



**North Liberty City Council
Regular Session
September 12, 2023**



City Administrator Memo



To **Mayor and City Council**
From **Ryan Heiar, City Administrator**
Date **September 8, 2023**
Re **City Council Agenda September 12, 2023**

Work Session

Included in the packet is a memo and supporting documents highlighting the implications of the recently passed property tax legislation, HF718, and outlining potential alternative revenue sources to lessen the anticipated revenue shortfall. Additionally, the memo provides the framework for a proposed updated billing structure for the stormwater utility. The work session is intended to share and discuss the enclosed information and determine if there is a consensus to proceed with any of the proposed recommendations.

Meetings & Events

Tuesday, Sep 12 at 6:00p.m.
City Council

Monday, Sep 18 at 7:00p.m.
Library Board

Tuesday, Sep 26 at 6:30p.m.
City Council

Consent Agenda

The following items are on the consent agenda and included in the packet:

- City Council Minutes (08/22/23)
- Claims
- Change Order #1, Penn Meadows Parking Lot Project, Midwest Concrete, (\$3,008.62)
- Change Order #2, Penn Meadows Parking Lot Project, Midwest Concrete, \$168,905.35*
- Pay Application #2, Penn Meadows Parking Lot Project, Midwest Concrete, \$205,729.65

***NOTE: The City Engineer will provide a summary of this change order prior to consideration of the consent agenda. Included in the packet is a written description of the changes.**

Youth Council

On Tuesday, 10 members, seven incumbents and 3 new, will be introduced and sworn in as Youth Councilors. The City's Outreach and Equity Coordinator, Micah Ariel James, will be in attendance to present the 2023-2024 Youth Councilors.

1 Steindler Way

At the time of preliminary site plan approval, private street names were not depicted on the Steindler Orthopedic Clinic site plan. Subsequently, through discussions with Steindler, it was revealed that a street name was desirable for branding. Since street naming requires approval by resolution, official action by the City Council is needed. The Planning Commission unanimously recommended approval of the street name "1 Steindler Way" at its September 5 meeting. Notably, "One Steindler Way" could not be used because it exceeded the maximum sign width. Staff recommends approval as well.

Sweetwater Lane

At the time of preliminary site plan approval, "Courtney Drive" was depicted on the Lot 5 – Water Tower Place townhouse site plan. Subsequently, it was discovered that the street name was determined to be similar to another street name "Cortney Lane" in North Liberty. The Planning Commission unanimously recommended approval of the new street name "Sweetwater Lane" at its September 5 meeting. Staff recommends approval as well.

Pratt Real Estate Management, Inc. Zoning Map Amendment

Pratt Real Estate Management, Inc. is requesting a zoning map amendment from RS-9 Single-Unit Residence District to RD-10 Two-Unit Residence District on 1.59 acres – west side of North Jones Boulevard approximately 465 feet south of 240th Street – to facilitate development of 12 two-unit residences on 12 lots. This would be a minor change, since the existing RS-9 zoning permits smaller lot sizes. It appears that smaller lot single-unit houses are not attracting first time home buyers as initially anticipated. This is one of three requests for two-unit zoning on the Council agenda. A virtual good neighbor meeting was held on July 18 where City staff, one member of the Planning Commission and the applicant attended. The Planning Commission unanimously recommended approval of the rezoning at its September 5 meeting. Staff also recommends approval.

Pratt Real Estate Management, Inc. Zoning Map Amendment

Pratt Real Estate Management, Inc. is requesting a zoning map amendment from ID Interim Development District and RS-9 Single-Unit Residence District to RD-10 Two-Unit Residence District Planned Area Development on 6.24 acres – southwest corner of North Jones Boulevard and 240th Street – to facilitate development of 48 two-family unit residences on 48 lots. Most of this property was left out of the initial Solomon's Landing rezoning because there was no development plan. Although, due to its location and the proposed development surrounding it, this portion of the development was intended to

be a stand-alone phase. Staff is generally supportive of a medium-density residential development in this location due to the existing residential development to the north, across 240th Street. The PAD is being requested to allow two-unit platted lots to be on a private street and to reduce lot size and setback requirements. Therefore, a preliminary site plan and preliminary plat are incorporated into the rezoning request. It is unclear why private streets are not permitted by right in the Subdivision Ordinance. A similar development with 48 two-unit residences on one lot (condominium ownership) would be permitted in the RM District without a PAD. Staff intends to explore allowing this type of development without the need for a PAD, perhaps as a future Zoning Ordinance amendment. A virtual good neighbor meeting was held on August 22 where City staff, one member of the Planning Commission and the applicant attended. The Planning Commission unanimously recommended approval of the rezoning at its September 5 meeting. Staff also recommends approval of the rezoning as well.

Scanlon Family, LLC Zoning Map Amendment

Scanlon Family, LLC is requesting a zoning map amendment from RS-6 Single-Unit Residence District to RD-8 Two-Unit Residence District on 5.28 – north side of Berkshire Lane as extended westerly 85' from its current terminus in Greenbelt Trail, Part 2 Subdivision – to facilitate development of 22 two-unit residences on 22 lots. This would be a minor change, since the property is currently approved for 14 RS-6 lots. It is staff's understanding that this request is due to the developer wishing to maintain a mix of single-unit and two-unit dwellings for Greenbelt Trail Part 3. The developer has indicated that the RD zoning (south of future Hemmingway Dr) would be limited to this location and that the adjacent property would remain RS-6, which would ensure compatibility with the Arlington Ridge Subdivision. Notably, the City Council denied a rezoning from RS-6 to RD-10 on this property in 2022. Since then, the new Comprehensive Plan has been adopted, which provides better guidance on land uses than the comprehensive plan in effect in 2022. The subject property and adjacent properties to the west and north are designed Urban Low Intensity (ULI) on the Future Land Use Map. ULI allows a general aggregate development density of 3 to 8 units per acre. While RD-8 is at the higher end of this density, it is staff's opinion that the location is appropriate due to its proximity to the future school and other RD zoned properties. Staff expects residential density to decrease (consistent with the existing RS-6 zoning) as development gets closer to Arlington Ridge. A virtual good neighbor meeting was held on July 18 where City staff, one member of the Planning Commission and the applicant attended. The Planning Commission unanimously recommended approval of the rezoning at its September 5 meeting. Staff also recommends approval.

Street Vacation

This City initiated request would vacate the portion of North Front Street between Cherry Street and North Dubuque Street. It is anticipated that the right-of-way would be divided between the property at 10 West Cherry Street, 325 North Dubuque Street and the new Civic Campus. The Planning Commission unanimously recommended approval of the vacation at its September 5 meeting. Staff also recommends approval.

Zoning Ordinance

This City initiated Ordinance amendment is a continued effort to modernize zoning regulations by adapting to land use trends and best planning practices. Giving citizens and developers flexibility while maintaining North Liberty's community standards is a primary consideration. Notably, the previous reorganization of the Zoning Ordinance into a use table and corresponding use regulations allows the City to achieve a higher-level of design standards. For example, additional standards would be added to the outdoor self-storage facility use, which would be applicable to a forthcoming preliminary site plan in a commercial district. The amendment is also the result of direct feedback from citizens and developers. The Planning Commission unanimously recommended approval of the ordinance amendment at its September 5 meeting.

West Penn Street Improvement Project

The City of North Liberty entered into a Chapter 28E agreement with Johnson County for the purposes of improving West Penn Street and James Avenue Northwest. That agreement contemplates that the City will acquire the necessary property interests for the project on behalf of both entities, and subject to final approval by Johnson County for those parcels situated in the county. State law requires the publication of certain notices, holding public hearings, and passing a resolution prior to the potential acquisition of agricultural land via eminent domain. Notice of a public hearing authorizing the use of eminent domain to acquire interests in certain agricultural property for the purpose of improving West Penn Street and James Avenue Northwest was published and sent to the affected landowners in accordance with state law in advance of this meeting. Approving the resolution is a precondition for the use of eminent domain to acquire the property necessary for the West Penn Street Improvement Project. The City will need to establish just compensation for each affected parcel prior to the exercise of eminent domain. While staff is hopeful that these acquisitions can be obtained through negotiation, being prepared for eminent domain is necessary to avoid project delays. Staff recommends approval.

West Side Fire Station Project Approval

Due to an error in the legal description, noting “west” instead of “east”, staff needed to resend and republish a notice pertaining to the potential condemnation of land for the future fire station. Further, two resolutions, one granting permission to proceed with the project and the other establishing a fair market value of the land need to be reconsidered by the City Council. Staff recommends approval of both resolutions.

The Preserve Part Three A Final Plat

The public improvements for The Preserve, Part Three A, which includes 22 (18 zoned RS-9 and four zoned RS-6) single-unit lots adjacent to St. Andrews Drive, have been completed and inspected. This is the second to last phase in The Preserve Subdivision. The final plat is consistent with the approved preliminary plat and staff recommends approval.

Assessment Resolution

Two properties are included on the assessment resolution, totaling \$382.85 for lawn mowing services. Staff recommends approval of the resolution.

Enhance Iowa (CAT) Grant Application

In August, the City Council approved a resolution supporting the Enhance Iowa grant for the Centennial Park: Next Stage Project. Iowa Department of Economic Development staff has asked that the resolution be amended to clarify the City’s financial support. Resolution 2023-105 is nearly identical to the resolution approved in August (2023-91), but for the deletion of the 6th WHEREAS referencing a \$5 million commitment. Staff recommends approval of the resolution, which will be submitted to IDEA after execution by the Mayor.



Agenda



CITY COUNCIL

September 12, 2023

6:00 p.m.

Work Session

6:30 p.m.

Regular Session

Council Chambers

1 Quail Creek Circle

1. Call to order

2. Roll call

3. Approval of the Agenda

Work Session

4. Property Tax Structure Revisions and revenues

Regular Session

5. Consent Agenda

A. City Council Minutes, Regular Session, August 22, 2023

B. City Hall Project, Pay Application Number 7, City Construction, \$631,442.76

C. Penn Meadows Parking Lot Project, Change Order Number 1, Midwest Concrete, (\$3,008.62)

D. Penn Meadows Parking Lot Project, Change Order Number 2, Midwest Concrete, \$168,905.35

E. Penn Meadows Parking Lot Project, Pay Application Number 2, Midwest Concrete, \$205,729.65

F. Claims

6. Public Comment

7. Engineer Report

8. City Administrator Report

9. Mayor Report

A. Welcoming Week Proclamation

10. Council Reports

11. Youth Council

A. Swearing in

12. 1 Steindler Way
 - A. Staff and Planning Commission recommendations
 - B. Resolution Number 2023-98, A Resolution authorizing and approving the name of the private street as "1 Steindler Way" in Steindler Medical Park Subdivision in the City of North Liberty, Johnson County, Iowa

13. Sweetwater Lane
 - A. Staff and Planning Commission recommendations
 - B. Resolution Number 2023-99, A Resolution authorizing and approving the name of the private street as "Sweetwater Lane" in Water Tower Place, Lot 5 in the City of North Liberty, Johnson County, Iowa

14. Pratt Real Estate Management, Inc. Zoning Map Amendment
 - A. Public Hearing regarding proposed rezoning
 - B. Applicant Presentation
 - C. Staff and Planning Commission recommendations
 - D. First consideration of Ordinance Number 2023-22, An Ordinance amending the Zoning Map District Designation for certain property located in North Liberty, Iowa from RS-9 Single-Unit Residence District to RD-10 Two-Unit Residence District

15. Pratt Real Estate Management, Inc. Zoning Map Amendment and Preliminary Subdivision Plat PAD
 - A. Public Hearing regarding proposed rezoning and Planned Area Development
 - B. Applicant Presentation
 - C. Staff and Planning Commission recommendations
 - D. First consideration of Ordinance Number 2023-23, An Ordinance amending the Zoning Map District Designation for certain property located in North Liberty, Iowa from ID Interim Development District and RS-9 Single-Unit District to RD-10 PAD Two-Unit Residence District Planned Area Development, and approving the Planned Area Development Preliminary Plat and waivers pursuant to Chapter 168.05(3)(B).

16. Scanlon Family, LLC Zoning Map Amendment
 - A. Public Hearing regarding proposed rezoning
 - B. Applicant Presentation
 - C. Staff and Planning Commission recommendations
 - D. First consideration of Ordinance Number 2023-24, An Ordinance amending the Zoning Map District Designation for certain property located

in North Liberty, Iowa from RS-6 Single-Unit Residence District to RD-8 Two-Unit Residence District

17. Street Vacation
 - A. Public Hearing regarding proposed street vacation
 - B. Staff and Planning Commission recommendations
 - C. First consideration of Ordinance Number 2023-25, An Ordinance vacating a portion of the North Front Street right of way in North Liberty, Iowa

18. Zoning Ordinance Amendments
 - A. Public Hearing regarding proposed Zoning Ordinance amendments
 - B. Staff and Planning Commission Recommendations
 - C. First consideration of Ordinance Number 2023-26, An Ordinance amending Chapters 139, 165, 166, 167, 168, 169 and 173 of the North Liberty Code of Ordinances, amending regulations for naming of streets, conditions for construction site plan approval, zoning map amendments, and required comprehensive plan components, adding new and updating definitions, amending certain residential districts and combining the C-2-A and C-2-B Zoning Districts, amending bulk requirements in certain residential and commercial districts, zoning use matrix and zoning use standards, off-street parking regulations, maximum fence height in residential districts, accessory structure standards, and permitted encroachments in required yards

19. West Penn Street Public Improvements
 - A. Public Hearing regarding the West Penn Street Public Improvements Project
 - B. Resolution Number 2023-100, A Resolution granting approval to proceed with a Public Improvement, the West Penn Street Improvement Project

20. West Side Fire Station
 - A. Public Hearing regarding the West Side Fire Station Project
 - B. Resolution Number 2023-101, A Resolution granting approval to proceed with a Public Improvement, the West Side Fire Station Project
 - C. Resolution Number 2023-102, A Resolution establishing fair market value and just compensation for the acquisition of certain property for the West Side Fire Station Project

21. Assessment Resolution
 - A. Resolution Number 2023-103, A Resolution assessing amounts owed to the City of North Liberty, Iowa to individual property taxes

22. The Preserve Part Three A Final Plat
 - A. Resolution Number 2023-104, A Resolution approving the Final Plat for The Preserve Part Three A in North Liberty, Iowa

23. Enhance Iowa Community Attraction and Tourism Grant
 - A. Resolution Number 2023-105, A Resolution authorizing and directing the City Administrator to sign, execute and submit application and associated documents for the Enhance Iowa – Community Attraction and Tourism Program

24. Old Business

25. New Business

26. CLOSED SESSION
 - A. Pursuant to Chapter 21.5 of the Iowa Code the City Council may go into closed session to discuss the purchase or sale of particular real estate, where premature disclosure could reasonably be expected to increase the price the governmental body would have to pay for that property or reduce the price the governmental body would receive for that property.

27. Adjournment



Work Session – Property Tax Legislation and Revenues



To **North Liberty Mayor & City Council**
CC **North Liberty Department Heads**
From **Ryan Heiar, City Administrator**
Date **September 7, 2023**
Re **HF718 and revenue options**

Introduction

The purpose of this memo and related attachments is to provide the City Council with the following:

- A summary of the negative financial impacts of the recently approved property tax legislation, referred to as HF718;
- An overview of other potential revenue sources available to the City to lessen the impact perpetuated by HF718;
- An analysis and recommendation to proceed with a 1% increase of the Utility Franchise Fee to fund Centennial Park Next Stage and other future park projects;
- An analysis and recommendation to proceed with a rate and billing restructure of the storm water utility.

HF718

During the 2023 state legislative session, the state made significant changes to the property tax system with promises that additional revisions further handcuffing local governments will follow. A few of the more crippling provisions in HF718 include:

- Consolidation of most general and special fund levies.
- Tax levy limitations based on growth tiers.
- New and/or expanded exemptions for military and homeowners aged 65+.
- Budget reporting and timelines.

A more detailed summary of HF718, as offered by the League of Cities, is attached.

The most impactful punch in HF718 is the tiered growth formula, which is intended to drive down a city's general fund tax levy. In short, if a city's annual growth in taxable value is under 3% there is no reduction multiplier applied; however, if the city's growth rate is between 3% and 5.99%, or 6% or greater, a 2% or 3% reduction multiplier is applied, respectively.

In anticipation of the FY25 budget, staff has developed a model to help understand the ramifications to the general fund budget.

Figure 1

2023 Legislative Property Tax Reform					
Projected Impacts					
	FY25	FY26	FY27	FY28	4-Year Total Projected Revenue Reduction
Previous Year Non-TIF Taxable Value (PYNTTV)	\$ 1,116,405,228	\$ 1,183,389,542	\$ 1,254,392,914	\$ 1,329,656,489	
Budget Year Non-TIF Taxable Value (BYNTTV)	\$ 1,183,389,542	\$ 1,254,392,914	\$ 1,329,656,489	\$ 1,409,435,878	
Growth Rate	106%	106%	106%	106%	
Previous Year General Fund Levy (PYGFL)	\$ 8.10000	\$ 7.86408	\$ 7.63503	\$ 7.41265	
If Growth is > 6% Multiply PYNTTV by 1.03	\$ 1,149,897,385	\$ 1,218,891,228	\$ 1,292,024,702	\$ 1,369,546,184	
Previous Year General Fund Property Taxes Certified (PYGFPTC) (with Utility Replacement Request)	\$ 9,042,882	\$ 9,306,267	\$ 9,577,324	\$ 9,856,275	
Adjusted City General Fund Levy (ACGFL) [(PYGFPTC ÷ PYNTTV) x 1,000]	\$ 7.86408	\$ 7.63503	\$ 7.41265	\$ 7.19675	
Projected General Fund Revenues with New Legislation	\$ 9,306,267	\$ 9,577,324	\$ 9,856,275	\$ 10,143,351	
Projected General Fund Revenues with Previous Legislation	\$ 9,585,455	\$ 10,160,583	\$ 10,770,218	\$ 11,416,431	
Projected Revenue Reduction	\$ (279,188)	\$ (583,259)	\$ (913,943)	\$ (1,273,080)	\$ (3,049,470)

Figure 1 calculates the reduction in the tax levy over the next four years, which is the effective time period of HF718. The taxable value growth rate used in this model is 6%, a reasonable estimate given previous year's growth. This illustration shows general fund revenues modestly increasing each year; however, the projected revenue increase is drastically less when compared to pre FY24 calculations. The bottom line of Figure 1 provides the difference in revenues each year. In a four-year period, the cumulative reduction in revenue totals over \$3 million. This is a significant number.

Another variable within HF718 that has not been calculated yet is the expanded exemptions for military and senior homeowners. Jonson County is trying to evaluate this variable; however, it is a complex process. These exemptions will add to the reduced revenues as outlined above.

And finally, it is anticipated that the rollback will drop approximately 6%+, from 54% to 48% in FY25. This calculation is not part of HF718; rather the rollback, which fluctuates annually, has been in place since the 70's. As a point of reference, the largest year to year change to the rollback in the last two decades was 2.28%. This too, will impact the general fund's ability to generate sustainable revenue.

Fortunately, there are several levies that will not be consolidated into the city's new adjusted general fund levy, and which the City can use to offset the legislative growth restrictions. For North Liberty, those levies include:

- FICA & IPERS
- Other Employee Benefits
- Liability, property & Self Insurance Costs
- Support of a Local Emergency Management Commission

Considering the projections in Figure 1, it is anticipated that the four unconsolidated levies noted above could generate the necessary revenue to fill the funding shortfall created by HF718 for fiscal years 25, 26 and 27, as shown in Figure 2. In year four, however, the unconsolidated levies can no longer keep up with the legislative imposed growth restrictions.

Figure 2

Levies NOT Impacted*	FY25	FY26	FY27	FY28
Trust & Agency				
Funds Available	\$ 630,000	\$ 661,500	\$ 694,575	\$ 729,304
Funds Needed to Cover Reduction	\$ 279,188	\$ 583,259	\$ 694,575	\$ 729,304
Potential Tax Rate	\$ 0.23592	\$ 0.52735	\$ 0.52237	\$ 0.51744
Property & Liability Insurance				
Funds Available	\$ 239,400	\$ 251,370	\$ 263,939	\$ 277,135
Funds Needed to Cover Reduction	\$ -	\$ -	\$ 219,368	\$ 277,135
Potential Tax Rate	\$ -	\$ -	\$ 0.16498	\$ 0.19663
EMA				
Funds Available	\$ 11,550	\$ 12,128	\$ 12,734	\$ 13,371
Funds Needed to Cover Reduction	\$ -	\$ -	\$ -	\$ 13,371
Potential Tax Rate	\$ -	\$ -	\$ -	\$ 0.00949
Tax Rate	\$ 8.10000	\$ 8.16237	\$ 8.10000	\$ 7.92030
Additional Funds Generated	\$ 279,188	\$ 583,259	\$ 913,943	\$ 1,019,810
Funding Shortfall	\$ (0)	\$ (0)	\$ 0	\$ (253,270)

While these projections offer some clarity as staff plans for FY25, it is difficult, arguably impossible, to plan for future years as the governor and legislature have made it clear that

further, more aggressive adjustments to the property tax system will be looming. That said, the following paragraphs will highlight currently available options for alternative funding streams.

Capital Projects Levy (Referendum required)

One tool that remains untouched by HF718 is the Capital Projects Levy, which, upon a successful vote of the community, could generate up to \$730k annually (a \$0.675 tax levy). This revenue source is required to be used for capital projects as determined by

the City Council. As the community center, pool and other city facilities continue to age, this levy may be a future option to fund larger scale maintenance and repair projects.

Local Option Sales Tax (LOST)

Another referendum required funding stream, which has gathered some attention in previous years, is the Local Option Sales Tax. North Liberty, along with most of the other Johnson County cities, is one of only a handful of cities across the state that does not utilize this revenue source. In the last 15 years, the city has held two referendums for a LOST, both times ending in defeat. There are numerous variables when computing the potential revenue capabilities of this tax, thus the anticipated revenue is difficult to estimate. At a minimum, annual revenue would likely top \$1 million. State code requires 50% of all LOST generated to be used for property tax relief, while the remaining 50% can be used for any other lawful purpose but must be described in the ballot language.

Service Charges and fees

The city charges fees for various services, such as building and zoning permits, recreation programs, access to the swimming pool and other recreational facilities, site plan review, etc. Occasionally, these fees may need to be adjusted; however, it's fair to say that the city is not aggressive when considering increases. For example, in the last 15 years, site plan review and zoning fees have not increased. Recreation center fees have been adjusted twice since 2004, with the last increase coming in 2018. It is not uncommon for cities to subsidize these services and programs with tax revenue; however, if the state continues to diminish the city's abilities to generate revenue, stronger consideration for fee increases should be considered. Currently, the recreation team is evaluating fees at the recreation center. It is too early in the process to determine if a fee increase will be recommended.

Utility Franchise Fee

A Franchise Fee allows the City to collect up to 5% of a gas and/or electric bill of a property within the corporate limits. North Liberty currently collects a 2% fee and revenues are trending upward due to growth of accounts and the recent increase in gas and electric rates. Figure 3 identifies actual revenues for fiscal years 22 and 23.

Figure 3

	FY22	FY23
	Actual	Actual (unaudited)
Revenues		
Alliant Energy	\$ 169,656	\$ 182,567
Linn County REC	\$ 115,388	\$ 159,763
MidAmerican Energy	\$ 67,604	\$ 118,773
Total Revenues	\$ 352,649	\$ 461,103

Staff is recommending a 1% increase in the Franchise Fee to help fund the Centennial Park project, as well as future park capital projects. As general fund revenues dwindle, these fees will be even more imperative to fund park projects.

Figure 4 provides a projection of revenues with a one percent increase, effective January 1, 2024.

Figure 4

	FY24	FY25	FY26	FY27	FY28
	Budget	Estimated	Estimated	Estimated	Estimated
Revenues					
Alliant Energy	\$ 230,491	\$ 279,355	\$ 282,148	\$ 284,970	\$ 287,820
Linn County REC	\$ 201,701	\$ 244,461	\$ 246,906	\$ 249,375	\$ 251,869
MidAmerican Energy	\$ 149,951	\$ 181,741	\$ 183,558	\$ 185,393	\$ 187,247
Total Revenues	\$ 582,143	\$ 705,557	\$ 712,612	\$ 719,738	\$ 726,936

Stormwater Utility

The city has had a storm water utility for over two decades and in that time, rates have rarely been adjusted. The current rate, which is a flat fee of \$2 for each utility account, has not been adjusted since 2000. Moreover, the flat fee rate is an outdated and inequitable billing structure. In the last 24 months, staff has made a monumental effort in collecting impervious surface data, via GIS, throughout the city and is ready to recommend a change in the billing structure for the stormwater utility. Instead of billing a flat fee, staff is proposing to bill based on the amount of impervious surface on a lot. This method is considered a best practice and is used widely across the United States with great success.

The proposed billing structure would establish an equivalent residential unit (ERU) of 3,500 square feet. The ERU was calculated by reviewing amounts of impervious surfaces on various single-unit, two-unit and townhome lots. As described in Figure 5, single-unit, two-unit and townhome lots would be charged for one ERU. Multi-unit and manufactured housing would be charged 75% of an ERU and mixed use residential 62.5% of an ERU. Larger, nonresidential properties would be billed \$4 for the first ERU and \$1 for subsequent ERU's.

Figure 5

Rate Structure

	Current Rate	Rate for first ERU			Rate/Additional ERU		
		Year 1	Year 2	Year 3	Year 1	Year 2	Year 3
Single-Unit, Two-Unit & Townhomes	\$ 2.00	\$ 3.00	\$ 4.00	\$ 4.00	n/a	n/a	n/a
Multi-Unit & Manufactured Homes	\$ 2.00	\$ 2.50	\$ 3.00	\$ 3.00	n/a	n/a	n/a
Mix Used, Residential	\$ 2.00	\$ 2.25	\$ 2.50	\$ 2.50	n/a	n/a	n/a
Commercial & Industrial	\$ 2.00	\$ 3.00	\$ 4.00	\$ 4.00	\$ 0.33	\$ 0.66	\$ 1.00

The proposal suggests a two-year phase in for the rate increase for the first ERU and a three-year phase in for the rate for additional ERU's. This approach will soften the impact for larger impervious surface owners. The three-year revenue projection is described below in Figure 6.

Figure 6

Current Revenue Summary			
	# of Accounts	Current Monthly Revenue	Current Annual Revenue
Single-Unit, Two-Unit & Townhomes	6,424	\$ 12,848	\$ 154,176
Multi-Unit & Manufactured Homes	2,288	\$ 4,576	\$ 54,912
Mix Used, Residential	353	\$ 706	\$ 8,472
Commercial & Industrial	489	\$ 978	\$ 11,736
TOTALS	9,554	\$ 19,108	\$ 229,296
Proposed Revenue Summary (Year 1)			
	Proposed Monthly Revenue	Proposed Annual Revenue	Additional Annual Revenue
Single-Unit, Two-Unit & Townhomes	\$19,272	\$ 231,264	\$ 77,088
Multi-Unit & Manufactured Homes	\$5,720	\$ 68,640	\$ 13,728
Mix Used, Residential	\$794	\$ 9,531	\$ 1,059
Commercial & Industrial	\$2,176	\$ 26,117	\$ 14,381
TOTALS	\$ 27,963	\$ 335,552	\$ 106,256
Proposed Revenue Summary (Year 2)			
	Proposed Monthly Revenue	Proposed Annual Revenue	Additional Annual Revenue
Single-Unit, Two-Unit & Townhomes	\$25,696	\$ 308,352	\$ 77,088
Multi-Unit & Manufactured Homes	\$6,864	\$ 82,368	\$ 13,728
Mix Used, Residential	\$883	\$ 10,590	\$ 1,059
Commercial & Industrial	\$3,921	\$ 47,051	\$ 20,933
TOTALS	\$37,363	\$448,361	\$112,808
Proposed Revenue Summary (Year 3)			
	Proposed Monthly Revenue	Proposed Annual Revenue	Additional Annual Revenue
Single-Unit, Two-Unit & Townhomes	25,696	\$ 308,352	\$ -
Multi-Unit & Manufactured Homes	\$6,864	\$ 82,368	\$ -
Mix Used, Residential	\$883	\$ 10,590	\$ -
Commercial & Industrial	\$5,496	\$ 65,948	\$ 18,897
TOTALS	\$38,938	\$467,258	\$18,897

To offer an additional frame of reference, attached is a spreadsheet comparing rates, revenue/per capita, annual revenue, use of funds and other stormwater data from MS4 cities throughout Iowa.

Summary

Much of the information in this memo is for informational purposes and to prepare Council as FY25 budget discussions begin later this year. There are two issues however, that will need further discussion and potential action by the City Council. Staff recommends consideration of a 1% franchise fee increase and a restructure of the stormwater utility billing. If there is consensus to move forward, staff will provide additional information and ordinances for the City Council to consider in November.

In the meantime, if you have questions or desire additional data, please contact me.

HF 718



Updated on June 29, 2023



Posted on May 12, 2023

HF 718 Analysis

***Important Disclaimer: the HF 718 analysis on this page is our current “unofficial” understanding of the new law. As we continue to learn more, we will update this page.**

[League’s Cityscape Article on HF 718](#)

[HF 718 recording](#) from June 28

[HF 718 presentation slide deck](#)

Summary of the New Property Tax Law

In our analysis, divisions 2, 5, 6, 7, 8, 9, 10, 13, and 14 include impacts on city governments. At a high level, HF 718 includes:

- Consolidation of levies and creation of a newly-defined adjusted city general fund levy (ACGFL)
- Levy limitation based on property tax valuation growth “tiers”
- New homestead exemption for residential property owners of age 65 or more
- Military service exemption expansion
- Property tax abatement agreements and limits
- Regional transit funding
- County auditor reports to distinguish revaluation and other additions to the tax base
- Required statement to be mailed to each property owner
- Changes to the budget timelines, forms, hearings and processes
- Single date annually for bond elections
- Bond financing (new general corporate purpose bonding limitations) and reporting requirements

Below is a summary containing a basic analysis of each division of the bill that the League believes impacts cities. Again, please note that this is an unofficial analysis, and is subject to updates.

Please check back to see any new updates or Q&A as we move forward.

Division II: New General Fund Levy & Levy Limitations

Division II creates a new adjusted city general fund levy (ACGFL) that combines several current levies into one. This new ACGFL is then subject to potential limitation or reduction for fiscal years 25-28, depending upon the city's non-TIF taxable valuation growth compared to the previous year. Beginning in fiscal year 29 (FY 29) all cities go to a \$8.10 ACGFL maximum going forward and the levy limitation calculation ceases. (For clarity, those cities under \$8.10 in FY28 will be allowed to go up to the \$8.10 maximum beginning in FY29; those cities above the \$8.10 in FY28 will be reduced to a maximum of \$8.10).

What Levies are Combined?

The levies combined include Section 384.1 – the current general fund levy (up to \$8.10) for FY 24, Section 384.8 – the emergency levy (up to \$0.27) for FY 24, any amount levied under Section 24.48 (appeal) for FY 24, and any amount levied for FY 24 from Section 384.12 subsections:

- 384.12 (1) Instrumental/Vocal Music Groups
- 384.12 (2) Memorial Buildings
- 384.12 (3) Symphony Orchestra
- 384.12 (4) Cultural & Scientific Facilities
- 384.12 (5) County Bridge
- 384.12 (6) Mississippi or Missouri River Bridge Construction
- 384.12 (7) Bridge Purchase
- 384.12 (8) Contract for Use of Bridge
- 384.12 (9) Aid to a Transit Company
- 384.12 (11) Rent, Insurance, Maintenance of Civic Center
- 384.12 (12) Operation & Maintenance of City-owned Civic Center
- 384.12 (13) Planning a Sanitary Disposal Project
- 384.12 (15) Levee Improvement Fund in a Special Charter City
- 384.12 (16) Maintain Institution Received by Gift/Devise
- 384.12 (18) City Emergency Medical District
- 384.12 (20) Support Public Library

What Levies are not included in the new ACGFL limitation?

Debt service, pensions, employee benefits, operation and maintenance of a municipal transit system or regional transit district, aviation authority, tort and self-insurance, capital improvement reserve fund, support for a local emergency management commission, emergency services

districts, and a levy to exceed a maximum amount set in Code with narrow/newly-defined parameters.

