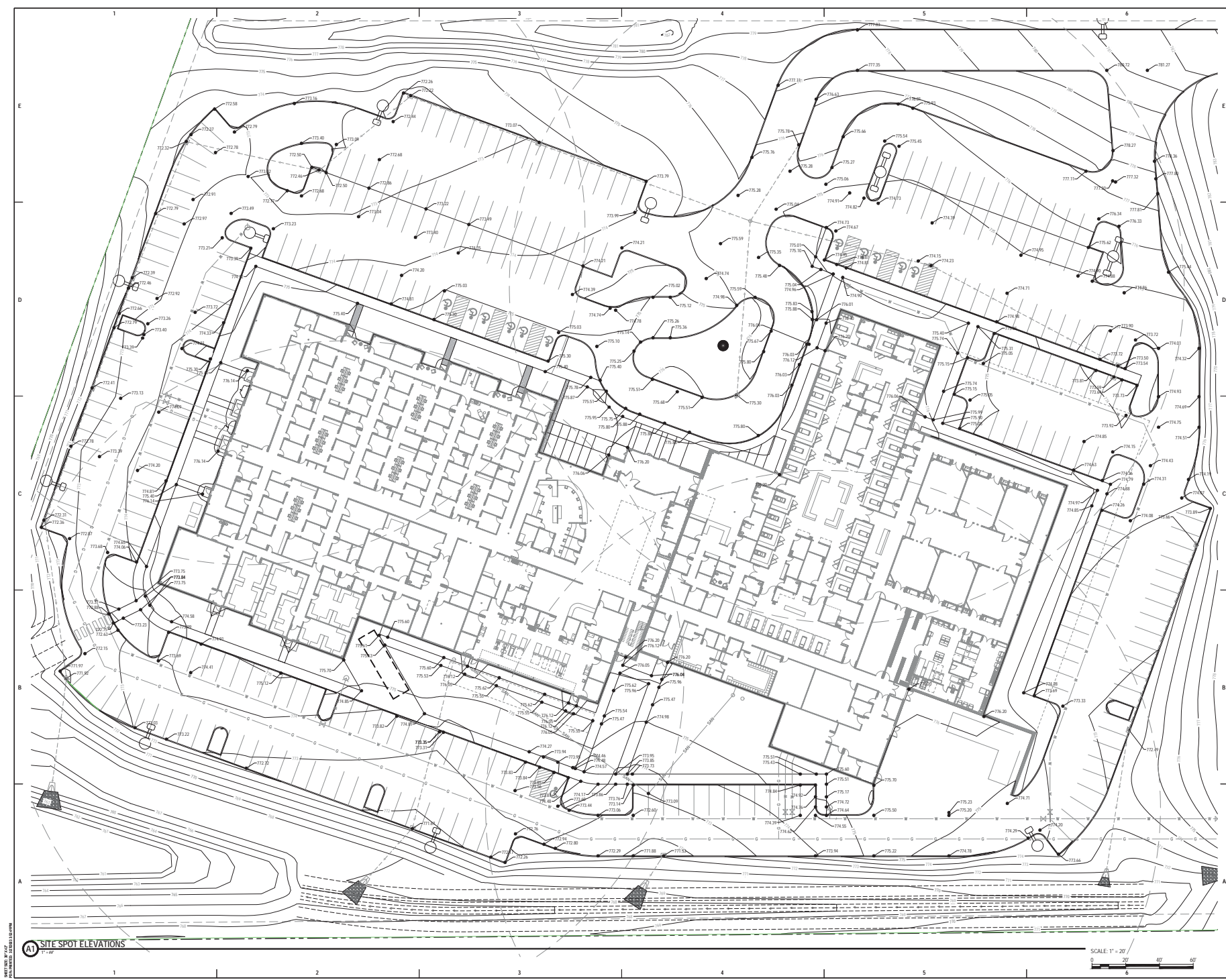
1. The commercial use of the property would be consistent with the current C-3 District and the Comprehensive Plan Future Land Use Map designation of Urban High Intensity; and
2. The site plan would achieve consistency with North Liberty Code of Ordinances Section 165.05(2) entitled, "Preliminary Site Plan Review", and Section 169.10 entitled "Design Standards" and other Code of Ordinance requirements.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request to approve a preliminary site plan for an 82,894 square foot medical office on approximately 8.93 acres. acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the two listed findings and forward the preliminary site plan to the City Council with a recommendation for approval.

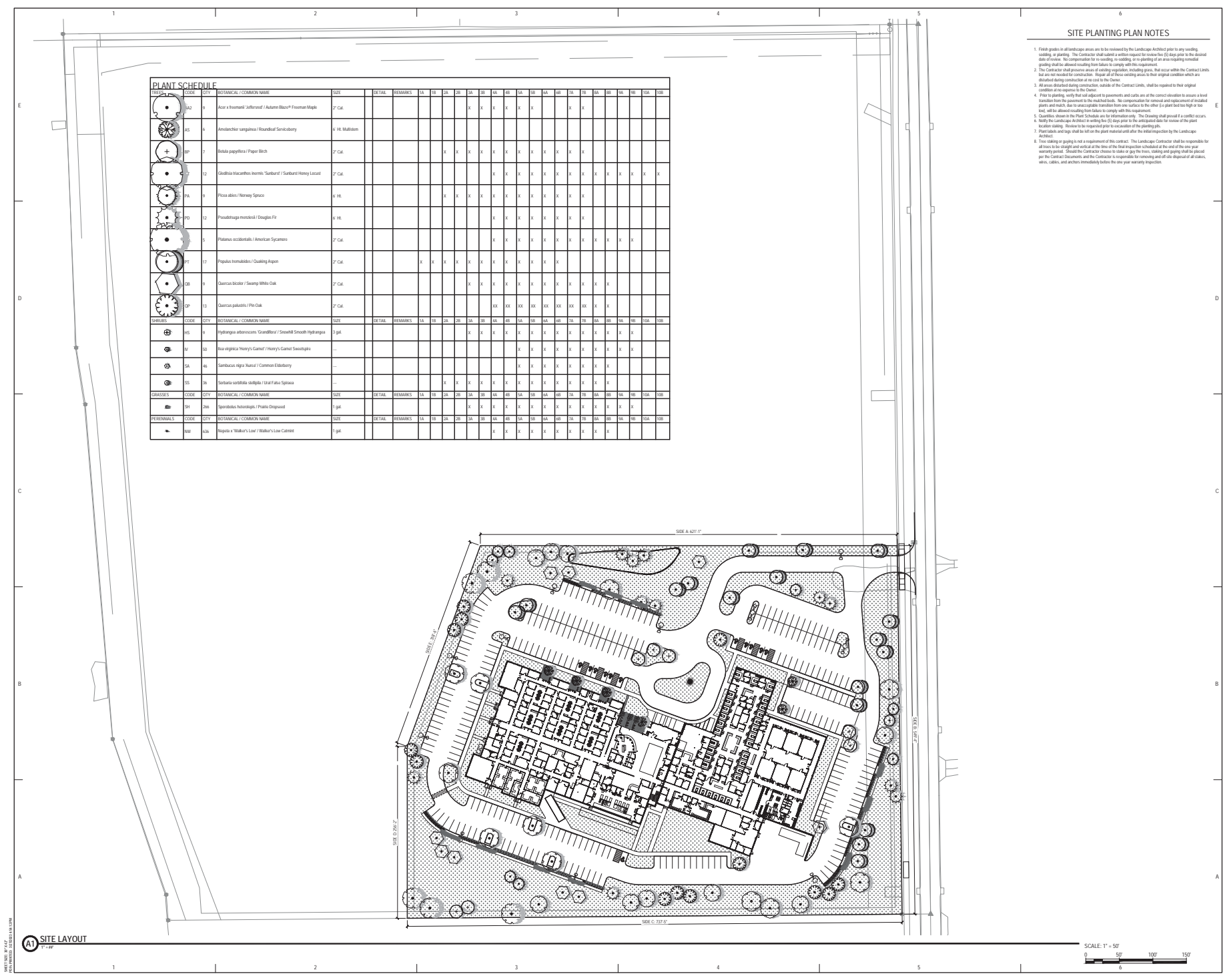


A1 SITE SPOT ELEVATIONS
1" = 10'

SCALE: 1" = 20'
0 20' 40' 60'

STEINDLER ORTHOPEDIC CLINIC AND ASC **NOT FOR CONSTRUCTION** **CITY SITE PLAN SUBMITTAL**

<p>ARCHITECT RDG... PLANNING & DESIGN</p>	<p>MECHANICAL/ELECTRICAL INTERIORS STRUCTURAL</p>	<p>CIVIL LANDSCAPE</p>	<p>CONSTRUCTION CONSTRUCTION</p>
<p>STEINDLER ORTHOPEDIC CLINIC AND ASC</p>			
<p>NORTH LIBERTY, IA</p>			
<p>C03.04</p>			



PLANT SCHEDULE		BOTANICAL / COMMON NAME	SIZE	DETAIL	REMARKS	1A	1B	2A	2B	3A	3B	4A	4B	5A	5B	6A	6B	7A	7B	8A	8B	9A	9B	10A	10B		
1	102	Acer x fraxinoides 'Jefferson' / Ashburn Blue® Fraxinus Maple	2" Cal.							X	X	X	X	X	X	X	X	X	X	X							
2	103	Azadirachta indica / Roundleaf Senebieria	6 HI. Multistem.																								
3	104	Betula papyrifera / Paper Birch	2" Cal.					X	X	X	X	X	X	X	X	X	X	X	X	X							
4	105	Quercus laevis / Sandbar / Sandbar Honey Locust	2" Cal.									X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
5	106	Picea abies / Norway Spruce	6 HI.					X	X	X	X	X	X	X	X	X	X	X	X	X							
6	107	Prunella serotina / Douglas Fir	6 HI.							X	X	X	X	X	X	X	X	X	X	X							
7	108	Platanus occidentalis / American Sycamore	2" Cal.							X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
8	109	Populus tremuloides / Quaking Aspen	2" Cal.				X	X	X	X	X	X	X	X	X	X	X	X	X	X							
9	110	Quercus bicolor / Swamp White Oak	2" Cal.							X	X	X	X	X	X	X	X	X	X	X							
10	111	Quercus palustris / Pin Oak	2" Cal.							XX	XX	XX	XX	XX	XX	XX	XX	XX	XX	XX	X	X					
SPERMATOPHYTES		CODE	CITY	BOTANICAL / COMMON NAME	SIZE	DETAIL	REMARKS	1A	1B	2A	2B	3A	3B	4A	4B	5A	5B	6A	6B	7A	7B	8A	8B	9A	9B	10A	10B
11	112	Hydrangea arborescens 'Grandiflora' / Smooth Smooth Hydrangea	1 gal.							X	X	X	X	X	X	X	X	X	X	X							
12	113	Asa foetida 'Henry's Garnet' / Henry's Garnet Sissoyleaf	1 gal.							X	X	X	X	X	X	X	X	X	X	X							
13	114	Sambucus nigra 'Aurea' / Common Elderberry	1 gal.									X	X	X	X	X	X	X	X	X							
14	115	Sorbus arbuscula / Small False Spirea	1 gal.							X	X	X	X	X	X	X	X	X	X	X							
GRASSES		CODE	CITY	BOTANICAL / COMMON NAME	SIZE	DETAIL	REMARKS	1A	1B	2A	2B	3A	3B	4A	4B	5A	5B	6A	6B	7A	7B	8A	8B	9A	9B	10A	10B
15	116	Sporobolus heterostachyus / Prairie Dropseed	1 gal.							X	X	X	X	X	X	X	X	X	X	X							
PERENNIALS		CODE	CITY	BOTANICAL / COMMON NAME	SIZE	DETAIL	REMARKS	1A	1B	2A	2B	3A	3B	4A	4B	5A	5B	6A	6B	7A	7B	8A	8B	9A	9B	10A	10B
16	117	Hebe x Walker's Low / Walker's Low Carner	1 gal.							X	X	X	X	X	X	X	X	X	X	X							

- ### SITE PLANTING PLAN NOTES
- Finish grades in all landscape areas are to be reviewed by the Landscape Architect prior to any grading, sodding, or planting. The Contractor shall submit a written request for review ten (10) days prior to the desired start of construction. No compensation for re-grading, re-sodding, or re-planting of any area requiring reworked grading shall be allowed resulting from failure to comply with this requirement.
 - The Contractor shall provide areas of sodding, sodding, including plans, that occur within the Contract Limits. All areas outside the Contract Limits shall be the responsibility of the original contractor and are not to be disturbed during construction at no cost to the Owner.
 - All areas disturbed during construction, outside of the Contract limits, shall be restored to their original condition at no expense to the Owner.
 - When planting, verify that soil adjacent to pavement and curbs are at the correct elevation to assure a level transition from the pavement to the mulched beds. No compensation for removal and replacement of installed curbs and inlets, due to unacceptable transition from one surface to the other 5' or greater, shall be paid to the Contractor. All work shall be done in accordance with the specifications. The Contractor shall provide a correct record.
 - Quantity shown in the Plant Schedule are for information only. The quantity shall prevail if a conflict occurs.
 - Notify the Landscape Architect in writing ten (10) days prior to the anticipated date for review of the plant schedule. Review to be requested prior to installation of the planting plan.
 - Plant labels and tags shall be left on the plant material until after the final inspection by the Landscape Architect.
 - Tree staking or goring is not a requirement of the contract. The Landscape Contractor shall be responsible for all trees to be staked and staked at the time of the final inspection scheduled at the end of the one year warranty period. Should the Contractor choose to stake or goring the trees, staking and goring shall be placed per the Contract Documents and the Contractor is responsible for removing and all-site disposal of all stakes, wires, cables, and anchors immediately before the one year warranty inspection.