Important Timing Notes:

The baseline ACGFL year is FY 24; the first annual ACGFL adjustment will be for the FY 25 budget year. This legislation consolidates the levies into a new ACGFL permanently. However, the levy limitation calculation (deriving the next year's maximum ACGFL levy) is limited to a four-year period (FYs 25-28). Beginning with FY 29, cities would be able to select a levy rate for the ACGFL of up to \$8.10, regardless of their growth or previous ACGFL rate. **Note: if a city's ACGFL were above \$8.10 in FY 28, they would be required to reduce to \$8.10 beginning in FY 29.**

Note that the assessment process generally applies every other year for most properties. For that reason, growth rates might vary year-to-year.

Calculating the New Adjusted City General Fund Levy (ACGFL)

The steps below show how to calculate your next-year ACGFL.

1. Find your city's non-TIF taxable value including gas & electric (and excluding ag land and ag building) on which property taxes are calculated for the current fiscal year. This is the amount on line 2a of your budget certification page (which can be found here: <https://dom-localgov.iowa.gov/budget-search>). For example, to calculate the new ACGFL in FY 25, you will begin with the line 2a value from the FY 24 budget certification page.
2. Identify your non-TIF taxable value including gas & electric on which property taxes are calculated for the next budget year, and calculate growth compared to the current budget year (step #1 above). This is the amount you would enter on line 2a of your budget certification page. To do this, divide the next-year non-TIF taxable growth by the current-year non-TIF taxable growth. For example, when calculating the new ACGFL in FY 25, this would be dividing line 2a for FY 25 by the line 2a value for FY 24.
3. The baseline year for the ACGFL is FY 24; the levy limitation begins with the FY25 budget year. Calculate your baseline general fund levy (ACGFL). To do this, go to your city's budget certification page (page 1 of your FY 24 budget). The budget archives can be found: <https://dom-localgov.iowa.gov/budget-search>.

From there, combine (sum) all of the levy rates for the levies being merged. In addition to your existing regular general fund levy (up to \$8.10), these are Section 384.12 subsections 1, 2, 3, 4, 5, 6, 7, 8, 9, 11, 12, 13, 15, 16, 18 and 20; the emergency levy (Section 384.8); and any amount levied under Section 24.48 (appeal) for FY 24.

As you plan your FY 25 budget, use the FY 24 baseline ACGFL you just calculated. For your FY 26-28 budgets, use the current year ACGFL as you prepare your next year's budget. For example, when preparing your FY26 budget, look up your FY 25 ACGFL for this step.

4. Based on the result of steps #2 and #3, follow the applicable option:

Tier I: your city's growth rate from step #2 above is less than 3%

- If your city's ACGFL from step #3 is greater than \$8.10 AND your non-TIF taxable value growth from step #2 is less than 1.03, stop. You may use your calculated ACGFL for the current year as a maximum ACGFL for the next budget year.
- If your city's ACGFL from step #3 is less than \$8.10 AND your non-TIF taxable value growth from step #2 is less than 1.03, stop. \$8.10 is your maximum ACGFL for the next budget year.

Tier II: your city's growth rate from step #2 above is between 3%-5.99%

- If your non-TIF taxable value growth from step #2 is between 1.03 and 1.059, multiply your step #1 result by 1.02. Continue to step #5.

Tier III: your city's growth rate from step #3 above is 6% or greater

- If your non-TIF taxable value growth from step #2 is 1.06 or greater, multiply your step #1 result by 1.03. Continue to step #5.

5. Sum the 'property taxes certified' (with utility replacement request) that are generated by the levies you combined in step #3 for the current year. These are found on your budget certification pages on the same lines as the combined levies.

6. Calculate the following:

$1,000 * (\text{amount from step \#5} / \text{amount from step \#4})$

This is your new maximum ACGFL for the next year's budget, for FYs 25-28. Remember that beginning with FY 29, all cities select an ACGFL of up to \$8.10. (Note: this is regardless of growth from the previous year. And, for FY 29, a city whose ACGFL was previously above \$8.10 would be reduced to \$8.10 going forward).

Division V: Homestead Property Tax Credit & Exemption

Division V creates a new homestead exemption for property owners aged 65 and over, in addition to the current homestead credit. This additional exemption is \$3,250 for FY 25 and increases to \$6,500 beginning FY 26 and forward. The current homestead credit will continue to be state-funded, however, there is no state reimbursement for the exemption created in this division. This will result in a reduction in taxable value for local government.

Division VI: Military Property Tax Credit & Exemption

Division VI increases the military service exemption for eligible property owners to \$4,000 beginning FY 25. The military exemption will not be funded by the state in any amount for FYs beginning FY 25 and forward. This will result in a reduction in taxable value for local governments.

Division VII: Property Tax Abatement Agreements and Limits

Division VII requires that minimum assessment agreements for commercial properties be created and agreed upon in writing before the projects are eligible for property tax abatement under a revitalization area established under Chapter 404. The agreement must contain specified information, including a minimum actual value for the completed improvements, and must be certified by the assessor. This applies to revitalization areas created in FY 25 and after, and for first-year exemption applications in existing revitalization areas filed on or after July 1, 2024.

In addition, Division VII prohibits property tax abatement for the school district portion of revitalization areas for residential projects established under Chapter 404, beginning with revitalization areas created in FY 25 and after, and for first-year exemption applications in existing revitalization areas filed on or after July 1, 2024.

Cities are encouraged to consult their bond counsel on the potential impact of this provision of the legislation.

Division VIII: Transit Funding

Allows the city of Des Moines to go up to 7.5% franchise fees, with any portion above 5% required to be dedicated to regional transit (DART).

Division IX: County Auditor Evaluation Reports

Beginning with assessment year 24 (AY 24 or FY 26), annual county auditor reports must distinguish such values as revaluation or other types of addition to the value within the abstract to be provided to the Iowa Department of Management.

Division X: Local Government Budgets and Taxpayer Statements

Division X requires that county offices mail each property taxpayer an annual statement and change the budget process and timelines. All political subdivisions, including cities, must file a report annually by **March 15** with the Iowa Department of Management (DOM) containing the information specified in the new law to be included in the mailings. Then, by **March 20** (annually), the county auditor, using the information compiled and calculated by DOM, must send to each property owner or taxpayer within the county by regular mail an individual statement with the specified information (see below) broken out by political subdivision comprising the taxpayer's taxing district.

Division X requires political subdivisions to hold a public hearing on the proposed property tax amounts for the budget year and new taxpayer statements. This is a hearing in addition to the public hearing required under *Code of Iowa* Section 24.9 (to approve the annual budget) and must be separate from any other meeting of the governing body, including any other meeting or hearing related to the political subdivision's budget. No other business unrelated to the new hearing requirements can be discussed at the meeting at which this hearing is held. At the hearing, the

political subdivision shall receive oral or written testimony from any resident or property owner of the political subdivision. After all, testimony has been received and considered, the governing body may decrease, but not increase, the proposed property tax amount to be included in the political subdivision's budget.

Notice of the public hearing shall be published not less than ten nor more than twenty days prior to the hearing in a newspaper published at least once weekly and having general circulation in the city. However, if the city has a population of two hundred or less, publication may be made by posting in three public places in the city.

Notice of the hearing shall also be posted and clearly identified on the political subdivision's internet site for public viewing beginning on the date of the newspaper publication and shall be maintained on the political subdivision's internet site with all prior year notices and copies of the statements mailed. Additionally, if the political subdivision maintains a social media account on one or more social media applications, the public hearing notice or an electronic link to the public hearing notice shall be posted on each such account on the same day as the publication of the notice.

The law states that a municipality shall not certify or levy in any fiscal year a property tax unless and until the estimates have been made, filed, and considered. The verified proof of publication of the notice shall be filed in the office of the county auditor and preserved by the auditor. It clarifies that the levy will not be valid unless notice is published, mailed, and filed. However, the bill states that "failure of an owner or taxpayer to receive a statement under section 24.2A shall not invalidate a levy."

This division also repeals Sections 331.433A and 384.15A. The League is working to confirm that this means that it repeals the pre-existing "Maximum Property Tax to Levy" notice and hearing.

This division moves the city's budget certification deadline to **April 30** annually, beginning with the FY 25 budget.

The new statements to be mailed to each property owner or taxpayer must include:

1. The sum of the current fiscal year's actual property taxes certified for a levy for all of the district's levies and the combined property tax rate per \$1,000 for such tax amount for the current fiscal year;
2. The combined effective property tax rate for the district calculated using the sum of the current fiscal year's actual property tax certified for levy of all of the district's levies above;
3. The combined amount of the property tax dollars to be certified for all of the district's levies for the budget year and the proposed combined property tax rate per \$1,000 for such levies;
4. If the property tax dollars specified under (3) exceed the current fiscal year's actual property tax dollars certified for levy specified in (1), a detailed statement of the major reasons for the increase, including the specific purposes or programs for which the district is proposing an increase;
5. An example comparing the amount of property taxes on a residential property with an actual

value of \$100,000 in the current fiscal year and such amount on the residential property using the proposed property tax dollars for the budget year, including the percentage difference in such amounts;

6. An example comparing the amount of property taxes on a commercial property with an actual value of \$100,000 in the current fiscal year and such amount on the commercial property using the proposed property tax dollars for the budget year, including the percentage difference in such amounts;

7. The district's percentage of total property taxes certified for levy in the owner's or taxpayer's taxing district in the current fiscal year among all taxing authorities;

8. The date, time, and location of the district's public hearing on the information contained in the statements.

9. Information on how to access the political subdivision's internet site, the political subdivision's statements under this section, and other budget documents for prior fiscal years.

Division XIII: Bond Elections

Division XIII requires that all elections on the question of issuing bonds or other indebtedness are to be held on the first Tuesday after the first Monday in November (once annually), beginning with elections occurring on or after July 1, 2023. The Commissioner of Elections is required to mail notice to each registered voter in the jurisdiction, including the full text of the public measure to be voted on at the election. This notice must be mailed not less than ten nor more than twenty days before the election.

Division XIV: City Bond Financing & Annual Finance Report (AFR) Requirements

Division XIV includes a 30% increase to the limits to enter into loan agreements payable from the general fund and a 30% increase to the limits for general corporate purpose reverse referendum thresholds. This division is effective beginning with FY 25. It also adjusts related population definitions.

This division adds the requirement that an estimate of the annual increase in property taxes as the result of the bond issuance of a residential property with an actual value of \$100,000 be added to the notice of proposed action to issue a bond for an essential corporate purpose.

Beginning with the annual financial report published by December 1, 2025, each report shall include a list of bonds, notes, or other obligations issued by the city during the most recently completed fiscal year, and the applicable lists for other fiscal years beginning on or after July 1, 2024, for which obligations remain unpaid, payable from any source, including the amount of the issuance, the project or purpose of the issuance, whether the issuance was approved at the election, eligible to be subject to a petition for an election, or was exempt from the approval at the election as the result of statutory exclusions based on the population of the city or amount of the issuance, and identification of issuances from the fiscal year or prior fiscal years related to the same project or purpose.

FAQ:

Q: We thought that the FICA/IPERS levy budget line could not be used unless the general fund was at its maximum? How does HF 718 impact this?

A: Iowa's Administrative Code 545.4.2 (see below/link). As the admin code refers to the "tax rate limit of that fund," the newly calculated general fund limit (ACGFL) will apply to each individual city. For example, if a city's ACGFL was limited to \$6.00 in a budget year, then that city must choose to use the full \$6.00 ACGFL before using the FICA/IPERS line. The ACGFL would **not** need to be at \$8.10 in order to use the FICA/IPERS line unless that was the city's calculated ACGFL limit.

Reference:

545—4.2(384) Mandatory procedures. These employee benefits must be budgeted in the city general fund up to the tax rate limit of that fund with the excess being budgeted in the trust and agency fund for those employees being paid from the city general fund: 1. Employer's share of FICA under *Code of Iowa* Section 97C.10. 2. Employer's share of IPERS under *Code* Section 97B.9.

<https://www.legis.iowa.gov/docs/iac/rule/11-22-2006.545.4.2.pdf>

Street Address

500 SW 7th Street, Suite 101
Des Moines, IA 50309-4506

Remit Payments to

PO Box 8296
Des Moines, IA 50301
Phone (515) 244-7282
Fax (978) 367-9733

©2023 Iowa League of Cities

Storm Water Rates, Revenues and Uses Comparison of MS4 Cities

City	Population	Rates				ERU Size	ERU Cap on C/I	Highest Monthly Bill	Annual Revenue	Revenue/Capita	Revenue Uses
		Single-Unit, Two-Unit & Townhouse	Manufactured Home Park (if specified)	Multi-Unit	Commercial/ Industrial						
Altoona	21,503	\$6.00/ERU		\$6.00/ERU	\$6.00/ERU	4,000			\$ -	Cover costs of stormwater services provided throughout the city.	
North Liberty	21,399	\$2.00 FF	\$2.00 FF	\$2.00/unit	\$2.00 FF	N/A	N/A	\$ 2.00	\$ 229,296	\$ 10.72	Staffing, small system improvement projects, community grants, equipment, manhole repair.
North Liberty (proposed)	21,399	\$4.00 FF	\$3.00 FF	\$3.00/unit	\$4.00 + \$1.00/ERU	3,500	N/A	\$ 376.42	\$ 454,758	\$ 21.25	
Iowa City	75,233	\$5.5 FF		\$2.75/unit				\$ 1,578.22	\$ 1,704,329	\$ 22.65	Public education, storm sewer inspection, cleaning, maintenance/repair, and administrative costs associated with storm water management. In addition, projects to help improve water quality and reduce flooding. Funding for new storm sewer construction, separation of combined sewers, modification of existing troubled systems.
Coralville	23,125	\$3.00 FF		\$3.00/unit	\$3.00 + (\$1.40 * (SF Impervious Surface/3440))	3,440	N/A	\$ 396.61	\$ 569,910	\$ 24.64	Public education and outreach. Illicit discharge detention and elimination (reporting pollution into a storm drain or waterway). Construction site stormwater runoff control. Post-construction stormwater management. Pollution prevention and good housekeeping.
Marion	41,864	\$5.17 FF	\$3.50 + (\$1.65 * (SF Impervious Surface/2791))	\$3.50 + (\$1.65 * (SF Impervious Surface/2791))		2,791	N/A	\$ 1,110.00	\$ 1,200,000	\$ 28.66	Help support storm sewer inspection, cleaning, maintenance/repair of the city's storm/surface water pipes and public education.
Ames	66,950	\$5.2 FF	\$5.20 - 150 - 10,000 10.40 - 10,001 - 30,000 15.60 - 30,001 - 90,000 46.80 - Greater than 90,000	\$5.20 - 150 - 10,000 \$10.40 - 10,001 - 30,000 \$15.60 - 30,001 - 90,000 \$46.80 - Greater than 90,000		N/A	4	\$ 46.80	\$ 1,946,539	\$ 29.07	Address aging infrastructure, rehabilitation and maintenance work as well as education/outreach activities and compliance with state and federal stormwater runoff regulations.
Pleasant Hill	11,186	\$5.5 FF		\$5.5/unit	\$5.5 FF	3,500	65	\$ 358.00	\$ 360,000	\$ 32.18	Operations and maintenance costs of the storm water management programs and facilities. Some of the services tied to the storm water management program include the provision of adequate systems of collection, conveyance, detention, treatment, and release of stormwater; the reduction of hazard to property and life resulting from stormwater runoff and flooding; improvement in general health and welfare through reduction of undesirable stormwater conditions and flooding; and improvement to the water quality in the stormwater and surface water systems and its receiving waters.
Asbury	5,977	\$8.00 FF		\$8.00/unit	\$15 - 0-20,00 \$25 - 20,001 - 40,000 \$45 - 40,001 - 60,000 \$85 - 60,001 - 80,000 \$175 - 80,001 - 100,000 \$330 - Greater than 100,000	N/A	N/A	\$ 330.00	\$ 195,086	\$ 32.64	Provide for the management, protection, control, regulation, use and enhancement of stormwater management systems and facilities.
Hiawatha	7,161	\$4.75 FF	\$3.95 FF	\$4.25 + (SF Impervious Surface/6.50)	\$4.25 + (SF Impervious Surface/6.50)	10,000	N/A	\$ 229.75	\$ 293,400	\$ 40.97	Operation and maintenance of the storm water management facilities.
Norwalk	14,177	\$7.50 FF	SF Impervious Surface/3000	SF Impervious Surface/3000		3,000	N/A	\$ 1,500.00	\$ 600,116	\$ 42.33	Stormwater maintenance and repair.
Bondurant	8,710	\$6.59/ERU		\$6.59/ERU	\$3.25/ERU	2,450	N/A	\$ 3,139.50	\$ 402,401	\$ 46.20	Inspection of construction sites and post-construction stormwater facilities. Public education and outreach on stormwater impacts and water quality management. Enforce a discharge detention and elimination program. Maintain pollution prevention and good housekeeping program.
Johnston	24,390	\$7.05/ERU		\$7.05/ERU	\$7.05/ERU	4,000	4 - Residential 40 - C/I	\$ 282.00	\$ 1,130,000	\$ 46.33	Exclusive use of managing and improving the city's stormwater management infrastructure (storm sewer, creeks, drainage ways, etc.)
Grimes	16,295	6.38 FF	\$3.19 FF	\$3.19/unit	\$6.38*(Impervious Surface/10,000)	10,000	40	\$ 255.20	\$ 758,732	\$ 46.56	To ensure that appropriate resources are available to manage the storm water within Grimes and to provide a stable funding source to maintain compliance with the MS4 permit required by the Iowa Department of Natural Resources (DNR)
Urbandale	46,648	\$7.00 FF	\$7.00 FF	Impervious Surface/3200 7.00/ERU up 100 ERUs \$6.00/ERU over 100 ERUs	Impervious Surface/3200 \$7.00/ERU up 100 ERUs \$6.00/ERU over 100 ERUs	3,200	N/A	\$ 2,800.00	\$ 2,200,000	\$ 47.16	Operations and maintenance costs of the storm water management programs and facilities. Services tied to the storm water management program include the following: Illicit discharge detection and elimination; Improving water quality; Public education and outreach; Stormwater sewer system maintenance, repairs and construction.
Ankeny	72,222	\$6.50*(Impervious Surface)/(4000)		\$6.50*(Impervious Surface)/4000)	\$6.50*(Impervious Surface)/4000)	4,000	4 - single & two-family 80 - multi, commercial & industrial	\$ 520.00	\$ 3,411,607	\$ 47.24	Construction, maintenance and operation of the stormwater management systems and facilities.
Marshalltown	27,433	\$4.00 FF		SF Impervious Surface/2800	SF Impervious Surface/2800	2,800	N/A	\$ 3,782.40	\$ 1,328,226	\$ 48.42	Provide for safe and efficient capture of storm water runoff, mitigate the damaging effects of storm water runoff, correction of storm water related problems, fund activities of storm water management and include design, planning, regulations, education, coordination, construction, operations, maintenance, inspection and enforcement activities.
Waukee	29,167	\$6.75 FF		\$6.75/unit	SF Impervious Surface/2973	2,973	N/A	\$ 3,192.75	\$ 1,435,500	\$ 49.22	Operations and maintenance of stormwater management and facilities: System maintenance, repairs and construction; Illicit discharge detection and elimination; Public education and outreach; Improving water quality.
Cedar Rapids	136,429	\$7.25/ERU		\$7.25/ERU	\$7.25/ERU	4,356	N/A	\$ 6,971.00	\$ 7,800,000	\$ 57.17	Used to pay for capital improvements, operations, maintenance, and meeting federal/state permit obligations.
Bettendorf	39,548	\$6.60*(SF Property*30%)/2500))		\$6.60* (SF Impervious Surface/2500)	\$6.60* (SF Impervious Surface/2500)	2,500	N/A	\$660+	\$ 2,547,662	\$ 64.42	Fund the City of Bettendorf's stormwater management program. The costs associated with storm water management include: personnel, maintenance, vehicles, equipment and infrastructure improvement projects.
Clive	18,908	\$5.58 FF 0-3100 SF \$11.15 FF 3100 - 5100 SF \$16.73 FF over 5100 SF		\$5.58 FF 0-3100 SF \$11.15 FF 3100 - 5100 SF \$16.73 FF over 5100 SF		3,667	N/A	\$ 1,642,659	\$ 86.88	Contributing towards the cost of construction, maintenance and operation of the stormwater mgmt. system and facilities.	



Consent Agenda



City Council
August 22, 2023
Regular Session

Call to order

Mayor Hoffman called the August 22, 2023, Regular Session of the North Liberty City Council to order at 6:30 p.m. in the Council Chambers, 1 Quail Creek Circle. Councilors present: Ashley Bermel, RaQuishia Harrington, Erek Sittig, Brent Smith, and Brian Wayson.

Others present: Ryan Heiar, Tracey Mulcahey, Grant Lientz, Ryan Rusnak, Josiah Bilskemper, and other interested parties.

Approval of the Agenda

Harrington moved; Sittig seconded to approve the agenda. The vote was all ayes. Agenda approved.

Consent Agenda

Bermel moved, Smith seconded to approve the Consent Agenda including the City Council Minutes, Regular Session, August 8, 2023; Penn Meadows Park North Parking Lot Project, Pay Application Number 1, Midwest Concrete, Inc., \$115,633.19; Ranshaw Way Paved Shoulders Project, Pay Application Number 2, LL Pelling Co., Inc., \$73,435.71; Ranshaw Way Paved Shoulders Project, Change Order Number 1, LL Pelling Co., Inc., (\$3,430.77); Ranshaw Way Paved Shoulders Project Completion and Acceptance; Ranshaw Way Phase 5 Improvements, Pay Application Number 27, Peterson Contractors, Inc., \$12,845.75; and the attached list of Claims. The vote was all ayes. Consent Agenda approved.

Public Comment

No public comment was offered.

City Engineer Report

City Engineer Bilskemper reported that work on the plaza around the new City Hall is happening. The contractor is continuing work on the west (new) parking lot. The contractor has fully moved into the old lot, closing it. Access and parking are available from the south side of the park. The project will be done in the fall with a few finishing items happening in the spring. The Ranshaw Paved Shoulders project is complete. Schematic design is complete for the Centennial Event Complex. The project is moving into design development. The project will be bid next spring. The Streets and Maintenance Facility Remodel project is almost complete with design development. The project will be bid in November.

City Administrator Report

City Administrator Heiar reported that staff has submitted an Enhance Iowa Grant application for the Centennial Center. The MPOJC received a letter from CRANDIC regarding the study for rapid

bus transit. It will be forwarded to Council. Heiar reminded all about the Iowa League of Cities conference in September.

Mayor Report

Mayor Hoffman reported he attended the Owen Skelley field dedication and the Bowldogs groundbreaking ceremony. He will be attending the event on the interstate on Friday. He is reimplementing the presentation of a plaque to new businesses starting in the community.

Council Reports

Councilor Wayson attended the field dedication and North Liberty Night at the Kernels. He helped at the end of summer event. Councilor Smith congratulated Councilor Bermel on her fundraiser and thanked those that attended the field dedication event. Councilor Sittig noted that the updates Guy Goldsmith and his team made to the field look great. Councilor Harrington met with the new pantry Executive Director for an update on services provided and a conversation about a potential expansion. Councilor Bermel wished all a happy first day of school.

Steindler Medical Park

Sittig moved, Wayson seconded to approve Resolution Number 2023-97, A Resolution approving the Developer’s Agreement for Steindler Medical Park Subdivision, North Liberty, Iowa. The vote was: ayes – Harrington, Bermel, Wayson, Sittig, Smith; nays – none. Motion carried.

Assessment Resolution

Smith moved, Bermel seconded to approve Resolution Number 2023-98, A Resolution assessing amounts owed to the City of North Liberty, Iowa to individual property taxes. The vote was: ayes – Bermel, Sittig, Harrington, Wayson, Smith; nays – none. Motion carried.

Old Business

No old business was presented.

New Business

Councilor Wayson reported that the Small Business Association is hosting a round of loans for those businesses who suffered drought damages.

Adjournment

Harrington moved; Wayson seconded to adjourn at 6:42 p.m. The vote was all ayes. Meeting adjourned.

CITY OF NORTH LIBERTY

By: _____
Chris Hoffman, Mayor

Attest: _____
Tracey Mulcahey, City Clerk

APPLICATION AND CERTIFICATION FOR PAYMENT

AIA DOCUMENT G702

PAGE 1 OF 9 PAGES

TO OWNER:
 City of North Liberty
 3 Quail Creek Circle
 North Liberty, IA 52317
 FROM CONTRACTOR:
 City Construction
 2346 Mormon Trek Blvd. Suite 2500
 Iowa City, IA 52246

PROJECT:
 North Liberty City Hall
 360 North Main Street
 North Liberty, IA 52317
 VIA ARCHITECT:
 Shive-Hattery, Inc.
 2839 Northgate Drive
 Iowa City, IA 52245

APPLICATION NO: 7
 PERIOD TO: 08/02/23
 PROJECT NOS: 1207650 1-159
 CONTRACT DATE: 09/14/22

Distribution to:

<input checked="" type="checkbox"/>	OWNER
<input checked="" type="checkbox"/>	ARCHITECT
<input type="checkbox"/>	CONTRACTOR
<input type="checkbox"/>	
<input type="checkbox"/>	

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract. Continuation Sheet, AIA Document G703, is attached.

1. ORIGINAL CONTRACT SUM	\$	9,389,509.00
2. Net change by Change Orders	\$	0.00
3. CONTRACT SUM TO DATE (Line 1 ± 2)	\$	9,389,509.00
4. TOTAL COMPLETED & STORED TO DATE (Column G on G703)	\$	5,047,267.46
5. RETAINAGE:		
a. 5 % of Completed Work (Column D + E on G703)	\$	247,105.67
b. 5 % of Stored Material (Column F on G703)	\$	5,257.70
Total Retainage (Lines 5a + 5b or Total in Column I of G703)	\$	252,363.37
6. TOTAL EARNED LESS RETAINAGE (Line 4 Less Line 5 Total)	\$	4,794,904.09
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate)	\$	4,163,461.33
8. CURRENT PAYMENT DUE	\$	631,442.76
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 6)	\$	4,594,604.91

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$0.00	\$0.00
Total approved this Month	\$0.00	\$0.00
TOTALS	\$0.00	\$0.00
NET CHANGES by Change Order	\$0.00	

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: City Construction

By: [Signature] Date: 8/2/23

State of: Iowa County of: Johnson
 Subscribed and sworn to before me this 2nd day of Aug. 2023
 Notary Public: Lorna K. Krueger
 My Commission expires: September 23, 2024



ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising the application, the Architect certifies to the Owner that to the best of the Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED \$ \$631,442.76

(Attach explanation if amount certified differs from the amount applied. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

ARCHITECT: Natalie Oppidal
 By: _____ Date: August 31, 2023

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

CHANGE ORDER
For Local Public Agency Projects

No.: 1

Accounting ID No. (5-digit number): _____

Project Number: 2112203620

Kind of Work: Parking Lot Construction

Local Public Agency: North Liberty

Contractor: Midwest Concrete

Date Prepared: September 1, 2023

You are hereby authorized to make the following changes to the contract documents.

A - Description of change to be made:

- 0010 - REDUCE the quantity for "SUBDRAIN, LONGITUDINAL, TYPE 1 (6 IN. / 8 IN.)" by 34 LF.
- 8002 - ADD an item for "STORM SEWER, TRENCHED, HDPE 12 IN.". The quantity for this item shall be 34 LF.
- 0053 - DELETE the item "PENN MEADOWS PARK SIGN RELOCATION".
- 8002 - ADD on item for "PARK SIGN REMOVAL AND NEW FOOTING". The quantity for the item shall be 1 LS.

B - Reason for change:

- 0010 - The design of storm piping under the driveway was sufficient as 8 IN. HDPE. However, changing the size of this length of pipe from 8 IN. to 12 IN. will reduce the possibility of the pipe being blocked, increasing pipe size under entrance drive for greater capacity. A portion of this 8-inch pipe will be replaced with 12-inch pipe.
- 0053 - The scope of this work is being reduced. It is being replaced by a new item.
- 8002 - This is a new item requiring only removal of the existing sign and footing, and construction of a new footing for a sign to be purchased and installed by the City.

C - Settlement for cost(s) of change as follows with items addressed in Sections F and/or G:

- 8001 - Agreed Unit Price
- 8002 - Agreed Lump Sum Price

D - Justification for cost(s) (See I.M. 3.805, Attachment D, Chapter 2.36, for acceptable justification):

- 8001 - An agreed upon unit price for the work was established. The cost is considered reasonable as it is comparable to the sum of the average bid price shown in the August 2022 thru July 2023 IDOT Summary of Awarded Contract Prices for "STORM SEWER, TRENCHED, HDPE, 12 IN." (\$97/LF).
- 8002 - An agreed lump sum price for the work was established. Cost is considered reasonable based on material and labor necessary to remove and dispose of the old sign and footing, and construct a new footing of the sign and type detailed in the contract documents.

E - Contract time adjustment: No Working Days added Working Days added: _____ Unknown at this time

Justification for selection:
Substitution of pipe size will not add working days.

F - Items included in contract:

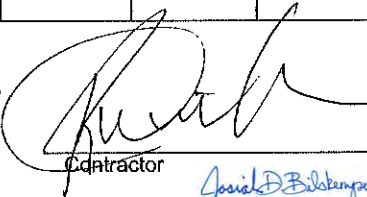
Participating				For deductions enter as "-x.xx"		
Federal-aid	State-aid	Line Number	Item Description	Unit Price .xx	Quantity .xxx	Amount .xx
		0010	SUBDRAIN, LONGITUDINAL, TYPE 1 (6 IN. / 8 IN.)	\$12.43	-34.000	-\$422.62
		0053	PENN MEADOWS PARK SIGN RELOCATION	\$11,846.00	-1.000	-\$11,846.00
				Add Row	Delete Row	TOTAL
						-\$12,268.62

G - Items not included in contract:

Participating				For deductions enter as "-x.xx"		
Federal-aid	State-aid	Change Number	Item Description	Unit Price .xx	Quantity .xxx	Amount .xx
		8001	STORM SEWER, TRENCHED, HDPE 12 IN.	\$94.00	34.000	\$3,196.00
		8002	PARK SIGN REMOVAL AND NEW FOOTING	\$6,064.00	1.000	\$6,064.00
				Add Row	Delete Row	TOTAL
						\$9,260.00

H. Signatures

Agreed:



Contractor

9/6/23
Date

Recommended:



Project Engineer

09/06/23
Date

Approved:

Person in Responsible Charge

Date

Other (optional)

Title

Date

CHANGE ORDER
For Local Public Agency Projects

No.: 2

Non-Substantial:

Substantial:

Administering Office
Concurrence Date

Accounting ID No. (5-digit number): _____

Project Number: 2112203620

Kind of Work: Parking Lot Construction

Local Public Agency: North Liberty

Contractor: Midwest Concrete

Date Prepared: September 5, 2023

You are hereby authorized to make the following changes to the contract documents.

A - Description of change to be made:

0022 - REDUCE the quantity for "CLEANING AND PREPARATION OF BASE" by 2,180 SY.

0023 - DELETE the item "HMA OVERLAY, BASE COURSE, 2.0-INCH."

0024 - DELETE the item "HMA OVERLAY, SURFACE COURSE, 1.0-INCH."

0025 - INCREASE the quantity for "PAVEMENT REMOVAL" by 2,180 SY.

0029 - DELETE the item "FULL DEPTH PATCHES, 4" HMA WITH 6" SUBBASE."

8003 - ADD an item for "HMA OVERLAY, BASE COURSE, 1.5-INCH." The quantity for this item shall be 580 TON.

8004 - ADD an item for "HMA OVERLAY, SURFACE COURSE, 1.5-INCH." The quantity for this item shall be 580 TON.

8005 - ADD an item for "FULL DEPTH PATCH, 4" HMA, 6" SUBBASE." The quantity for this item shall be 3,950 SY.

8006 - ADD an item for "HMA OVERLAY, LEVELING COURSE." The quantity for this item shall be 325 TON.

B - Reason for change:

0022 - Due to increased area of full depth patch, the area of existing pavement for surface clean is reduced by the same area.

0023 - Due to quantity increases, a lower unit price is provided. This item will be replaced with a new item and new unit cost.

0024 - Due to quantity increases, a lower unit price is provided. This item will be replaced with a new item and new unit cost.

0025 - Due to additional full depth patch area, the area of pavement removal increases correspondingly.

0029 - Due to quantity increases, a lower unit price is provided. This item will be replaced with a new item and new unit cost.

8003 - Replaces Item #23 with new unit cost, modified paving depth, and revised quantity.

8004 - Replaces Item #24 with new unit cost, modified paving depth, and revised quantity.