CITY SITE PLAN SUBMITTAL

NOT FOR CONSTRUCTION

STEINDLER ORTHOPEDIC CLINIC AND ASC

NORTH LIBERTY, IA

STEINDLER ORTHOPEDIC CLINIC AND SURGERY CENTER

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SITE PLANTING PLAN

L04.01



(D4) NORTHWEST AXONOMETRIC VIEW
1/12" = 1'-0"



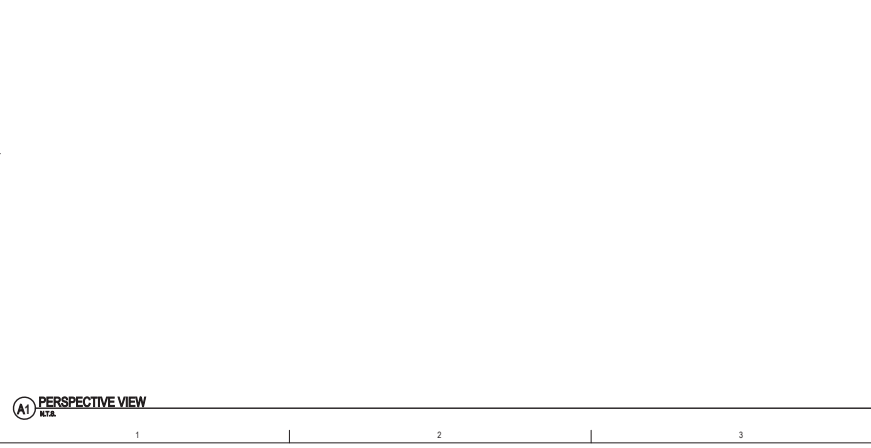
(D1) NORTHEAST AXONOMETRIC VIEW
1/12" = 1'-0"



(B1) SOUTHWEST AXONOMETRIC VIEW
1/12" = 1'-0"



(B5) SOUTHEAST AXONOMETRIC VIEW
1/12" = 1'-0"



(A1) PERSPECTIVE VIEW
NTA

CITY SITE PLAN SUBMITTAL

NOT FOR CONSTRUCTION

STEINDLER ORTHOPEDIC CLINIC AND ASC



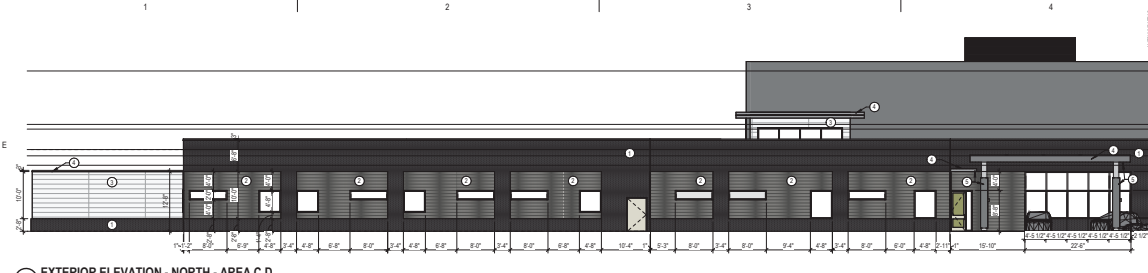
ARCHITECT RDG Planning & Design 10100 W. 15th Ave., Suite 200 North Liberty, IA 52591 Phone: 563.335.1111	INTERIORS RDG Interiors 10100 W. 15th Ave., Suite 200 North Liberty, IA 52591 Phone: 563.335.1111	STRUCTURAL RDG Structural 10100 W. 15th Ave., Suite 200 North Liberty, IA 52591 Phone: 563.335.1111	MECH/ELEC/PLUMB/TELECOM RDG MEP 10100 W. 15th Ave., Suite 200 North Liberty, IA 52591 Phone: 563.335.1111
CONSTRUCTION MGR RDG Construction Management 10100 W. 15th Ave., Suite 200 North Liberty, IA 52591 Phone: 563.335.1111	A/E/C EQUIP PLANG RDG Equipment Planning 10100 W. 15th Ave., Suite 200 North Liberty, IA 52591 Phone: 563.335.1111	CIVIL RDG Civil 10100 W. 15th Ave., Suite 200 North Liberty, IA 52591 Phone: 563.335.1111	CIVIL / LANDSCAPE RDG Civil & Landscape 10100 W. 15th Ave., Suite 200 North Liberty, IA 52591 Phone: 563.335.1111

NORTH LIBERTY, IA
STEINDLER ORTHOPEDIC CLINIC AND SURGERY CENTER

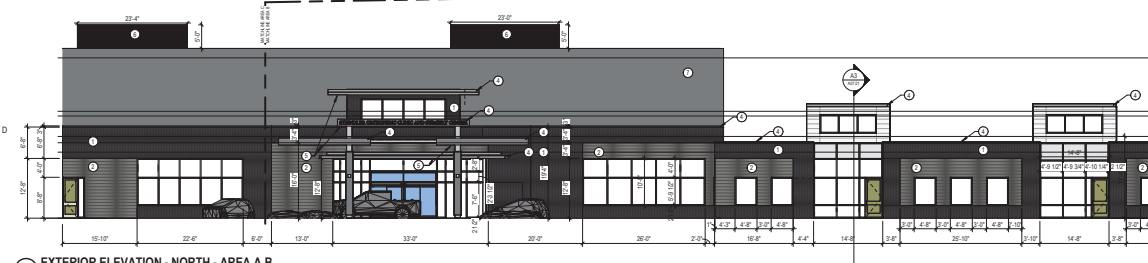
NO.	DATE	DESCRIPTION

RDG Planning & Design
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North Liberty, IA 52591
Phone: 563.335.1111
www.rdgplanning.com

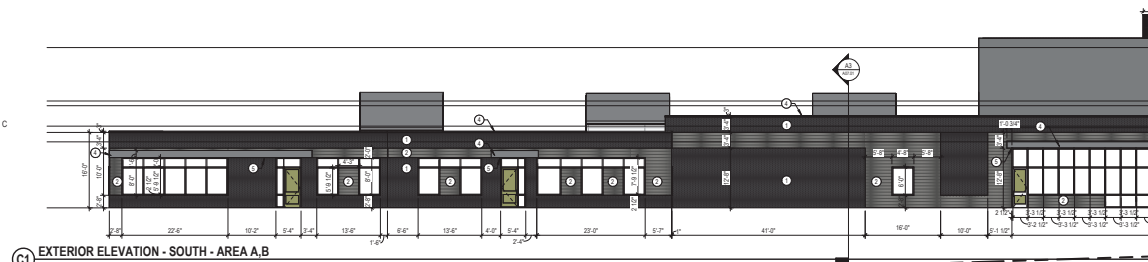
AXON EXTERIOR ELEVATIONS
A05.00A



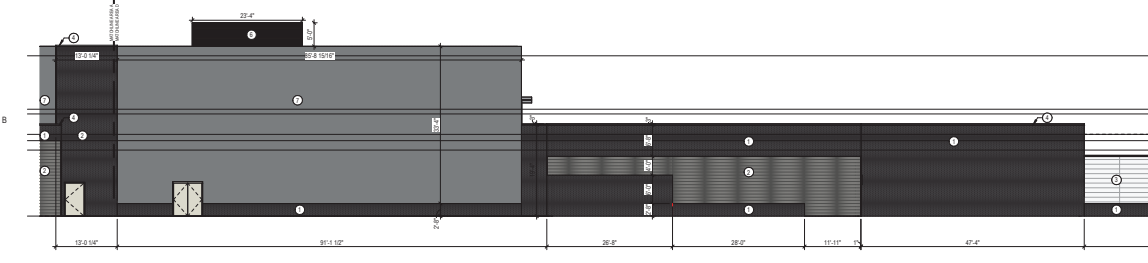
(E1) EXTERIOR ELEVATION - NORTH - AREA C.D
332' x 14' (AT&M) 500'



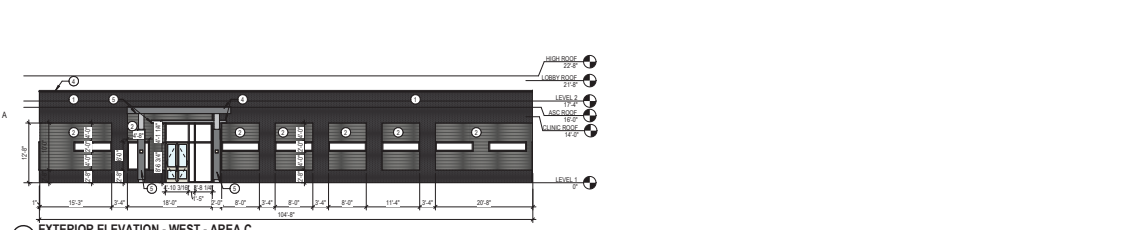
(D2) EXTERIOR ELEVATION - NORTH - AREA A.B
332' x 14' (AT&M) 500'



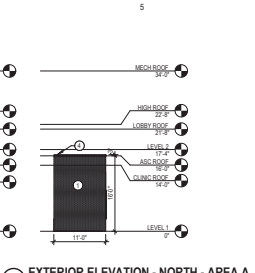
(C1) EXTERIOR ELEVATION - SOUTH - AREA A.B
332' x 14' (AT&M) 500'



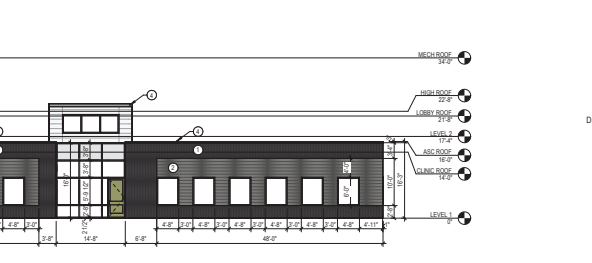
(B2) EXTERIOR ELEVATION - SOUTH - AREA C.D
332' x 14' (AT&M) 500'



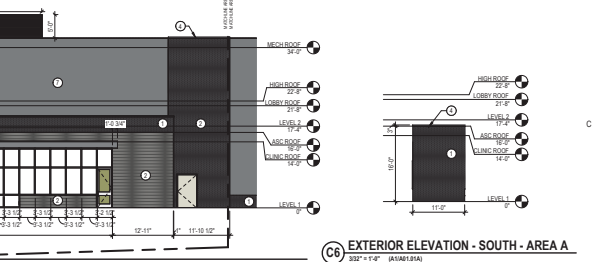
(A1) EXTERIOR ELEVATION - WEST - AREA C
332' x 14' (AT&M) 500'



(E5) EXTERIOR ELEVATION - NORTH - AREA A
332' x 14' (AT&M) 500'



(D6) EXTERIOR ELEVATION - NORTH - AREA B
332' x 14' (AT&M) 500'



(C6) EXTERIOR ELEVATION - SOUTH - AREA A
332' x 14' (AT&M) 500'



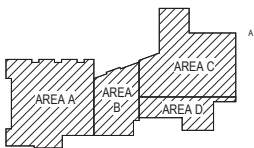
(B6) EXTERIOR ELEVATION - SOUTH - AREA B
332' x 14' (AT&M) 500'



(A6) EXTERIOR ELEVATION - WEST - AREA C
332' x 14' (AT&M) 500'

- ### KEYED EXTERIOR ELEVATION NOTES
1. FIELD BRICK - BOD: GLEN GRAY, NORMAN SIZE, BRONTE VELOUR
 2. ACCENT BRICK - BOD: GLEN GRAY, MODULAR SIZE APPROX WHITE SMOOTH
 3. COMPOSITE PANEL - BOD: NICHIA, LATUSA V GRODDE, GRAY
 4. METAL FINISH & CARB: ADV: FINESTONE, KYMAR 500, SONE WHITE
 5. PANELIC PANEL - BOD: FLUNDERMAX, NT OR LIGHT # 0181
 6. CORRUGATED METAL PANE - HORIZONTAL: BOD: BERRIDGE, ZINC-COTE, KYMAR 500, SNESTA WHITE
 7. CORRUGATED METAL PANE - VERTICAL: BOD: BERRIDGE, ZINC-COTE, KYMAR 500, SNESTA WHITE

- ### GENERAL EXTERIOR NOTES
1. WINDOWS TO BE STORE FRONT WITH MULLION CLIP EXTENSION TO STAND PROUD OF BRICK WALL BY 1" - FACTORY FINISHED WHITE
 2. PANELIC PANELS ARE LOCATED UNDERSIDE OF ALL CANOPIES AND WRAP COLLARS AT MAIN CLINIC AND ASC ENTRANCE.



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STENDLER ORTHOPEDIC CLINIC AND SURGERY CENTER

NORTH LIBERTY, IA

EXTERIOR ELEVATIONS

A05.01



- KEYED EXTERIOR ELEVATION NOTES**
1. FIELD BRICK - BOD: GLENHARTY, NORMAN B&B, ESCENTE VELOUR
 2. ACCENT BRICK - BOD: GLENHARTY, MODULAR SIZE ASPEN WHITE SMOOTH
 3. COMPOSITE PANEL - BOD: NICHOLA, LATURA V. GRODDE, GRAY
 4. METAL FASCIA CAP - BOD: FRESTONE, KYNAR SILK SONG WHITE
 5. PHENOLIC PANEL - BOD: FLANDERMAX, AT GR. LIGHT AF 0181
 6. CORRUGATED METAL PANEL - HORIZONTAL: BOD: BERRIDGE, ZINC-COTE, KYNAR 500, SHASTA WHITE
 7. CORRUGATED METAL PANEL - VERTICAL: BOD: BERRIDGE, ZINC-COTE, KYNAR 500, SHASTA WHITE
- GENERAL EXTERIOR NOTES**
1. WINDOWS TO BE STORE FRONT WITH MULLION LIP EXTENSION TO STAND PROUD OF BRICK WALL BY 4" - FACTORY FINISHED WHITE
 2. PHENOLIC PANELS ARE LOCATED INSIDE OF ALL CHANGES AND WRAP COLUMNS AT MAIN CLINIC AND ASC ENTRANCE

STEINDLER ORTHOPEDIC CLINIC AND ASC
 CITY SITE PLAN SUBMITTAL
 NOT FOR CONSTRUCTION
 NORTH LIBERTY, IA
 STEINDLER ORTHOPEDIC CLINIC AND SURGERY CENTER

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EXTERIOR ELEVATIONS

A05.02



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **March 31, 2023**
Re **Request of Modern Horizons, LLC for a zoning map amendment (rezoning) on 9.83 acres of property located on the east side of Scales Bend Road approximately 170 feet south of Fox Run Drive. The rezoning would be from ID Interim Development to RS-4 PAD Single-Unit Residence District Planned Area Development. The purpose of the request is to redevelop the property as an age restricted community (55+) with single-unit residences and a clubhouse/common area on one lot.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Grant Lientz, City Attorney
Tom Palmer, City Building Official
Kevin Trom, City Engineer
Ryan Rusnak, Planning Director

1. Request Summary:

The request proposes to redevelop the property with 34 single-unit residences and a clubhouse/common area on lot. The residential density of the proposed development would be 3.45 units/acre before right-of-way dedication and 3.59 units/acre after right-of-way dedication.

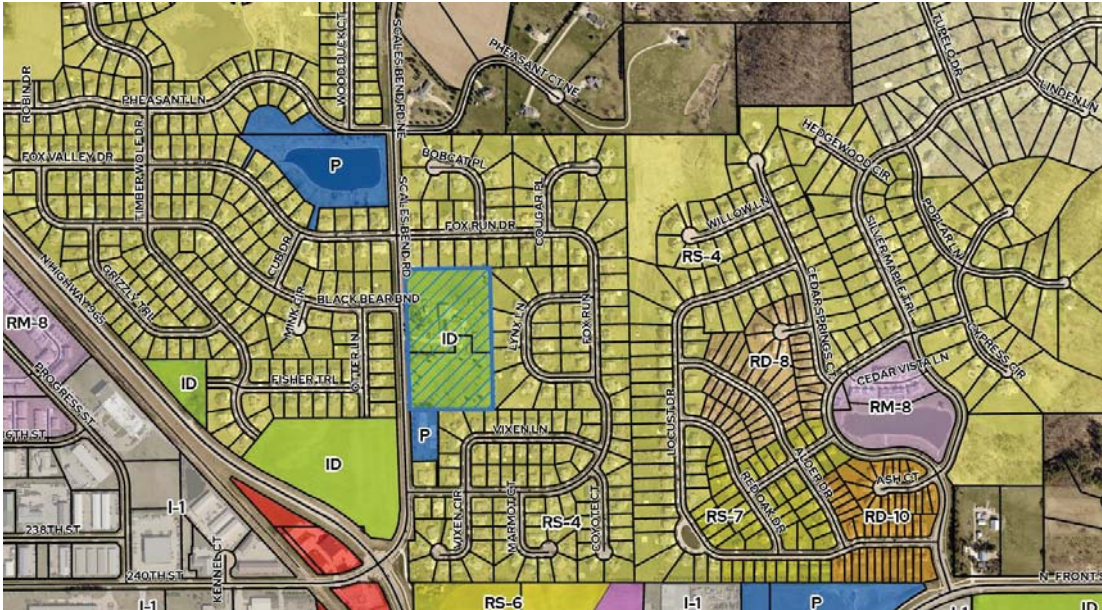
2. Proposed Zoning:

RS-4 PAD Single-Unit Residence District Planned Area Development.