8005 - Replaces Item #29 with new unit cost and increased quantity to eliminate overlay depths less than 3-inch thickness.

8006 - New item to account for increased base asphalt material required to fill/level low areas in the existing asphalt parking lot.

C - Settlement for cost(s) of change as follows with items addressed in Sections F and/or G:

8003 - Agreed Unit Price

8004 - Agreed Unit Price

8005 - Agreed Unit Price

8006 - Agreed Unit Price

D - Justification for cost(s) (See I.M. 3.805, Attachment D, Chapter 2.36, for acceptable justification):

8003 / 8004 / 8005 / 8006 - An agreed upon unit price for the work was established. The asphalt paving subcontractor provided a reduced unit price for the work due to the increased quantities being provided and placed.

E - Contract time adjustment: No Working Days added Working Days added: _____ Unknown at this time

Justification for selection:

Add 7 calendar days to account for time to complete additional pavement removal, full depth patching and additional asphalt leveling course placement. Revise the substantial completion date from November 17, 2023, to November 24, 2023.

F - Items included in contract:

Participating		Line Number	Item Description	For deductions enter as "-x.xx"		Amount .xx
Federal-aid	State-aid			Unit Price .xx	Quantity .xxx	
		0022	CLEANING AND PREPARATION OF BASE	\$1.45	-2,180.000	-\$3,161.00
		0023	HMA OVERLAY, BASE COURSE, 2.0-INCH	\$133.85	-900.000	-\$120,465.00
		0024	HMA OVERLAY, SURFACE COURSE, 1.0-INCH	\$149.20	-475.000	-\$70,870.00
		0025	PAVEMENT REMOVAL	\$9.50	2,180.000	\$20,710.00
		0029	FULL DEPTH PATCHES, 4" HMA WITH 6" SUBBASE	\$72.88	-1,770.000	-\$128,997.60
<div style="display: inline-block; border: 1px solid black; padding: 2px 10px;">Add Row</div> <div style="display: inline-block; border: 1px solid black; padding: 2px 10px; margin-left: 20px;">Delete Row</div> <div style="display: inline-block; border: 1px solid black; padding: 2px 10px; margin-left: 20px;">TOTAL</div>						-\$302,783.60

G - Items not included in contract:

Participating		Change Number	Item Description	For deductions enter as "-x.xx"		Amount .xx
Federal-aid	State-aid			Unit Price .xx	Quantity .xxx	
		8003	HMA OVERLAY, BASE COURSE, 1.5-INCH	\$128.75	580.000	\$74,675.00
		8004	HMA OVERLAY, SURFACE COURSE, 1.5-INCH	\$142.04	580.000	\$82,383.20
		8005	FULL DEPTH PATCH, 4" HMA, 6" SUBBASE	\$69.06	3,950.000	\$272,787.00
		8006	HMA OVERLAY, LEVELING COURSE	\$128.75	325.000	\$41,843.75
<div style="display: inline-block; border: 1px solid black; padding: 2px 10px;">Add Row</div> <div style="display: inline-block; border: 1px solid black; padding: 2px 10px; margin-left: 20px;">Delete Row</div> <div style="display: inline-block; border: 1px solid black; padding: 2px 10px; margin-left: 20px;">TOTAL</div>						\$471,688.95


H. Signatures

Agreed:


Contractor

9/6/23
Date

Recommended:


Project Engineer

09/06/23
Date

Approved:

Person in Responsible Charge

Date

Other (optional)

Title

Date



MIDWEST CONCRETE INC.

9835 Midwest Lane Peosta, IA 52068 Ph: (563) 845-0947 Fax: (563) 583-1007 Email: office@midwest-concrete.net

North Liberty Penn Meadows Park

Payment Application #2

Date: 8/31/2023

	Qty	Unit	Price	Contract Amount	Previous Quantity	Previous Amount	Quantity this Estimate	Amt this Estimate	Quantity to Date	Total to Date
1	117.5	UNIT	39.02	\$ 4,584.85	117.5	\$ 4,584.85			117.5	4,584.85
2	2142	CY	11.59	\$ 24,826.78	0	\$ -	0.33	\$ 3.82	0.33	3.82
3	6787	CY	12.75	\$ 86,534.25	0	\$ -	5320	\$ 67,830.00	5320	67,830.00
4	7716	SY	2	\$ 15,432.00	0	\$ -	4097	\$ 8,194.00	4097	8,194.00
5	988	CY	44.89	\$ 44,351.32	120	\$ 5,386.80	541	\$ 24,285.49	661	29,672.29
6	40	LF	150	\$ 6,000.00	0	\$ -	40	\$ 6,000.00	40	6,000.00
7	33	LF	164.14	\$ 5,416.62	0	\$ -	32	\$ 5,252.48	32	5,252.48
8	31	LF	47.67	\$ 1,477.77	0	\$ -	31	\$ 1,477.77	31	1,477.77
9	564	LF	92.61	\$ 52,232.04	0	\$ -	134	\$ 12,409.74	134	12,409.74
10	669	LF	12.43	\$ 8,315.67	0	\$ -	636	\$ 7,905.48	636	7,905.48
11	2	EA	443.05	\$ 886.10	0	\$ -		\$ -	0	-
12	2	EA	2258.83	\$ 4,517.66	0	\$ -	1	\$ 2,258.83	1	2,258.83
13	4	EA	3400.25	\$ 13,601.00	0	\$ -	1.5	\$ 5,100.38	1.5	5,100.38
14	1	EA	6434.56	\$ 6,434.56	0.5	\$ 3,217.28	0.25	\$ 1,608.64	0.75	4,825.92
15	1	EA	1200	\$ 1,200.00	0	\$ -	1	\$ 1,200.00	1	1,200.00
16	1	EA	1102.6	\$ 1,102.60	0	\$ -	1	\$ 1,102.60	1	1,102.60
17	2	EA	2646.92	\$ 5,293.84	2	\$ 5,293.84		\$ -	2	5,293.84
18	3386	SY	41.5	\$ 140,519.00	0	\$ -		\$ -	0	-
19	346	SY	83.23	\$ 28,797.38	361	\$ 30,046.03		\$ -	361	30,046.03
20	2710	LF	23.65	\$ 64,118.60	0	\$ -		\$ -	0	-
21	285	LF	23.43	\$ 6,628.95	0	\$ -		\$ -	0	-
22	4840	SY	1.45	\$ 7,018.00	0	\$ -		\$ -	0	-
23	900	TN	133.85	\$ 120,465.00	0	\$ -		\$ -	0	-
24	475	TN	149.2	\$ 70,870.00	0	\$ -		\$ -	0	-
25	3525	SY	9.5	\$ 33,487.50	361	\$ 3,429.50	468	\$ 4,446.00	829	7,875.50
26	630	SY	15	\$ 9,450.00	375	\$ 5,625.00	6	\$ 90.00	381	5,715.00
27	1945	SY	39.09	\$ 76,030.05	185	\$ 7,231.65		\$ -	185	7,231.65
28	100	SF	45	\$ 4,500.00	70	\$ 3,150.00		\$ -	70	3,150.00
29	1770	SY	72.88	\$ 128,997.60	0	\$ -		\$ -	0	-
30	9300	SF	0.26	\$ 2,418.00	0	\$ -	9300	\$ 2,418.00	9300	2,418.00
31	680	TN	24.79	\$ 16,918.20	0	\$ -	405.26	\$ 10,046.40	405.26	10,046.40
32	210	TN	25.05	\$ 5,262.60	0	\$ -	210	\$ 5,262.60	210	5,262.60
33	4644	SF	7.06	\$ 32,786.64	0	\$ -		\$ -	0	-
34	55.6	STA	98.39	\$ 5,470.48	0	\$ -		\$ -	0	-
35	29	EA	61.8	\$ 1,792.20	0	\$ -		\$ -	0	-
36	3	STA	1287.5	\$ 3,862.50	0	\$ -		\$ -	0	-
37	1	LS	15450	\$ 15,450.00	0.25	\$ 3,862.50	0.25	\$ 3,862.50	0.5	7,725.00
38	14	EA	468.65	\$ 6,561.10	0	\$ -		\$ -	0	-
39	2	AC	515	\$ 1,030.00	0	\$ -		\$ -	0	-
40	0.3	AC	10900	\$ 3,090.00	0	\$ -		\$ -	0	-
41	690	SQ	51.5	\$ 35,535.00	0	\$ -		\$ -	0	-
42	407	M GAL	38.88	\$ 15,824.16	0	\$ -		\$ -	0	-
43	37	TN	298.43	\$ 11,041.91	0	\$ -		\$ -	0	-
44	16	CY	217.15	\$ 3,474.40	0	\$ -		\$ -	0	-
45	894	CY	97.85	\$ 88,552.30	0	\$ -		\$ -	0	-
46	47	EA	439.56	\$ 20,659.32	0	\$ -		\$ -	0	-
47	1	EA	527.9	\$ 527.90	0	\$ -		\$ -	0	-
48	79	EA	57.58	\$ 4,548.82	0	\$ -		\$ -	0	-
49	152	EA	18.54	\$ 2,818.08	0	\$ -		\$ -	0	-
50	1	EA	84573.57	\$ 84,573.57	0	\$ -		\$ -	0	-
51	18	EA	654.88	\$ 11,787.84	0	\$ -		\$ -	0	-
52	790	LF	12.06	\$ 9,527.40	0	\$ -		\$ -	0	-
53	0	EA	11846	\$ -	0	\$ -		\$ -	0	-
54	1	LS	1545	\$ 1,545.00	0.1	\$ 154.50		\$ -	0.1	154.50
55	2465	LF	1.55	\$ 3,820.75	1296	\$ 2,008.80		\$ -	1296	2,008.80
56	3	EA	103	\$ 309.00	0	\$ -		\$ -	0	-
57	2	EA	103	\$ 206.00	2	\$ 206.00		\$ -	2	206.00
58	1740	LF	7.68	\$ 13,363.20	1305	\$ 10,022.40	435	\$ 3,340.80	1740	13,363.20
59	1	LS	150000	\$ 150,000.00	0.25	\$ 37,500.00	0.25	\$ 37,500.00	0.5	75,000.00
60	1	LS	1000	\$ 1,000.00	0	\$ -	0.25	\$ 250.00	0.25	250.00
8001	84	LF	94	\$ 3,198.00	0	\$ -	34	\$ 3,198.00	34	3,198.00
8002	1	LS	6064	\$ 6,064.00	0	\$ -	0.25	\$ 1,516.00	0.25	1,516.00
				\$ 1,485,128.51		\$ 121,719.15		\$ 216,557.53		\$ 358,276.68

5% Retainage \$ 6,085.96 \$ 10,827.88 \$ 16,913.83

Previous Payments: 115,633.19 Total this Period: \$ 205,729.65 Total Less Retainage: \$ 321,362.85

Shive-Hattery, Josiah Bliskemper

Josiah Bliskemper 09/06/23
Project Engineer Date

Midwest Concrete Inc.

Nick Garzer 9-6-23
Project Manager Date

Ryan Heiar

From: Josiah D. Bilskemper <jbilskemper@shive-hattery.com>
Sent: Wednesday, September 6, 2023 12:29 PM
To: Ryan Heiar; Tracey Mulcahey
Cc: Nicholas C. Radcliffe
Subject: [External] PMP North Parking - Pay App #2 / Change Order #1 and #2
Attachments: PMP North Parking - Pay App 02 - RECOMMENDED.pdf; PMP North Parking - Change Order 1.pdf; PMP North Parking - Change Order 2.pdf

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Ryan,

We will have Pay Application #2 and Change Order #1 and #2 for the September 12th council meeting for the Penn Meadows Park North Parking Improvements project (Midwest Concrete Inc.).

The pay application is for work through August 25, 2023. We have reviewed the submitted quantities and agree that they reflect the status of work completed.

The current payment due is **\$205,729.65**

Change Order #1:

1. This change order is a net deduct of **(\$3,008.62)** to the project.
2. There are no changes to contract times.
3. Summary of changes:
 - a. A section of new storm sewer pipe running under the parking lot entrance drive was upsized to reduce future maintenance and make pipe cleaning easier if needed.
 - b. The existing limestone park sign along Penn Street was to be removed and replaced at a new location on a new footing. During field review with City staff, the existing sign was found to have a crack running through both sides of the sign. Further inspection identified a high likelihood that the sign would crack apart during the removal and reinstallation process. City staff will order and install a new sign. Therefore, the scope of the contractor's work is being reduced accordingly. The change order removes the previous sign item and adds a new item at a lower cost to only remove the existing sign and footing and pour a new footing for the sign that will be obtained and installed by City staff.

Change Order #2:

1. This change order is an estimated net increase of **\$168,905.35** to the project.
2. The date of substantial completion is extended one week to November 24, 2023.

3. Summary of changes:

- a. This change order reflects higher quantities of asphalt and full depth patching required to reconstruct the east parking lot. The design and layout have not changed, rather the estimated quantities used for bidding were not accurate (they were too low) as they did not take into account all of the variations in the existing asphalt lot surface (bumps, dips, low spots, high spots).
- b. Had these existing parking lot variations been evaluated more carefully prior to the bidding process, the quantities of these items would have been higher when sent out for bid, and the received bids would have been higher as well.
- c. As a result, two revised approaches are required. The first is that more asphalt is needed to fill-in low spots throughout the parking lot to bring the pavement level with the new design. The second is that a larger area of the existing lot will need to be removed and replaced prior to the overlay process. This is because several high spots in the lot do not allow the minimum overlay thickness to be placed, and simply increasing raising the elevations of lot will jeopardize minimum drainage routes.
- d. The grades, slopes, and elevations of the design for the east parking lot are very limited due to the overall relatively flat site and the minimal depth storm sewer pipes on Penn Street. It is our opinion that the design is appropriate to maintain drainage and collect and divert storm water in the east parking lot for the long term.
- e. The asphalt contractor has revised (lowered) their per ton costs for the asphalt work due to the increase in quantities. Those lower unit prices are reflected in the change order.

Let me know if you have any questions, thanks.

Josiah Bilskemper, PE

Shive-Hattery, Inc.
2839 Northgate Drive
Iowa City, IA 52245
(319) 354-3040

From: Josiah D. Bilskemper <jbilskemper@shive-hattery.com>

Sent: Tuesday, August 15, 2023 11:01 AM

To: Ryan Heiar <rheiar@northlibertyiowa.org>; Tracey Mulcahey <tmulcahey@northlibertyiowa.org>

Cc: Nicholas C. Radcliffe <NRadcliffe@shive-hattery.com>

Subject: PMP North Parking - Pay App #1

Ryan,

We will have Pay Application #1 for the August 22nd council meeting for the Penn Meadows Park North Parking Improvements project (Midwest Concrete Inc.).

The pay application is for work through July 31, 2023. We have reviewed the submitted quantities and agree that they reflect the status of work completed.

The current payment due is **\$115,633.19**

Let me know if you have any questions, thanks.

Josiah Bilskemper, PE
Shive-Hattery, Inc.
2839 Northgate Drive
Iowa City, IA 52245
(319) 354-3040



Mayor Report



PROCLAMATION

Welcoming Week

WHEREAS, our community's success depends on making sure that all feel welcome here; and

WHEREAS, today, new residents and visitors alike are a vital part of our community – bringing fresh perspectives and new ideas, starting businesses and contributing to the vibrant diversity that we all value; and

WHEREAS, by working together, we can achieve greater prosperity and make our community the kind of place where people from around the world feel valued and want to put down roots; and

WHEREAS, regardless of where we are born or what we look like, we are North Liberty, united in our efforts to build a stronger community and recognize the contributions that make our community more inclusive to all who call it home; and

WHEREAS, we seek to come together to build communities where every resident has the opportunity to contribute at his or her best; and

WHEREAS, Welcoming Week is an annual campaign and celebration to showcase the movement of communities striving to be more welcoming places for all, including immigrants; and

WHEREAS, during Welcoming Week, we honor the spirit of unity which brings people together across North Liberty, the greater Johnson County area and the nation; and

WHEREAS, we encourage our residents to join this movement of communities nationwide by participating in local Welcoming Week events and by demonstrating commitment to our core American values by taking action in the spirit of welcoming.

NOW, THEREFORE, BE IT RESOLVED that I, Chris Hoffman, Mayor of North Liberty, do hereby recognize September 8 - 17, 2023, as Welcoming Week in the City of North Liberty.

Mayor Chris Hoffman

Signed in North Liberty, Iowa
this 12th day of September, 2023



Youth Council



North Liberty Youth Council
2023-2024 Cohort

1. Asher Bonner (Liberty)
2. Chase Lovetinsky (CCA)
3. Kevin Ni (Liberty)
4. Leela Strand (Liberty)
5. Madison Jurgens (Regina)
6. McKenna Kelley (Liberty)
7. Megan Quinn (Liberty)
8. Olivia Roling (CCA)
9. Piper Kearney (Liberty)
10. Montana Duran (Liberty)
11. *Vacant*
12. *Vacant*



1 Steindler Way

Resolution No. 2023-98

**RESOLUTION AUTHORIZING AND APPROVING THE NAME OF
THE PRIVATE STREET AS 1 STEINDLER WAY IN STEINDLER
MEDICAL PARK SUBDIVISION IN THE CITY OF NORTH
LIBERTY, JOHNSON COUNTY, IOWA**

WHEREAS, the Preliminary Site Plan for Steindler Medical Park Subdivision in the City of North Liberty, Johnson County, Iowa, was approved by the North Liberty City Council by Resolution No. 2023-63 adopted on April 25, 2023, and

WHEREAS, the site plan did not include a name for the private street in the development, and

WHEREAS, the developer proposed naming the private street, "1 Steindler Way," and

WHEREAS, the Planning Commission recommended approval of the private street name at the September 5, 2023 Planning Commission meeting.

NOW, THEREFORE, BE IT RESOLVED by the North Liberty City Council that the private street will be named "1 Steindler Way" in Steindler Medical Park Subdivision.

APPROVED AND ADOPTED this 12th day of September, 2023.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK



September 5, 2023

Chris Hoffman, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of the City of North Liberty to establish "1 Steindler Way" as a private street name.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its September 5, 2023 meeting. The Planning Commission took the following action:

Finding:

1. The street name is unique and would achieve consistency with City street naming requirements.

Recommendation:

The Planning Commission accepted the listed finding and forwards the request to establish "1 Steindler Way" as a private street name to the City Council with a recommendation for approval.

The vote for approval was 5-0.

Jason Heisler, Vice Chairperson
City of North Liberty Planning Commission



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **August 11, 2023**
 Re **Request of the City of North Liberty to establish the Steindler Way private street name.**

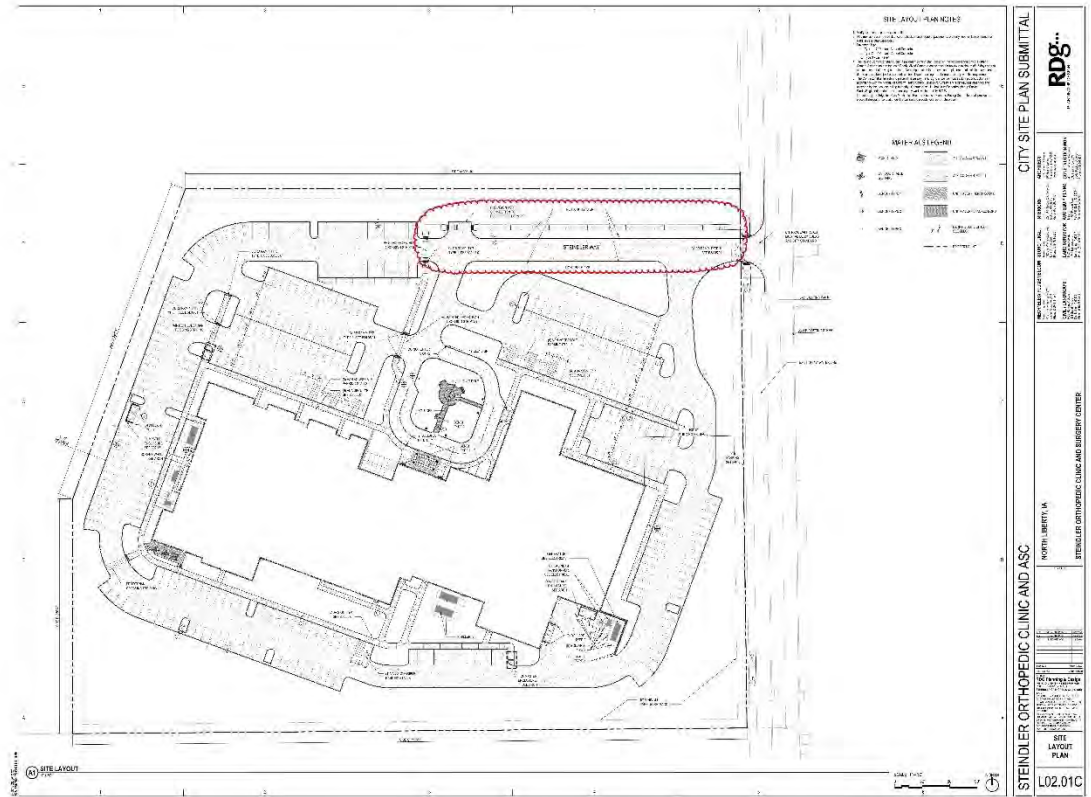
North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

At the time of preliminary site plan approval, the private street name was not depicted on the Steindler Orthopedic Clinic preliminary site plan. This request proposes to name the entrance street Steindler Way.





2. Public Input:

No public input has been received.

3. Additional Considerations:

Pursuant to Section 139.01 (3) of the Zoning Code:

Proposed street names shall be referred to the Planning and Zoning Commission for review and recommendation.

4. Staff Recommendation:

Finding:

1. The street name is unique and would achieve consistency with City street naming requirements.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request to establish the Steindler Way private street name to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the request to establish the Steindler Way private street name to the City Council with a recommendation for approval.



Sweetwater Lane

Resolution No. 2023-99

**RESOLUTION AUTHORIZING AND APPROVING THE NAME OF
THE PRIVATE STREET AS SWEETWATER LANE IN WATER
TOWER PLACE, LOT 5 IN THE CITY OF NORTH LIBERTY,
JOHNSON COUNTY, IOWA**

WHEREAS, the Preliminary Site Plan for Water Tower Place, Lot 5 in the City of North Liberty, Johnson County, Iowa, was approved by the North Liberty City Council by Resolution No. 2023-46 adopted on April 25, 2023, and

WHEREAS, the site plan did not include a name for the private street in the development, and

WHEREAS, the developer proposed naming the private street, "Sweetwater Lane," and

WHEREAS, the Planning Commission recommended approval of the private street name at the September 5, 2023 Planning Commission meeting.

NOW, THEREFORE, BE IT RESOLVED by the North Liberty City Council that the private street will be named "Sweetwater Lane" in Water Tower Place, Lot 5.

APPROVED AND ADOPTED this 12th day of September, 2023.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK



September 5, 2023

Chris Hoffman, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of the City of North Liberty to establish "Sweetwater Lane" as a private street name.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its September 5, 2023 meeting. The Planning Commission took the following action:

Finding:

1. The street name is unique and would achieve consistency with City street naming requirements.

Recommendation:

The Planning Commission accepted the listed finding and forwards the request to establish "Sweetwater Lane" as a private street name to the City Council with a recommendation for approval.

The vote for approval was 5-0.

Jason Heisler, Vice Chairperson
City of North Liberty Planning Commission



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **September 1, 2023**
 Re **Request of the City of North Liberty to establish "Sweetwater Lane" as a private street name.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

Subsequent to the preliminary site plan approval, the private street name depicted on the Lot 5 – Water Tower Place site plan was determined to be too similar to another street name in North Liberty. This request proposes to rename the private street "Sweetwater Lane".





2. Public Input:

No public input has been received.

3. Additional Considerations:

Pursuant to Section 139.01 (3) of the Zoning Code:

Proposed street names shall be referred to the Planning and Zoning Commission for review and recommendation.

The Police and Fire Department indicated no objection to the street name.

4. Staff Recommendation:

Finding:

1. The street name is unique and would achieve consistency with City street naming requirements.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request to establish "Sweetwater Lane" as a private street name to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the request to establish "Sweetwater Lane" as a private street name to the City Council with a recommendation for approval.



**Pratt Real Estate
Management, Inc. Zoning
Map Amendment**

Ordinance No. 2023-22

AN ORDINANCE AMENDING THE ZONING MAP DISTRICT DESIGNATION FOR CERTAIN PROPERTY LOCATED IN NORTH LIBERTY, IOWA FROM RS-9 SINGLE-UNIT RESIDENCE DISTRICT TO RD-10 TWO-UNIT RESIDENCE DISTRICT

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT. The Official Zoning Map incorporated in Chapter 168.01(2) of the North Liberty Code of Ordinances is hereby amended by designating the zoning district for 1.59 acres, more or less, as RD-10 Two-Unit Residence District for property particularly described as follows:

Beginning at the Northeast Corner of Outlot "B" of Solomon's Landing - Part One, to North Liberty, Iowa, in accordance with the Plat thereof Recorded in Plat Book 66 at Page 88 of the Records of the Johnson County Recorder's Office; Thence S01°14'54"E, along the East Line of said Outlot "B", 33.00 feet; Thence S88°45'29"W, along said East Line, 467.96 feet; Thence S80°57'47"W, along said East Line, 41.42 feet; Thence N22°06'32"W, 130.82 feet; Thence N67°53'28"E, 15.53 feet; Thence Northeasterly, 43.69 feet, along a 120.00 foot radius curve, concave Southeasterly, whose 43.45 foot chord bears N78°19'17"E; Thence N88°45'06"E, 478.36 feet; Thence Southeasterly, 31.42 feet, along a 20.00 foot radius curve, concave Southwesterly, whose 28.28 foot chord bears S46°14'54"E, to a Point on the East Line of Outlot "A" of said Solomon's Landing - Part One; Thence S01°14'54"E, along said East Line, 80.08 feet, to the Point of Beginning. Said Rezoning Parcel contains 1.59 acres, and is subject to easements and restrictions of record;

SECTION 2. CONDITIONS IMPOSED. At the September 5, 2023, meeting the Planning Commission accepted the listed finding and forwarded the request for a zoning map amendment to the City Council with a recommendation for approval with no conditions.

SECTION 3. ZONING MAP. It is hereby authorized and directed that the Zoning Map of the City of North Liberty, Iowa, be changed to conform to this amendment upon final passage, approval and publication of this ordinance as provided by law.

SECTION 4. RECORDATION. The City Clerk is hereby authorized and directed to record this ordinance at the Johnson County Recorder's office upon final passage and approval.

SECTION 5. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 6. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 7. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 8. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____.
Second reading on _____.
Third and final reading on _____.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:
I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2023-22 in *The Gazette* on the ____ of _____, 2023.

TRACEY MULCAHEY, CITY CLERK



September 5, 2023

Chris Hoffman, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of Pratt Real Estate Management, Inc. for a zoning map amendment (rezoning) on approximately 1.59 acres from RS-9 Single-Unit Residence District to RD-10 Two-Unit Residence District. The property is located on the west side of North Jones Boulevard approximately 465 feet south of 240th Street.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its September 5, 2023 meeting. The Planning Commission took the following action:

Finding:

1. The rezoning request from RS-9 Single-Unit Residence District to RD-10 Two-Unit Residence District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

Recommendation:

The Planning Commission accepted the listed finding and forwards the request for zoning map amendment (rezoning) from RS-9 Single-Unit Residence District to RD-10 Two-Unit Residence District on approximately 1.59 acres to the City Council with a recommendation for approval.

The vote for approval was 5-0.

Jason Heisler, Vice Chairperson
City of North Liberty Planning Commission



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **September 1, 2023**
 Re **Request of Pratt Real Estate Management, Inc. for a zoning map amendment (rezoning) on approximately 1.59 acres from RS-9 Single-Unit Residence District to RD-10 Two-Unit Residence District. The property is located on the west side of North Jones Boulevard approximately 465 feet south of 240th Street.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

The request proposes to rezone a portion of the proposed Solomon’s Landing development to allow Single-Unit Zero Lot Line Dwellings.



2. Current and Proposed Zoning:

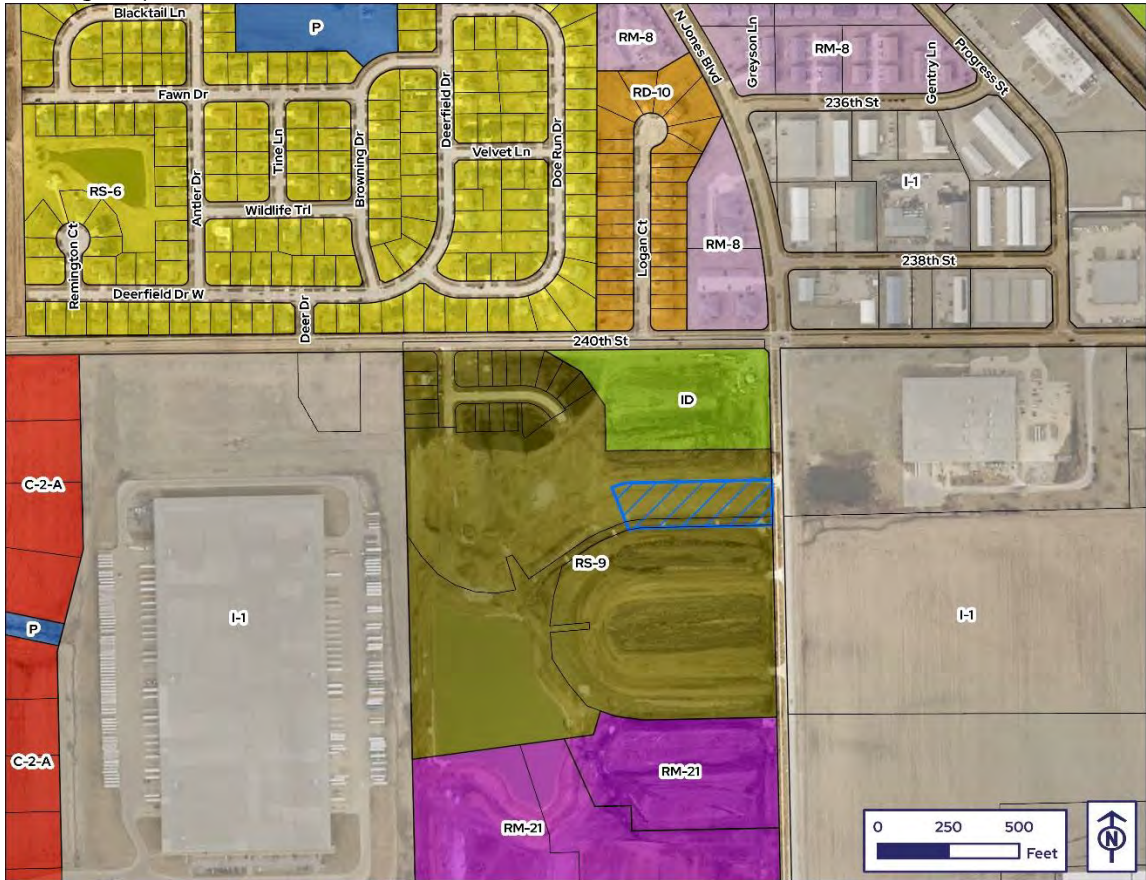
Current Zoning

RS-9 Single-Unit Residence District. The RS-9 District is intended to provide for and maintain high-density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-9 District.