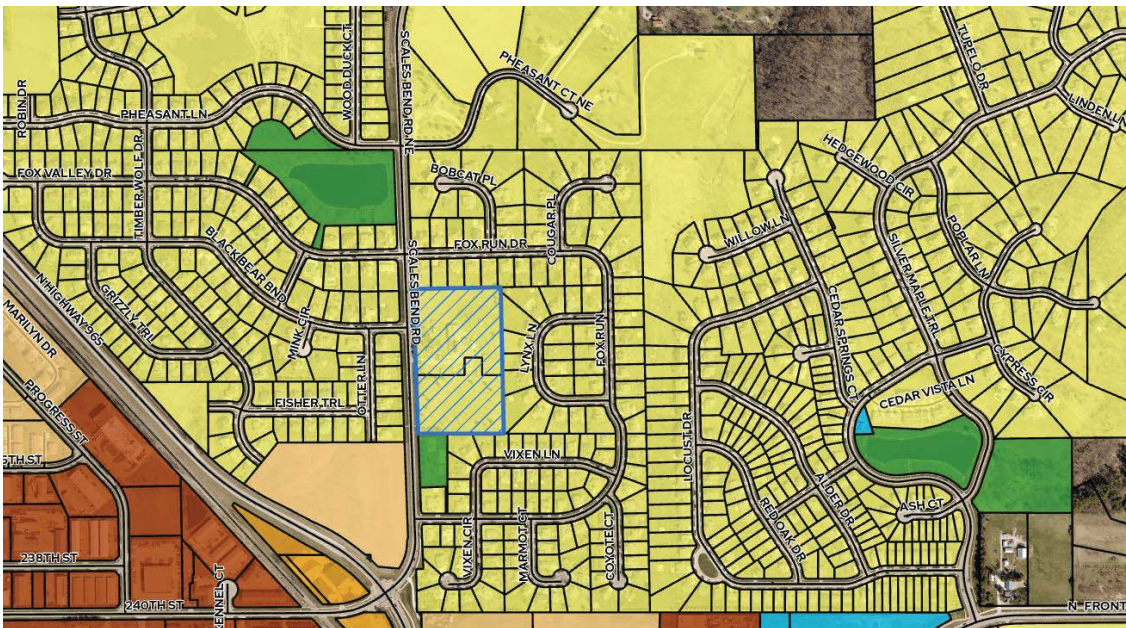
RS-4 Single-Unit Residence District. The RS-4 District is intended to provide and maintain low-density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-4 District. The RS-4 district requires a minimum lot area of 10,000 square feet, which equates to 4.356 units/acre.

PAD Planned Area Development Overlay District. The PAD District is intended to encourage innovation and flexibility in planning the development of land so development is compatible with the site's physical and environmental characteristics. This district allows for flexibility in district requirements. The Planned Area Development District provides an opportunity for the development of a mixture of uses and housing types in a coordinated manner. The intent of the underlying district shall guide the development. It is incumbent upon the person proposing the PAD to justify the project, and any variations from the underlying zone district.

A planned area development that will contain uses not permitted in the zoning district in which it is to be located will require a change of zoning and shall be accompanied by an application for a zoning amendment, except that any residential use shall be considered a permitted use and shall be governed by density, design and other requirements of the planned area development permit.



3. Consistency with Comprehensive Plan:
Land Use Plan designation: Urban Low Intensity.



Description

An efficient, walkable pattern of lower-density development. Compared to denser areas, ULI has more space and separation of uses, with farther distances between destinations and fewer shared amenities. Low-intensity areas can include a horizontal mix of primarily residential and limited non-residential uses at compatible lower densities and scales.

Residential

Emphasis on single-family detached and attached residential developments. Attached housing projects may primarily be at transition areas between arterial or collector streets, small scale commercial uses, and higher intensity districts.

Form and Features

- » General aggregate development density of 3 to 8 units per acre. Lot sizes can vary within developments to provide different housing types.
- » A framework of streets and open space should create neighborhoods and multiple access points for all types of transportation.
- » Open spaces, streets, and trail connections integrate with the larger community.

Relevant Connected to Tomorrow Sections

Section 2 Vision & Goals

Relevant Land Use Tomorrow Guiding Development Principles:

- Promote diverse housing options for all life stages and abilities.
Support high density and medium density housing in close proximity to commercial and service centers to provide intensity-of-use buffers for low density residential uses.

Relevant Mobility for Tomorrow Goals and Guiding Development Principles:

- Coordinate transportation and land use plans, focusing on critical connections illustrated in the land use plan.

Relevant Inclusive Tomorrow Goals and Guiding Development Principles:

- Encourage a variety of dwelling unit types, styles, sizes, and price points to satisfy the needs, desires, and income levels of all people and household sizes.
- Regulate the transitions of site intensity rather than the type of use to grow neighborhoods.

Section 3 Plan for Tomorrow

Relevant Development Principles:

- Connect the city, neighborhoods, and sites with accessible mobility choices.
- Use urban services efficiently to proactively plan for growth and market demands.
- Promote diverse housing options for all life stages and abilities.

4. Public Input:

A virtual good neighbor meeting was held on March 21, 2023. The meeting was very well attended with approximately 60 people outside of City staff and the applicant. There are letters in favor of the request and objecting to the request in the background material.

5. Analysis of the Request

Section 165.09 of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

D. Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

(1) Map Amendments.

(a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

It is staff's opinion that the zoning map amendment would achieve consistency with the Comprehensive Plan and adopted land use policies.

(b) The compatibility with the zoning of nearby property.

It is staff's opinion that the proposed zoning would be compatible with the area.

(c) The compatibility with established neighborhood character.

It is staff's opinion that the proposed zoning would be compatible with established neighborhood character.

(d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.

It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.

(e) The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property in question for one or more of the uses permitted under the existing zoning classification.

The ID District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas. Staff is unaware of any active agricultural use on the property.

(f) The extent to which the proposed amendment creates nonconformities.

It is staff's opinion that the proposed zoning would not create any nonconformities.

Section 165.05(2) of the North Liberty Code of Ordinances entitled, "Preliminary Site Review" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

Generally, the plan depicts home sites as building envelopes, which surround a private street and has on-site stormwater retention. It also depicts a private clubhouse/common area. The applicants indicated that this would be an age restricted community (55+). Notably, this should not be a compelling consideration in approval of the request because the City would not enforce age restrictions.

As presented, this development would be similar to the Vintage Estates development on South Jones Boulevard.

- *Date, north arrow and graphic scale.* **Provided.**
- *The property owner's name and description of proposed development.* **Provided.**
- *A vicinity sketch showing the location of the property and other properties within 1,000 feet of it.* **Provided.**
- *Property boundary lines, dimensions, and total area.* **Provided.**
- *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the site plan.* **Provided.**
- *The location of existing streets, sidewalks, easements, utilities, drainage courses.* **Provided.**
- *The total square feet of building floor area, both individually and collectively.* **Provided.**
- *All structures and major features shall be fully dimensioned including distance between structures, distance between driveways, parking areas, property lines and building height.* **Provided.**
- *Off-street parking areas, ingress and egress to the property, number of parking spaces proposed, number of parking spaces required by this code and type of surfacing.* **Provided. The plan depicts a vehicle gate at both entrances. This will require further review as motorists would block the sidewalk waiting for the gate arm to rise. This would not be acceptable.**
- *Pedestrian walkways with special consideration given to pedestrian safety.* **Provided.**
- *Trash and refuse enclosures.* **Provided.**
- *The general drainage pattern and location of storm water detention features.* **Provided.**
- *The general location, type and size of landscaping and ground cover illustrated in color perspective.* **Provided.**
- *A rendering, elevation or photo of the proposed development.* **Provided.**

The plan depicts a chain link fence in a corner side yard (adjacent to Scales Bend Road). This is not permitted and the fence will need to be relocated a minimum of 25 feet from the Scales Bend property line.

The entrance gate and chain link fence within the corner side yard will be to be addressed prior to City Council's consideration of the request.

6. Additional Considerations:

In 2022, the same persons submitted a rezoning on this property, which proposed 22 duplex units in 11 buildings and a four-story 48-unit independent living facility with a private common area.

This request was not able to move forward due to the adopted moratorium ordinance pertaining to consistency with the 2014 Land Use Map and proposed Future Land Use Map. Subsequently, an application was submitted, which was not subject to the adopted moratorium ordinance due to a much lesser density.

Compatibility of the request

The surrounding properties to east, north and west, across Scales Bend Road, are zoned RS-4 single-unit residence. The properties to the south are zoned RS-4 and P Public District.

Residential densities in the area:

Fox Run Part Four – 18 units on 6.17 acres. 2.92 units/acre. Smallest lot size 10,400 SF

Fox Run Part Five – 30 units on 16.03 acres. 1.87 units/acre. Smallest lot size 12,994 SF

Fox Run Part Seven – 20 units on 11.58 acres. 1.73 units/acre. Smallest lot size 16,353 SF

Fox Run Part Nine – 25 units on 12.68 acres. 1.97 units/acre. Smallest lot size 12,004 SF

Fox Run Part Thirteen – 24 units on 10.63 acres. 2.25 units/acre. Smallest lot size 11,900 SF



At less than 4 units/acre, it is staff's opinion that the proposed development would be compatible with the surrounding properties.

Moreover, although Fox Run subdivision is on either side of Scales Bend Road, the road does act as an edge where a marginal increase in density would be appropriate.

Last, there are many examples of a variety of housing types in the same subdivision, such as Cedar Springs and Harvest Estates.

The plan depicts the smallest setback (east and south) to the Fox Run development at 40 feet. That setback increases to 70 feet along the north property line.

Increased traffic

The Institute of Traffic Engineers (ITE) trip generation estimate for Single-Family – Senior Adult Housing (ITE Code 251) is 4.31 average daily trips per unit, which would equate to 146.54 trips per day. The development would not significantly cause an increase in traffic.

Stormwater impacts

If the rezoning is approved, the City will require detailed engineering plans to ensure compliance with the post construction stormwater runoff control ordinance.

7. Staff Recommendation:

Findings:

1. The rezoning request from ID Interim Development to RS-4 PAD Single-Unit Residence Planned Area Development would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code; and
2. The site plan would achieve consistency with North Liberty Code of Ordinances Section 165.05(2) entitled, "Preliminary Site Plan Review", and other Code of Ordinance requirements.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request for zoning map amendment (rezoning) from ID Interim Development to RS-4 PAD Single-Unit Residence Planned Area Development on approximately 9.83 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed findings and forward the zoning map amendment to the City Council with a recommendation for approval.

ADDITIONAL INFORMATION

LOT SIZE:

EXISTING: 9.83 ACRES
PROPOSED: 9.47 ACRES (ROW DEDICATION)

EXISTING ZONING: ID INTERIM DEVELOPMENT
PROPOSED ZONING: RS-4 PAD SINGLE-UNIT RESIDENTIAL PLANNED AREA DEVELOPMENT

BUILDINGS:

COMMUNITY CLUBHOUSE: ~ 100' x 62' = 6,796 SF
HOME 1: (Model 007) 64'8" x 40' = 2,587.7 SF (6 TOTAL)
HOME 2: (Model 008) 72'8" x 40' = 2,906.7 SF (4 TOTAL)
HOME 3: (Model 009) 71' x 40' = 2,840 SF (7 TOTAL)
HOME 4: (Model 010) 71' x 40' = 2,840 SF (13 TOTAL)
HOME 5: (Model 011) 46' x 40' = 1,840 SF (2 TOTAL)
HOME 6: (Model 20-018) 58'8" x 35' = 2,053.3 SF (2 TOTAL)
TOTAL: 100,531.6 SF (34 HOUSES, CLUBHOUSE)

* THE AREA FOR HOMES DEPICTED ON THE SITE PLAN ARE THE MAXIMUM FOOTPRINT FOR EACH HOME

STORM RUNOFF WILL BE DETAINED ACCORDING TO CURRENT SUDAS / NORTH LIBERTY STANDARDS THEN WILL OUTLET INTO EXISTING STORM SEWER SYSTEM. ONSITE STORM SEWER SYSTEM WILL BE A PRIVATE UTILITY.

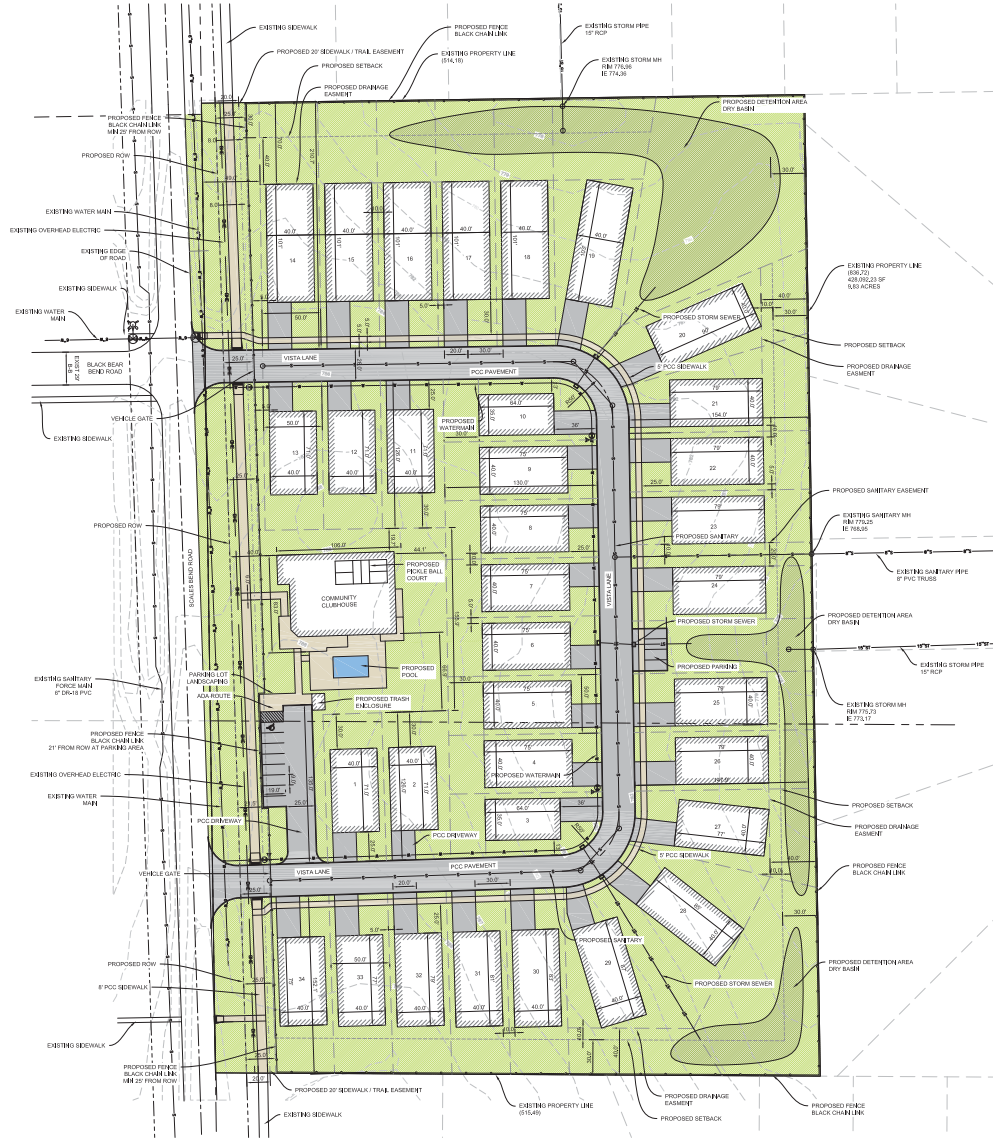
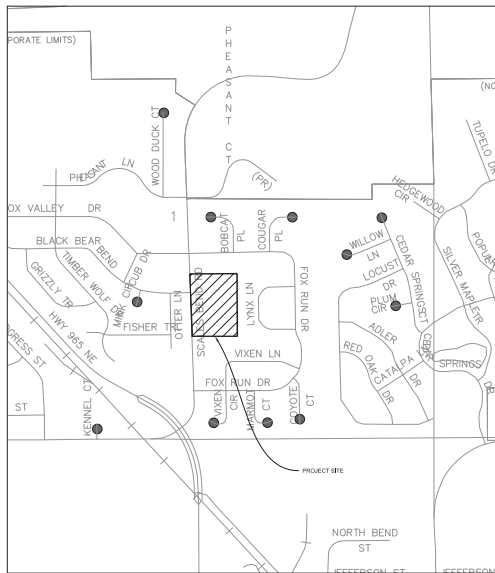
SANITARY SEWER WILL UTILIZE THE EXISTING SYSTEM THAT RUNS TO THE EAST OF THIS DEVELOPMENT. ONSITE SANITARY SEWER SYSTEM WILL BE A PRIVATE UTILITY.

WATERMAIN WILL TIE INTO THE EXISTING SYSTEM TO CREATE A LOOPED SYSTEM. ONSITE WATER SYSTEM WILL BE A PRIVATE UTILITY.

ROADWAY TYPICAL SECTION: 28-FT 8-8 PCC WITH CURB AND GUTTER
ROAD WILL BE PRIVATE.

PLANNED AREA DEVELOPMENT WAIVERS:

- 34 SINGLE-UNIT DWELLINGS AND PRIVATE COMMON AREA CLUBHOUSE/POOL ON ONE LOT.
- MINIMUM 10' SEPARATION DISTANCE BETWEEN HOMES INSTEAD OF 7.5' SIDE YARD SETBACK TO SIDE LOT LINES.
- 25' FRONT YARD SETBACK TO THE EDGE OF THE PRIVATE STREET OR SIDEWALK.
- 13' CORNER SIDE YARD SETBACK TO THE BACK EDGE OF THE PRIVATE STREET.



DRAWN BY: JDEIGMAN APPROVED BY: LEBURCH

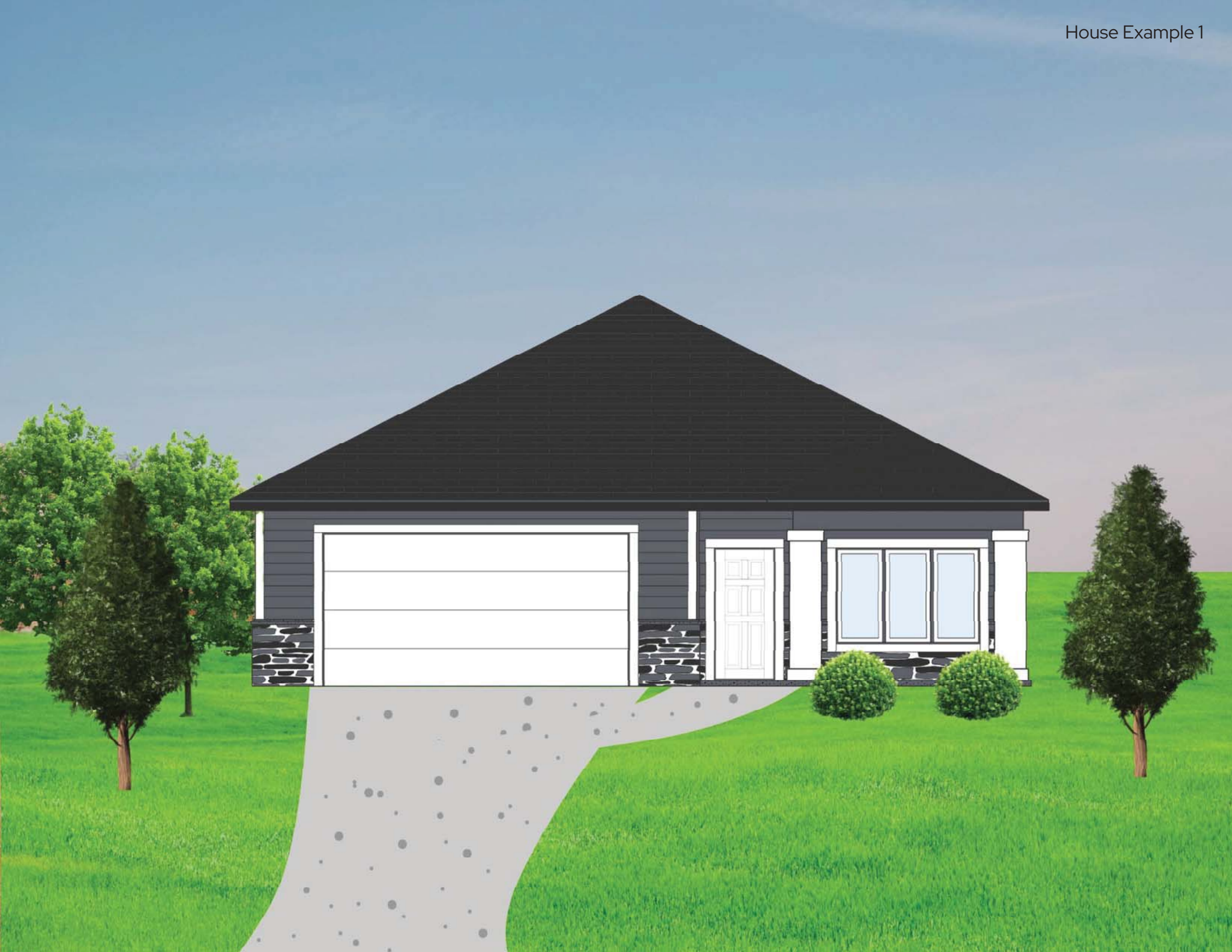
DATE: 3/29/21 FILE: Y:\PROJECTS\42922\09\TT DESIGN.DWG

NO.	REVISION DESCRIPTION	APPROVED	DATE

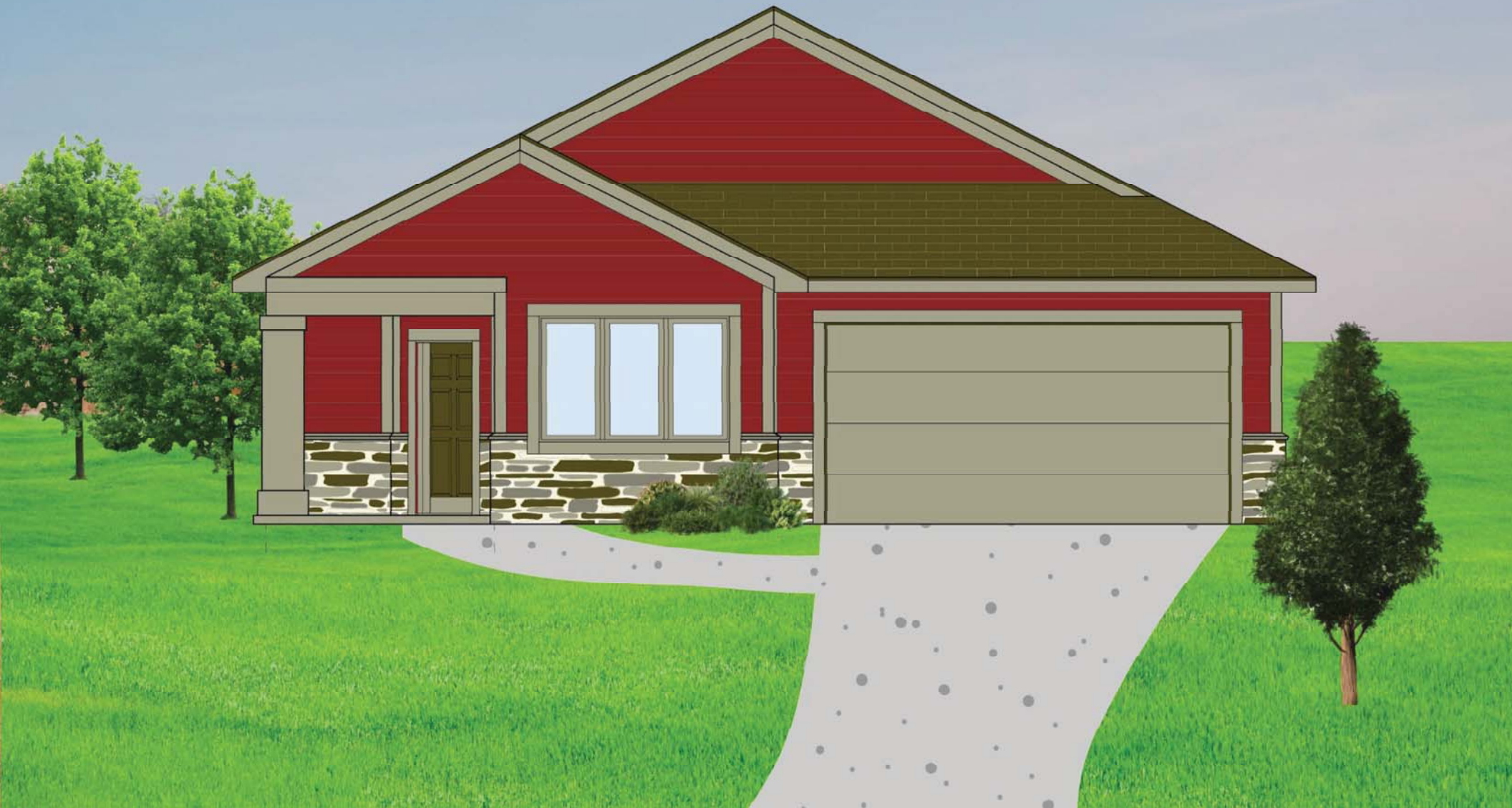
YTT DESIGN SOLUTIONS
YESTERDAY. TODAY. TOMORROW.

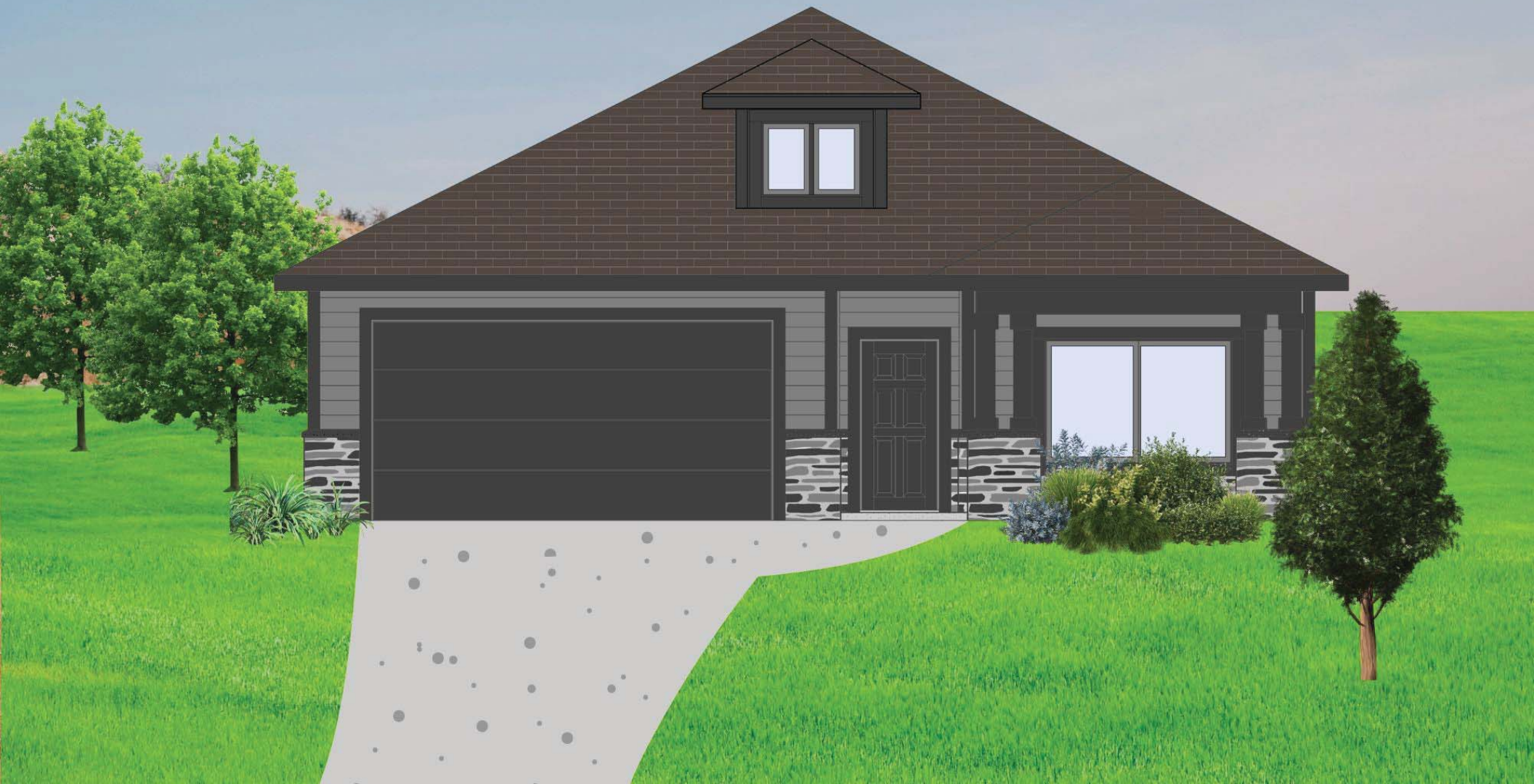
FOX RUN FARM
SCALES BEND ROAD
NORTH LIBERTY, IOWA

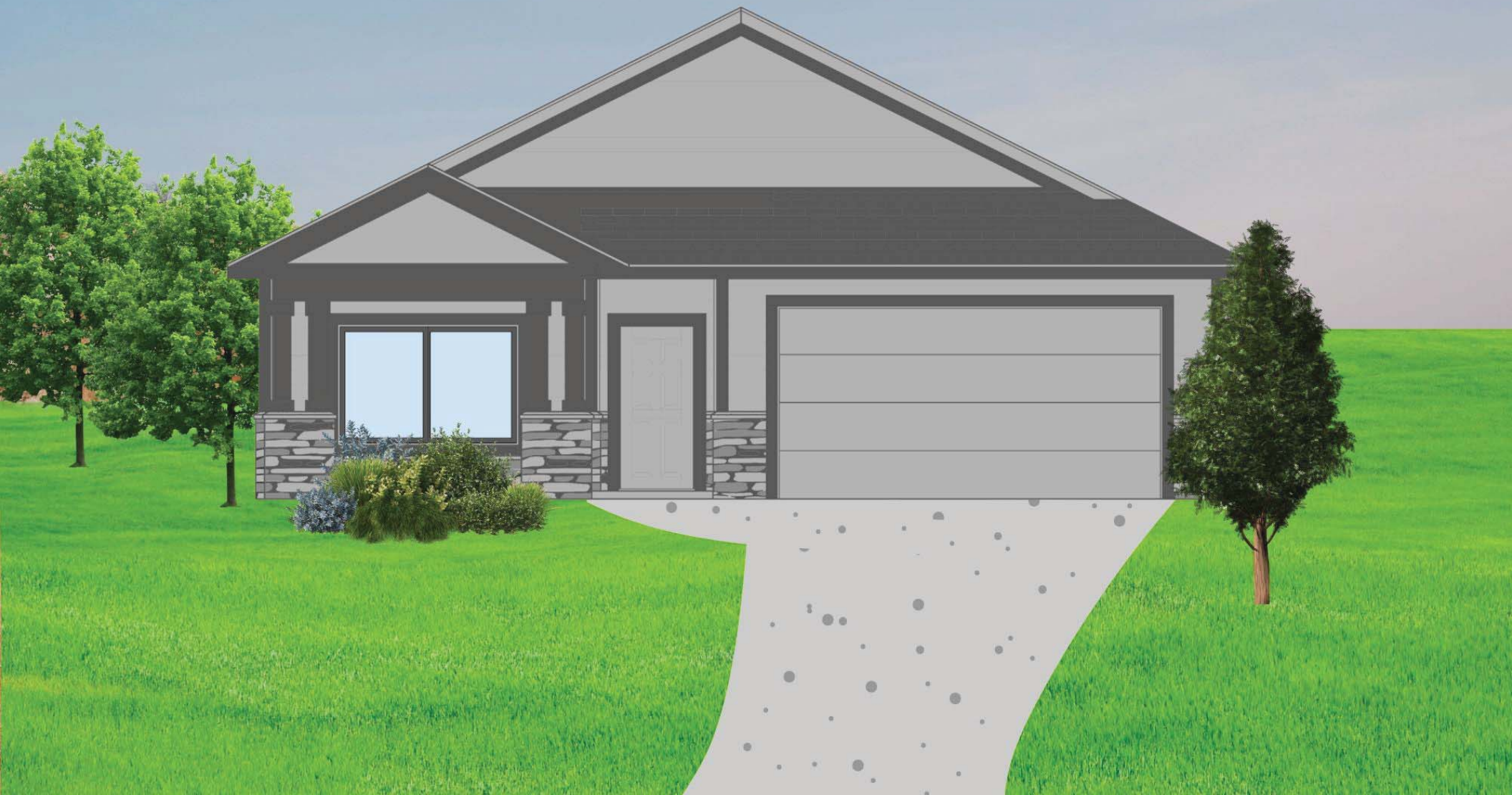
PRELIMINARY SITE PLAN













Ryan Rusnak

From: Christel Philipp <cjphilipp31@gmail.com>
Sent: Tuesday, March 21, 2023 6:47 PM
To: Ryan Rusnak
Subject: [External] Re: Fox Run Development

You don't often get email from cjphilipp31@gmail.com. [Learn why this is important](#)

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Ryan-

We are listening to the good neighbor meeting and we are encouraged. Please disregard our previous objection. Is that what we say? :) Sorry we sent it too soon without waiting for more information.