Proposed Zoning

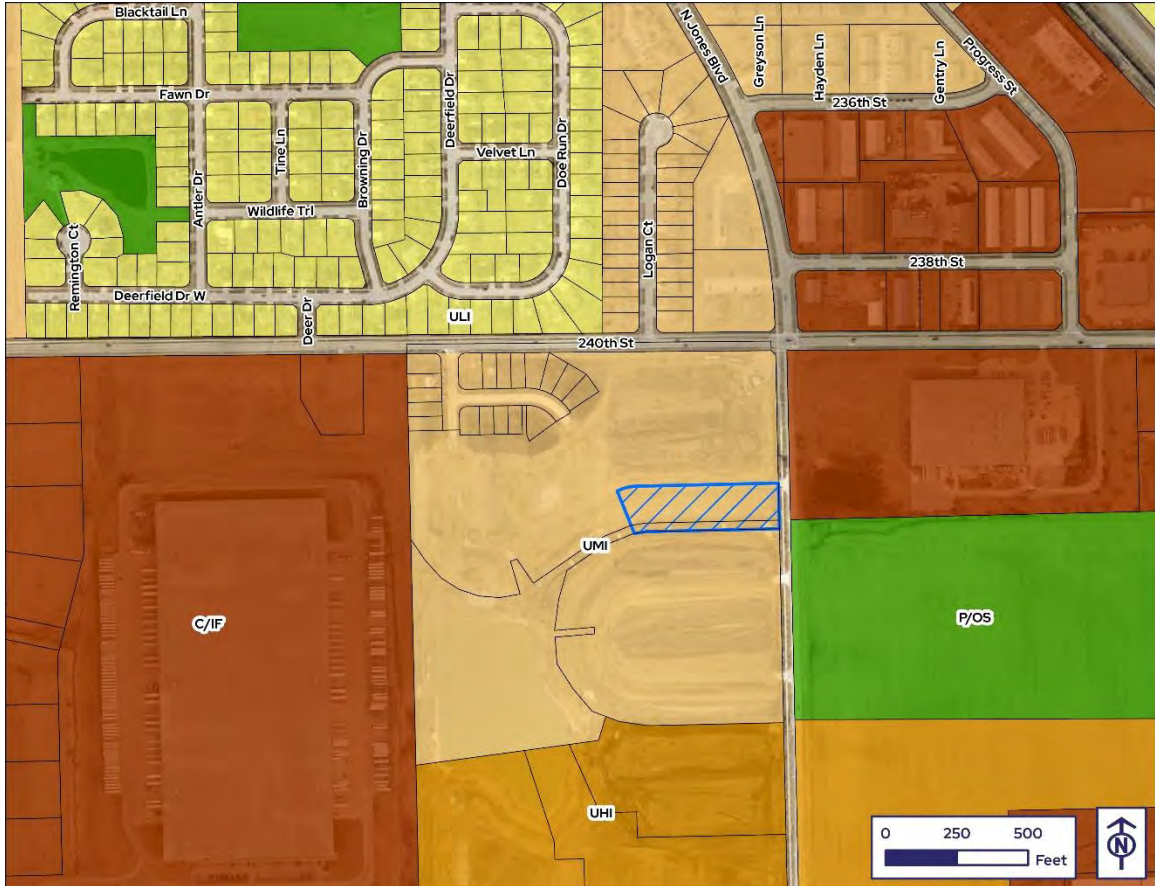
RD-10 Two-Unit Residence District. The RD-10 District is intended to allow for attached single-unit dwellings joined together on a common boundary line with a common wall between the units. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RD-10 District.

Zoning Map



3. Consistency with Comprehensive Plan Land Use Designation: Urban Medium Intensity.

Future Land Use Map (FLUM)



Urban Medium Intensity Description

More variety in housing arrangements and more allowance for activity areas that draw people from outside the immediate area for services or recreation. Increased intensity (compared to ULI) improves opportunities for economic activity and social interaction. Medium intensity areas include mostly a horizontal mix of residential and non-residential uses at compatible moderate densities and scale, although there may be opportunities for vertical mixed-use.

Residential

Uses include a variety of housing types that may be on smaller lots. Housing mix can include single-family detached homes, duplexes, townhomes, and multifamily buildings to create integrated neighborhoods.

Form and Features

- » General aggregate development density of 7 to 14 dwelling units per acre. Innovative designs should allow more public spaces than ULI.
- » Attached housing developments maintain the identity of the individual housing units.
- » High connectivity with multiple access points into neighborhoods. As compared to ULI, UMI encourages closer proximity between transportation, housing, and commercial services.

4. Public Input:

A virtual good neighbor meeting was held on July 18, 2023. City staff, one member of the Planning Commission and the applicant attended the meeting. There are no formal objections to the request.

5. Analysis of the Request

Section 165.09(4)(D)(1) of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

Map Amendments.

- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

Figure 3.4 within *Connected to Tomorrow* was utilized to determine which zoning district would be compatible with the *Future Land Use Map*.

Figure 3.4: Land Use Compatibility

TRADITIONAL LAND USES	AGRICULTURE (AG)	URBAN RESERVE (UR)	URBAN LOW INTENSITY (ULI)	URBAN MEDIUM INTENSITY (UMI)	URBAN HIGH INTENSITY (UHI)	COMMERCIAL/ INDUSTRIAL FLEX (FLX)	PUBLIC AND SEMI PUBLIC (PUB)	PARK AND OPEN SPACE (P, OS)
Agriculture	●	●						
Rural residential		●						○
Low-density residential			●	○				
Medium-density residential			●	●	○			
High-density residential				●	●	○		
Rural commercial		●						
Neighborhood commercial			○	●	●	●		
Community commercial				○	●	●		
Regional commercial					○	●		
Low/medium intensity office			○	●	●	●		
High-intensity office				○	●	●		
Limited industrial		○				●		
Heavy industrial						○		
Parks and civic uses	●	●	●	●	●	○	●	●
Major public/civic facilities						○	●	○
Residential density range (du/A*)	≤40	≤40	3-8	7-14	14+	14+	NA	NA

● Permitted ○ Permitted with special review
*Dwelling Units per Acre

The RD-10 zoning allows a lot size of 4,500 square feet per dwelling unit (9.68 units/acre). It is staff’s opinion that the zoning map amendment would achieve consistency with the Comprehensive Plan and adopted land use policies.

(b) The compatibility with the zoning of nearby property.
The surrounding properties within the Solomon's Landing development are zoned RS-9, which allows a lot size of 4,500 square feet per dwelling unit. It is staff's opinion that the proposed zoning would be compatible with the area.

(c) The compatibility with established neighborhood character.
It is staff's opinion that the proposed zoning would be compatible with established neighborhood character.

(d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.
It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.

(e) The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property in question for one or more of the uses permitted under the existing zoning classification.
The ID District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas. Staff is unaware of any active agricultural use on the property.

(f) The extent to which the proposed amendment creates nonconformities.
It is staff's opinion that the proposed zoning would not create any nonconformities.

6. Additional Considerations:

A similar zoning map amendment to RD-10 has been submitted for the portion of the development north of the subject property.

7. Staff Recommendation:

Finding:

1. The rezoning request from RS-9 Single-Unit Residence District to RD-10 Two-Unit Residence District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request for zoning map amendment (rezoning) from RS-9 Single-Unit Residence District to RD-10 Two-Unit Residence District on approximately 1.59 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the zoning map amendment to the City Council with a recommendation for approval.



**Pratt Real Estate
Management, Inc. Zoning
Map Amendment and
Preliminary Subdivision
Plat (PAD)**

Ordinance No. 2023-23

AN ORDINANCE AMENDING THE ZONING MAP DISTRICT DESIGNATION FOR CERTAIN PROPERTY LOCATED IN NORTH LIBERTY, IOWA FROM ID INTERIM DEVELOPMENT DISTRICT AND RS-9 SINGLE-UNIT DISTRICT TO RD-10 PAD TWO-UNIT RESIDENCE DISTRICT PLANNED AREA DEVELOPMENT

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT. The Official Zoning Map incorporated in Chapter 168.01(2) of the North Liberty Code of Ordinances is hereby amended by designating the zoning district for 6.24 acres, more or less, as RD-10 PAD Two-Unit Residence District Planned Area Development for property particularly described as follows:

Beginning at the northernmost corner of Lot 13, Solomon's Landing – Part One, North Liberty, Iowa, in accordance with the Plat thereof recorded in Plat Book 66, Page 88, in the Records of the Johnson County Recorder's Office; Thence N89°30'36"E, along the north line of Outlot "A" of said Solomon's Landing – Part One, 779.40 feet, Thence S45°52'00"E, along said north line, 21.36 feet, to the northeast corner thereof; Thence S01°14'54"E, along the east line of said Outlot "A", 394.83 feet; Thence southwesterly, 39.27 feet, along an arc of a 25.00 foot radius curve, concave northwesterly whose 35.36 feet chord bears S43°45'07"W; Thence S88°45'06"W, 473.36 feet; thence southwesterly, 65.54 feet, along an arc of a 180.00 foot radius curve, concave southeasterly, whose 65.17 foot cord bears S78°19'17"W, Thence S67°53'28"W, 19.67 feet; Thence N01°06'43"W, 259.80 feet; Thence N35°25'36"W, along the northeasterly line of Lot 11 of said Solomon's Landing – Part One, and its southeasterly extension thereof, 151.44 feet, to the northerly most corner of said lot 11, and the easterly most corner of the Lot 12 of said Solomon's Landing – Part one; Thence N59°45'06"W, along the northeasterly line of said Lot 12, and the northly line of said Lot 13, a distance of 151.34 feet to said point of beginning. Said Rezoning Parcel contains 6.24 acres, and is subject to easements and restrictions of record;

SECTION 2. CONDITIONS IMPOSED. At the September 5, 2023 meeting the Planning Commission accepted the listed finding and forwarded the request for a zoning map amendment to the City Council with a recommendation for approval with no conditions.

SECTION 3. ZONING MAP. It is hereby authorized and directed that the Zoning Map of the City of North Liberty, Iowa, be changed to conform to this amendment upon final passage, approval and publication of this ordinance as provided by law.

SECTION 4. RECORDATION. The City Clerk is hereby authorized and directed to record this ordinance at the Johnson County Recorder's office upon final passage and approval.

SECTION 5. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 6. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 7. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 8. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on ____.
Second reading on ____.
Third and final reading on _____.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2023-23 in *The Gazette* on the ____ of _____, 2023.

TRACEY MULCAHEY, CITY CLERK



September 5, 2023

Chris Hoffman, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of Pratt Real Estate Management, Inc. for a zoning map amendment (rezoning) on approximately 6.24 acres from ID Interim Development District and RS-9 Single-Unit Residence District to RD-10 PAD Two-Unit Residence District Planned Area Development and a Preliminary Subdivision Plat for a 24-lot subdivision on approximately 6.24 acres. The property is located at the southwest corner of North Jones Boulevard 240th Street.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its September 5, 2023 meeting. The Planning Commission took the following action:

Findings:

1. The rezoning request from RS-9 Single-Unit Residence District to RD-10 PAD Two-Unit Residence District Planned Area Development would achieve consistency with the zoning map amendment approval standards enumerated in Section 165.09 of the Zoning Code;
2. The site plan, with certain requirements modified, would achieve consistency with North Liberty Code of Ordinances Section 165.05(2) entitled, "Preliminary Site Plan Review", and other Code of Ordinance requirements;
3. The preliminary plat, with certain conditions modified, would achieve consistency with Section 180.11(3)(A) and 180.12 of the North Liberty Code of Ordinances, which sets forth the preliminary subdivision plat submittal requirements and design standards, respectively.

Recommendation:

The Planning Commission accepted the listed findings and forwards the request for a zoning map amendment (rezoning) on approximately 6.24 acres from ID Interim Development District and RS-9 Single-Unit Residence District to RD-10 PAD Two-Unit Residence District Planned Area Development and a Preliminary Subdivision Plat for a 24-lot subdivision on approximately 6.24 acres to the City Council with a recommendation for approval.

The vote for approval was 5-0.

Jason Heisler, Vice Chairperson
City of North Liberty Planning Commission

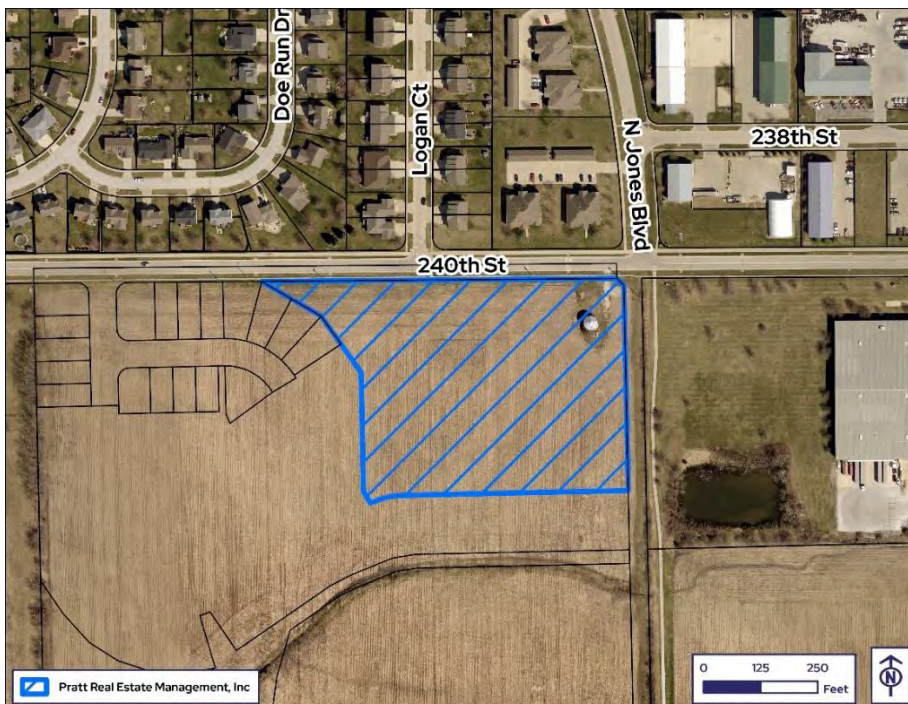


To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **September 1, 2023**
 Re **Request of Pratt Real Estate Management, Inc. for a zoning map amendment (rezoning) on approximately 6.24 acres from ID Interim Development District and RS-9 Single-Unit Residence District to RD-10 PAD Two-Unit Residence District Planned Area Development and a Preliminary Subdivision Plat for a 24-lot subdivision on approximately 6.24 acres. The property is located at the southwest corner of North Jones Boulevard 240th Street.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:
 Ryan Heiar, City Administrator
 Tracey Mulcahey, Assistant City Administrator
 Grant Lientz, City Attorney
 Tom Palmer, City Building Official
 Kevin Trom, City Engineer
 Ryan Rusnak, Planning Director

1. Request Summary:

The purpose of the request is to incorporate 48 single-unit zero lot line dwellings into the Solomon’s Landing development. The Planned Area Development is being requested to allow a reduction in minimum lot size, reduce minimum setbacks and to allow access from a private street.



2. Current and Proposed Zoning:

Current Zoning

ID Interim Development District. The ID District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas.

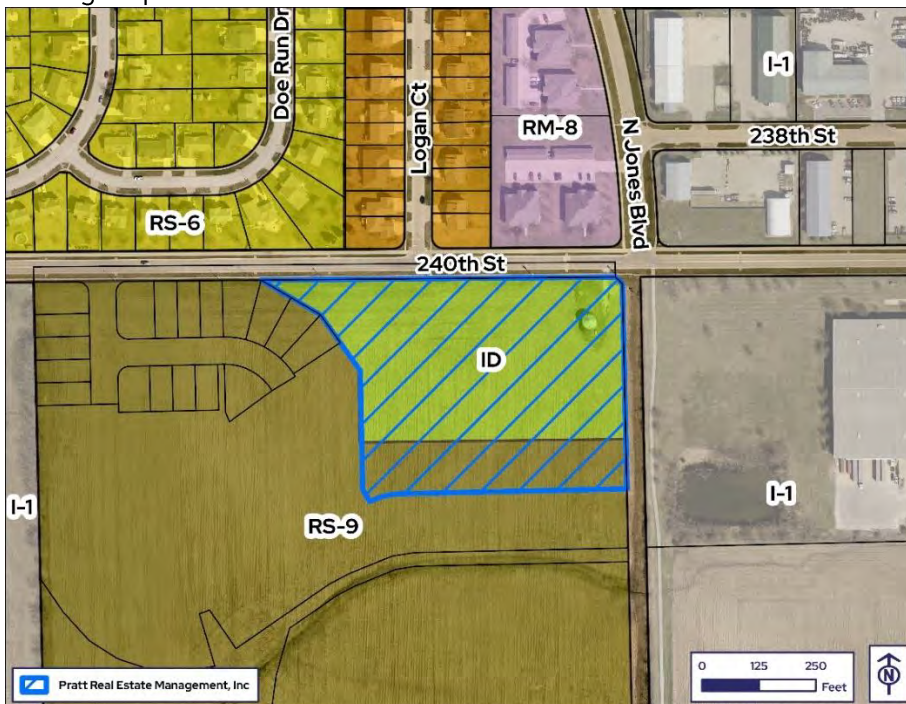
RS-9 Single-Unit Residence District. The RS-9 District is intended to provide for and maintain high-density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-9 District.

Proposed Zoning

RD-10 Two-Unit Residence District. The RD-10 District is intended to allow for attached single-unit dwellings joined together on a common boundary line with a common wall between the units. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RD-10 District.

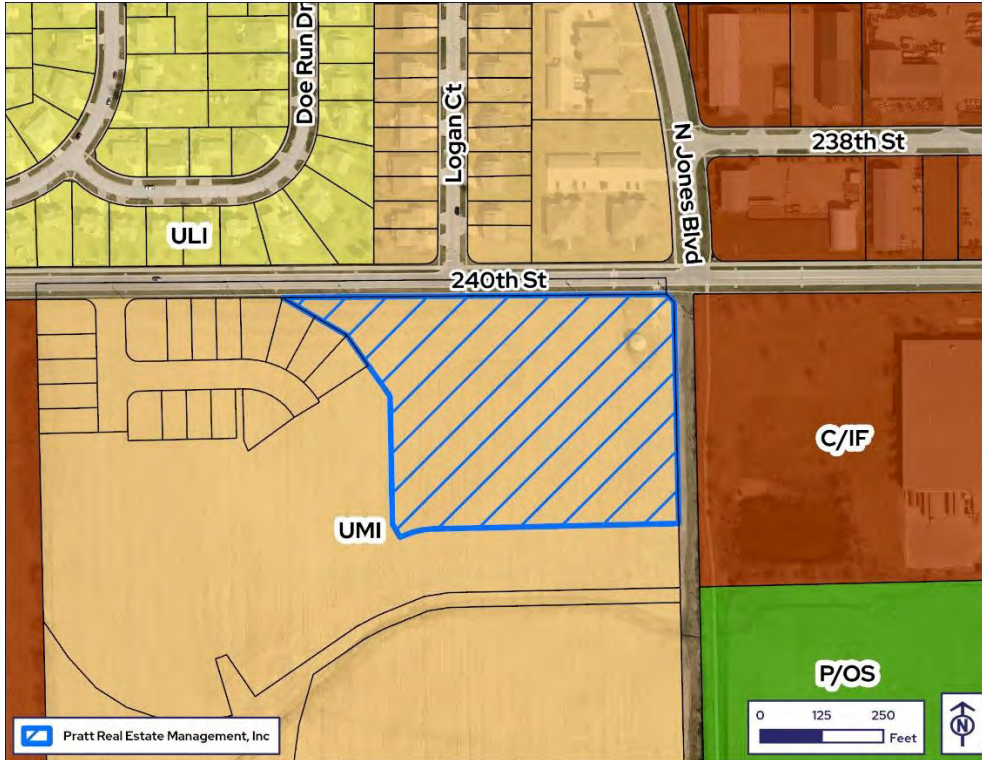
PAD Planned Area Development Overlay District. The PAD District is intended to encourage innovation and flexibility in planning the development of land so development is compatible with the site's physical and environmental characteristics. This district allows for flexibility in district requirements. The Planned Area Development District provides an opportunity for the development of a mixture of uses and housing types in a coordinated manner. The intent of the underlying district shall guide the development. It is incumbent upon the person proposing the PAD to justify the project, and any variations from the underlying zone district.

Zoning Map



3. Consistency with Comprehensive Plan Land Use Designation: Urban Medium Intensity.

Future Land Use Map



Urban Medium Intensity Description

More variety in housing arrangements and more allowance for activity areas that draw people from outside the immediate area for services or recreation. Increased intensity (compared to ULI) improves opportunities for economic activity and social interaction. Medium intensity areas include mostly a horizontal mix of residential and non-residential uses at compatible moderate densities and scale, although there may be opportunities for vertical mixed-use.

Residential

Uses include a variety of housing types that may be on smaller lots. Housing mix can include single-family detached homes, duplexes, townhomes, and multifamily buildings to create integrated neighborhoods.

Form and Features

- » General aggregate development density of 7 to 14 dwelling units per acre. Innovative designs should allow more public spaces than ULI.
- » Attached housing developments maintain the identity of the individual housing units.
- » High connectivity with multiple access points into neighborhoods. As compared to ULI, UMI encourages closer proximity between transportation, housing, and commercial services.

4. Public Input:

A virtual good neighbor meeting was held on August 22, 2023. City staff, one member of the Planning Commission and the applicant attended the meeting. There are no formal objections to the request.

5a. Zoning Map Approval Standards:

Section 165.09(4)(D)(1) of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

Map Amendments.

- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

Figure 3.4 within Connected to Tomorrow was utilized to determine which zoning district would be compatible with the Future Land Use Map.

Figure 3.4: Land Use Compatibility

TRADITIONAL LAND USES	AGRICULTURE (AG)	URBAN RESERVE (UR)	URBAN LOW INTENSITY (ULI)	URBAN MEDIUM INTENSITY (UMI)	URBAN HIGH INTENSITY (UHI)	COMMERCIAL/ INDUSTRIAL FLEX (FLX)	PUBLIC AND SEMI PUBLIC (PUB)	PARK AND OPEN SPACE (P, OS)
Agriculture	●	●						○
Rural residential		●						
Low-density residential			●	○				
Medium-density residential			●	●	○			
High-density residential				●	●	○		
Rural commercial		●				●		
Neighborhood commercial			○	●	●	●		
Community commercial				○	●	●		
Regional commercial					○	●		
Low/medium intensity office			○	●	●	●		
High-intensity office				○	●	●		
Limited industrial		○				●		
Heavy industrial						○		
Parks and civic uses	●	●	●	●	●	○	●	●
Major public/civic facilities					○	○	●	○
Residential density range (du/A*)	≤40	≤40	3-8	7-14	14+	14+	NA	NA

● Permitted ○ Permitted with special review
*Dwelling Units per Acre

The proposed development would allow 48 units on 6.24 acres (7.24 units/acre). It is staff's opinion that the zoning map amendment would achieve consistency with the Comprehensive Plan and adopted land use policies.

- (b) The compatibility with the zoning of nearby property. *The surrounding properties within the Solomon's Landing development are zoned RS-9, which allows a lot size of 4,500 square feet per dwelling unit. It is staff's opinion that the proposed zoning would be compatible with the area.*

(c) The compatibility with established neighborhood character.
It is staff's opinion that the proposed zoning would be compatible with established neighborhood character.

(d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.
It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.

(e) The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property in question for one or more of the uses permitted under the existing zoning classification.
The ID District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas. Staff is unaware of any active agricultural use on the property.

(f) The extent to which the proposed amendment creates nonconformities.
It is staff's opinion that the proposed zoning would not create any nonconformities.

Section 165.05(2) of the North Liberty Code of Ordinances entitled, "Preliminary Site Review" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

- *Date, north arrow and graphic scale.* **Provided.**
- *The property owner's name and description of proposed development.* **Provided.**
- *A vicinity sketch showing the location of the property and other properties within 1,000 feet of it.* **Provided.**
- *Property boundary lines, dimensions, and total area.* **Provided.**
- *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the site plan.* **Provided.**
- *The location of existing streets, sidewalks, easements, utilities, drainage courses.* **Provided.**
- *The total square feet of building floor area, both individually and collectively.* **Provided.**
- *All structures and major features shall be fully dimensioned including distance between structures, distance between driveways, parking areas, property lines and building height.* **Provided.**
- *Off-street parking areas, ingress and egress to the property, number of parking spaces proposed, number of parking spaces required by this code and type of surfacing.* **Provided.**
- *Pedestrian walkways with special consideration given to pedestrian safety.* **Provided.**
- *Trash and refuse enclosures.* **Provided.**
- *The general drainage pattern and location of storm water detention features.* **Provided.**

- *The general location, type and size of landscaping and ground cover illustrated in color perspective. **Provided.***
- *A rendering, elevation or photo of the proposed development. **Provided.***

Notably, the crosswalk at Logan Court will need to be removed or relocated. The ramp at the northeast corner of Logan Court will need to be modified. This will be reviewed during review of the subdivision construction plans.



It is staff's opinion that the site plan achieves consistency with the aforementioned design standards.

Requirements for All Districts (ordinance language in *italics* and staff analysis in **bold**).

- *Building design shall be visually harmonious and compatible with the neighborhood character.*
- *Buildings located on property with double frontages shall have similar wall design facing both streets.*
- *Except in the R-MH district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs and there shall be a minimum roof overhang at the eaves of 12 inches. This does not apply to portions of a roof that are separate from the structure's primary roof. Metal roofs shall not be corrugated or similar appearance. The color of the roof shall be visually harmonious and compatible with the building color scheme.*

5b. Preliminary Plat Approval Standards:

Section 180.11(3)(A) of the North Liberty Code of Ordinances sets forth the preliminary subdivision plat submittal requirements and review (Ordinance language in *italics* and staff analysis in **bold**).

Preliminary Subdivision Plat Submittal Requirements and Review. The preliminary plat, in general, contains more information than the final plat, so that the subdivider and the City can ensure conformance with codes, master facility plans, and good planning and engineering practices. Though the preliminary plat is not recorded, it is approved by resolution of the City Council, and conditions for approval of the plat shall be addressed on any final plats of the same area.

A. *Preliminary Plat Contents. The application shall include a preliminary plat of the subdivision drawn to a scale of one inch to one hundred feet minimum, and shall show:*

(1) A location map to provide spatial reference, showing the outline of the area to be subdivided, existing streets and corporate limits in the vicinity, a north arrow and scale or note stating "not to scale," and other information that might help clarify where the plat is located as well as its surroundings and size relative to other City features;

This has been provided on the Preliminary Plat.

(2) Name of proposed subdivision and date;

This has been provided on the Preliminary Plat.

(3) Legal description and acreage;

This has been provided on the Preliminary Plat.

(4) Name and address of owner;

This has been provided on the Preliminary Plat.

(5) Names of the persons preparing the plat, owner's attorney, representative or agent, if any;

This has been provided on the Preliminary Plat.

(6) Existing and proposed zoning district classification of all land within the proposed subdivision and within about 200 feet of the subdivision;

Staff is not requiring this information on the Preliminary Plat.

(7) North point and graphic scale;

This has been provided on the Preliminary Plat.

(8) Contours at two-foot intervals or less, both existing and as generally proposed (subject to more refinement in subsequent construction plans);

This has been provided on the Preliminary Plat.

(9) *Building setback lines as required by the current or proposed zoning district classifications;*

This has been provided on the Preliminary Plat.

(10) *The approximate boundaries of areas of known flood levels or floodplains, areas covered by water, wooded areas, floodways, and all open channel drainage ways;*

This has been provided on the Preliminary Plat.

(11) *Locations, names, and dimensions of existing lot lines, streets, public utilities, water mains, sewers, drainpipes, culverts, watercourses, bridges, railroads and buildings within in the proposed subdivision and within about 200 feet of the subdivision;*

This has been provided on the Preliminary Plat.

(12) *Layout of proposed blocks, if used, and lots, including the dimension of each lot, and the lot and block number in numerical order;*

This has been provided on the Preliminary Plat.

(13) *Layout and dimensions of proposed streets, sidewalks, trails, alleys, utility and other easements, parks and other open spaces or reserved areas;*

This has been provided on the Preliminary Plat.

(14) *Grades of proposed streets and alleys;*

This has been provided on the Preliminary Plat.

(15) *A cross-section of the proposed streets showing the roadway locations, the type of curb and gutter, the paving, and sidewalks to be installed;*

This has been provided on the Preliminary Plat.

(16) *The layout of proposed water mains and sanitary sewer systems;*

This has been provided on the Preliminary Plat.

(17) *The drainage of the land, including proposed storm sewers, ditches, culverts, bridges and other structures;*

This has been provided on the Preliminary Plat.

(18) *Stormwater management facilities when applicable;*

This has been provided on the Preliminary Plat.

(19) *A signed certificate of the Johnson County Auditor for the subdivision name;*

This information has been provided.

(20) *Other special details or features that may be proposed or required.*

None required.

6. Additional Considerations:

PAD waivers requested:

1. Allow the proposed development on private streets.
2. Reduction to the minimum lot size of 9,000 square feet per lot.
3. Reduction to the minimum lot frontage of 35 feet.
4. Reduction to the minimum lot width of 80 feet.
5. Reduction to the minimum front and corner side yard setback of 25 feet (on a private street).
6. Reduction to the minimum rear yard setback of 30 feet.

Section 180.12(8)(A) of the Subdivision Ordinance reads:

Private streets in single family residential areas are not allowed.

Staff has taken the position that this applies to RD Districts, which permit "single-unit zero lots line dwellings. Notably, this requirement is only applicable due to the desire to subdivide the property into individual lots. Below is a similar style of development on Nolan Court, which is a private street. However, it is a condominium, and therefore, was permitted as an RM – Multi-Unit Residential development.



It's unclear why the Zoning and Subdivision Ordinance doesn't support this type of development. Staff intends to explore allowing this type of development without the need for PAD.

7. Staff Recommendation:

Findings:

1. The rezoning request from RS-9 Single-Unit Residence District to RD-10 PAD Two-Unit Residence District Planned Area Development would achieve consistency with the zoning map amendment approval standards enumerated in Section 165.09 of the Zoning Code;
2. The site plan, with certain requirements modified, would achieve consistency with North Liberty Code of Ordinances Section 165.05(2) entitled, "Preliminary Site Plan Review", and other Code of Ordinance requirements;
3. The preliminary plat, with certain conditions modified, would achieve consistency with Section 180.11(3)(A) and 180.12 of the North Liberty Code of Ordinances, which sets forth the preliminary subdivision plat submittal requirements and design standards, respectively.

Recommendation:

Staff recommends the Planning Commission accept the three listed findings and forward the request for a zoning map amendment (rezoning) on approximately 6.24 acres from ID Interim Development District and RS-9 Single-Unit Residence District to RD-10 PAD Two-Unit Residence District Planned Area Development and a Preliminary Subdivision Plat for a 24-lot subdivision on approximately 6.24 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the three listed findings and forward the zoning map amendment to the City Council with a recommendation for approval.