We know this land will be developed at some point, and this plan will work for us. It's better than a giant 3 story home glaring down into our backyard!!

Thanks,

Joshua and Christel Philipp
512 Fox Run Drive
North Liberty, IA 52317
(319)360-9414

On Mon, Mar 20, 2023 at 12:35 PM Christel Philipp <cjphilipp31@gmail.com> wrote:

Hi Ryan -

My name is Christel Philipp. My husband, Joshua Philipp and I live at 512 Fox Run Drive in North Liberty. We have lived in this house for more than 20 years.

We live within 200 feet of the newly proposed development by Modern Horizon's LLC of the old Mekota Farmstead in the Fox Run neighborhood.

We wish to formally object to the rezoning request as well as this newly proposed development, which we believe will markedly and negatively change the character of the neighborhood.

Let me know if you have any questions and thank you for your attention to this formal objection.

Sincerely,
Christel Philipp
Joshua Philipp
512 Fox Run Drive
North Liberty, IA 52317

| cell phone (319)360-9414

Ryan Rusnak

From: Kevin Miehe <kevin.miehe@gmail.com>
Sent: Tuesday, March 21, 2023 7:23 PM
To: Ryan Rusnak
Subject: [External] Fox Run Farm Redevelopment

You don't often get email from kevin.miehe@gmail.com. [Learn why this is important](#)

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Ryan,
My feedback for the public record:

I applaud the developer for taking the community's feedback from the last good neighbor meeting and creating a revised set of plans for consideration. I do not oppose the rezoning as described. I would, however, urge the City of North Liberty to re-evaluate the traffic of Scales Bend Road despite the recent opinion of the consultants. This evaluation should consider children crossing as well as include the proposed gated entry to the re-zoned property (and perhaps the need for a turning lane into the property). I would also want to see the City to very carefully plan and monitor construction traffic. I do not want to see a parade of trailered boats going through Fox Run Drive to get around construction barriers on Scales Bend for years on end during construction.

Respectfully submitted,
Kevin Miehe
70 Vixen Lane

Ryan Rusnak

From: T&M Keeney <tmkeeney98@gmail.com>
Sent: Tuesday, March 21, 2023 6:48 PM
To: Ryan Rusnak
Subject: [External] Mekota Farms Plan

[You don't often get email from tmkeeney98@gmail.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

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This project proposal has my support.

Marisa Keeney

Sent from my iPhone

Ryan Rusnak

From: Eric Ruttum <egruttum@uwalumni.com>
Sent: Sunday, March 26, 2023 11:34 AM
To: Ryan Rusnak
Subject: [External] Fox Run / Scales Bend Co-op Development

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Ryan-

Please consider this email my formal comments and support of the proposed development by Modern Horizons, LLC off Scales Bend Road in the Fox Run neighborhood.

According to Zillow (best source of data I have for this) the parcel has been for sale since 5/19/2017. I can't confirm that it has been vacant that long but from living in the neighborhood it seems like it could have been that long ago. In those years the property is not improving. It will be nice to see something done with the property that will prevent the existing buildings from becoming ragged and/or unsafe and/or an attractive nuisance.

Overall I am in support of this development but have some concerns that I would like to see the Planning and Zoning Commission and City Council incorporate as conditions into their final approval:

1. Fences on North, East, and South sides
 1. I am not a fan of the black chain link fence
 2. I would like the approval to include changing to a white PVC "Forever Fence" style of fencing
2. Fence on the West side along Scales Bend Rd.
 1. I would like to see no fence along this side of the property
 1. A fence along the road would be out of character with the entire Fox Run neighborhood
 2. A fence along the road would be out of character with most of the City of North Liberty
3. Trees added along Scales Bend Road
 1. In the approximately 25' between the edge of the walking trail and what I think is the required set back I would like to see trees planted consistent with
 1. Tree/landscaping plans drawn up by an Iowa licensed Landscape Architect
 2. Minimum tree planting density/spacing/amount as determined by Landscape Architect to act as screening when reaching maturity
 3. A minimum DBH of 2.5" or as determined by the Landscape Architect
 4. A mix of overstory and evergreen trees as determined by the Landscape Architect
4. Gates at the two driveways
 1. Final approval of gate design/aesthetics/materials of construction/etc. by the City of North Liberty Planning Director or their designate

I believe that this development will have a neutral to positive effect on surrounding property values. With a sales price equivalent (attempting to convert the coop style of ownership to the typical single family home ownership) of a \$400-450K home these homes will be more expensive than many of the original homes in the Fox Run subdivision and

comparable with the rest of the homes in the vicinity of the development. With the co-op style of ownership we are assured that the external property will be maintained at least as well or better than the typical external property in the neighborhood.

People are talking about what a gem this property is and how it's so important to the Fox Run neighborhood. If it's so important how has it sat on the market for this long and no one in the neighborhood has snapped it up to preserve its heritage? This is a perfect case of NIMBYs protesting something because it changes what their neighborhood and/or backyard looks like. If someone wanted to maintain the neighborhood or their backyard as is they had plenty of time to come up with the \$1MM+ sales price of the land. It was no secret that it's been up for sale. I'm guessing none of these neighbors protested the newer 55+ community near the corner of S. Jones Blvd and Cory Court even though there are residences nearby to that development too.

Once construction is complete and the homes are occupied no one in this neighborhood will remember anything different. Certainly no one driving into the neighborhood or moving here after the 55+ community is completed will see this as out of place or incongruent to the Fox Run neighborhood.

Eric Ruttum
510 Fox Run

Ryan Rusnak

From: Sloane Tyler <Sloane.Tyler@foriowa.org>
Sent: Friday, March 17, 2023 11:34 AM
To: Ryan Rusnak
Subject: [External] objection - fox run farm development

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My name is Sloane Tyler. I am the property owner of 45 Vixen Lane, North Liberty. My home is within 200 feet of the proposed Scales Bend Road and Fox Run Drive Development. I would like to communicate my objection to the rezoning request.

Sloane R. Tyler

SLOANE R. TYLER

SENIOR DIRECTOR OF DEVELOPMENT, INTERCOLLEGIATE ATHLETICS

UI Center for Advancement | PO Box 4550 | Iowa City, IA | 52240-4550

Office: 319-467-3736 | Cell: 319-331-9099 | sloane.tyler@foriowa.org

🐦: @jointheclub | 📷: @jointheclub | 🇺🇸: National I-Club | www.jointheclub.com



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Ryan Rusnak

From: Sarah Keedy <skeedy@gmail.com>
Sent: Tuesday, March 21, 2023 6:44 PM
To: Ryan Rusnak
Subject: [External] Oppose to Scales Bend/Fox Run Development

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I would like to officially oppose the development that was proposed for Mekota Farm on Scales Bend in the Fox Run Neighborhood.

Thanks for the consideration,
Sarah Keedy

Ryan Rusnak

From: Molly and Mark Petersen <m2petersen@yahoo.com>
Sent: Thursday, March 23, 2023 4:51 PM
To: Ryan Rusnak
Subject: [External] Objection to Fox Run Development

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Hello Ryan -

We are Mark and Molly Petersen. We are the property owners of 605 Black Bear Bend.

My home is within 200 feet of the proposed Scales Bend Road and Fox Run Drive Development. I would like to communicate my formal objection to the rezoning request and the newly proposed development by Modern Horizons, LLC.

Thank you

Mark and Molly Petersen
319.333.4855

Ryan Rusnak

From: Lovie Andersen <landersen@cedardevelopment.com>
Sent: Friday, March 17, 2023 12:10 PM
To: Ryan Rusnak
Subject: [External] Rezoning of property on Scales Bend Road

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Ryan,

We are the owners of the property at 35 Vixen Lane, North Liberty, Roy & Lovie Andersen. Our property is within 200 feet of proposed Scales Bend & Fox Run Drive rezoning area. We object to the rezoning! We know it is the same developer.

Lovie L Andersen

Andersen Investments

Andersen Development

The DERS Group

1100 Andersen Place, Ste. 550

Tiffin, IA 52340

319-331-9117

Ryan Rusnak

From: Lovie Andersen <landersen@cedardevelopment.com>
Sent: Friday, March 17, 2023 1:25 PM
To: Ryan Rusnak; Lovie Andersen
Subject: [External] Rezoning of Property on Scales Bend Road

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Ryan,

I am sorry a draft was sent earlier today in error; I am going to cover all our concerns in this one please disregard the previous one.

We live at 35 Vixen Lane, North Liberty, Iowa in Fox Run Subdivision, Roy and Lovie Andersen. Our property is within 200 feet of the proposed Scales Bend and Fox Run Drive rezoning area. When we purchased our home what drew us to it was the park and the farmstead behind our home, it was country feeling while still being in city limits.

Our concerns are as follows below.

1. Increased traffic
2. Value of our home decreasing.
3. Water run-off and retention to all homes, this will increase the water table to our home as well as our neighbors, who already have flooding issues.
4. Existing tiling from our home to the proposed rezone area being damaged.
5. The possibilities of all homes in this area looking the same.
6. Removal of the historical home.
7. Removal of the farmstead barn.
8. Quality and quantity of the homes proposed to be built.
9. Lack of privacy and will there be a buffer zone for existing homes.

From recent neighborhood discussions a lot of us feel this property would be perfect for a large park and save the buildings for city needs.

We appreciate you reviewing our concerns.

Thank You,

Roy and Lovie Andersen

Roy 319.331.9116

Lovie 319.331.9117

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Ryan Rusnak

From: Lovie Andersen <landersen@cedardevelopment.com>
Sent: Friday, March 17, 2023 1:34 PM
To: Ryan Rusnak; Lovie Andersen
Subject: [External] Fwd: Rezoning of Property on Scales Bend Road

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Ryan,
Just to be clear we OBJECT to this rezoning.

Thank you
The Andersen's

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From: Lovie Andersen <landersen@cedardevelopment.com>
Sent: Friday, March 17, 2023 1:25 PM
To: rrusnak@northlibertyiowa.org; Lovie Andersen
Subject: Rezoning of Property on Scales Bend Road

Ryan,
I am sorry a draft was sent earlier today in error; I am going to cover all our concerns in this one please disregard the previous one.

We live at 35 Vixen Lane, North Liberty, Iowa in Fox Run Subdivision, Roy and Lovie Andersen. Our property is within 200 feet of the proposed Scales Bend and Fox Run Drive rezoning area. When we purchased our home what drew us to it was the park and the farmstead behind our home, it was country feeling while still being in city limits.

Our concerns are as follows below.

1. Increased traffic
2. Value of our home decreasing.
3. Water run-off and retention to all homes, this will increase the water table to our home as well as our neighbors, who already have flooding issues.
4. Existing tiling from our home to the proposed rezone area being damaged.
5. The possibilities of all homes in this area looking the same.
6. Removal of the historical home.
7. Removal of the farmstead barn.
8. Quality and quantity of the homes proposed to be built.
9. Lack of privacy and will there be a buffer zone for existing homes.

From recent neighborhood discussions a lot of us feel this property would be perfect for a large park and save the buildings for city needs.

We appreciate you reviewing our concerns.

Thank You,

Roy and Lovie Andersen

Roy 319.331.9116

Lovie 319.331.9117

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Ryan Rusnak

From: Monica Brockway <monica.brockway1@gmail.com>
Sent: Friday, March 17, 2023 4:41 PM
To: Ryan Rusnak
Cc: Mike Brockway
Subject: [External] Opposition to Rezoning Fox Run

You don't often get email from monica.brockway1@gmail.com. [Learn why this is important](#)

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Hi Ryan-

My husband and I, Mike Brockway, are the property owners of 1520 Otter Ln North Liberty. Our home is within 200 feet of the proposed Scales Bend Road and Fox Run Drive Development. We would like to formally communicate our objection to the rezoning.

Ryan Rusnak

From: John Lohman <johnl@corridorbusiness.com>
Sent: Sunday, March 19, 2023 5:25 PM
To: Ryan Rusnak
Cc: John Lohman
Subject: [External] Formal Objection to Fox Run Rezoning and Modern Horizon's LLC

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Hi Ryan -

My name is John Lohman. My wife, Aspen Lohman and I live at 562 Fox Run Drive in North Liberty. We have lived in this house for more than 20 years.

We live within 200 feet of the newly proposed development by Modern Horizon's LLC of the old Mekota Farmstead in the Fox Run neighborhood.

We wish to formally object to the rezoning request as well as this newly proposed development, which we believe will markedly change the character of the neighborhood.

Let me know if you have any questions and thank you for your attention to this formal objection.

Sincerely,
John F. Lohman
cell 319-936-6555

JOHN F. LOHMAN, Chief Executive Officer & President



[319.665.6397](tel:319.665.6397)

johnl@corridorbusiness.com

www.corridorbusiness.com

2345 Landon Rd, #100, North Liberty, IA 52317



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Ryan Rusnak

From: Abby Brown <brown@lefflaw.com>
Sent: Sunday, March 19, 2023 5:37 PM
To: Ryan Rusnak
Subject: [External] Zoning change request - Fox Run

You don't often get email from brown@lefflaw.com. [Learn why this is important](#)

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Mr. Rusnak,

I am writing to you to formally lodge my objection to the City's consideration of a zoning change and proposed construction by Modern Horizon's LLC of the old Mekota Farmstead in the Fox Run neighborhood.

My husband, Beau Brown, and I live at 1530 Otter Lane with our two children. We have lived here since 2016 and plan to continue living in this home. I am concerned about the impact this proposed development would have on my property and the neighborhood, both in value and in enjoyment.

My property is within 200 feet of this proposed new development. We would formally like to express our concern and objection to the proposed zoning change, as well as any development of the farmstead that would markedly change the character and safety of the neighborhood.

I am already scheduled to attend the Good Neighbor meeting this Tuesday, March 21.

Thank you for your time and consideration.

Abigail L. Brown
Leff Law Firm, L.L.P.
222 South Linn Street
Iowa City, Iowa 52240
office: (319) 338-7551
email: brown@lefflaw.com

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Ryan Rusnak

From: TED SLOANE <slnranger@aol.com>
Sent: Monday, March 20, 2023 9:23 AM
To: Ryan Rusnak
Subject: Re: [External] Fox Run farm rezoning

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Yes we both object

Ted

Sent from my iPhone

On Mar 20, 2023, at 9:16 AM, Ryan Rusnak <rrusnak@northlibertyiowa.org> wrote:

Hi Ted,

Are you objecting on behalf of both property owners at 55 Vixen Lane?

<image001.png>

RYAN “RUS” RUSNAK
PLANNING DIRECTOR
(319) 626-5747 office

Messages to and from this account are subject to public disclosure unless otherwise provided by law.

From: Ted <tedslope@gmail.com>
Sent: Friday, March 17, 2023 6:59 PM
To: Ryan Rusnak <rrusnak@northlibertyiowa.org>
Subject: [External] Fox Run farm rezoning

You don't often get email from tedslope@gmail.com. [Learn why this is important](#)

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My name is Ted Sloane and I am the property owner of 55 vixen Ln. My home is within 200 feet of the proposed Scales Bend Road and Fox Run Drive Development. I would like to communicate my objection to the rezoning request.

Sent from my iPhone

Ryan Rusnak

From: Andrew Fenstermaker <fenstermaker.andrew@gmail.com>
Sent: Monday, March 20, 2023 8:27 AM
To: Ryan Rusnak
Subject: [External] Fox Run Development/Rezoning Request

You don't often get email from fenstermaker.andrew@gmail.com. [Learn why this is important](#)

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Hi Ryan -

My name is Andrew Fenstermaker. My wife, Kara Fenstermaker, and I have lived at 15 Bobcat Place for the last five years.

We were recently informed about the proposed development by Modern Horizon's LLC of the old Mekota Farmstead in the Fox Run neighborhood.

We wish to formally object to the rezoning request as well as this newly proposed development, which we believe will markedly and negatively change the character of the neighborhood.

Let me know if you have any questions and thank you for your attention to this formal objection.

Ryan Rusnak

From: Fielder, Elizabeth A <elizabeth-fielder@uiowa.edu>
Sent: Monday, March 20, 2023 9:37 AM
To: Ryan Rusnak
Subject: [External] Fox Run Development/Rezoning

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Hi Ryan -

My name is Beth Fielder-my husband, Matt, and two children have lived at 582 Fox Run Drive in North Liberty for almost 13 years.

We live within 200 feet of the newly proposed development by Modern Horizon's LLC of the old Mekota Farmstead in the Fox Run neighborhood.

We wish to formally object to the rezoning request as well as this newly proposed development, which we believe will markedly and negatively change the character of the neighborhood.

Thank you for your time!

Beth Fielder

Ryan Rusnak

From: Angela Maddux <madduxreporting@yahoo.com>
Sent: Monday, March 20, 2023 9:56 AM
To: Ryan Rusnak
Subject: [External] Proposed Development

You don't often get email from madduxreporting@yahoo.com. [Learn why this is important](#)

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Ryan,

My name is Angela Maddux. I am the property owner of 482 Fox Run Drive, North Liberty. My home is within 200 feet of the proposed Scales Bend Road and Fox Run Drive Development. I would like to communicate my formal objection to the rezoning request and the newly proposed development by Modern Horizons, LLC.

Thank you for your to this matter.

Angela Maddux, CSR, RPR

Maddux Reporting (319) 610-9513



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **March 31, 2023**
Re **Request of Twopoint2, LLC and Vantage Point Properties, LLC for a zoning map amendment (rezoning) on approximately 5.23 acres on property located on the west side of North Highway 965/Ranshaw Way approximately 280 feet south of West Cherry Street. The rezoning would be from C-2-A Highway Commercial District to C-2-A PAD Highway Commercial District Planned Area Development. The purpose of the request is to rehabilitate the southeast portion of the property and waive some of the Zoning Ordinance design standards.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Grant Lientz, City Attorney
Tom Palmer, City Building Official
Kevin Trom, City Engineer
Ryan Rusnak, Planning Director

1. Request Summary:

The request proposes to rehabilitate the property for multiple tenants. The primary reason for the rezoning is to waive some of the Ordinance Design Standards.

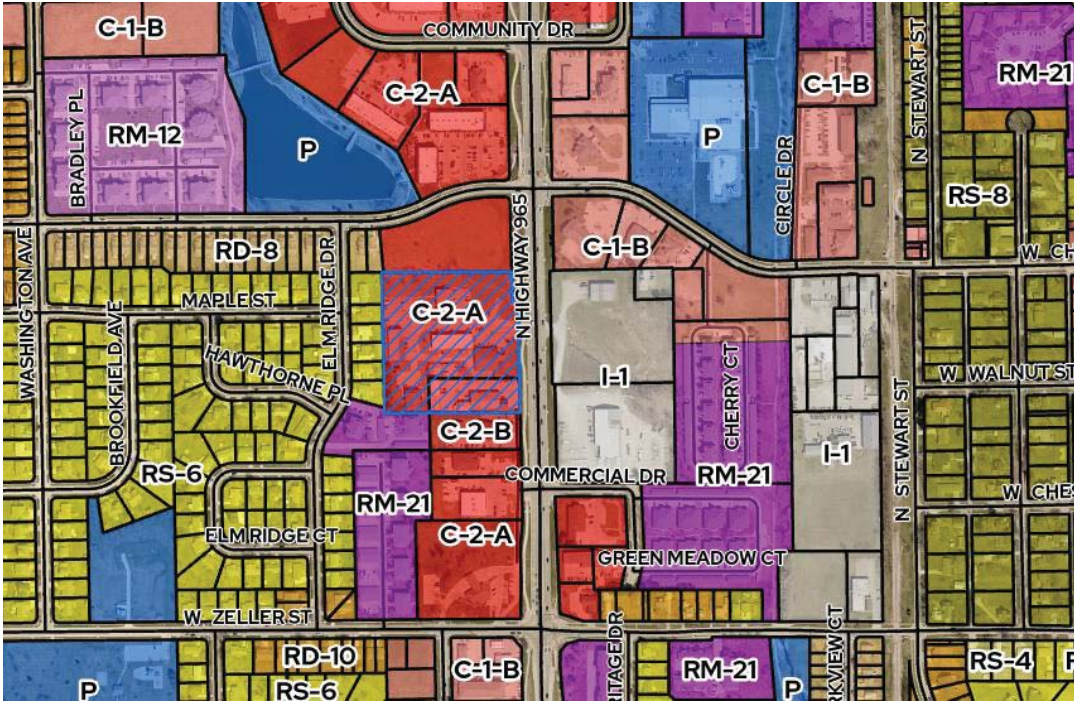
2. Proposed Zoning:

C-2-A Highway Commercial District Planned Area Development.
C-2-A Highway Commercial District. The C-2-A District is intended to provide for those commercial uses which may take particular advantage of a highway location and/or due to size or other nuisance constraints may be incompatible with the predominantly retail uses permitted in the C-1-A and C-1-B Commercial Districts, and whose service area is not confined to any one neighborhood or community.

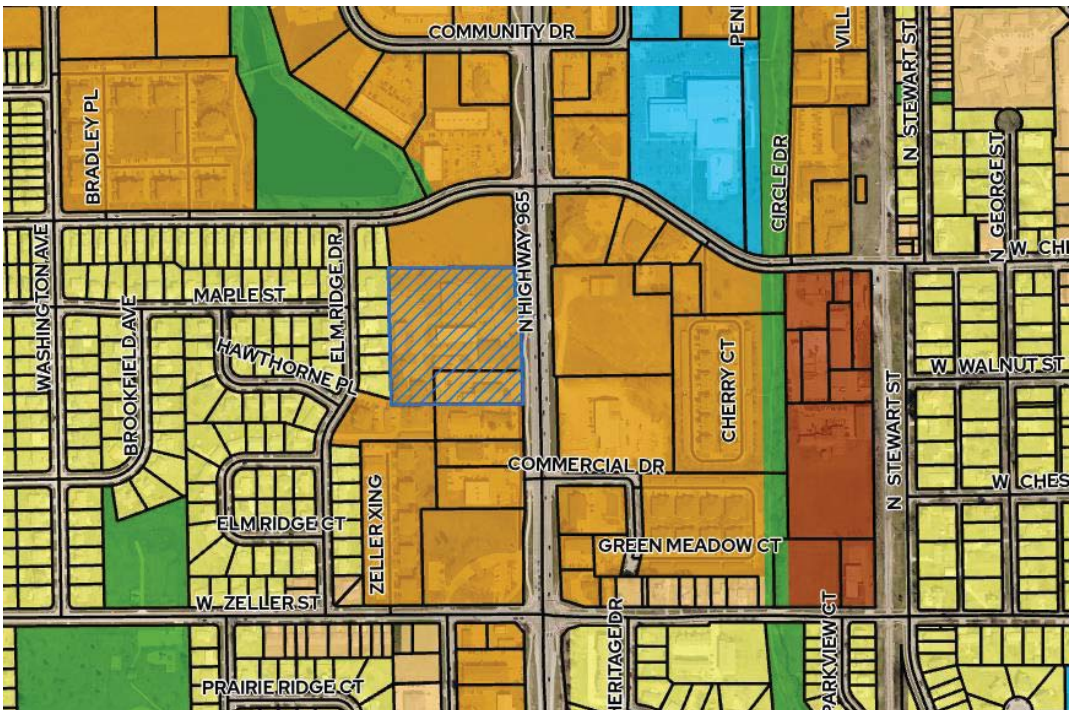
PAD Planned Area Development Overlay District.

The PAD District is intended to encourage innovation and flexibility in planning the development of land so development is compatible with the site's physical and environmental characteristics. This district allows for flexibility in district requirements. The Planned Area Development District provides an opportunity for the development of a mixture of uses and housing types in a coordinated manner. The intent of the underlying district shall guide the development. It is incumbent upon the person proposing the PAD to justify the project, and any variations from the underlying zone district.

A planned area development that will contain uses not permitted in the zoning district in which it is to be located will require a change of zoning and shall be accompanied by an application for a zoning amendment, except that any residential use shall be considered a permitted use and shall be governed by density, design and other requirements of the planned area development permit.



3. Consistency with Comprehensive Plan:
Land Use Plan designation: Urban High Intensity.



Urban High Intensity Description

These areas have increased economic activity and a higher frequency of diverse and complementary uses. High-intensity areas include more urban services with a horizontal and vertical mix of high-density residential uses and community to regional commercial uses of compatible densities and scales.

Residential

Developments have more focus on non-residential buildings but still offer residential uses ranging from townhomes and apartments. Mixing residential with commercial uses on the same site is encouraged when feasible from a design and market capitalization standpoint.

Form and Features

- » Aggregate development density at 14+ units per acre at sites with direct access to major arterial and collector streets. Development should avoid the creation of isolated multi-family development.
- » Edges of UHI residential developments transition to lower intensity uses or buffer from industrial/commercial uses through design, landscaping, and buffering.

Non-Residential

More prevalent and focus in the UHI district that can include larger offices, medical buildings, commercial, and larger institutional uses such as places of worship, community centers, and indoor recreation.

Relevant Connected to Tomorrow Sections

Section 2 Vision & Goals

Relevant Land Use Tomorrow Guiding Development Principles:

- Be commerce ready to support a range of enterprises.

4. Public Input:

A virtual good neighbor meeting was held on March 21, 2023. A couple of people outside of City staff of the applicant attended and just had general questions about the proposal. No formal objections have been received.

5. Analysis of the Request

Section 165.09 of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

- D. Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

- (1) Map Amendments.
- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.
It is staff's opinion that the zoning map amendment would achieve consistency with the Comprehensive Plan and adopted land use policies.
- (b) The compatibility with the zoning of nearby property.
It is staff's opinion that the proposed zoning would be compatible with the area.
- (c) The compatibility with established neighborhood character.
It is staff's opinion that the proposed zonings would be compatible with established neighborhood character.
- (d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.
It is staff's opinion that the proposed zonings would promote the public health, safety, and welfare of the City.
- (e) The suitability of the property for the purposes for which it is presently zoned, i.e., the feasibility of developing the property in question for one or more of the uses permitted under the existing zoning classification.
It is staff's opinion that this is a specific case warranting flexibility from the Zoning Ordinance.
- (f) The extent to which the proposed amendment creates nonconformities.
It is staff's opinion that the proposed zoning would not create any nonconformities.

Section 165.05(2) of the North Liberty Code of Ordinances entitled, "Preliminary Site Review" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

Generally, the plan is to rehabilitate the southeast portion of the property for new users. The property was developed at a time when current design standards regarding masonry were not applicable.

- *Date, north arrow and graphic scale.* **Provided.**
- *The property owner's name and description of proposed development.* **Provided.**
- *A vicinity sketch showing the location of the property and other properties within 1,000 feet of it.* **Provided.**
- *Property boundary lines, dimensions, and total area.* **Provided.**
- *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the site plan.* **Provided.**
- *The location of existing streets, sidewalks, easements, utilities, drainage courses.* **Provided.**
- *The total square feet of building floor area, both individually and collectively.* **Provided.**

- All structures and major features shall be fully dimensioned including distance between structures, distance between driveways, parking areas, property lines and building height. **Provided.**
- Off-street parking areas, ingress and egress to the property, number of parking spaces proposed, number of parking spaces required by this code and type of surfacing. **Provided. The plan depicts a vehicle gate at both entrances. This will require further review as motorists would block the sidewalk waiting for the gate arm to rise. This would not be acceptable.**
- Pedestrian walkways with special consideration given to pedestrian safety. **Provided.**
- Trash and refuse enclosures. **Provided.**
- The general drainage pattern and location of storm water detention features. **Provided.**
- The general location, type and size of landscaping and ground cover illustrated in color perspective. **Provided.**
- A rendering, elevation or photo of the proposed development. **Provided.**

6. Additional Considerations:

New commercial developments are expensive considering land and building costs. These costs ultimately get passed on to tenants, which lease the space. There is a smaller portion of the business community which is willing and/or able to least at those rates.

It is easy to see the ultimate type of development because the applicant rehabilitated the adjacent development to the north.



The PAD waivers requested are as follows:

- Building setback waiver to allow a 0' setback to the common property line.
- Waiver from the 60% masonry requirement.
- Waiver from the trash enclosure and recycling enclosure as it will be incorporated into the design of the building.
- Allow for shared parking with the property to the north.

7. Staff Recommendation:

Findings:

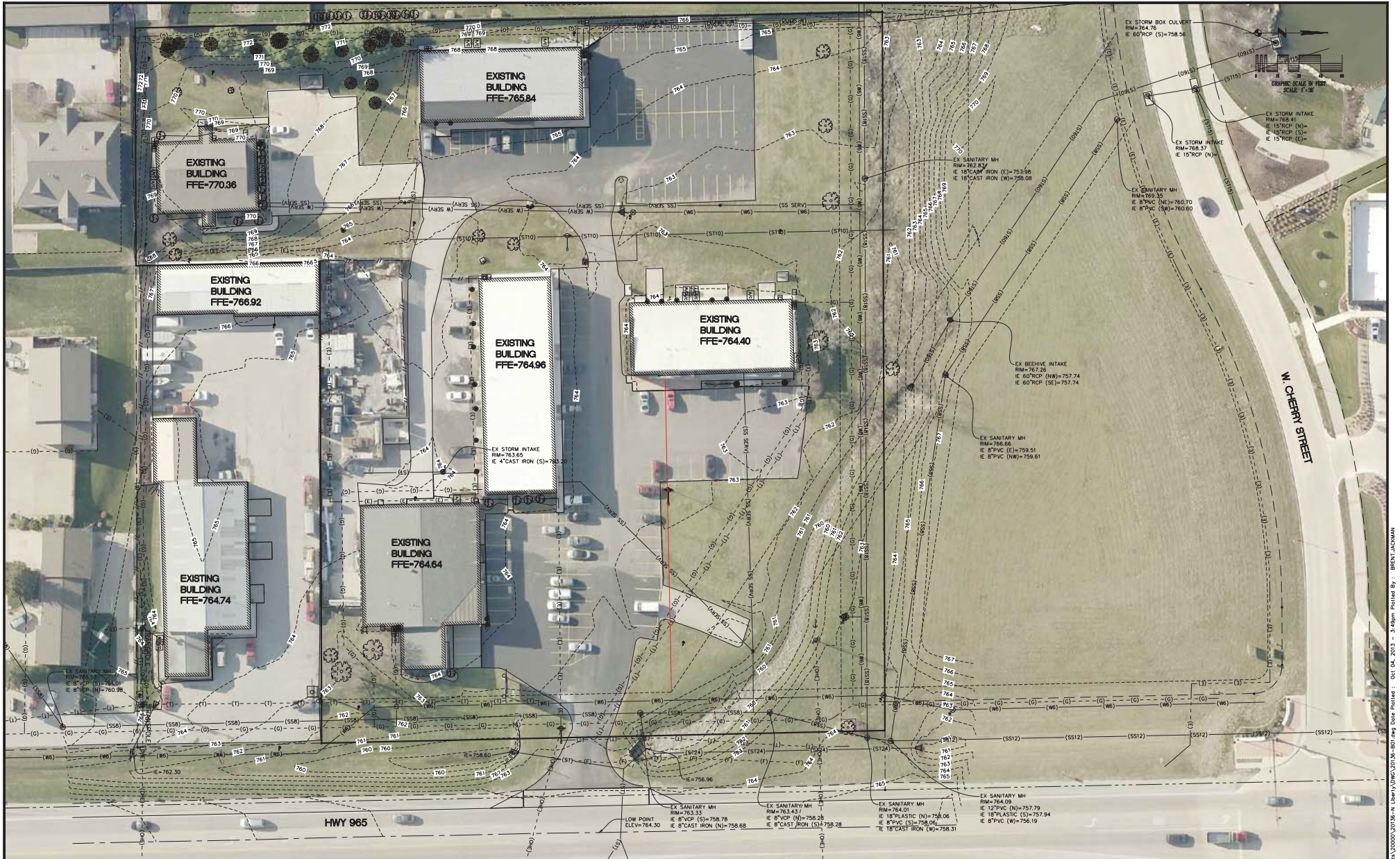
1. The rezoning request from C-2-A Highway Commercial District to C-2-A PAD Highway Commercial District Planned Area Development would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code; and
2. The site plan would achieve consistency with North Liberty Code of Ordinances Section 165.05(2) entitled, "Preliminary Site Plan Review", and other Code of Ordinance requirements.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request for zoning map amendment (rezoning) from C-2-A Highway Commercial District to C-2-A PAD Highway Commercial District Planned Area Development on approximately 5.23 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the two listed findings and forward the zoning map amendment to the City Council with a recommendation for approval.