**BUILDING
TYPE A**

REV	REVISIONS	DATE	BY

PROJECT:
SPRUCE DUPLEX
WALKOUT

DRAWING TITLE:
FRONT & REAR
ELEVATIONS

SCALE: 1/8" = 1'-0"

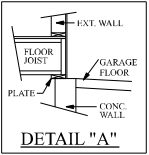
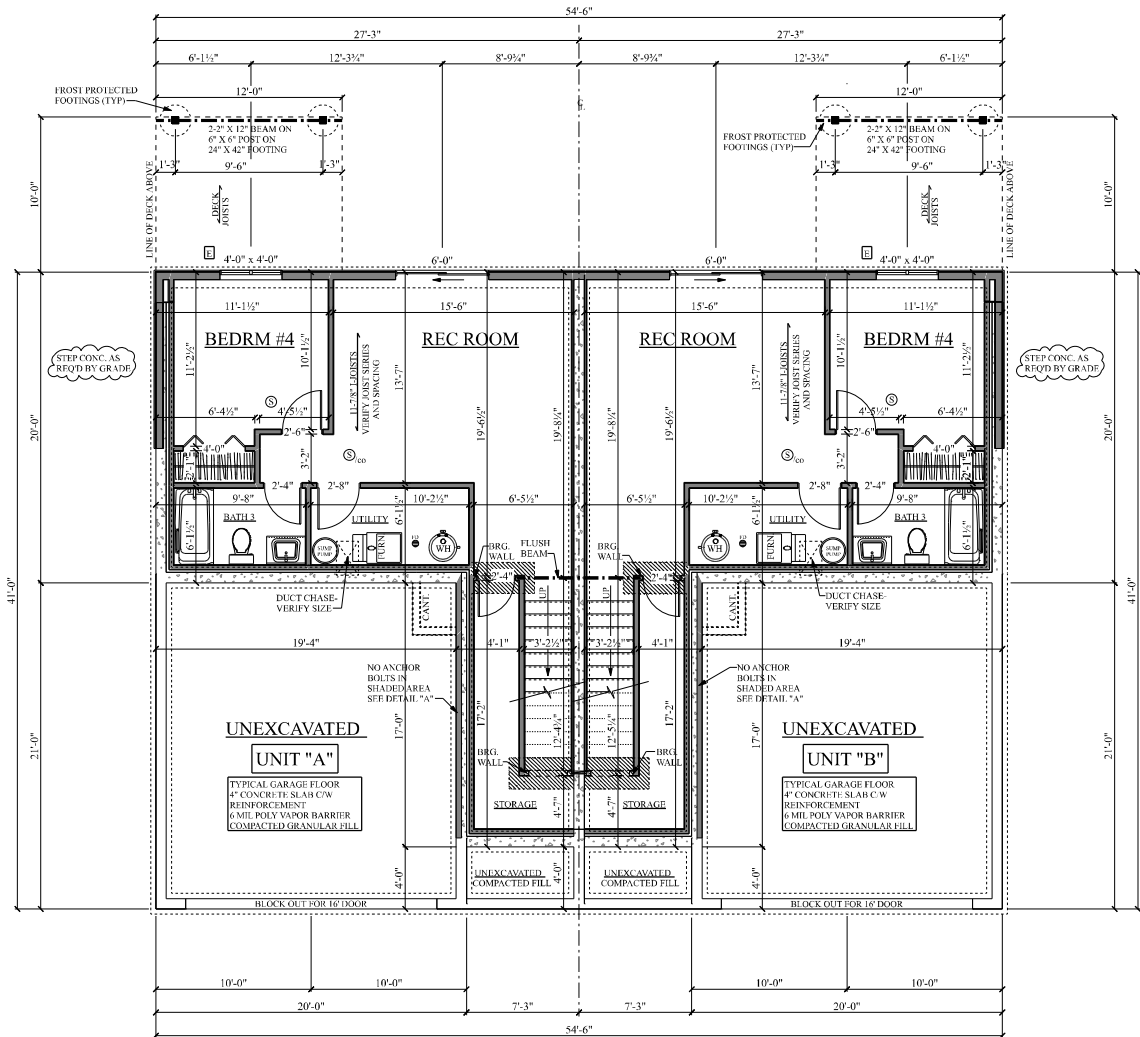
DRAWN BY: PCD

DATE:
9/7/2018

PROJECT NO:
2197-0918

CHECKED BY:

A1



**FUTURE FINISHED AREA
474 SQ. FT.**

- GENERAL NOTES**
- DESIGN LOAD FACTORS.
FLOOR AREAS - 55 TOTAL LBS. SQ. FT.
ROOF TRUSSES - 50 TOTAL LBS. SQ. FT.
 - VERIFY ALL EXTERIOR WALLS - UNLESS NOTED.
ALL INTERIOR WALLS ARE 2 X 4 - UNLESS NOTED.
 - 8'-0" CONC. WALL HEIGHT - UNLESS NOTED.
 - VERIFY ALL HEADER SIZES OVER ALL EXTERIOR LOAD BEARING OPENINGS.
 - EXTERIOR WALL DIMENSIONS ARE OUTSIDE TO OUTSIDE OF STUD. INTERIOR DIMENSIONS ARE INSIDE TO INSIDE OF STUD.
 - WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE OWNER, CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME.
 - TRUSS SUPPLIERS ARE TO HAVE FINAL SAY ON ROOF/FLOOR LAYOUT AND INTEGRITY.
 - SMOKE DETECTORS
 - SMOKE DETECTORS W/ CO. DETECTOR
 - EGRESS WINDOW
 - EXHAUST FAN
 - VERIFY ALL LOCAL BUILDING CODES.

- NOTES**
- INTERIOR DOORS ON NO - STEP LEVEL WITH 38" ROUGH FRAMING WIDTH. FINISHED DOORS MAY BE SMALLER.
 - WALL SWITCHES, OUTLETS, HEATING CONTROLS TO BE 15" MIN. TO 48" MAX. ABOVE FLOOR.
 - ELECTRICAL PANEL W/ BRANCH CIRCUIT BREAKERS BETWEEN 18" MIN. AND 54" MAX. ABOVE FLOOR.
 - PROVIDE WALL REINFORCEMENT FOR GRAB BARS IN BATHROOMS.
 - EXTERIOR DECK AND PATIO SURFACES ON THE NO - STEP LEVEL WITHIN 4" OF THE TOP OF THE DOOR THRESHOLD.
 - INSTALL PASSIVE RADON SYSTEM 3" PVC PIPE FROM SEALED SUMP PIT TO 12" ABOVE ROOF (VERIFY WITH LOCAL CODE).
 - VERIFY ALL LOCAL BUILDING CODES.

CONC. DEADMANS AS REQ'D FOR STRUCTURAL SUPPORT

BUILDING TYPE A

DATE	BY	CHK

PROJECT:
SPRUCE DUPLEX
WALKOUT

DRAWING TITLE:
LOWER FLOOR
PLAN

SCALE: 1/8" = 1'-0"

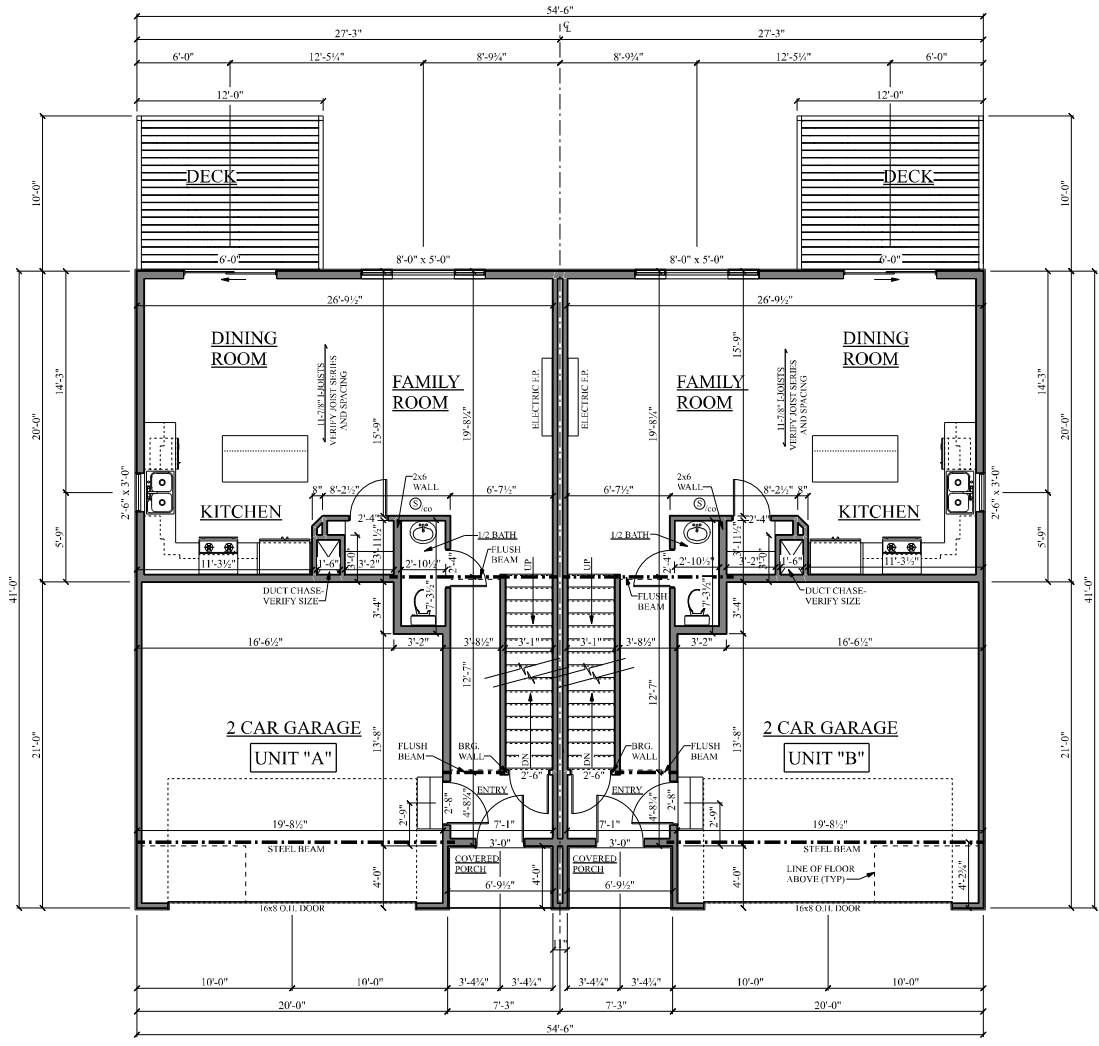
DRAWN BY: PCD

DATE: 9/7/2018

PROJECT NO: 2197-0918

CHECKED BY:

A3



**1ST FLOOR AREA
678 SQ. FT.**

**GARAGE AREA
405 SQ. FT.**

- GENERAL NOTES**
- DESIGN LOAD FACTORS.
FLOOR AREAS - 55 TOTAL LBS. SQ. FT.
ROOF TRUSSES - 50 TOTAL LBS. SQ. FT.
 - ALL EXTERIOR WALLS ARE 2 X 6 - UNLESS NOTED.
ALL INTERIOR WALLS ARE 2 X 4 - UNLESS NOTED.
GARAGE WALL TO BE 2 X 4 - UNLESS NOTED.
 - 9'-1 1/8" WALL HEIGHT - UNLESS NOTED.
 - VERIFY ALL HEADER SIZES OVER ALL EXTERIOR LOAD BEARING OPENINGS.
 - EXTERIOR WALL DIMENSIONS ARE OUTSIDE TO OUTSIDE OF STUD. INTERIOR DIMENSIONS ARE INSIDE TO INSIDE OF STUD.
 - WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE OWNER/CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME.
 - TRUSS SUPPLIERS ARE TO HAVE FINAL SAY ON ROOF/FLOOR LAYOUT AND INTEGRITY.
 - ⊙ - SMOKE DETECTOR
 - ⊙_{CO} - SMOKE DETECTOR W/ CO DETECTOR
 - ⊞ - EGRESS WINDOW
 - EXHAUST FAN.
 - VERIFY ALL LOCAL BUILDING CODES.
- APPLIANCES**
- ELECTRIC WATER HEATER - 93%
 - 14.5 SEER A/C UNIT
 - 95% GAS FURNACE
 - ELECTRIC RANGE
 - ELECTRIC DRYER
 - GAS FIREPLACE
- NOTES**
- INTERIOR DOORS ON NO - STEP LEVEL WITH 3/8" ROUGH FRAMING WIDTH. FINISHED DOORS MAY BE SMALLER.
 - WALL SWITCHES, OUTLETS, HEATING CONTROLS TO BE 15" MIN. TO 48" MAX. ABOVE FLOOR.
 - ELECTRICAL PANEL W/ BRANCH CIRCUIT BREAKERS BETWEEN 18" MIN. AND 54" MAX. ABOVE FLOOR.
 - PROVIDE WALL REINFORCEMENT FOR GRAB BARS IN BATHROOMS.
 - EXTERIOR DECK AND PATIO SURFACES ON THE NO - STEP LEVEL WITHIN 4" OF THE TOP OF THE DOOR THRESHOLD.
 - INSTALL PASSIVE RADON SYSTEM 3" PVC PIPE FROM SEALED SUMP PIT TO 12" ABOVE ROOF (VERIFY WITH LOCAL CODE).
 - VERIFY ALL LOCAL BUILDING CODES.

**BUILDING
TYPE A**

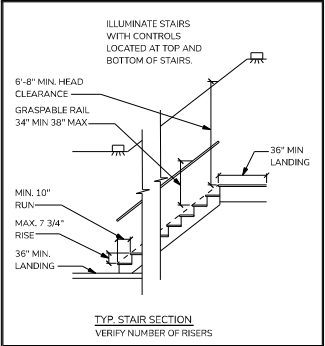
REV#	DATE	BY	CHK

**PROJECT:
SPRUCE DUPLEX
WALKOUT**

**DRAWING TITLE:
MAIN FLOOR
PLAN**

SCALE: 1/8" = 1'-0"
DRAWN BY: PCD
**DATE:
9/7/2018**
**PROJECT NO:
2197-0918**
CHECKED BY:

A4



R311.5.6 Handrails. Handrails shall be provided on at least one side of each continuous run of treads or flight with four or more risers.

R311.5.6.1 Height. Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

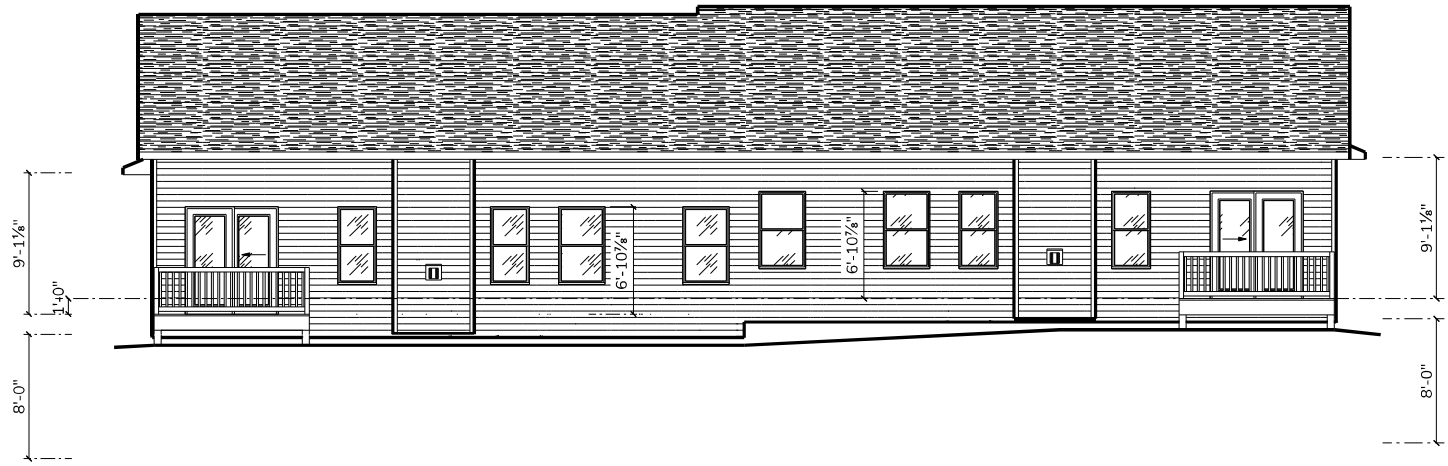
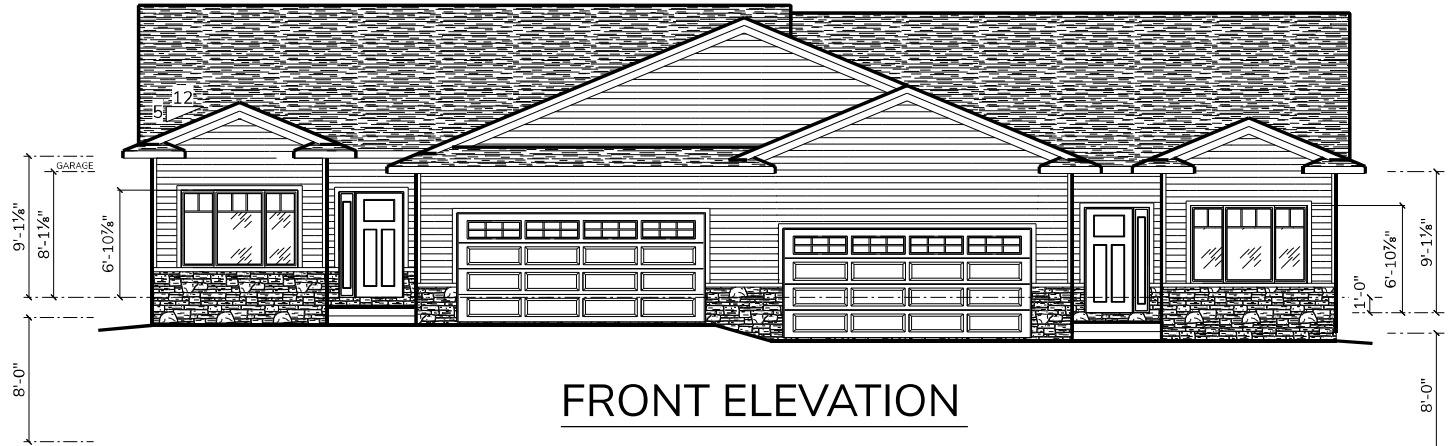
R311.5.6.2 Continuity. Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to walls shall have a space of not less than 1 1/2 inch (38 mm) between the wall and the handrails.

Exceptions:

1. Handrails shall be permitted to be interrupted by a newel post at the turn.
2. The use of a volute, turnout, starting easing or starting newel shall be allowed over the lowest tread.

R312.1 Guards. Porches, balconies, ramps or raised floor surfaces located more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 36 inches (914 mm) in height. Open sides of stairs with a total rise of more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 34 inches (864 mm) in height measured vertically from the nosing of the treads.

Porches and decks which are enclosed with insect screening shall be equipped with guards where the walking surface is located more than 30 inches (762 mm) above the floor or grade below.



BUILDING TYPE B

REV.	REVISIONS	DATE	BY	CHK

PROJECT:
WEST BRANCH DUPLEX
SYCAMORE III

DRAWING TITLE:
FRONT & REAR
ELEVATIONS &
STAIR SECTION

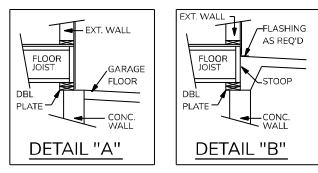
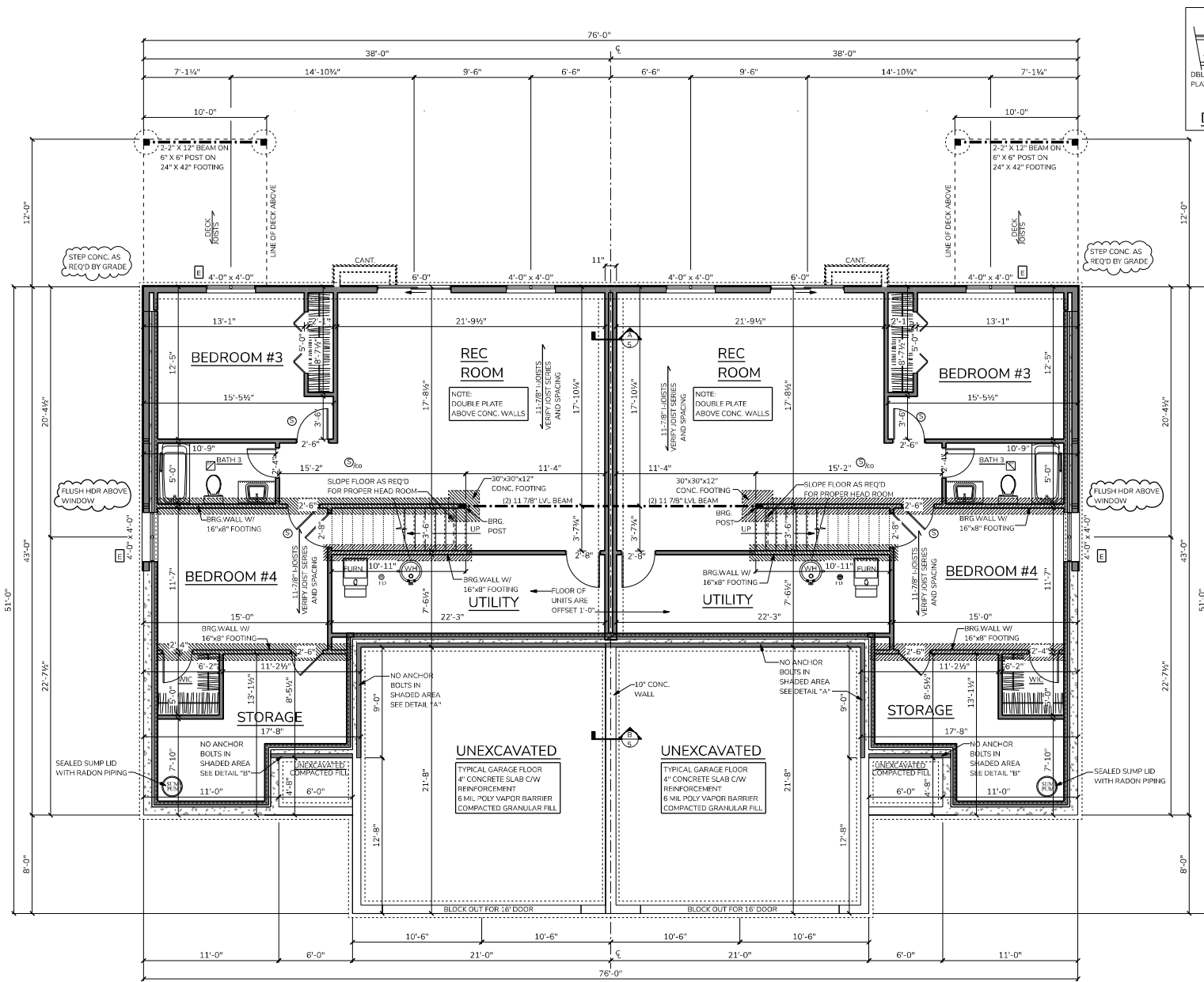
SCALE: 1/8" = 1'-0"

DRAWN BY: PCD

DATE:
11/09/2021

PROJECT NO:
3020-0921

CHECKED BY:



**FINISHED AREA
930 SQ. FT.**

GENERAL NOTES

- DESIGN LOAD FACTORS. FLOOR AREAS - 55 TOTAL LBS. SQ. FT. ROOF TRUSSES - 60 TOTAL LBS. SQ. FT.
- VERIFY ALL EXTERIOR WALLS - UNLESS NOTED. ALL INTERIOR WALLS ARE 2 X 4 - UNLESS NOTED.
- 8'-0" CONC. WALL HEIGHT - UNLESS NOTED.
- VERIFY ALL HEADER SIZES OVER ALL EXTERIOR LOAD BEARING OPENINGS.
- EXTERIOR WALL DIMENSIONS ARE OUTSIDE TO OUTSIDE OF STUD. INTERIOR DIMENSIONS ARE INSIDE TO INSIDE OF STUD.
- WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE OWNER/CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME.
- TRUSS SUPPLIERS ARE TO HAVE FINAL SAY ON ROOF/FLOOR LAYOUT AND INTEGRITY.
- ⊙ = SMOKE DETECTORS
- ⊙_{CO} = SMOKE DETECTORS W/ CO DETECTOR
- ⊞ = EGRESS WINDOW
- EXHAUST FAN. ☑
- VERIFY ALL LOCAL BUILDING CODES.

NOTES

- INTERIOR DOORS ON NO - STEP LEVEL WITH 3/8" ROUGH FRAMING WIDTH. (FINISHED DOORS MAY BE SMALLER).
- WALL SWITCHES, OUTLETS, HEATING CONTROLS TO BE 15" MIN. TO 48" MAX. ABOVE FLOOR.
- ELECTRICAL PANEL W/ BRANCH CIRCUIT BREAKERS BETWEEN 18" MIN. AND 54" MAX. ABOVE FLOOR.
- PROVIDE WALL REINFORCEMENT FOR GRAB BARS IN BATHROOMS.
- EXTERIOR DECK AND PATIO SURFACES ON THE NO - STEP LEVEL WITHIN 4" OF THE TOP OF THE DOOR THRESHOLD.
- INSTALL PASSIVE RADON SYSTEM 3" PVC PIPE FROM SEALED SUMP PIT TO 12" ABOVE ROOF (VERIFY WITH LOCAL CODE).
- VERIFY ALL LOCAL BUILDING CODES.

CONC. DEADMANS AS REQ'D FOR STRUCTURAL SUPPORT

BUILDING TYPE B

REV.	REVISIONS	DATE	BY	CHK

PROJECT: WEST BRANCH DUPLEX SYCAMORE III

DRAWING TITLE: LOWER FLOOR PLAN

SCALE: 1/8" = 1'-0"

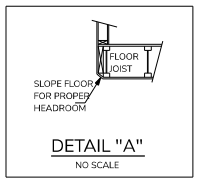
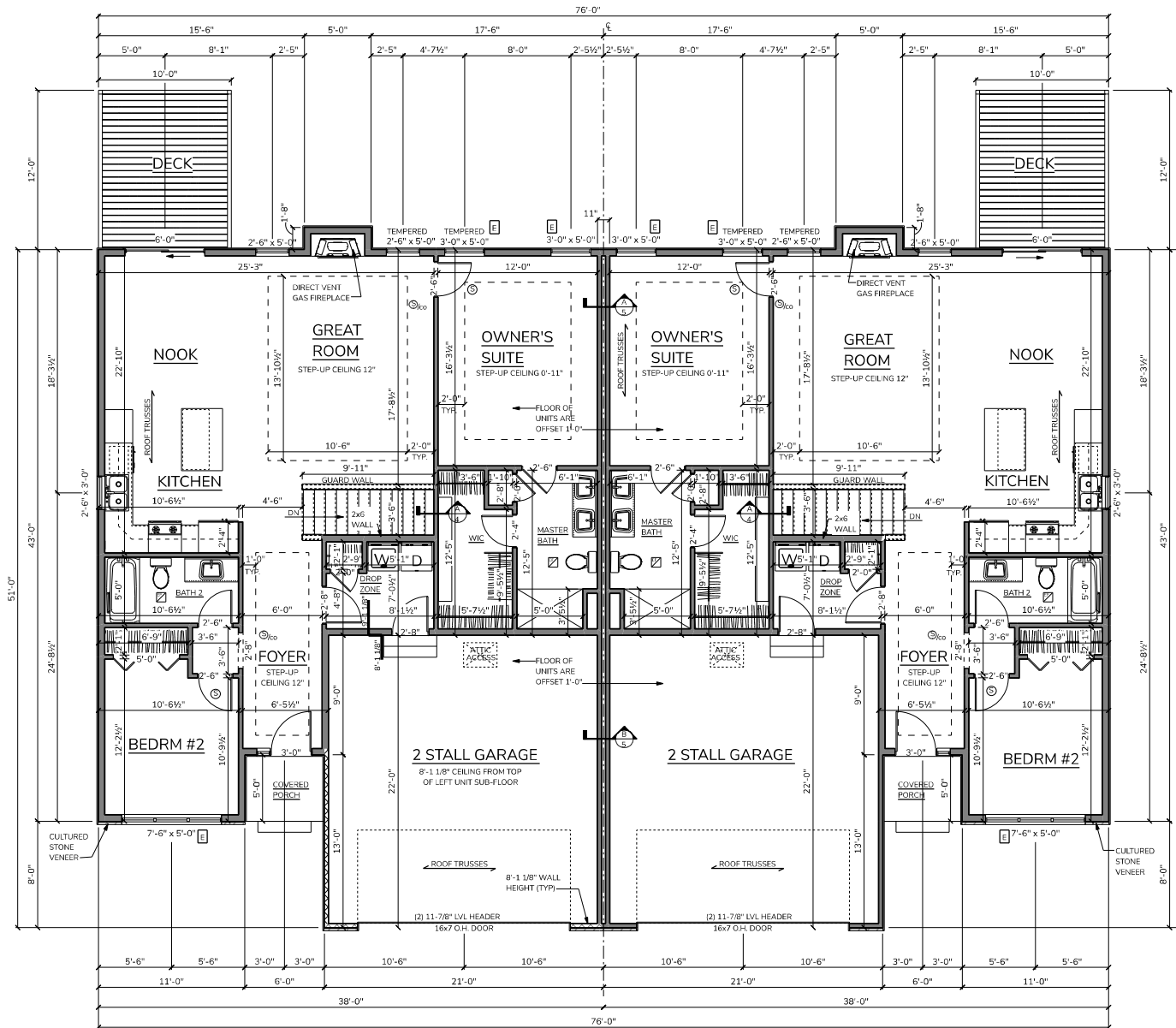
DRAWN BY: PCD

DATE: 11/09/2021

PROJECT NO: 3020-0921

CHECKED BY:

A3



1ST FLOOR AREA
1313 SQ. FT.

GARAGE AREA
459 SQ. FT.

- GENERAL NOTES**
- DESIGN LOAD FACTORS.
FLOOR AREAS - 55 TOTAL LBS. SQ. FT.
ROOF TRUSSES - 50 TOTAL LBS. SQ. FT.
 - ALL EXTERIOR WALLS ARE 2 X 6 - UNLESS NOTED.
ALL INTERIOR WALLS ARE 2 X 4 - UNLESS NOTED.
GARAGE WALL TO BE 2 X 4 - UNLESS NOTED.
 - 9' - 1 1/8" WALL HEIGHT - UNLESS NOTED.
 - VERIFY ALL HEADER SIZES OVER ALL EXTERIOR LOAD BEARING OPENINGS.
 - EXTERIOR WALL DIMENSIONS ARE OUTSIDE TO OUTSIDE OF STUD. INTERIOR DIMENSIONS ARE INSIDE TO INSIDE OF STUD.
 - WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE OWNER/CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME.
 - TRUSS SUPPLIERS ARE TO HAVE FINAL SAY ON ROOF/FLOOR LAYOUT AND INTEGRITY.
 - SMOKE DETECTOR
 - SMOKE DETECTOR W/ CO. DETECTOR
 - EGRESS WINDOW
 - EXHAUST FAN
 - VERIFY ALL LOCAL BUILDING CODES.
- APPLIANCES**
- ELECTRIC WATER HEATER - 93%
 - 14.5 SEER AC UNIT
 - 95% GAS FURNACE
 - ELECTRIC RANGE
 - ELECTRIC DRYER
 - GAS FIREPLACE
- NOTES:**
- INTERIOR DOORS ON NO - STEP LEVEL WITH 38" ROUGH FRAMING WIDTH. (FINISHED DOORS MAY BE SMALLER).
 - WALL SWITCHES, OUTLETS, HEATING CONTROLS TO BE 15" MIN. TO 48" MAX. ABOVE FLOOR.
 - ELECTRICAL PANEL W/ BRANCH CIRCUIT BREAKERS BETWEEN 18" MIN AND 54" MAX. ABOVE FLOOR.
 - PROVIDE WALL REINFORCEMENT FOR GRAB BARS IN BATHROOMS.
 - EXTERIOR DECK AND PATIO SURFACES ON THE NO - STEP LEVEL WITHIN 4" OF THE TOP OF THE DOOR THRESHOLD.
 - INSTALL PASSIVE RADON SYSTEM 3" PVC PIPE FROM SEALED SUMP PIT TO 12" ABOVE ROOF (VERIFY WITH LOCAL CODE).
 - VERIFY ALL LOCAL BUILDING CODES.

BUILDING TYPE B

REV.	REVISIONS	DATE	BY	CHK.

PROJECT:
WEST BRANCH DUPLEX
SYCAMORE III

DRAWING TITLE:
MAIN FLOOR
PLAN

SCALE: 1/8" = 1'-0"

DRAWN BY: PCD

DATE:
11/09/2021

PROJECT NO.:
3020-0921

CHECKED BY:

A4



Scanlon Family, LLC
Zoning Map Amendment

Ordinance No. 2023-24

AN ORDINANCE AMENDING THE ZONING MAP DISTRICT DESIGNATION FOR CERTAIN PROPERTY LOCATED IN NORTH LIBERTY, IOWA FROM RS-6 SINGLE-UNIT RESIDENCE DISTRICT TO RD-8 TWO-UNIT RESIDENCE DISTRICT

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT. The Official Zoning Map incorporated in Chapter 168.01(2) of the North Liberty Code of Ordinances is hereby amended by designating the zoning district for 5.28 acres, more or less, as RD-8 Two-Unit Residence District for property particularly described as follows:

That portion of the Northwest Quarter of the Northwest Quarter, Section 17 and that portion of the Southwest Quarter of the Southwest Quarter, Section 8 and that portion of the Northeast Quarter of the Northeast Quarter, Section 18 and that portion of the Southeast Quarter of the Southeast Quarter, Section 7 all in Township 80 North, Range 6 West of the 5th Principal Meridian, North Liberty, Johnson County, Iowa described as follows: Beginning at the Northwest Corner of Auditor's Plat No. 2021024 as recorded in Book 64, Page 353 in the Office of the Johnson County, Iowa Recorder; thence S45°44'12"W on a northwesterly line of said Auditor's Parcel, 19.89 feet; thence N89°18'06"W, 162.43 feet; thence S0°29'51"W, 208.50 feet; Thence N89°18'06"W, 165.00 feet; Thence N0°29'51"E, 595.03 feet; thence N8°02'39"W, 79.99 feet; thence N28°36'15"W, 33.00 feet; thence N61°23'45"E, 187.78 feet to the beginning of a 198.34 foot radius curve, concave southerly and having a long chord of 101.56 feet bearing N76°13'50"E; thence easterly on the arc of said curve, 102.71 feet; thence S88°54'45"E, 90.83 feet; thence S1°03'09"E on the west line of Auditor's Parcel No. 2018039 as recorded in Book 62, Page 97 in the Office of The Johnson County, Iowa Recorder, 597.25 Feet to the Point Of Beginning. Described Parcel Contains 5.28 Acres;

SECTION 2. CONDITIONS IMPOSED. At the September 5, 2023, meeting the Planning Commission accepted the listed finding and forwarded the request for a zoning map amendment to the City Council with a recommendation for approval with no conditions.

SECTION 3. ZONING MAP. It is hereby authorized and directed that the Zoning Map of the City of North Liberty, Iowa, be changed to conform to this amendment upon final passage, approval and publication of this ordinance as provided by law.

SECTION 4. RECORDATION. The City Clerk is hereby authorized and directed to record this ordinance at the Johnson County Recorder's office upon final passage and approval.

SECTION 5. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 6. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 7. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 8. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____.
Second reading on _____.
Third and final reading on _____.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:
I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2023-24 in *The Gazette* on the ____ of _____, 2023.

TRACEY MULCAHEY, CITY CLERK



September 5, 2023

Chris Hoffman, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of Scanlon Family, LLC. For a zoning map amendment (rezoning) on approximately 5.28 acres from RS-6 Single-Unit Residence District to RD-8 Two-Unit Residence District. The property is located on the north side of Berkshire Lane as extended westerly 85' from its current terminus in Greenbelt Trail, Part 2 Subdivision.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its September 5, 2023 meeting. The Planning Commission took the following action:

Finding:

1. The rezoning request from RS-6 Single-Unit Residence District to RD-8 Two-Unit Residence District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

Recommendation:

The Planning Commission accepted the listed findings and forwards the request for zoning map amendment (rezoning) from RS-6 Single-Unit Residence District to RD-8 Two-Unit Residence District on approximately 5.28 acres to the City Council with a recommendation for approval.

The vote for approval was 5-0.

Jason Heisler, Vice Chairperson
City of North Liberty Planning Commission



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **September 1, 2023**
 Re **Request of Scanlon Family, LLC. For a zoning map amendment (rezoning) on approximately 5.28 acres from RS-6 Single-Unit Residence District to RD-8 Two-Unit Residence District. The property is located on the north side of Berkshire Lane as extended westerly 85' from its current terminus in Greenbelt Trail, Part 2 Subdivision.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

The request proposes to rezone a portion of the proposed Greenbelt Trail development to allow 22 single-unit zero lot line dwellings.



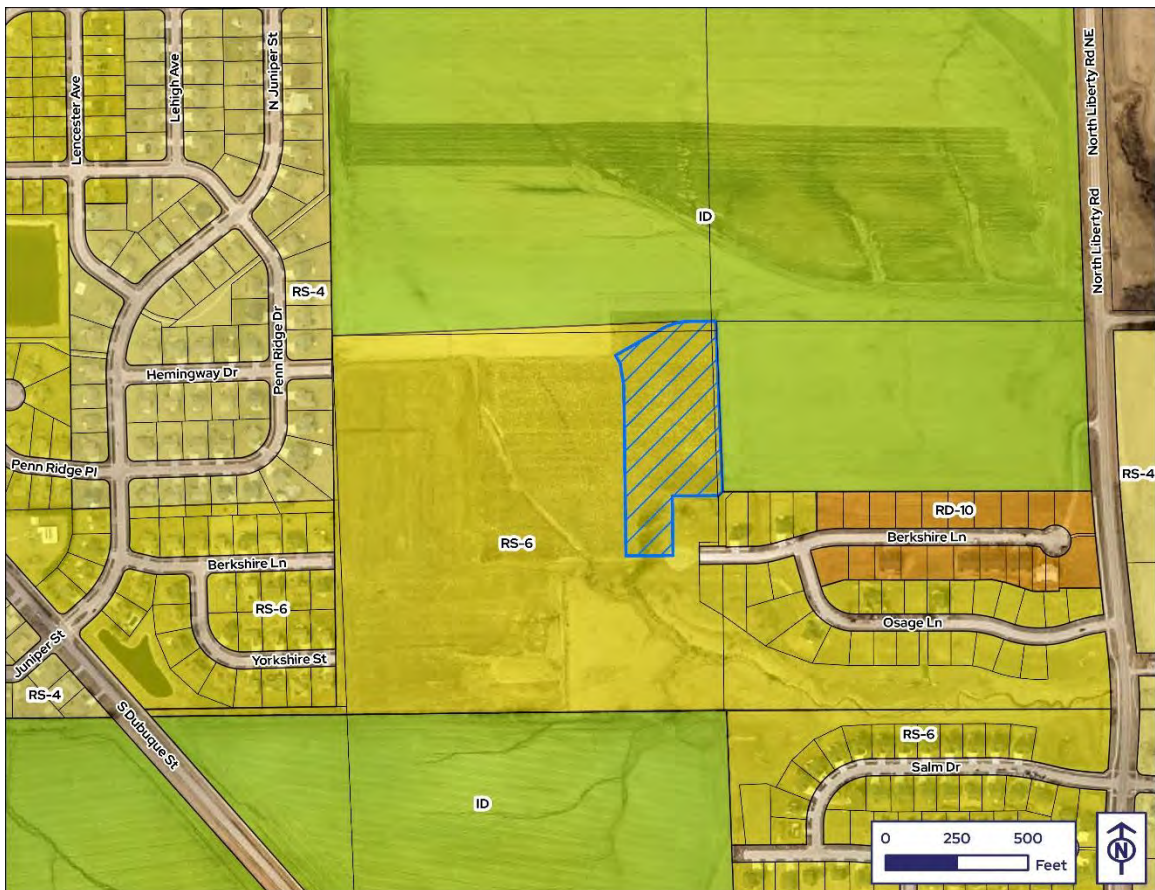
2. Current and Proposed Zoning:

Current Zoning

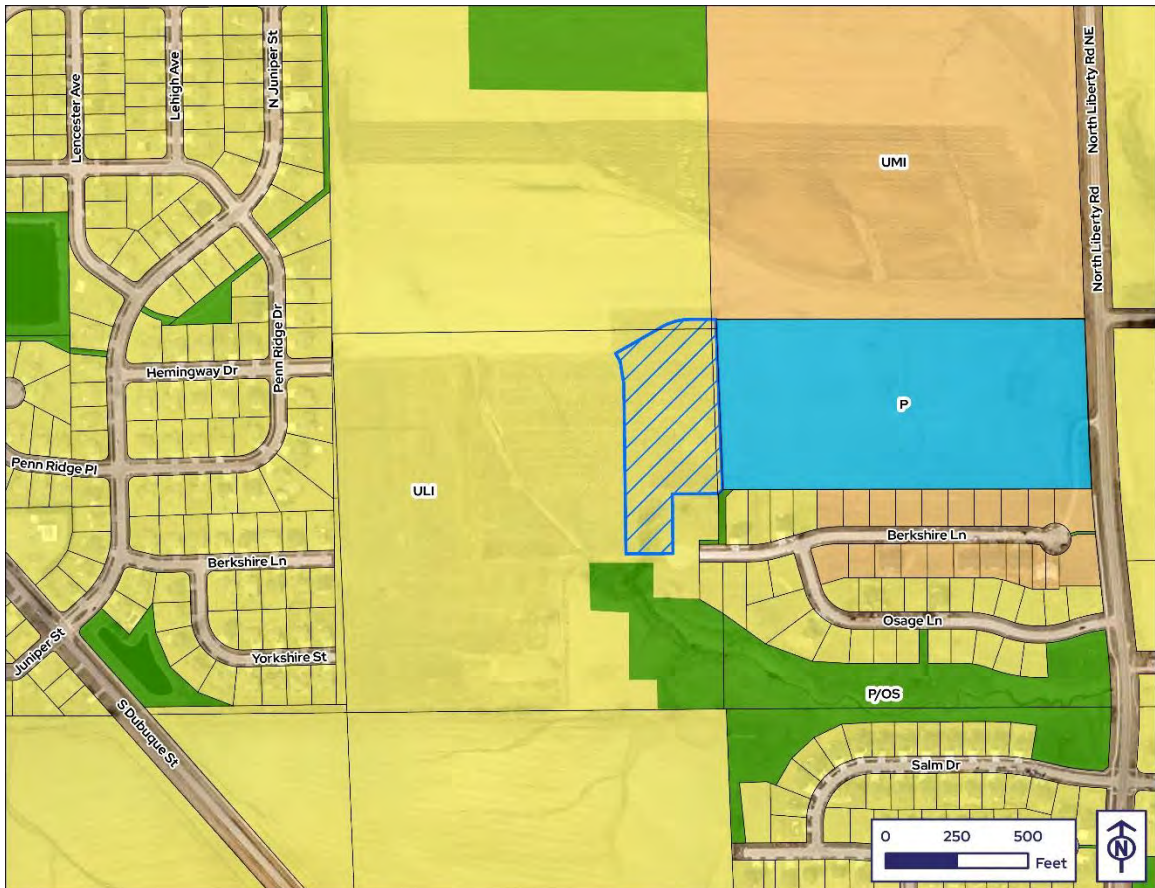
RS-6 Single-Unit Residence District. The RS-6 District is intended to provide for and maintain moderate density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-6 District.

Proposed Zoning

RD-8 Two-Unit Residence District. The RD-8 District is intended to allow for attached single-unit dwellings joined together on a common boundary line with a common wall between the units. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RD-8 District.



3. Consistency with Comprehensive Plan: Land Use Plan designation: Urban Low Intensity.



Urban Low Intensity Description

An efficient, walkable pattern of lower-density development. Compared to denser areas, ULI has more space and separation of uses, with farther distances between destinations and fewer shared amenities. Low-intensity areas can include a horizontal mix of primarily residential and limited non-residential uses at compatible lower densities and scales.

Residential

Emphasis on single-family detached and attached residential developments. Attached housing projects may primarily be at transition areas between arterial or collector streets, small scale commercial uses, and higher intensity districts.

Form and Features

- » General aggregate development density of 3 to 8 units per acre. Lot sizes can vary within developments to provide different housing types.
- » A framework of streets and open space should create neighborhoods and multiple access points for all types of transportation.
- » Open spaces, streets, and trail connections integrate with the larger community.

4. Public Input:

A virtual good neighbor meeting was held on July 18, 2023. City staff, one member of the Planning Commission and the applicant attended the meeting. There are no objections to the request.

5. Zoning Map Amendment Approval Standards

Section 165.09(4)(D)(1) of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

Map Amendments.

- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

Figure 3.4 within Connected to Tomorrow was utilized to determine which zoning district would be compatible with the Future Land Use Map.

Figure 3.4: Land Use Compatibility

TRADITIONAL LAND USES	AGRICULTURE (AG)	URBAN RESERVE (UR)	URBAN LOW INTENSITY (ULI)	URBAN MEDIUM INTENSITY (UMI)	URBAN HIGH INTENSITY (UHI)	COMMERCIAL/ INDUSTRIAL FLEX (FLX)	PUBLIC AND SEMI PUBLIC (PUB)	PARK AND OPEN SPACE (P, OS)
Agriculture	●	●						○
Rural residential		●						
Low-density residential			●	○				
Medium-density residential			●	●	○			
High-density residential				●	●	○		
Rural commercial		●		●	●	○		
Neighborhood commercial			○	●	●	●		
Community commercial				○	●	●		
Regional commercial					○	●		
Low/medium intensity office			○	●	●	●		
High-intensity office				○	●	●		
Limited industrial		○				●		
Heavy industrial						○		
Parks and civic uses	●	●	●	●	●	○	●	●
Major public/civic facilities					○	○	●	○
Residential density range (du/A*)	≤40	≤40	3-8	7-14	14+	14+	NA	NA

● Permitted ○ Permitted with special review
*Dwelling Units per Acre

The RD-8 zoning allows a lot size of 5,000 square feet per dwelling unit (8.71 units/acre). It is staff's opinion that the zoning map amendment would achieve consistency with the Comprehensive Plan and adopted land use policies.

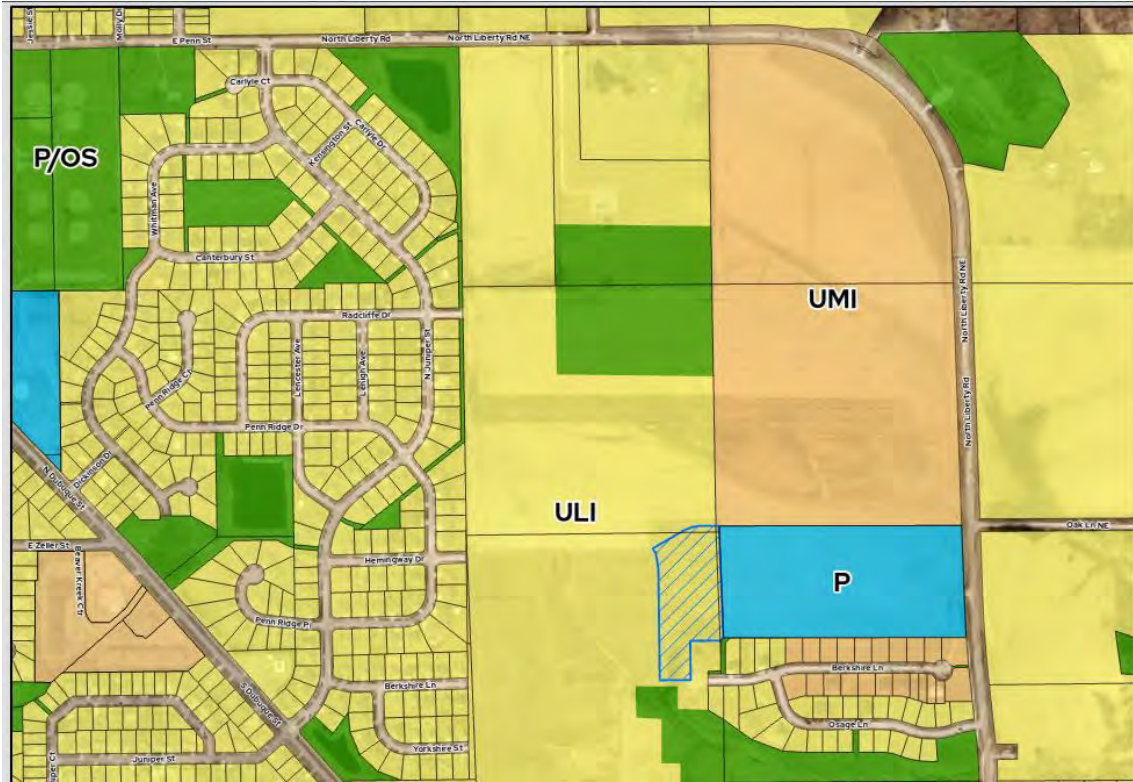
- (b) The compatibility with the zoning of nearby property.
The surrounding properties within the Greenbelt Trail development are zoned RS-6 and RD-10, which allow lot sizes of 7,000 square feet and 4,500 square feet per dwelling unit, respectively. It is staff's opinion that the proposed zoning would be compatible with the area.
- (c) The compatibility with established neighborhood character.
It is staff's opinion that the proposed zoning would be compatible with established neighborhood character.
- (d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.
It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.
- (e) The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property in question for one or more of the uses permitted under the existing zoning classification.
The property is currently approved for 14 single-unit dwelling lots. If approved, this would 22 zero lot line single-unit dwellings.
- (f) The extent to which the proposed amendment creates nonconformities.
It is staff's opinion that the proposed zoning would not create any nonconformities.

6. Additional Considerations:

It is staff's understanding that this request is due to the developer wishing to maintain a mix of single-unit and zero lot line single-unit dwellings for Greenbelt Trail Part 3. The developer has indicated that the RD zoning (south of future Hemmingway Dr) would be limited to this location and that the adjacent property would remain RS-6, which would ensure compatibility with the Arlington Ridge Subdivision.

The City Council denied a rezoning from RS-6 to RD-10 on this property in 2022. Notably, the new Comprehensive Plan has since been adopted, which provides better guidance on land uses than the comprehensive plan in effect in 2022. The subject property and adjacent properties to the west and north are designed Urban Low Intensity (ULI) on the Future Land Use Map. ULI allows a general aggregate development density of 3 to 8 units per acre. While RD-8 is at the higher end of this density, it is staff's opinion that the location is appropriate due to its proximity to the future school and other RD zoned properties. Staff expects residential density to decrease as development gets closer to Arlington Ridge.

There is a large amount of land area designed Urban Medium Intensity (UMI) on the Future Land Use Map adjacent to the North Liberty Road. UMI allows general aggregate development density of 7 to 14 dwelling units per acre. This will facilitate a good mix of residential development while allowing compatibility with surrounding neighborhood character.



7. Staff Recommendation:

Finding:

1. The rezoning request from RS-6 Single-Unit Residence District to RD-8 Two-Unit Residence District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

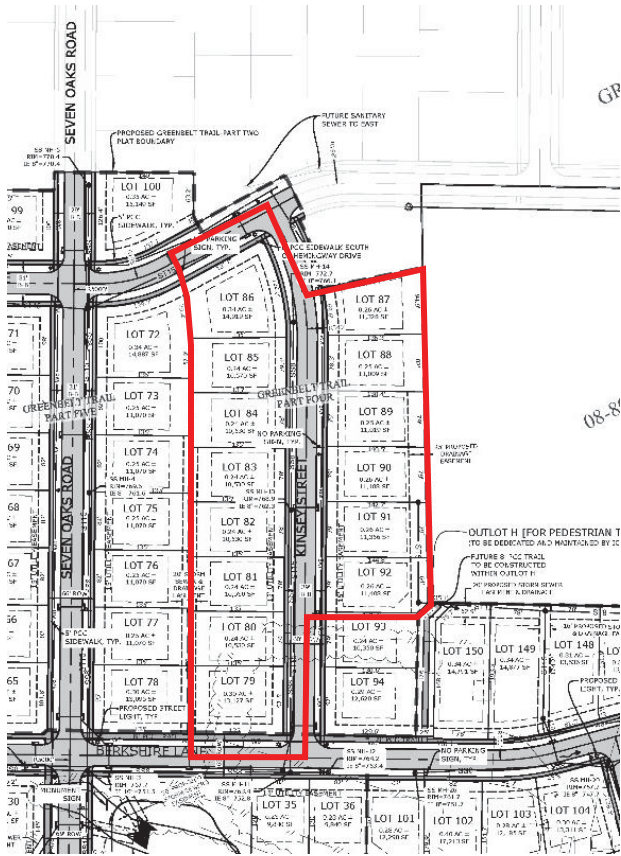
Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request for zoning map amendment (rezoning) from RS-6 Single-Unit Residence District to RD-8 Two-Unit Residence District on approximately 5.28 acres to the City Council with a recommendation for approval.

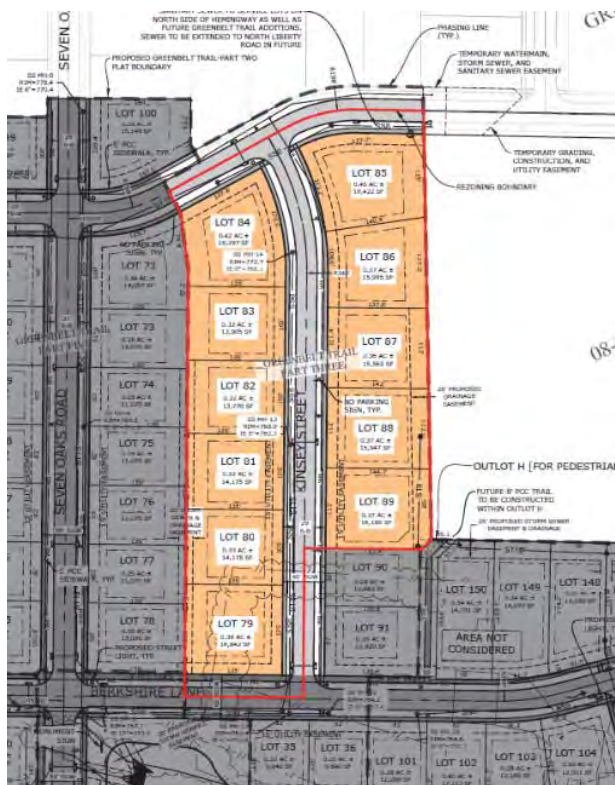
Suggested motion:

I move that the Planning Commission accept the listed finding and forward the zoning map amendment to the City Council with a recommendation for approval.

Comparison Existing vs. Proposed



Approved Preliminary Plat



Proposed Preliminary Plat Shown as 11 lots - Would be Subdivided into 22 lots



Street Vacation

Ordinance No. 2023-25

AN ORDINANCE VACATING A PORTION OF RIGHT OF WAY IN NORTH LIBERTY, IOWA

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. PURPOSE. The purpose of this ordinance is to vacate a portion of right of way and convey it to the adjoining property owners. Such vacation has been approved by the Planning and Zoning Commission.

SECTION 2. FINDINGS. The City Council of North Liberty, Iowa, hereby makes the following findings:

A. That the City of North Liberty held a public hearing on the proposal to vacate those portions of North Front Street intersecting with Cherry Street from the north, as part of the Dubuque Street Phase One public improvement project. The right of way to be vacated is divided into two parcels.

1. Parcel 1 is described as:

That part of Front Street located in the Northeast Quarter of the Southeast Quarter of Section 12, Township 80 North, Range 7 West of the 5th P.M., North Liberty, Johnson County, Iowa described as follows:

Commencing as a point of reference at the Southeast Corner of said Southeast Quarter; thence North 0°02'37" West 1390.95 feet along the east line of said Southeast Quarter (assumed bearing for this description only) to the point of beginning; thence South 89°29'32" West 33.00 feet to the southeast corner of Lot 1, Block 4 of the Original Town of North Liberty, Iowa; thence North 0°02'37" West 122.00 feet along the east line of said Block 4 and the westerly right-of-way of Front Street; thence North 81°26'31" East 33.37 feet to a point of intersection with said east line of said Southeast Quarter; thence South 0°02'37" East 126.67 feet along said east line feet to the point of beginning and containing 4103 square feet more or less.

2. Parcel 2 is described as:

That part of Front Street located in the Northwest Quarter of the Southwest Quarter of Section 7, Township 80 North, Range 6 West of the 5th P.M., North Liberty, Johnson County, Iowa described as follows:

Commencing as a point of reference at the Southwest Corner of said Southwest Quarter; thence North 0°02'37" West 1390.95 feet along the west line of said Southwest Quarter (assumed bearing for this description only) to the point of beginning; thence continuing North 0°02'37" West 169.67 feet along said west line; thence North 81°26'31" East 30.33 feet to a point of intersection with the southwesterly right-of-way of Dubuque Street; thence South 0°02'37" East 131.39 feet along the easterly right-of-way of said Front Street to a point of intersection with the northerly right-of-way of Cherry Street; thence North 89°36'21" West 30.00 feet to the point of beginning and containing 3871 square feet more or less.

B. The right of way described above is not needed for the use of the public, and therefore its maintenance at public expense is no longer justified.

C. The proposed vacation will not deny owners of property abutting it reasonable access to their property.

D. That under the provisions stated above, the above-described Parcel 1 and Parcel 2 are hereby vacated and declared no longer a part of the public streets and grounds of North Liberty, Iowa.

SECTION 3. CONVEYANCE.

A. Parcel 1, as described in Section 2(A)(1) above, is hereby conveyed to MCBALLARD, L.L.C., as the owner of the adjacent property situated at 10 W. Cherry Street. Said Parcel 1 is conveyed subject to a public utility easement over and across the entirety of the area so described in Section 2(A)(1) above.

B. Parcel 2, as described in Section 2(A)(2) above, is hereby conveyed to Yetley Real Estate, LLC, as the owner of the adjacent property situated at 325 N. Dubuque Street.

SECTION 4. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 5. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 6. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____.
Second reading on _____.
Third and final reading on _____.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2023-25 in the *Cedar Rapids Gazette* on _____.

TRACEY MULCAHEY, CITY CLERK



September 5, 2023

Chris Hoffman, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of the City of North Liberty to vacate North Front Street between Cherry Street and North Dubuque Street.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its September 5, 2023 meeting. The Planning Commission took the following action:

Findings:

1. North Front Street right-of-way between the North Dubuque Street and Cherry Street rights-of-way is not needed for the use of the public, and therefore, its maintenance at public expense is no longer justified; and
2. The proposed vacation will not deny owners of property abutting on the street or alley reasonable access to their property.

Recommendation:

The Planning Commission accepted the listed findings and forwards the request to vacate North Front Street between Cherry Street and North Dubuque Street to the City Council with a recommendation for approval.

The vote for approval was 5-0.

Jason Heisler, Vice Chairperson
City of North Liberty Planning Commission



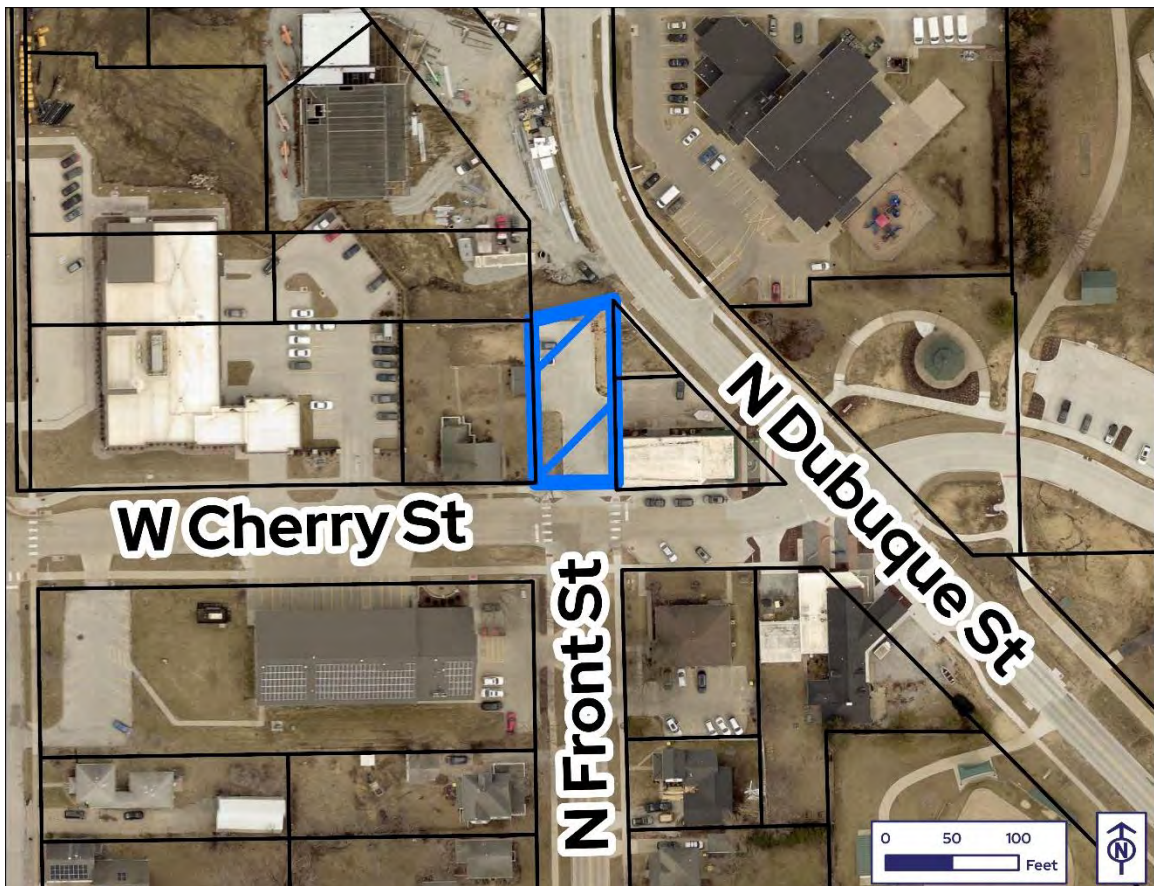
To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **September 1, 2023**
Re **Request of the City of North Liberty to vacate North Front Street between Cherry Street and North Dubuque Street.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

With the North Dubuque Street realignment, the section of North Front Street between the realigned North Dubuque Street and Cherry Street was no longer needed as a public street. It is anticipated that the right-of-way would be divided between the property at 10 West Cherry Street, 325 North Dubuque Street and the new Civic Campus.



2. Public Input:

No public input has been received.

3. Additional Considerations:

Pursuant to Section 137.01 of the City Code:

Any proposal to vacate a street, alley, portion thereof, or any public grounds shall be referred by the Council to the Planning and Zoning Commission for its study and recommendation prior to further consideration by the Council. The Commission shall submit a written report including recommendations to the Council within thirty (30) days after the date the proposed vacation is referred to the Commission..

4. Staff Recommendation:**Findings:**

1. North Front Street right-of-way between the North Dubuque Street and Cherry Street rights-of-way is not needed for the use of the public, and therefore, its maintenance at public expense is no longer justified; and
2. The proposed vacation will not deny owners of property abutting on the street or alley reasonable access to their property.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request to vacate North Front Street between Cherry Street and North Dubuque Street to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the request to vacate North Front Street between Cherry Street and North Dubuque Street to the City Council with a recommendation for approval.

Ordinance No. 2023-XX

AN ORDINANCE VACATING A PORTION OF RIGHT OF WAY IN NORTH LIBERTY, IOWA

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. PURPOSE. The purpose of this ordinance is to vacate a portion of right of way and convey it to the adjoining property owners. Such vacation has been approved by the Planning and Zoning Commission.

SECTION 2. FINDINGS. The City Council of North Liberty, Iowa, hereby makes the following findings:

A. That the City of North Liberty held a public hearing on the proposal to vacate those portions of North Front Street intersecting with Cherry Street from the north, as part of the Dubuque Street Phase One public improvement project. The right of way to be vacated is divided into two parcels.

1. Parcel 1 is described as:

That part of Front Street located in the Northeast Quarter of the Southeast Quarter of Section 12, Township 80 North, Range 7 West of the 5th P.M., North Liberty, Johnson County, Iowa described as follows:

Commencing as a point of reference at the Southeast Corner of said Southeast Quarter; thence North 0°02'37" West 1390.95 feet along the east line of said Southeast Quarter (assumed bearing for this description only) to the point of beginning; thence South 89°29'32" West 33.00 feet to the southeast corner of Lot 1, Block 4 of the Original Town of North Liberty, Iowa; thence North 0°02'37" West 122.00 feet along the east line of said Block 4 and the westerly right-of-way of Front Street; thence North 81°26'31" East 33.37 feet to a point of intersection with said east line of said Southeast Quarter; thence South 0°02'37" East 126.67 feet along said east line feet to the point of beginning and containing 4103 square feet more or less.

2. Parcel 2 is described as:

That part of Front Street located in the Northwest Quarter of the Southwest Quarter of Section 7, Township 80 North, Range 6 West of the 5th P.M., North Liberty, Johnson County, Iowa described as follows:

Commencing as a point of reference at the Southwest Corner of said Southwest Quarter; thence North 0°02'37" West 1390.95 feet along the west line of said Southwest Quarter (assumed bearing for this description only) to the point of beginning; thence continuing North 0°02'37" West 169.67 feet along said west line; thence North 81°26'31" East 30.33 feet to a point of intersection with the southwesterly right-of-way of Dubuque Street; thence South 0°02'37" East 131.39 feet along the easterly right-of-way of said Front Street to a point of intersection with the northerly right-of-way of Cherry Street; thence North 89°36'21" West 30.00 feet to the point of beginning and containing 3871 square feet more or less.

B. The right of way described above is not needed for the use of the public, and therefore its maintenance at public expense is no longer justified.

C. The proposed vacation will not deny owners of property abutting it reasonable access to their property.

D. That under the provisions stated above, the above-described Parcel 1 and Parcel 2 are hereby vacated and declared no longer a part of the public streets and grounds of North Liberty, Iowa.

SECTION 3. CONVEYANCE.

A. Parcel 1, as described in Section 2(A)(1) above, is hereby conveyed to MCBALLARD, L.L.C., as the owner of the adjacent property situated at 10 W. Cherry Street. Said Parcel 1 is conveyed subject to a public utility easement over and across the entirety of the area so described in Section 2(A)(1) above.

B. Parcel 2, as described in Section 2(A)(2) above, is hereby conveyed to Yetley Real Estate, LLC, as the owner of the adjacent property situated at 325 N. Dubuque Street.

SECTION 4. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 5. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 6. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____.
Second reading on _____.
Third and final reading on _____.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2023-XX in the *Cedar Rapids Gazette* on _____.