DRAWN BY: DAS					
CHECKED BY: BWJ					
APPROVED BY: XXX					
DATE: 10/03/13					
FIELD BOOK: XXX	NO.	REVISION DESCRIPTION	APPROVED	DATE	

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JDS DEVELOPMENT
 HWY 965
 NORTH LIBERTY, IOWA

TOPOGRAPHIC SURVEY AND BOUNDARY

SHEET 1	OF 1
PROJECT NO: 20136	

CAD File: \\projdata\20000\20136-N_Liberty\DWG\20136-1801.dwg Date Plotted: 01 Oct 2013 3:59pm Plotted By: BRETT JACKMAN

DRAWINGS FOR PROPOSED IMPROVEMENTS FRONTAGE ROAD AND LOT RESURFACING NORTH LIBERTY PLAZA, NORTH LIBERTY, JOHNSON COUNTY, IOWA

LEGAL DESCRIPTION

175 N HIGHWAY 965 (PARCEL ID# 0612376002) AND 165 N HIGHWAY 965 (PARCEL ID# 0612385001), NORTH LIBERTY, JOHNSON COUNTY, IOWA.

NOTE:

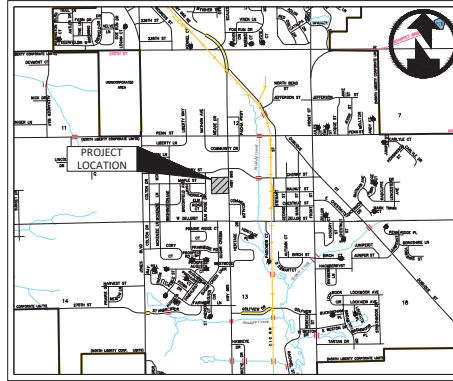
THE PROPOSED IMPROVEMENTS INCLUDED IN THESE DRAWINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH CITY OF NORTH LIBERTY REQUIREMENTS AND THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST ADDITION, UNLESS NOTED OTHERWISE ON THE PLANS.

GIVEN THIS PROPERTY WAS BUILT AND SUBDIVIDED IN A HISTORIC ERA, THE DEVELOPER REQUESTS A VARIANCE TO THE FOLLOWING:

ZONING CODE 168.03 - BUILDING SETBACK-EXISTING, NONCONFORMING BUILDING SETBACK BETWEEN EXISTING PARCELS WHICH DIVIDE BETWEEN THE SINGLE OWNER. EXISTING SETBACK IS ZERO (0) FEET. VARIANCE TO ALLOW ZERO FEET SETBACK OF EXISTING AND NEW CONSTRUCTION.

ZONING CODE 169.10 B - 60% REQUIREMENT FOR SPECIFIC WALL ELEVATION MATERIALS. GIVEN THE LOCATION OF EXISTING BUILDINGS AND IN PLACE EXTERIOR CONDITIONS, REQUEST TO REVIEW THE IMPROVEMENTS AS A WHOLE WITH PRIORITY PLACED ON PEDESTRIAN AND VEHICULAR VANTAGE POINTS. VARIANCE FOR FACADE MATERIALS EXTENDED TO TRASH ENCLOSURE WHICH IS TO BE INCORPORATED INTO A WALL WITH REQUESTED VARIANCE PER ELEVATION PLAN.

ZONING CODE 169.01 - CONSIDERATION FOR OVERFLOW PARKING SHARED IN COMMON WITH EXISTING COMMERCIAL SITE TO NORTH WHICH IS CURRENTLY OVER PARKED TO CODE. ADDITIONAL NEW PARKING CAN BE LOCATED BEHIND BUILDING 2 NEW CONSTRUCTION.



CITY OF NORTH LIBERTY, IOWA

SHEET INDEX	
C0.00	COVER SHEET
CIVIL	
C0.01	LEGEND AND GENERAL NOTES
C0.02	GENERAL NOTES
C1.00	EXISTING CONDITIONS AND REMOVALS PLAN
C2.00	SITE & EROSION CONTROL PLAN - FRONTAGE ROAD
C3.00	PAVEMENT PLAN - FRONTAGE ROAD
C4.00	SITE & EROSION CONTROL PLAN - LOT RESURFACING
C5.00	PAVEMENT PLAN - LOT RESURFACING

APPLICANT INFORMATION

OWNER/APPLICANT:
JEFF SCHWEITZER
VANTAGE POINT PROPERTIES
PHONE: 319-621-2335
EMAIL: JEFF@NORTHLIBERTYPLAZA.COM

PROJECT INFORMATION

CONTACT PERSON:
BRIAN BOELK
AXIOM CONSULTANTS, LLC
60 E. COURT STREET, UNIT 3
IOWA CITY, IOWA 52240-3833
PHONE: 319-519-6220
EMAIL: BBOELK@AXIOM-CON.COM

UTILITY CONTACTS

<p>ALLIANT ENERGY CONTACT NAME: ALLIANT ENERGY FIELD ENGINEER CONTACT PHONE: 800-255-4268 CONTACT EMAIL: LOCATE_IPL@ALLIANTENERGY.COM</p>	<p>SOUTH SLOPE TELEPHONE CONTACT NAME: BRIAN FRESE CONTACT PHONE: 319-227-7111 CONTACT EMAIL: BRIAN@SOUTHSLOPE.COM</p>
<p>LINN COUNTY RECORDER CONTACT NAME: JOHNA NUNEMAKER CONTACT PHONE: 319-377-1587 CONTACT EMAIL: NUNEMAKER@LINNCOUNTYREC.COM</p>	<p>MEDIACOM IOWA CITY CONTACT NAME: CARL NORTON CONTACT PHONE: 319-594-6201 CONTACT EMAIL: CNORTON@MEDIACOMCC.COM</p>
<p>MIDAMERICAN - GAS CONTACT NAME: CARSON HEMPHILL CONTACT PHONE: 319-341-4461 CONTACT EMAIL: CRHEMPHILL@MIDAMERICAN.COM</p>	<p>UNIVERSITY OF IOWA CONTACT NAME: CHRIS HATLAND CONTACT PHONE: CONTACT EMAIL: CHRIS-HATLAND@UIOWA.EDU</p>
<p>CITY OF NORTH LIBERTY CONTACT NAME: TOM PALMER CONTACT PHONE: 319-626-5736 CONTACT EMAIL: TPALMER@NORTHLIBERTY.ORG</p>	<p>WINDSTREAM COMMUNICATIONS CONTACT NAME: LOCATE DESK CONTACT PHONE: 800-289-1901 CONTACT EMAIL: LOCATE.DESK@WINDSTREAM.COM</p>



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

BRIAN A. BOELK, P.E.
LICENSE NUMBER 16503. DATE _____

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022.

PAGES OR SHEETS COVERED BY THIS SEAL: ALL PLAN SHEETS

CITY APPROVAL

BY: _____ DATE: _____



REV.	DESCRIPTION OF CHANGES	DATE
1	CITY SUBMITTAL	03-30-2023

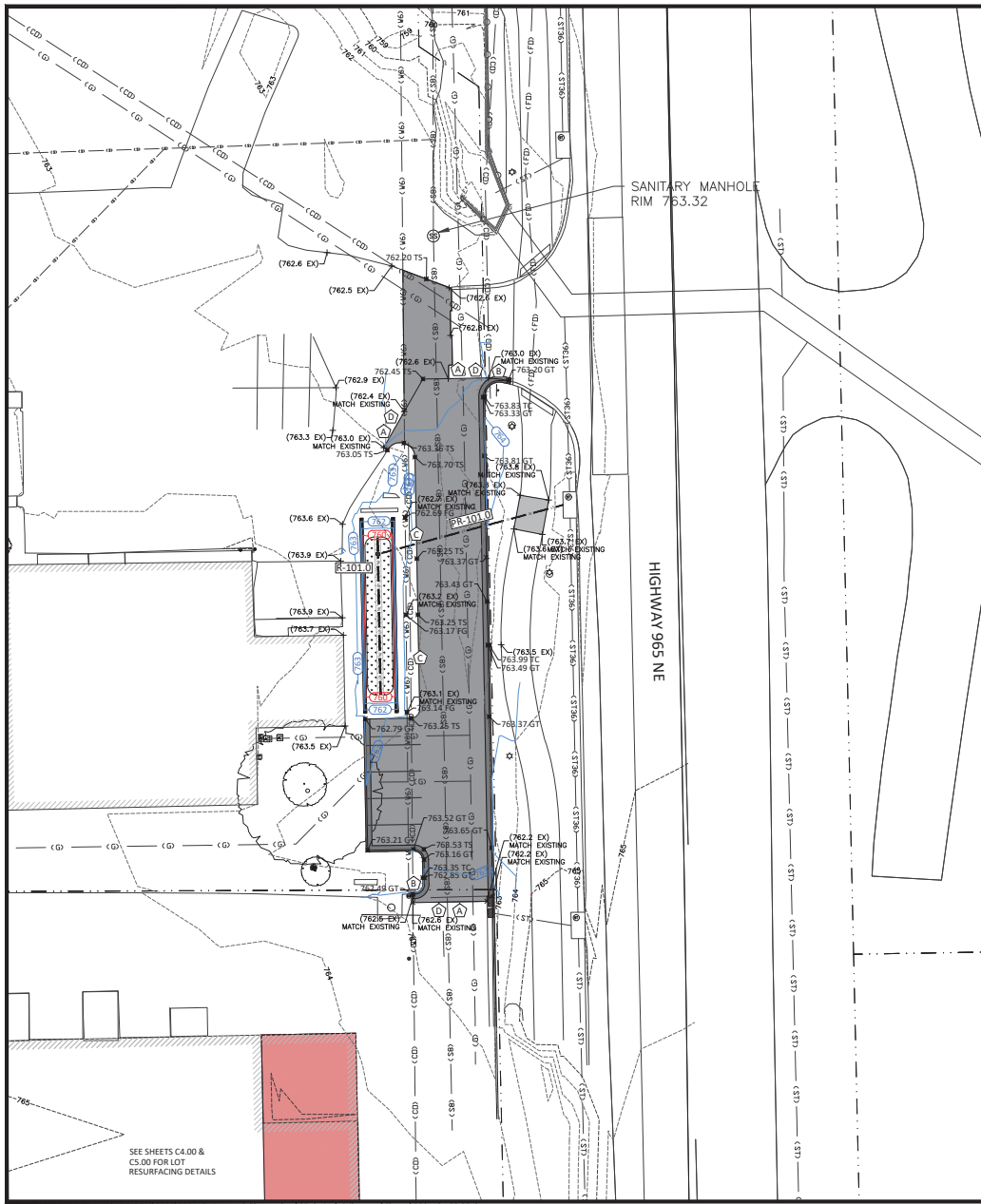
DRAWING LOG

PROJECT NAME: NORTH LIBERTY PLAZA
CITY: NORTH LIBERTY, IA
CLIENT NAME: VANTAGE POINT PROPERTIES

NOT FOR CONSTRUCTION

SHEET NAME: COVER SHEET
PROJECT NO: 220113
SHEET NO: BOELK

C0.00



PAVING PLAN KEY NOTES:

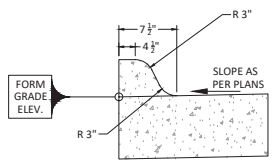
- (A) MATCH EXISTING ADJACENT PAVEMENT
- (B) BEGIN TRANSITION FROM NO CURB TO STANDARD CURB. SEE PCC CURB DETAILS SUDAS PV-102
- (C) NO CURB FOR PAVEMENT ADJACENT TO BIO RETENTION CELL TO FACILITATE EFFECTIVE OVERLAND STORM FLOW INTO STORMWATER FACILITY.
- (D) SAWCUT AND REMOVE EXISTING PAVEMENT PER LIMITS OF PROPOSED PAVEMENT

LEGEND:

- PROPOSED BIOCELL
- SIDEWALK PCC PAVEMENT
- STANDARD DUTY ACC PAVEMENT WITH STANDARD PCC 6" CURB AS SHOWN. (OR APPROVED EQUIVALENT)

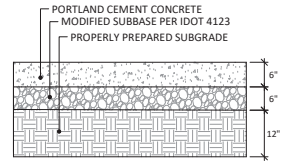
GENERAL NOTES:

1. JOINTING PLAN TO BE SUBMITTED BY PAVING CONTRACTOR FOR ENGINEER REVIEW PRIOR TO PLACEMENT.
 2. SEE SUDAS SECTION 7010 FOR ADDITIONAL CONCRETE PAVING REQUIREMENTS
- GT = GUTTER
 TS = TOP OF SLAB
 TC = TOP OF CURB
 EX = EXISTING GRADE
3. ASSUME STANDARD 6" CURB UNLESS NOTED OTHERWISE.



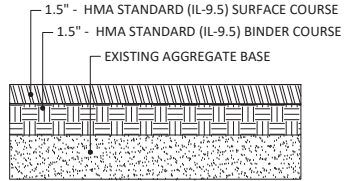
6" STANDARD CURB
NOT TO SCALE

1



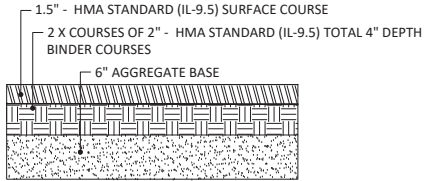
STANDARD DUTY PAVEMENT SECTION - DESIGN ALTERNATE
NOT TO SCALE

2



ACC PAVEMENT RESURFACE DETAIL
NOT TO SCALE

3



ACC PAVEMENT DETAIL
NOT TO SCALE

4

NOT FOR CONSTRUCTION

PROJECT NAME: NORTH LIBERTY PLAZA
 SHEET NAME: PAVEMENT PLAN
 FRONTAGE ROAD
 PROJECT NO.: 220113
 DESIGN PROFESSIONAL: BOELK

DRAWING LOG
 DESCRIPTION OF CHANGES
 CITY SUBMITTAL
 REV. 1

DATE: 01-10-2023

PROJECT NUMBER: C3.00

ENGINEER: Axiom Consultants
 WWW.AXIOM-CONS.COM | (517) 519-6220

NORTH LIBERTY, IA
 VANTAGE POINT PROPERTIES

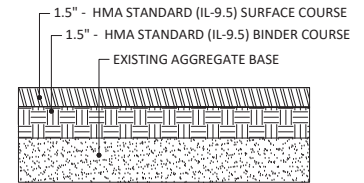


PAVING PLAN KEY NOTES:

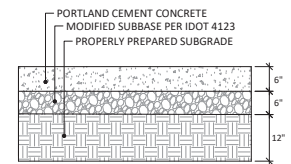
- (A) MATCH EXISTING ADJACENT PAVEMENT
- (B) SAWCUT AND REMOVE EXISTING PAVEMENT PER LIMITS OF PROPOSED PAVEMENT
- (C) INSTALL 6" STANDARD CURB

GENERAL NOTES:

1. JOINTING PLAN TO BE SUBMITTED BY PAVING CONTRACTOR FOR ENGINEER REVIEW PRIOR TO PLACEMENT.
 2. SEE SUDAS SECTION 7010 FOR ADDITIONAL CONCRETE PAVING REQUIREMENTS
- GT = GUTTER
 TS = TOP OF SLAB
 TC = TOP OF CURB
 FG = FINISHED GRADE
 EX = EXISTING GRADE
3. ASSUME STANDARD 6" CURB UNLESS NOTED OTHERWISE.