TRACEY MULCAHEY, CITY CLERK



Zoning Ordinance Amendments

ORDINANCE NO. 2023-26

REQUEST OF THE CITY OF NORTH LIBERTY FOR AN ORDINANCE AMENDING CHAPTERS 139, 165, 166, 167, 168, 169 AND 173 OF THE NORTH LIBERTY CODE OF ORDINANCES, AMENDING REGULATIONS FOR NAMING OF STREETS, CONDITIONS FOR CONSTRUCTION SITE PLAN APPROVAL, ZONING MAP AMENDMENTS, AND REQUIRED COMPREHENSIVE PLAN COMPONENTS, ADDING NEW AND UPDATING DEFINITIONS, AMENDING CERTAIN RESIDENTIAL DISTRICTS AND COMBINING THE C-2-A AND C-2-B ZONING DISTRICTS, AMENDING BULK REQUIREMENTS IN CERTAIN RESIDENTIAL AND COMMERCIAL DISTRICTS, ZONING USE MATRIX AND ZONING USE STANDARDS, OFF-STREET PARKING REGULATIONS, MAXIMUM FENCE HEIGHT IN RESIDENTIAL DISTRICTS, ACCESSORY STRUCTURE STANDARDS, AND PERMITTED ENCROACHMENTS IN REQUIRED YARDS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT OF THE NAMING OF STREETS ORDINANCES. Chapter 139.01 of the North Liberty Code of Ordinances is amended to read as follows:

New streets shall be assigned names in accordance with the following:

1. Extension of Existing Street. Streets added to the City that are natural extensions of existing streets shall be assigned the name of the existing street.
2. Resolution. All streets shall be named by resolution. Streets names depicted on a final subdivision plat and/or preliminary site plan approved by resolution satisfy this requirement.
3. Planning and Zoning Commission. Proposed street names shall be referred to the Planning and Zoning Commission for review and recommendation.

SECTION 2. AMENDMENT OF ZONING ORDINANCE. Paragraph 3(D) of Chapter 165.05 of the North Liberty Code of Ordinances is amended to read as follows:

- D. Extension of public utilities and services, dedication of right-of-way.
 - (1) The petitioner may, as a condition of the construction site plan approval, be required to install public utilities, including (but not limited to) water lines, storm sewer, sanitary sewer, street paving, fire hydrants, and such other utilities as applicable to properly serve the proposed development , to provide easements for the ingress and egress of public utility and emergency vehicles, and to dedicate right-of-way to accommodate motorized and nonmotorized transportation, parking, and utility requirements. The

City and petitioner may enter into a written site plan agreement governing the installation and establishment of such utilities and accommodations necessary to satisfy public needs. Where required as a condition of a construction site plan approval, utilities shall be constructed in accordance with construction standards as established by resolution of the City Council for those portions within the public right-of-way and to be dedicated to the City, and may be required to be constructed to the same specifications for those undedicated portions where said utilities may have a direct effect on the future safety, proper functioning, and maintenance of those portions to be dedicated.

- (2) To allow orderly development, the water lines and sanitary sewer service installed in a proposed development pursuant to subparagraph 1 above shall extend to the boundary line of the subject property, and beyond as may be determined to be necessary by the City to provide for future service to adjacent properties. The City shall require the installation of water and sewer service of sufficient size and capacity to serve the full area capable of being served by each such type of improvement, so that the City will not be required to construct parallel or duplicate facilities. If such improvements are greater in size than needed to serve the subject property itself, the City, at its discretion, may share in the expense thereof. Such cost sharing shall be according to the terms of a site plan agreement. Any payment of excess costs by the City shall be pursuant to state law.

SECTION 3. AMENDMENT OF ZONING ORDINANCE. Paragraph 4(D) of Chapter 165.09 of the North Liberty Code of Ordinances is amended to read as follows:

- D. Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards.
 - (1) Map Amendments.
 - (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.
 - (b) The compatibility with the zoning of nearby property
 - (c) The compatibility with established neighborhood character.
 - (d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.

- (e) The extent to which the proposed amendment creates nonconformities.

SECTION 4. AMENDMENT OF ZONING ORDINANCE. Paragraph 7(A) of Chapter 166.02 of the North Liberty Code of Ordinances is amended to read as follows:

Comprehensive Plan. It shall be the duty of the Commission, after holding public hearings, to create and recommend to the Council a comprehensive plan for the physical development of its jurisdiction, which may include areas outside of the City’s boundaries which bear consideration to the planning of the jurisdiction. The Commission shall also recommend amendments to the comprehensive plan.

SECTION 5. AMENDMENT OF ZONING ORDINANCE. Chapter 167.01 of the North Liberty Code of Ordinances is amended as follows:

- 1. The existing defined term, “Accessory building,” is amended to read as follows:

“Accessory structure” means a structure incidental to and located on the same lot as the principal building.

- 2. A new defined term, “Gazebo,” as set forth below, is inserted between the definitions of “Garage, private” and “Grade”:

“Gazebo” means a freestanding roofed structure with open sides.

- 3. Delete definitions, “Lot,” Lot, corner,” “Lot, flag,” “Lot, interior”.

- 4. New defined term, “Lot,” as set forth below, is inserted between the definitions of “Livestock” and “Lot area”:

“Lot” means the basic development unit for determination of lot area, depth, and other dimensional regulations. The following describes the types of lot configurations:

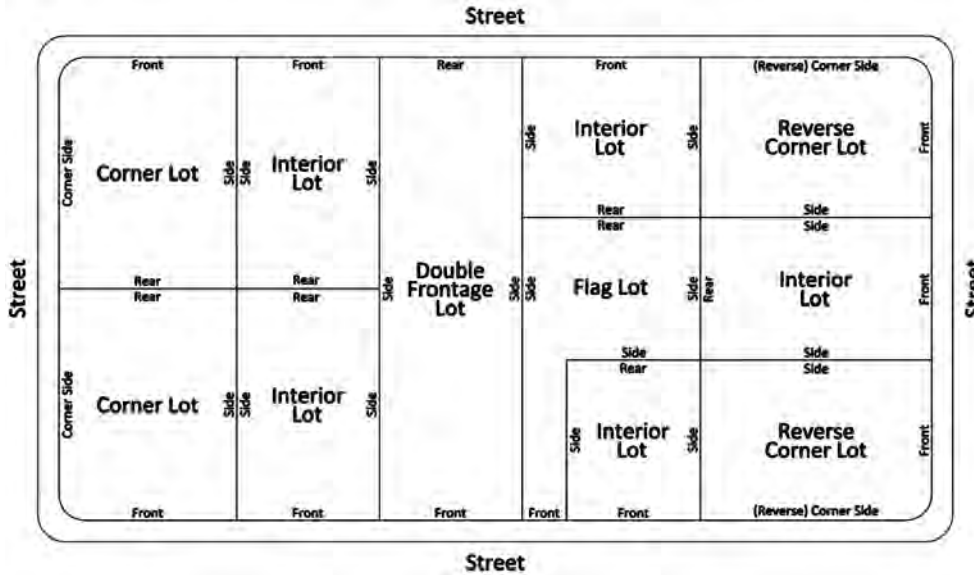
An “interior lot” means a lot other than a corner or through lot, bounded by two interior side lot lines.

A “corner lot” means a lot situated at the junction of, and abutting on, two or more intersecting streets.

A “double frontage lot” means a lot which fronts upon two streets, or which fronts upon two streets which do not intersect at the boundaries of the lot.

A “reverse corner lot” is a corner lot where the side lot line adjoining a street is substantially a continuation of the front lot line of the first lot to its rear.

A “flag lot” means a lot such that the main building site area (the “flag”) is set back from the street on which it fronts and includes an access strip (the “pole”) connecting the main building site with the street.



3. A new defined term, “Pergola,” as set forth below, is inserted between the definitions of “Parking space” and “Person”:

“Pergola” means an open structure, which may either be freestanding or attached to a structure, that forms a partially shaded pedestrian walkway, passageway, or seating area.

SECTION 6. AMENDMENT OF ZONING ORDINANCE. Paragraphs 1(A) and 1(B) of Chapter 168.01 of the North Liberty Code of Ordinances is amended as follows:

- A. Residential Districts
 - (1) RS-3 Single-Unit Residence District.
 - (2) RS-4 Single-Unit Residence District.
 - (3) RS-6 Single-Unit Residence District.
 - (4) RS-7 Single-Unit Residence District.
 - (5) RS-8 Single-Unit Residence District.
 - (6) RS-9 Single-Unit Residence District.
 - (7) RD-8 Two-Unit Residence District.
 - (8) RD-10 Two-Unit Residence District.
 - (9) RM-8 Multi-Unit Residence District.
 - (10) RM-12 Multi-Unit Residence District.
 - (11) RM-21 Multi-Unit Residence District.
 - (12) R-MH Residential Manufactured Home Park District.

- B. Commercial Districts
 - (1) C-1-A Central Commercial District.
 - (2) C-1-B General Commercial District.
 - (3) C-2 Highway Commercial District.
 - (4) C-3 Higher-Intensity Commercial District.
 - (5) O/RP Office and Research Park District

SECTION 7. AMENDMENT OF ZONING ORDINANCE. Paragraphs 1(A) and 5(B) of Chapter 168.02 of the North Liberty Code of Ordinances is amended as follows:

168.02 RESIDENTIAL DISTRICTS.

- A. RS-3 Single-Unit Residence District. The RS-3 District is intended to provide and maintain low-density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-3 District.
- B. RD and RM Districts.

Table 168.02-B Dimensional Standards SF = Square Feet, DU= Dwelling Unit, ' = Feet					
	RD-8	RD-10	RM-8	RM-12	RM-21
Bulk					
Minimum Lot Area	10,000 SF 5,000 SF/DU	9,000 SF 4,500 SF/DU	21,780 SF 5,000 SF/DU	21,780 SF 3,500 SF/DU	21,780 SF 2,000 SF/DU
Minimum Frontage	40'	35'	75'	50'	50'
Minimum Lot Width	100'	80'	100'	80'	80'
Maximum Building Height	35'	35'	40'	40'	65'
Setbacks					
Minimum Required Front Yard	25'	25'	25'	25'	25'
Minimum Required Corner Side Yard	25'	25'	25'	25'	25'
Minimum Required Side Yard	8'	5'	15'	15'	10'
Minimum Required Rear Yard	30'	30'	30'	30'	30'
*An additional foot of setback is required for every foot of building height over 45'					

SECTION 8. AMENDMENT OF ZONING ORDINANCE. Chapter 168.03 of the North Liberty Code of Ordinances is amended as follows:

168.03 COMMERCIAL DISTRICTS.

1. Defined.
 - A. C-1-A Central Commercial District. The C-1-A District is intended to provide a traditional central setting oriented toward pedestrians as well as automobiles. It is typified by high-density commercial development with minimal setback requirements.
 - B. C-1-B General Commercial District. The C-1-B District is intended to provide for the uses established under the C-1-A Central Commercial District and other commercial uses which due to space requirements and the nature of operations are not suitable for location within a compact central commercial center. Setback and yard requirements are greater than under the C-1-A Central Commercial District.
 - C. C-2 Highway Commercial District. The C-2 District is intended to provide for those commercial uses which may take particular advantage of a highway location and/or due to size or other nuisance constraints may be incompatible with the predominantly retail uses permitted in the C-1-A and C-1-B Commercial Districts, and whose service area is not confined to any one neighborhood or community.
 - D. C-3 Higher-Intensity Commercial District. The C-3 District is intended to accommodate higher-intensity commercial development that serves both local and regional markets. The C-3 District addresses medium and large-scale development that may generate considerable traffic and typically requires significant off-street parking. Higher density residential uses are also allowed to facilitate a mixed-use orientation where appropriate.
 - E. O/RP Office and Research Park District. The O/RP District is intended to accommodate office buildings, similar structures, and complementary uses in a mutually compatible environment. It is designed to provide landscaping and space requirements suitable for an office and research setting. Uses are limited to those compatible with an office setting and those which do not produce noise, air, or other environmental nuisances which might interfere with activities within the district and surrounding residential areas.

2. Dimensional Standards.

Table 168.03 Dimensional Standards SF = Square Feet, ' = Feet						
	C-1-A	C-1-B	C-2		C-3	O/RP
Bulk						
Minimum Lot Area	None	None	None		20,000 SF	1.5 acres
Minimum Frontage	35'	35'	35'		35	100'
Minimum Lot Width	35'	35'	35'		35'	150'
Maximum Building Height	45'	45'	45'		75'*	75'
Setbacks						
Minimum Required Front Yard	0'	25'	25'		25'	50'
Minimum Required Corner Side Yard	0'	25'	25'		25'	50'
Minimum Required Side Yard	0'	10'	10'		10' unless abutting a residential district than 20'*	20'
Minimum Required Rear Yard	10'	10' unless abutting a residential district than 20'*	10' unless abutting a residential district than 20'*		10' unless abutting a residential district than 20'*	50'

* One foot of additional setback above the required side or rear yard setback as measured from a lot line of property within a residential district for every one-foot building height above 35 feet.

SECTION 9. AMENDMENT OF ZONING ORDINANCE. Table 168.06: Use Matrix, in Chapter 168.06 of the North Liberty Code of Ordinances is amended as follows:

Table 168:06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

<u>Use</u>	<u>ID</u>	<u>RS</u>	<u>RD</u>	<u>RM</u>	<u>R-MH</u>	<u>C-1-A</u>	<u>C-1-B</u>	<u>C-2</u>		<u>C-3</u>	<u>OR/P</u>	<u>I-1</u>	<u>I-2</u>	<u>I-P</u>	<u>P</u>
1. Adult Entertainment													C		
2. Agricultural Experience	C														
3. Agriculture	P														
4. Amusement Facility – Indoor						C	P	P		P					
5. Amusement Facility – Outdoor										C					
6. Animal Care Facility						P	P	P				P			
7. Animal Shelter												C			C
8. Art Gallery						P	P	P		P					
9. Arts and Fitness Studio						P	P	P		P					
10. Bar						P	P	P		P		P		P	
11. Bed and Breakfast Home		C													
12. Body Art Establishment								P							
13. Brewery-Micro						P	P	P		P				P	
14. Broadcasting Studio								P		P				P	P
15. Building Trades and Services								P		P		P		P	
16. Car Wash								P							
17. Child Care Center						P	P	P		P	P			P	P
18. Child Care Home		P			P										
19. Child Development Home		P													
20. Community Center						P	P	P		P				P	P
21. Community Pantry	C	C	C	C		C	P	P							
22. Cultural Facility						P	P	P		P					P
23. Distillery, Micro						P	P	P		P				P	
24. Drive-Through Facility						C	P	P		P	P			P	
25. Dwelling – Manufactured Home					P										
26. Dwelling – Mixed Use						P	P	P		P					
27. Dwelling – Multiple-Unit				P				P		P					

Table 168:06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2		C-3	OR/P	I-1	I-2	I-P	P
28. Dwelling – Single-Unit	P	P													
29. Dwelling – Single-Unit Zero Lot Line			P												
30. Dwelling – Townhouse				P				P							
31. Dwelling – Two Unit			P	P											
32. Educational Facility – Primary	P	P	P	P		P	P	P		P					P
33. Educational Facility – Secondary	P	P	P	P		P	P	P		P					P
34. Educational Facility – University or College											P			P	P
35. Educational Facility – Vocational						C	P	P		P		P		P	
36. Financial Institution						P	P	P		P				P	
37. Fireworks, Retail Sales of												P			
38. Food Bank												P			
39. Fueling Station							P	P		P		P		P	
40. Fulfillment Center, Micro								C		C		P			
41. Funeral Home								P							
42. Golf Course/Driving Range							P								P
43. Greenhouse/Nursery - Retail												P			
44. Group Home	P	P	P		P										
45. Healthcare Institution										P				P	P
46. Heavy Rental and Service Establishment												P			
47. Heavy Retail Establishment										P		P			
48. Hotel						C	P	P		P	P			P	
49. Industrial - General													P		
50. Industrial - Light												P	P	P	
51. Industrial Design							P	P		P		P		P	

Table 168:06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2		C-3	OR/P	I-1	I-2	I-P	P
52. Live Performance Venue						P	P	P		P				P	
53. Manufactured Home Park					P										
54. Medical/Dental Office						P	P	P		P					
55. Office						P	P	P		P	P	P		P	P
56. Outdoor Seating						P	P	P		P				P	P
57. Park, Private	P	P	P	P	P	P	P	P		P	P			P	
58. Park, Public															P
59. Parking Lot (Principal Use)						C	P	P		P		P		P	P
60. Parking Structure (Principal Use)						C	P	P		P		P		P	P
61. Personal Services Establishment						P	P	P		P					
62. Place of Worship	P	P	P	P		P	P	P		P					
63. Private Club						P	P	P		P					
64. Public Safety Facility															P
65. Public Works Facility															P
66. Research and Development								P		P	P	P		P	
67. Residential Care Facility				P			P	P		P					
68. Restaurant						P	P	P		P		P		P	P
69. Retail Good Establishment						P	P	P		P		P		P	
70. Salvage Yard													C		
71. Self-Storage - Enclosed								P		P		P			
72. Self-Storage - Outdoor								C		C		P			
73. Specialty Food Service						P	P	P		P		P		P	
74. Storage - Outdoor (Principal Use)												C	P		
75. Truck Stop												C	P		
76. Utility (Sub)Stations	P	P	P	P	P	P	P	P		P	P	P	P	P	P

Table 168:06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

<u>Use</u>	<u>ID</u>	<u>RS</u>	<u>RD</u>	<u>RM</u>	<u>R-MH</u>	<u>C-1-A</u>	<u>C-1-B</u>	<u>C-2</u>		<u>C-3</u>	<u>OR/P</u>	<u>I-1</u>	<u>I-2</u>	<u>I-P</u>	<u>P</u>
77. Vehicle Dealership, New and Used								P		P					
78. Vehicle Dealership, Used								C							
79. Vehicle Operations Facility												P			P
80. Vehicle Rental												P			
81. Vehicle Repair - Major								C				P			
82. Vehicle Repair - Minor								P				P			
83. Warehouse												P			
84. Wholesale Establishment												P			
85. Winery, Micro						P	P	P		P				P	

SECTION 10. AMENDMENT OF ZONING ORDINANCE. Paragraphs 6, 15, 27, 29, 30, 31, 39, 72 and 76 of Chapter 168.07 of the North Liberty Code of Ordinances are each respectively amended as follows:

6. Animal Care Facility.
 - A. Defined. Animal Care Facility means an establishment which provides care for domestic animals, including veterinary offices for the treatment of animals, pet grooming facilities and animal training centers and clubs. The boarding of animals is limited. Animal care facilities do not include animal breeders or animal shelters.
 - B. Use Standards.
 - (1) Animal care facilities must locate exterior exercise areas in the rear yard only. Exterior exercise areas must provide covered areas over a minimum of 30% of the exterior area to provide shelter against sun/heat and weather. A fence a minimum of six feet in height is required for all exterior exercise areas.
 - (2) Animal care facilities must locate all overnight boarding facilities indoors. Overnight boarding is not permitted in the C-1-B and C-2 Districts unless short-term boarding is incidental to the veterinary treatment of animals.
 - (3) All animal quarters and exterior exercise areas must be kept in a clean, dry, and sanitary condition.

15. Building Trades and Services
 - A. Defined. Building Trades and Services means an establishment that undertakes activities related to building construction projects, as well as those that provide repair and maintenance services to buildings, including building systems, home appliances, and the like. These specialized trade contractors may work on subcontract from a general contractor, performing only part of the work covered by the general contract, or they may work directly for the owner of the building or project. Building and Trade Services uses primarily perform their work at the site of the structure being constructed or serviced, although they also may have shops where they perform work incidental to the job site. Examples of building trades and services include electrical, plumbing, heating, and air conditioning contractors, painting, masons, stone and tile setters, glass and glazing services.
 - B. Use Standards.
 - (1) Building area shall be limited to 7,500 square feet in the C-2 and C-3 Districts.
 - (2) Vehicles such as cars, vans and pickup trucks shall be permitted in designated parking spaces in any location. Box trucks, and other similar vehicles, along with trailers which may be pulled by permitted vehicles, shall also be permitted in designated parking

spaces, but shall not be located within a front or corner side yard. Smaller equipment such as skid loaders, forklifts, etc. may be permitted, provided they are stored indoors or inside enclosed trailers. Heavy vehicles and equipment such as tractor trailers, semi-trucks, construction equipment, and other large specialty vehicles as determined by Code Official shall be prohibited.

- (3) Outdoor storage shall only be permitted in the I-1 District.
 - (a) Outdoor storage or display areas shall be screened with landscaping consisting of shade trees and evergreen trees and shrubs. Such landscaped area shall be of sufficient width and density to provide an effective and aesthetically pleasing screen with trees and shrubs not less than five feet in height when planted. In lieu of planting strips, a six-foot tall solid vertical fence or masonry, heavy wood construction, or other similar material approved by the Code Official may be used as a screen.
 - (b) Outdoor storage or display shall be allowed only on hard-surface areas paved to parking lot specifications with asphalt or concrete.

27. Dwelling – Multiple–Unit.

- A. Defined. Multiple–Unit Dwelling means a structure containing three or more attached dwelling units used for residential occupancy. A multiple-unit dwelling does not include a townhouse dwelling.
- B. Use Standards.
 - (1) Buildings must be designed with consistent materials and treatments that wrap around all building elevations. There must be a unifying architectural theme for the entire multi-unit development, utilizing a common vocabulary of architectural forms, elements, materials, or colors in the entire structure.
 - (2) Building facades must include windows, projected or recessed entrances, overhangs, and other architectural features. Three-dimensional elements, such as balconies and bay windows, are encouraged to provide dimensional elements on a facade.
 - (3) Minimum required masonry on front and corner side yard building elevations in residential districts is 25%.
 - (4) A 15% minimum transparency requirement applies to any facade facing a street and is calculated on the basis of the entire area of the facade.
 - (5) Buildings shall be oriented to the best extent possible so that attached garages doors do not face the public right-of-way.
 - (6) Additional Commercial district design standards.
 - (a) Roofs shall be designed to be generally flat and shall be concealed from view by use of parapet walls or other architectural methods. Portions of roofs that are curved or

pitched may be allowed as architectural accents but shall not be used as the primary roof design.

29. Dwelling – Single-Unit Zero Lot Line.

- A. Defined. A Single-Unit Zero Lot Line Dwelling means a structure containing two dwelling units, the interior of which is configured in a manner such that the dwelling units are separated by a party wall and are on separate lots. A single-unit zero lot line dwelling is typically designed so that each unit has a separate exterior entrance and yard areas.
- B. Use Standards.
 - (1) The interior side yard is not applicable to the side of the unit located on the lot line (shared wall attachment to another unit).
 - (2) Each unit must have an approved one-hour fire-resistive wall between them that is built in such a manner as to allow no connections other than the wall itself between the units
 - (3) The front entry must be an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front facade.
 - (4) Minimum required masonry on front and corner side yard building elevations is 25%, with the following exceptions:
 - (i) Two, two-inch caliper trees planted in the corner side yard. Existing trees of adequate size in the corner side yard may satisfy this requirement.
 - (ii) Architectural relief on the façade facing the corner side yard, such that the wall contains more than two offsets, which may consist of wall corners, bay or bowed windows, or other means approved by the Code Official.
 - (5) A 5% minimum transparency requirement applies to the front facade and is calculated on the basis of the area of the facade below the roofline.

30. Dwelling – Townhouse.

- A. Defined. Townhouse Dwelling means structure consisting of three or more dwelling units, the interior of which is configured in a manner such that the dwelling units are separated by a party wall and may or may not be on separate lots. A townhouse is typically designed so that each unit has a separate exterior entrance and yard areas. A townhouse dwelling does not include a multi-family dwelling. To provide for design flexibility, a townhouse dwelling development may include single-unit dwellings.
- B. Use Standards.
 - (1) The interior side yard is not applicable to the side of the unit located on the lot line (shared wall attachment to another unit).

- (2) Each unit must have an approved one-hour fire-resistive wall between them that is built in such a manner as to allow no connections other than the wall itself between the units
- (3) The front entry must be an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front facade.
- (4) Minimum required masonry on front and corner side yard building elevations in residential districts is 25%.
- (5) A 5% minimum transparency requirement applies to the front facade and is calculated on the basis of the area of the facade below the roofline.
- (6) Additional commercial district design standards.
 - (a) Buildings shall be oriented to the best extent possible so that attached garages doors do not face the public right-of-way.
 - (b) Roofs shall be designed to be generally flat and shall be concealed from view by use of parapet walls or other architectural methods. Portions of roofs that are curved or pitched may be allowed as architectural accents but shall not be used as the primary roof design.
 - (c) A 15% minimum transparency requirement applies to any facade facing a street and is calculated on the basis of the entire area of the facade.

31. Dwelling - Two-Unit.

- A. Defined. A Two-Unit Dwelling means a structure containing two dwelling units, arranged side-by-side with each unit having an exterior entrance, on a single lot. To provide for design flexibility, a two-unit dwelling development may include single-unit dwellings.
- B. Use Standards.
 - (1) The front entry must be an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front facade.
 - (2) Minimum required masonry on front and corner side yard building elevations is 25%.
 - (3) A 5% minimum transparency requirement applies to the front facade and is calculated on the basis of the area of the facade below the roofline.

39. Fueling Station.
- A. Defined. Fueling Station means an establishment where fuel for vehicles is dispersed from fixed equipment into the fuel tanks or battery cells of said vehicles. A fueling station may also include ancillary car wash bays.
 - B. Use Standards.
 - (1) Canopy support structures shall be wrapped in masonry materials consistent with the principal building.
72. Self-Storage Facility: Outdoor.
- A. Defined. Outdoor self-storage facility means an establishment for the storage of personal property where individual renters control and access individual storage spaces and where each storage unit has individual access from the outdoors. Ancillary retail sales of related items, such as moving supplies, and facility offices may also be included. Rental of vehicles and other equipment for moving is a separate use from self-storage facility. The heavy retail, rental, and service use must be allowed within the district and requires separate approval.
 - B. Use Standards.
 - (1) Storage units cannot be used for residential occupancy or business.
 - (2) No plumbing connections are permitted in self-storage units.
 - (3) Outdoor self-storage facilities shall be oriented to the best extent possible so that storage unit access doors do not face the public right-of-way, or residential districts as set forth in Section 168.02.
 - (4) Exterior facades not facing the exterior of the property are not subject to the masonry requirements set forth in Section 169.10.
 - (5) Commercial district design standards.
 - (a) Exterior facades that face a right-of-way or adjoining residential district shall include the following:
 - (i) Color, texture and building material changes.
 - (ii) Wall articulation change of no less than two feet in depth or projection every 50 feet.
 - (iii) Wall articulation change no less than two feet in vertical elevation every 50 feet in building width. The change in elevation shall extend a minimum of 20 feet in building width.
 - (iv) Exterior facades that face a right-of-way or adjoining residential district shall include windows or faux windows.

76. Utility (Sub)Station

- A. Defined. Utility (sub)station means a structure or facility used by a public or quasi-public utility agency to store and/or distribute public utilities. Utility (sub)stations does not include outdoor storage or maintenance facilities.
- B. Use Standards.
 - (1) Utility (sub)stations, shall to the greatest degree possible, be located so as to minimize impacts on surrounding properties and public infrastructure.
 - (2) No setbacks are required, however, utility (sub)stations shall not block visibility or create traffic hazards.
 - (3) Minimum required masonry on all building elevations is 60%,
 - (3) Utility (sub)stations shall be screened with landscaping consisting of shade trees and evergreen trees and shrubs. Such landscaped area shall be of sufficient width and density to provide an effective and aesthetically pleasing screen with trees and shrubs not less than five feet in height when planted. In lieu of a landscape area, a masonry wall may be used as a screen.
 - (4) Decorative fences within the front yard may exceed the maximum height specified in section 169.04 subject to the following:
 - (a) Fence material shall be wrought iron or ornamental metal and shall have masonry columns spaced a maximum of 50 feet.
 - (b) Maximum height is 10 feet.
 - (c) Shall not be located within the corner visual clearance area.

SECTION 11. AMENDMENT OF ZONING ORDINANCE. Paragraph 2(F&G) of Chapter 169.01 of the North Liberty Code of Ordinances is amended as follows:

169.01 OFF-STREET PARKING AND LOADING.

- F. Setbacks. Off-street parking spaces and drive aisles within a parking lot or structure must be designed in accordance with the minimum dimensions in Table 169.01-B Off-Street Parking and Loading Setbacks.

Table 169:01-B: Off-Street Parking and Loading Setbacks			
District	Front/Corner Lot Line	Side Lot Line	Rear Lot Line
ID, RS, RD	25 feet ¹	3 feet ²	3 feet
R-MH	10 feet ³	5 feet	5 feet
RM, C, I, P	10 feet	5 feet	5 feet
O/RP	25 feet	10 feet	10 feet

1. For residential uses off-street parking areas may be within the front or corner side yard, but shall not occupy greater than 50 percent of the required yard and shall not provide greater than one parking space in addition to that provided in the travel portion of the driveway. Notwithstanding the foregoing, the two required parking spaces for single and two-unit dwellings may be located within either the required front or corner side yard single if no garage exists and there is inadequate area to locate one of the parking spaces in the side or rear yard subject to the condition that driveway be a maximum 20 feet in width.
2. No setback required on an interior side lot line for two-unit dwelling buildings.
3. Off-street parking areas may be within the front yard.
4. In any district where off-street joint access is provided, the required setback on an interior side lot line may be reduced if a joint access easement agreement is recorded between the two lots.

- G. Single-Unit, Two-Unit Zero Lot Line, Duplex and Townhouse Dwellings.
- (1) All required off-street parking spaces must have vehicular access from a driveway that connects to a street, alley or private drive isle. The width of the driveway shall be a minimum of 10 feet.
 - (2) Townhouse developments are generally prohibited from constructing individual driveway accesses to a public street. Exceptions may be granted to lower-volume local streets and/or in areas where property boundaries make access from a private street impractical.
 - (3) Required off-street parking spaces may be designed so that the driver may back out into the street or alley.
 - (4) All off-street parking areas must be improved with a hard surfaced, all-weather dustless material; pervious and non-pervious pavers may be used. Sealcoating and roto milling (the process of removing at least part of the surface of a paved area) and gravel is prohibited. Thickness of surfacing must comply with the regulations of the Iowa Statewide Urban Design and Specifications, as amended.

SECTION 12. AMENDMENT OF ZONING ORDINANCE. Paragraph 6 of Chapter 169.04 and table 169.05 of the North Liberty Code of Ordinances are amended as follows:

6. Height.
The height of all fences and/or retaining walls located within a front, corner side yard, side, or rear yard shall not exceed those found in Table 169.04.

Table 169.04 Maximum Fence and Wall Height				
District	Front Yard	Corner Side Yard	Side Yard	Rear Yard
Residential Districts	4'	4'	6'	6'
All Other Districts	4'	4'	16'	16'
1. Fences shall not be located within the corner visual clearance. 2. Chain link fences shall not be located within the required front or required corner side yard (see exception within number 4 below). 3. Fences shall not exceed 8' in height if the property abuts a residential district. 4. With the exception of a reverse corner lot, a fence up to 6' high may be erected on that portion of the corner lot at the rear of the house provided the fence is erected a minimum of 15 feet from any sidewalk, driveway, or right-of-way line. Said fence shall comply in all other respects with the fence requirements.				

SECTION 13. AMENDMENT OF ZONING ORDINANCE. Paragraphs 1, 2 and 3 of Chapter 169.05 of the North Liberty Code of Ordinances are amended as follows:

169.05 ACCESSORY STRUCTURES AND USES.

Accessory structures and uses shall occupy the same lot as the main use or building. No lot shall have an accessory structure or use without the principal use. No accessory structure shall be used as a dwelling unit. Accessory structures shall be constructed out of material intended for long-term exposure to the elements. Prohibited materials include, but are not limited to cloth, fabric, canvas, plastic sheets and tarps. Exceptions to the materials prohibition includes plastic for greenhouses and fabric and/or canvas for shade structures. Shipping containers are prohibited as an accessory structure.