ACC PAVEMENT RESURFACE DETAIL 1
NOT TO SCALE



STANDARD DUTY PAVEMENT SECTION - DEISING ALTERNATE 2
NOT TO SCALE

REV.	DESCRIPTION OF CHANGES	DATE
1	CITY SUBMITTAL	01-10-2023

DRAWING LOG
 PROJECT NAME: NORTH LIBERTY PLAZA
 CLIENT NAME: VANTAGE POINT PROPERTIES
 CITY: NORTH LIBERTY, IA

SHEET NAME: PAVEMENT PLAN
 PROJECT NO.: 220113
 DESIGN PROFESSIONAL: BOELK

NOT FOR CONSTRUCTION
 C5.00

REVISIONS

Rev #	Date	Description

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 4800 BOWLING ST., SW, STE 100
 CEDAR RAPIDS, IA 52404
 319-882-7178 (phone)
 319-882-7178 (fax)
 www.vantagearch.com

POINT BUILDERS
 4800 BOWLING ST., SW, STE 100
 CEDAR RAPIDS, IA 52404
 319-882-7178 (phone)
 319-882-7178 (fax)
 www.pointbuilders.com

NORTH LIBERTY PLAZA
 165 HIGHWAY 965
 NORTH LIBERTY, IOWA

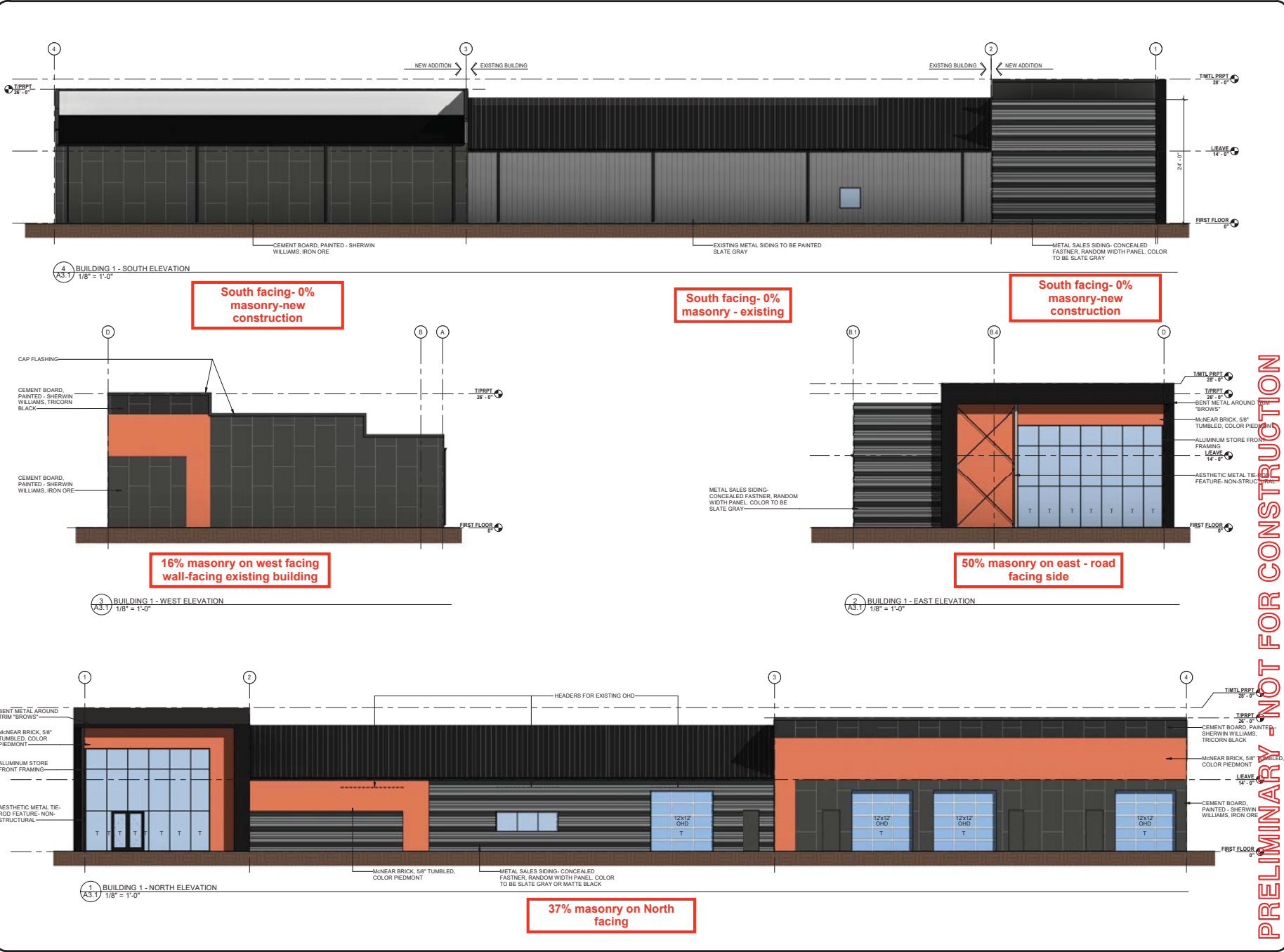
SCHEMATIC

DATE	JOB NO.	CHECKED	CHECKER
02-22-2023	GA-0151		

BUILDING 1 ELEVATIONS

SHEET
A3.1

PRELIMINARY - NOT FOR CONSTRUCTION



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REVISIONS		
Rev #	Date	Description

VANTAGE ARCHITECTS
 4800 BOWLING ST., SW, STE 100
 CEDAR RAPIDS, IA 52404
 319-8821738 (phone)
 www.vantagearch.com

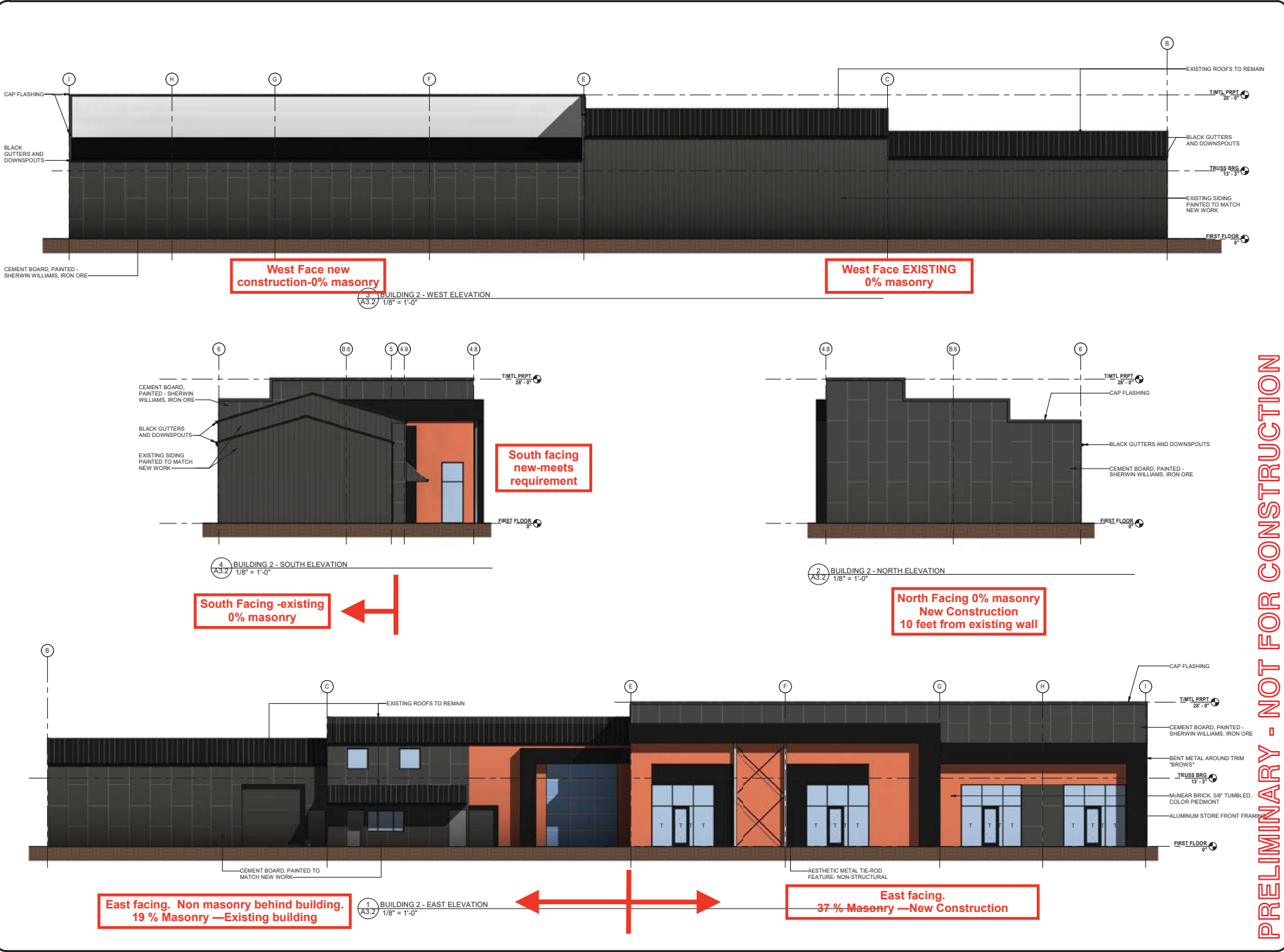
POINT BUILDERS
 THE VANTAGE ARCHITECTS GROUP
 4800 BOWLING ST., SW, STE 100
 CEDAR RAPIDS, IA 52404
 VOICE 319844-5003
 FAX 319298-9212

NORTH LIBERTY PLAZA
 165 HIGHWAY 965
 NORTH LIBERTY, IOWA

SCHEMATIC

DESIGN Author	CHECKED Checker
DATE 02-22-2023	JOB NO. GA-0151
BUILDING 2 ELEVATIONS	
SHEET	
A3.2	

PRELIMINARY - NOT FOR CONSTRUCTION





**Planning Commission
March 7, 2023
Council Chambers, 1 Quail Creek Circle**

Call to Order

Chair Josey Bathke called the March 7, 2023 Planning Commission to order at 6:30 p.m. in the Council Chambers at 1 Quail Creek Circle. Commission members present: Barry A'Hearn, Josey Bathke, Sheila Geneser, Jason Heisler, Patrick Staber, Vincent, Willer; absent: Brian Vincent and Dave Willer.

Others present: Ryan Rusnak, Grant Lientz, Kevin Trom, Tracey Mulcahey, Bob Downer, Jon Marner, and other interested parties.

Approval of the Agenda

Heisler moved, Staber seconded to approve the agenda. The vote was all ayes. Agenda approved.

North Ridge Parts 2 & 3 Preliminary Subdivision Plat

Staff Presentation

Rusnak presented the request of Scanlon Family, LLC. And The Trustees of Penn Township to approve a Preliminary Subdivision Plat for a 37-lot subdivision on approximately 36.32 acres. The property is located at the southeast corner of North Liberty Road and Oak Lane NE. Staff recommends approval with the following findings:

1. The preliminary plat, which proposes residential development and park space, would achieve consistency with the Comprehensive Plan Future Land Map designation, which are Urban Low Intensity and Parks, Open Space, respectively;
2. The preliminary plat warrants approval of a variation from the design standards regarding the use of a private street for a portion of the development in accordance with Section 180.08 of the North Liberty Code of Ordinances; and
3. The preliminary plat would achieve consistency with Section 180.11(3)(A) and 180.12 of the North Liberty Code of Ordinances (with variation granted), which sets forth the preliminary subdivision plat submittal requirements and design standards, respectively.

Applicant Presentation

Bob Downer was present on behalf of the applicant and offered additional information on the agreement between the Scanlon Family and the Fjords North neighborhood.

Public Comments

No comments were offered.

Questions and Comments

The Commission had no questions or comments on the application.

Recommendation to the City Council

Heisler moved, Staber seconded that the Planning Commission accept the three listed findings and forward the preliminary plat to the City Council with a recommendation for approval. The vote was: ayes –Heisler, Staber, Geneser, A’Hearn, Bathke; nays – none; absent – Vincent, Willer. Motion carried.

Solomons Entertainment District Preliminary Subdivision Plat

Staff Presentation

Rusnak presented the request of Pratt Real Estate Management, Inc. to approve a Preliminary Subdivision Plat for a 3-lot subdivision on approximately 8.82 acres. The property is located at the northwest corner of West Penn Street and North Jones Boulevard. Staff recommends the Planning Commission accept the following two findings:

1. The preliminary plat, which proposes commercial development, would achieve consistency with the Comprehensive Plan Future Land Map designation, which is Urban High Intensity; and
2. The preliminary plat, with conditions recommended by City staff, would achieve consistency with Section 180.11(3)(A) and 180.12 of the North Liberty Code of Ordinances, which sets forth the preliminary plat submittal requirements and design standards, respectively;

and forward the request of Pratt Real Estate Management, Inc. to approve a Preliminary Subdivision Plat for a 3-lot subdivision on approximately 8.82 acres with approval subject to the following conditions:

1. That development may proceed on Lots 1 and 2 without the right-of-way for Saratoga Place and corresponding roadway and infrastructure improvements being constructed and dedicated to the City of North Liberty. Said development shall abide by size and unit restrictions as described as follows:

Use	Max Size
Bowing Alley	36K SQ FT
Recreational Community Center	40K SQ FT
High Turnover Sit-Down Restaurant	9K SQ FT
Coffee/Donut Shop with Drive-Through window and no indoor Seating*	N/A

*One drive-through lane. Located within the Recreational Community Center
The City reserves the right to require an additional traffic study if changes to the development are requested by the developer.

2. That the right-of-way for Saratoga Place be dedicated to the City of North Liberty, roadway and infrastructure improvements constructed thereon and the traffic signal at the Saratoga Place/West Penn Street intersection be installed by the Developer and accepted by the City prior to development of Lot 3.

Applicant Presentation

Jon Marner, MMS Consultants, was present on behalf of the applicant and offered additional information on the application.

Public Comments

No comments were offered.

Questions and Comments

The Commission had no questions or comments on the application.

Recommendation to the City Council

A'Hearn moved, Geneser seconded that the Planning Commission accept the two listed findings and forward the preliminary plat to the City Council with a recommendation for approval subject to the conditions recommended by City staff. The vote was: ayes – Geneser, A'Hearn, Staber, Heisler, Bathke; nays – none; absent – Vincent, Willer. Motion carried.

Approval of Previous Minutes

Heisler moved, A'Hearn seconded to approve the minutes of the February 7, 2023 meeting. The vote was all ayes. Minutes approved.

Old Business

Rusnak reported that the Comprehensive Plan was adopted by the City Council.

New Business

Rusnak reported that April's agenda will be full.

Adjournment

At 6:49 p.m., Staber moved, Geneser seconded to adjourn. The vote was all ayes. Meeting adjourned.

Signed:

Tracey Mulcahey, City Clerk