1. Yard Encroachment.
No accessory building or use shall be located within any yard unless authorized by this Section and/or Section 169.08.
2. Freestanding Garages, Storage Buildings, Greenhouses, Gazebos, Pergolas, and other Similar Structures greater than 200 Square Feet Gross Floor Area.
 - A. RS, RD and ID districts shall be subject to the following:
 - (1) A maximum of one garage, storage building, greenhouse, gazebo, pergola, or other similar structure greater than 200 square feet gross floor area.
 - (2) Freestanding garages. A maximum gross floor area of 850 square feet. RS district exception: on properties exceeding .5 acres but less than .75 acres, the maximum gross floor area shall be 1,000 square feet. On properties exceeding .75 acres but less than one acre, the maximum gross floor area

shall be 1,200 square feet. On properties exceeding one acre, the maximum gross floor area shall be 1,400 square feet. Notwithstanding the foregoing, the gross floor area shall not exceed the total footprint of the residence.

- (3) All other structures besides freestanding garages. A maximum gross floor area of 600 square feet.
- (4) May be located within the rear yard subject to a five foot side and rear setback.
- (5) May be located within a side yard subject to meeting the required side and rear yard setbacks for the main building.
- (6) Must be situated a minimum 20 feet from a public or private right-of-way or improved home.
- (7) May not be located within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
- (8) A maximum height of 15 feet.

B. RM district.

- (1) No maximum number accessory structures, however, the aggregate floor area shall not exceed the aggregate footprint of the main buildings.
- (2) May be located within the rear yard subject to a 10-foot side and rear setback.
- (3) A minimum 20 feet from a public or private right-of-way or improved alley.
- (4) Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
- (5) A maximum height of 15 feet.

3. Storage Buildings, Greenhouses, Gazebos, Pergolas and other Similar Structures 200 Square Feet Gross Floor Area or Less.

A. RS, RD and ID districts shall be subject to the following:

- (1) A maximum two storage buildings, greenhouses, gazebos, pergolas, or structures designed for other similar use, or any combination thereof, may be located within the rear yard.
- (2) A minimum of five feet from the side and rear property line.
- (3) A minimum of 10 feet from a public or private right-of-way alley.
- (4) Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
- (5) Maximum building height of 10 feet.

SECTION 14. AMENDMENT OF ZONING ORDINANCE. Paragraph 8(B) of Chapter 169.08 and table 169.08 of the North Liberty Code of Ordinances are amended as follows:

- B. In districts where a maximum height is imposed, such height limitations shall not apply to certain appurtenances and structures and are indicated in Table 169-08: Permitted Encroachments into Required Yards and Exceeding Maximum Building Height.

Table 169-08: Permitted Encroachments Into Required Yards and Exceeding Maximum Building Height Y= Permitted // N= Prohibited Max. = Maximum // Min. = Minimum				
	Required Front/Corner Side Yard	Required Side Yard	Required Rear Yard	Exceed Max. Building Height
Accessibility Ramp	Y	Y	Y	N
Air Conditioner Window Unit Max. projection of 18" from building wall	Y	Y	Y	N
Arbor or Trellis	Y	Y	Y	N
Awning or Sunshade Max. of 2' Does not include awnings used as a sign (See Chapter 173)	Y	Y	Y	N
Bay Window Max. of 2' Min. of 24" above ground	Y	Y	Y	N
Canopy Max. of 2' Does not include canopies used as a sign (See Chapter 17.12)	Y	Y	Y	N
Chimney Max. of 18" into required yard	Y	Y	Y	Y
Elevator and Stairway Bulkheads	N	N	N	Y
Emergency sirens and similar devices.	N	N	N	Y
Deck (uncovered) Min 5' from side lot line Min 10' from rear lot line	N	Y	Y	N
Dog House Min. of 4' from any lot line.	N	N	Y	N
Eaves, Gutters and Downspouts Max. of 4' into required yard	Y	Y	Y	N
Fire Escape Max. of 3' into required yard	N	Y	Y	Y
Fire Training Tower	N	N	N	Y
Grain Elevator (and necessary mechanical appurtenances)	N	N	N	Y
Landscaping	Y	Y	Y	N
Patio (uncovered) Min. 5' from any lot line	N	Y	Y	N
Pergola (attached)	N	Y	Y	N

Table 169-08: Permitted Encroachments Into Required Yards and Exceeding Maximum Building Height Y= Permitted // N= Prohibited Max. = Maximum // Min. = Minimum				
	Required Front/Corner Side Yard	Required Side Yard	Required Rear Yard	Exceed Max. Building Height
Min 5' from side lot line Min 10' from rear lot line				
Personal Recreation Game Court Min. of 5' from any lot line	N	N	Y	N
Playground Equipment Min. of 4' from any lot line	N	N	Y	N
Sidewalk Min. of 3' from any lot line except front lot line.	Y	Y	Y	N
Sills, Belt course, Cornices, and Ornamental features Max. of 2' into required yard	Y	Y	Y	N
Silos	N	N	N	Y
Smokestack	N	N	N	Y
Steeple, Spires and Belfries	N	N	N	Y
Steps (providing access to an entryway)	Y	Y	Y	Y
Stoop Max. of 4' into required yard	Y	Y	Y	N
Utility Equipment (Directly Connected to Structure being Served). Max. of ½ into Required Yard	N	Y	Y	Y
Water Towers and Cooling Towers	N	N	N	Y
Window Wells	Y	Y	Y	Y

SECTION 15. AMENDMENT OF ZONING ORDINANCE. Chapter 173.06 of the North Liberty Code of Ordinances is amended as follows:

173.06 SIGNS IN RESIDENTIAL ZONES.

1. Neighborhood or Development Signs. Residential developments or neighborhoods of four or more dwelling units shall be permitted one freestanding monument sign for each public street frontage or each entrance. Such signs may be placed in any location on private property provided the sign complies with the same height limitations specified for fences. Maximum sign area for each sign shall not exceed 50 square feet.
2. Non-residential Uses. Each non-residential principal use shall be permitted wall signs and one freestanding monument sign per public street frontage, subject to the following size requirements.
 - A. Maximum Wall Sign Area. The total area of wall signage shall not exceed one square foot for each lineal foot of building wall when viewed in elevation, not to exceed 50 square feet.

- B. Maximum Freestanding Sign Area. One sign is permitted per public street access. The surface area for each sign shall not exceed 50 square feet and the height shall not exceed 5 feet.

SECTION 16. AMENDMENT OF ZONING ORDINANCE. Paragraph 2 of Chapter 173.07 of the North Liberty Code of Ordinances is amended as follows:

- 2. Business and Public Use Signs. Each enterprise, institution, or business shall be permitted wall signs, one canopy sign per street frontage, and one freestanding monument sign per public street frontage, subject to the following maximum size requirements. Multiple businesses in the same building shall apportion façade length, building wall, and street frontage such that any maximum size requirement is not exceeded for a particular property.
 - A. Maximum Wall Sign Area. The total area of wall signage shall not exceed the following requirements for each building wall to which the signage is attached.
 - (1) In the C-1-A and Public districts, one square foot for each lineal foot of building wall when viewed in elevation, not to exceed the following maximums:
 - (a) 40 square feet for building walls up to 50 feet in length.
 - (b) 80 square feet for building walls over 50 feet in length.
 - (2) In the C-1-B, C-2 and C-3 zone districts, for buildings fewer than four-story in height, two square feet for each lineal foot of building wall when viewed in elevation, not to exceed 300 square feet. For buildings four-stories in height or greater, the total area of wall signage shall not exceed four square feet for each lineal foot of building wall the sign is attached to when viewed in elevation, not to exceed 400 square feet provided that the wall sign be mounted at or above the fourth-story.
 - B. Maximum Freestanding Sign Area.
 - (1) In the C-1-A and Public districts, one sign is permitted per public street access. The surface area for each sign shall not exceed 50 square feet, except for development complexes as specified in section 173.07(1), and the height shall not exceed 20 feet.
 - (2) In the C-1-B, C-2 and C-3 zone districts, one sign is permitted per street frontage. The surface area for each sign shall not exceed 100 square feet, except for development complexes as specified in section 173.07(1), and the height shall not exceed 24 feet.

SECTION 17. AMENDMENT. The Official Zoning Map incorporated in Chapter 168.01(2) of the North Liberty Code of Ordinances is hereby amended such that each property currently designated as C-2-A Highway Commercial District is redesignated as C-2 Highway Commercial District. Each property currently designated as C-2-B Highway Commercial District is redesignated as C-2 Highway Commercial District. It is hereby authorized and directed that the Zoning Map of the City of North Liberty, Iowa, be changed to conform to this amendment upon final passage, approval and publication of this ordinance as provided by law.

SECTION 18. REPEALER. All Ordinances and parts of Ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 19. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the Ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 20. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 21. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____, 2023.

Second reading on _____, 2023.

Third and final reading on _____, 2023.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. _____ in the Cedar Rapids Gazette on the ____ day of _____, 2023.

TRACEY MULCAHEY, CITY CLERK



September 5, 2023

Chris Hoffman, Mayor
City of North Liberty
3 Quail Creek Circle
North Liberty IA 52317

Re: Request of the City of North Liberty for an Ordinance amending Chapters 139, 165, 166, 167, 168, 169 and 173 of the North Liberty Code of Ordinances, amending regulations for naming of streets, conditions for construction site plan approval, zoning map amendments, and required comprehensive plan components, adding new and updating definitions, amending certain residential districts and combining the C-2-A and C-2-B Zoning Districts, amending bulk requirements in certain residential and commercial districts, zoning use matrix and zoning use standards, off-street parking regulations, maximum fence height in residential districts, accessory structure standards, and permitted encroachments in required yards.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its September 5, 2023 meeting. The Planning Commission took the following action:

Findings:

1. The proposed Ordinance would implement desired practices and adapt to changing land use trends.

Recommendation:

The Planning Commission accepted the listed findings and forwards the Ordinance amendment to the City Council with a recommendation for approval..

The vote for approval was 5-0.

Jason Heisler, Vice Chairperson
City of North Liberty Planning Commission



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **September 1, 2023**
Re **Request of the City of North Liberty for an Ordinance amending Chapters 139, 165, 166, 167, 168, 169 and 173 of the North Liberty Code of Ordinances, amending regulations for naming of streets, conditions for construction site plan approval, zoning map amendments, and required comprehensive plan components, adding new and updating definitions, amending certain residential districts and combining the C-2-A and C-2-B Zoning Districts, amending bulk requirements in certain residential and commercial districts, zoning use matrix and zoning use standards, off-street parking regulations, maximum fence height in residential districts, accessory structure standards, and permitted encroachments in required yards.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Grant Lientz, City Attorney
Tom Palmer, City Building Official
Kevin Trom, City Engineer
Ryan Rusnak, Planning Director

1. Request Summary:

Staff is committed to amending the Zoning Ordinance to adapt to changing land use trends a best planning practices. Giving citizens and developers flexibility while maintaining North Liberty's community standards is a primary consideration.

A summary of the proposed changes include:

- Clarifies that private street names can be designated on a preliminary site plan.
- Strengthens construction site plan review requirements.
- Removes a zoning map amendment (rezoning) approval standard.
- Amends Comprehensive Plan elements, which currently do not align with the recently adopted Plan.
- Amends and reorganizes zoning definitions.
- Reduces side yards setbacks for RD-8 and RD-10 zoned properties.
- Combines the C-2-A and C-2-B Zoning Districts into the C-2 District, amends commercial setbacks and increases commercial maximum building height.
- Amends certain zoning use standards.
- Amends parking regulations, which includes a minor allowance for off-street parking within the front yard.

- Amends fence regulations to differentiate allowances for a fence on a corner lot vs a reverse corner lot. A diagram of the various types of lots has been added to the zoning definitions.
- Allows for structures besides private garages be larger than 200 square feet. Examples include storage buildings, greenhouses, gazebos, pergolas, and other similar structures.
- Amends permitted encroachments into required yards.
- Minor amendments to the sign ordinance.

2. Public Input:

No public input has been received.

3. Staff Recommendation:

Finding:

1. The proposed Ordinance would implement desired practices and adapt to changing land use trends.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the Ordinance amendment to the City Council with a recommendation for approval.

Suggested Motion:

I move that the Planning Commission accept the listed finding and forward the Ordinance amendment to the City Council with a recommendation for approval.

ORDINANCE NO. _____

REQUEST OF THE CITY OF NORTH LIBERTY FOR AN ORDINANCE AMENDING CHAPTERS 139, 165, 166, 167, 168, 169 AND 173 OF THE NORTH LIBERTY CODE OF ORDINANCES, AMENDING REGULATIONS FOR NAMING OF STREETS, CONDITIONS FOR CONSTRUCTION SITE PLAN APPROVAL, ZONING MAP AMENDMENTS, AND REQUIRED COMPREHENSIVE PLAN COMPONENTS, ADDING NEW AND UPDATING DEFINITIONS, AMENDING CERTAIN RESIDENTIAL DISTRICTS AND COMBINING THE C-2-A AND C-2-B ZONING DISTRICTS, AMENDING BULK REQUIREMENTS IN CERTAIN RESIDENTIAL AND COMMERCIAL DISTRICTS, ZONING USE MATRIX AND ZONING USE STANDARDS, OFF-STREET PARKING REGULATIONS, MAXIMUM FENCE HEIGHT IN RESIDENTIAL DISTRICTS, ACCESSORY STRUCTURE STANDARDS, AND PERMITTED ENCROACHMENTS IN REQUIRED YARDS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT OF THE NAMING OF STREETS ORDINANCES. Chapter 139.01 of the North Liberty Code of Ordinances is amended to read as follows:

New streets shall be assigned names in accordance with the following:

1. Extension of Existing Street. Streets added to the City that are natural extensions of existing streets shall be assigned the name of the existing street.
2. Resolution. All streets ~~shall be names~~ named by resolution, except streets named as a part of a subdivision or platting procedure, shall be named by resolution. Streets names depicted on a final subdivision plat and/or preliminary site plan approved by resolution satisfy this requirement.
3. Planning and Zoning Commission. Proposed street names shall be referred to the Planning and Zoning Commission for review and recommendation.

SECTION 2. AMENDMENT OF ZONING ORDINANCE. Paragraph 3(D) of Chapter 165.05 of the North Liberty Code of Ordinances is amended to read as follows:

- D. Extension of public utilities and services, dedication of right-of-way.
(1) The petitioner may, as a condition of the construction site plan approval, be required to install public utilities, including (but not limited to) water lines, storm sewer, sanitary sewer, street paving, fire hydrants, and such other utilities as applicable to properly serve the proposed development ~~and allow for the orderly future development of neighboring parcels,~~ to provide easements for the ingress and egress of public utility and emergency vehicles, and to dedicate right-of-way to accommodate motorized and

nonmotorized transportation, parking, and utility requirements. The City and petitioner may enter into a written site plan agreement governing the installation and establishment of such utilities and accommodations necessary to satisfy public needs. Where required as a condition of a construction site plan approval, utilities shall be constructed in accordance with construction standards as established by resolution of the City Council for those portions within the public right-of-way and to be dedicated to the City, and may be required to be constructed to the same specifications for those undedicated portions where said utilities may have a direct effect on the future safety, proper functioning, and maintenance of those portions to be dedicated.

~~(2) To allow orderly development, the water lines and sanitary sewer service installed in a proposed development pursuant to subparagraph 1 above shall extend to the boundary line of the subject property, and beyond as may be determined to be necessary by the City to provide for future service to adjacent properties. The City shall require the installation of water and sewer service of sufficient size and capacity to serve the full area capable of being served by each such type of improvement, so that the City will not be required to construct parallel or duplicate facilities. If such improvements are greater in size than needed to serve the subject property itself, the City, at its discretion, may share in the expense thereof. Such cost sharing shall be according to the terms of a site plan agreement. Any payment of excess costs by the City shall be pursuant to state law.~~

SECTION 3. AMENDMENT OF ZONING ORDINANCE. Paragraph 4(D) of Chapter 165.09 of the North Liberty Code of Ordinances is amended to read as follows:

- D. Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards.
- (1) Map Amendments.
 - (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.
 - (b) The compatibility with the zoning of nearby property
 - (c) The compatibility with established neighborhood character.
 - (d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.
 - ~~(e) The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the~~

~~property in question for one or more of the uses permitted under the existing zoning classification.~~

~~(f)(e)~~ The extent to which the proposed amendment creates nonconformities.

SECTION 4. AMENDMENT OF ZONING ORDINANCE. Paragraph 7(A) of Chapter 166.02 of the North Liberty Code of Ordinances is amended to read as follows:

~~A.——~~ Comprehensive Plan. It shall be the duty of the Commission, after holding public hearings, to create and recommend to the Council a comprehensive plan for the physical development of its jurisdiction, which may include areas outside of the City’s boundaries which bear consideration to the planning of the jurisdiction. ~~The Commission shall also recommend amendments to the comprehensive plan. The comprehensive plan shall include at least the following elements:~~

~~B.——~~ Official Maps

~~Growth and Land Use~~

~~Commercial/Industrial Uses~~

~~Transportation and Utilities~~

~~Community Facilities~~

~~Housing~~

~~Environmental~~

~~Geologic/Natural Hazards~~

~~The Commission may also recommend amendments to the comprehensive plan.~~

SECTION 5. AMENDMENT OF ZONING ORDINANCE. Chapter 167.01 of the North Liberty Code of Ordinances is amended as follows:

1. The existing defined term, “Accessory building,” is amended to read as follows:

~~“Accessory building structure” means a subordinate building structure customarily incidental to and located on the same lot occupied by the main use or building, such as a detached garage as the principal building.~~

2. A new defined term, “Gazebo,” as set forth below, is inserted between the definitions of “Garage, private” and “Grade”:

~~“Gazebo” means a freestanding roofed structure with open sides.~~

3. Delete definitions, “Lot,” Lot, corner,” “Lot, flag,” “Lot, interior”.

~~“Lot” means a parcel of land, adequate for occupancy by a use permitted under this chapter, which provides the yards, area, and off-street parking required under this code and which fronts directly upon a public street or upon an officially approved place.~~

"Lot area" means the total area within the boundaries of a lot, excluding any street right-of-way, usually defined in square footage.

"Lot, corner" means a lot abutting on two intersecting or intercepting streets, where the interior angle of intersection or interception does not exceed 135 degrees.

4. New defined term, "Lot," as set forth below, is inserted between the definitions of "Livestock" and "Lot area":

"Lot" means the basic development unit for determination of lot area, depth, and other dimensional regulations. The following describes the types of lot configurations:

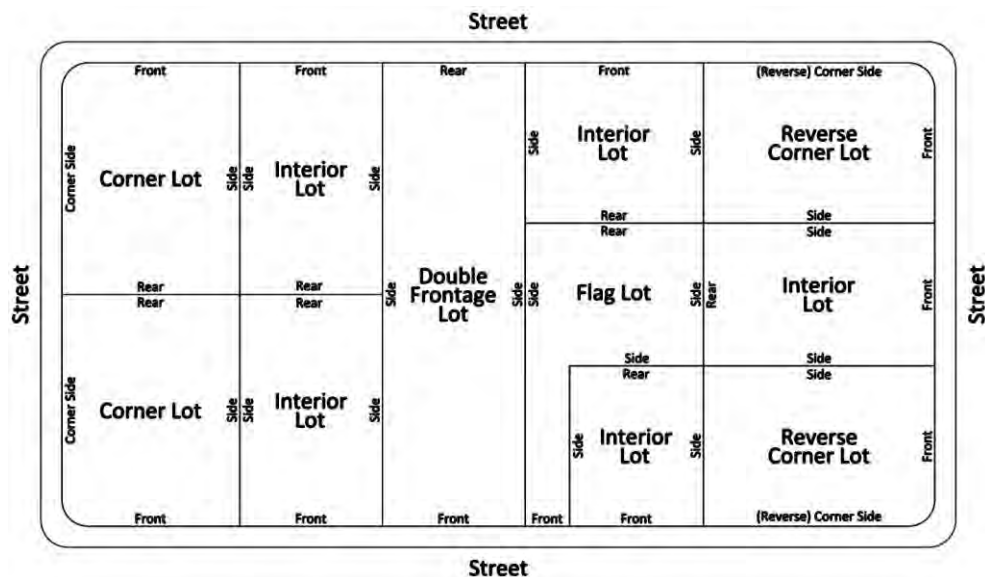
An "interior lot" means a lot other than a corner or through lot, bounded by two interior side lot lines.

A "corner lot" means a lot situated at the junction of, and abutting on, two or more intersecting streets.

A "double frontage lot" means a lot which fronts upon two streets, or which fronts upon two streets which do not intersect at the boundaries of the lot.

A "reverse corner lot" is a corner lot where the side lot line adjoining a street is substantially a continuation of the front lot line of the first lot to its rear.

A "flag lot" means a lot such that the main building site area (the "flag") is set back from the street on which it fronts and includes an access strip (the "pole") connecting the main building site with the street.



3. A new defined term, "Pergola," as set forth below, is inserted between the definitions of "Parking space" and "Person":

"Pergola" means an open structure, which may either be freestanding or attached to a structure, that forms a partially shaded pedestrian walkway, passageway, or seating area.

SECTION 6. AMENDMENT OF ZONING ORDINANCE. Paragraphs 1(A) and 1(B) of Chapter 168.01 of the North Liberty Code of Ordinances is amended as follows:

- A. Residential Districts
- (1) RS-3 Single-~~FamilyUnit~~ Residence District.
 - (2) RS-4 Single-Unit Residence District.
 - (3) RS-6 Single-Unit Residence District.
 - (4) RS-7 Single-Unit Residence District.
 - (5) RS-8 Single-Unit Residence District.
 - (6) RS-9 Single-Unit Residence District.
 - (7) RD-8 Two-Unit Residence District.
 - (8) RD-10 Two-Unit Residence District.
 - (9) RM-8 Multi-Unit Residence District.
 - (10) RM-12 Multi-Unit Residence District.
 - (11) RM-21 Multi-Unit Residence District.
 - (12) R-MH Residential Manufactured Home Park District.
- B. Commercial Districts
- (1) C-1-A Central Commercial District.
 - (2) C-1-B General Commercial District.
 - (3) C-2-~~A~~ Highway Commercial District.
 - ~~(4)~~ ~~C-2-B Highway Commercial District.~~
 - ~~(5)~~(4) C-3 Higher-Intensity Commercial District.
 - ~~(6)~~(5) O/RP Office and Research Park District

SECTION 7. AMENDMENT OF ZONING ORDINANCE. Paragraphs 1(A) and 5(B) of Chapter 168.02 of the North Liberty Code of Ordinances is amended as follows:

168.02 RESIDENTIAL DISTRICTS.

- A. RS-3 Single-~~FamilyUnit~~ Residence District. The RS-3 District is intended to provide and maintain low-density single-~~familyunit~~ residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-3 District.
- B. RD and RM Districts.

Table 168.02-B Dimensional Standards
SF = Square Feet, DU= Dwelling Unit, ' = Feet

	RD-8	RD-10	RM-8	RM-12	RM-21
Bulk					
Minimum Lot Area	10,000 SF 5,000 SF/DU	9,000 SF 4,500 SF/DU	21,780 SF 5,000 SF/DU	21,780 SF 3,500 SF/DU	21,780 SF 2,000 SF/DU
Minimum Frontage	40'	35'	75'	50'	50'
Minimum Lot Width	100'	80'	100'	80'	80'
Maximum Building Height	35'	35'	40'	40'	65'
Setbacks					
Minimum Required Front Yard	25'	25'	25'	25'	25'
Minimum Required Corner Side Yard	25'	25'	25'	25'	25'
Minimum Required Side Yard	10'8'	10'5'	15'	15'	10'
Minimum Required Rear Yard	30'	30'	30'	30'	30'
*An additional foot of setback is required for every foot of building height over 45'					

SECTION 8. AMENDMENT OF ZONING ORDINANCE. Chapter 168.03 of the North Liberty Code of Ordinances is amended as follows:

168.03 COMMERCIAL DISTRICTS.

1. Defined.
 - A. C-1-A Central Commercial District. The C-1-A District is intended to provide a traditional central setting oriented toward pedestrians as well as automobiles. It is typified by high-density commercial development with minimal setback requirements.
 - B. C-1-B General Commercial District. The C-1-B District is intended to provide for the uses established under the C-1-A Central Commercial District and other commercial uses which due to space requirements and the nature of operations are not suitable for location within a compact central commercial center. Setback and yard requirements are greater than under the C-1-A Central Commercial District.
 - C. ~~C-2-A~~ Highway Commercial District. The ~~C-2-A~~ District is intended to provide for those commercial uses which may take particular advantage of a highway location and/or due to size or other nuisance constraints may be incompatible with the predominantly retail uses permitted in the C-1-A and C-1-B Commercial Districts, and whose service area is not confined to any one neighborhood or community.
 - ~~D. C-2-B Highway Commercial District. The C-2-B District is intended to provide for those commercial uses which may take advantage of a highway location and are compatible with second-story residential uses. This district will be used sparingly after initial passage of the City zoning map.~~
 - E.D. C-3 Higher-Intensity Commercial District. The C-3 District is intended to accommodate higher-intensity commercial development that serves both local and regional markets. The C-3 District addresses medium and large-scale development that may generate considerable traffic and typically requires significant off-street parking. Higher density residential uses are also allowed to facilitate a mixed-use orientation where appropriate.
 - F.E. O/RP Office and Research Park District. The O/RP District is intended to accommodate office buildings, similar structures, and complementary uses in a mutually compatible environment. It is designed to provide landscaping and space requirements suitable for an office and research setting. Uses are limited to those compatible with an office setting and those which do not produce noise, air, or other environmental nuisances which might interfere with activities within the district and surrounding residential areas.

2. Dimensional Standards.

Table 168.03 Dimensional Standards SF = Square Feet, ' = Feet						
	C-1-A	C-1-B	C-2-A	C-2-B	C-3	O/RP
Bulk						
Minimum Lot Area	None	None	None	None	20,000 SF	1.5 acres
Minimum Frontage	35'	35'	35'	35'	35'	100'
Minimum Lot Width	35'	35'	35'	35'	35'	150'
Maximum Building Height	45'	45'	35'45'	35'	75'*	75'
Setbacks						
Minimum Required Front Yard	0'	25'	25'	25'	25'	50'
Minimum Required Corner Side Yard	0'	25'	25'	25'	25'	50'
Minimum Required Side Yard	0'	10'	10'	10'	10' unless abutting a residential district then 20'*	20'
Minimum Required Rear Yard	10'	20'10' unless abutting a residential district than 20'*	20'10' unless abutting a residential district than 20'*	20'	10' unless abutting a residential district then 25' than 20'*	50'

* One foot of additional setback above the required side or rear yard setback as measured from a lot line of property within a residential district for every one-foot building height above 35 feet.

SECTION 9. AMENDMENT OF ZONING ORDINANCE. Table 168.06: Use Matrix, in Chapter 168.06 of the North Liberty Code of Ordinances is amended as follows:

Table 168:06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2-A	C-2-B	C-3	OR/P	I-1	I-2	I-P	P
1. Adult Entertainment													C		
2. Agricultural Experience	C														
3. Agriculture	P														
4. Amusement Facility – Indoor						C	P	P	P	P					
5. Amusement Facility – Outdoor										C					
6. Animal Care Facility						P	P	P	P			P			
7. Animal Shelter												C			C
8. Art Gallery						P	P	P	P	P					
9. Arts and Fitness Studio						P	P	P	P	P					
10. Bar						P	P	P	P	P		P		P	
11. Bed and Breakfast Home		C													
12. Body Art Establishment								P	P						
13. Brewery-Micro						P	P	P	P	P				P	
14. Broadcasting Studio								P	P	P				P	P
15. Building Trades and Services								P	P	P		P		P	
16. Car Wash								P	P						
17. Child Care Center						P	P	P	P	P	P			P	P
18. Child Care Home		P			P										
19. Child Development Home		P													
20. Community Center						P	P	P	P	P				P	P
21. Community Pantry	C	C	C	C		C	P	P	P						
22. Cultural Facility						P	P	P	P	P					P
23. Distillery, Micro						P	P	P	P	P				P	
24. Drive-Through Facility						C	P	P	P	P	P			P	
25. Dwelling – Manufactured Home					P										
26. Dwelling – Mixed Use						P	P	P	P	P					
27. Dwelling – Multiple-Unit				P				P		P					

Table 168:06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2-A	C-2-B	C-3	OR/P	I-1	I-2	I-P	P
28. Dwelling – Single-Unit	P	P													
29. Dwelling – Single-Unit Zero Lot Line			P												
30. Dwelling – Townhouse				P				P							
31. Dwelling – Two Unit			P	P											
32. Educational Facility – Primary	P	P	P	P		P	P	P	P	P					P
33. Educational Facility – Secondary	P	P	P	P		P	P	P	P	P					P
34. Educational Facility – University or College											P			P	P
35. Educational Facility – Vocational						C	P	P	P	P		P		P	
36. Financial Institution						P	P	P	P	P				P	
37. Fireworks, Retail Sales of												P			
38. Food Bank												P			
39. Fueling Station							P	P	P	P		P		P	
40. Fulfillment Center, Micro								C	C	C		P			
41. Funeral Home								P	P						
42. Golf Course/Driving Range							P								P
43. Greenhouse/Nursery - Retail												P			
44. Group Home	P	P	P		P										
45. Healthcare Institution										P				P	P
46. Heavy Rental and Service Establishment												P			
47. Heavy Retail Establishment										P		P			
48. Hotel						C	P	P	P	P	P			P	
49. Industrial - General												P	P		
50. Industrial - Light												P	P	P	
51. Industrial Design							P	P	P	P		P		P	

Table 168:06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

<u>Use</u>	<u>ID</u>	<u>RS</u>	<u>RD</u>	<u>RM</u>	<u>R-MH</u>	<u>C-1-A</u>	<u>C-1-B</u>	<u>C-2-A</u>	<u>C-2-B</u>	<u>C-3</u>	<u>OR/P</u>	<u>I-1</u>	<u>I-2</u>	<u>I-P</u>	<u>P</u>
77. Vehicle Dealership, New and Used								P	P	P					
78. Vehicle Dealership, Used								C	€						
79. Vehicle Operations Facility												P			P
80. Vehicle Rental												P			
81. Vehicle Repair - Major								C	€			P			
82. Vehicle Repair - Minor								P	P			P			
83. Warehouse												P			
84. Wholesale Establishment												P			
85. Winery, Micro						P	P	P	P	P				P	

SECTION 10. AMENDMENT OF ZONING ORDINANCE. Paragraphs 6, 15, 27, 29, 30, 31, 39, 72 and 76 of Chapter 168.07 of the North Liberty Code of Ordinances are each respectively amended as follows:

6. Animal Care Facility.
 - A. Defined. Animal Care Facility means an establishment which provides care for domestic animals, including veterinary offices for the treatment of animals, pet grooming facilities and animal training centers and clubs. The boarding of animals is limited. Animal care facilities do not include animal breeders or animal shelters.
 - B. Use Standards.
 - (1) Animal care facilities must locate exterior exercise areas in the rear yard only. Exterior exercise areas must provide covered areas over a minimum of 30% of the exterior area to provide shelter against sun/heat and weather. A fence a minimum of six feet in height is required for all exterior exercise areas.
 - (2) Animal care facilities must locate all overnight boarding facilities indoors. Overnight boarding is not permitted in the C-1-B, ~~and C-2-A~~ Districts ~~and C-2-B Districts~~ unless short-term boarding is incidental to the veterinary treatment of animals.
 - (3) All animal quarters and exterior exercise areas must be kept in a clean, dry, and sanitary condition.

15. Building Trades and Services
 - A. Defined. Building Trades and Services means an establishment that undertakes activities related to building construction projects, as well as those that provide repair and maintenance services to buildings, including building systems, home appliances, and the like. These specialized trade contractors may work on subcontract from a general contractor, performing only part of the work covered by the general contract, or they may work directly for the owner of the building or project. Building and Trade Services uses primarily perform their work at the site of the structure being constructed or serviced, although they also may have shops where they perform work incidental to the job site. Examples of building trades and services include electrical, plumbing, heating, and air conditioning contractors, painting, masons, stone and tile setters, glass and glazing services.
 - B. Use Standards.
 - (1) Building area shall be limited to 7,500 square feet in the C-2-~~A, C-2-B~~ and C-3 Districts.
 - (2) Vehicles such as cars, vans and pickup trucks shall be permitted in designated parking spaces in any location. Box trucks, and other similar vehicles, along with trailers which may be pulled by permitted vehicles, shall also be permitted in designated parking

spaces, but shall not be located within a front or corner side yard. Smaller equipment such as skid loaders, forklifts, etc. may be permitted, provided they are stored indoors or inside enclosed trailers. Heavy vehicles and equipment such as tractor trailers, semi-trucks, construction equipment, and other large specialty vehicles as determined by Code Official shall be prohibited.

- (3) Outdoor storage shall only be permitted in the I-1 District.
 - (a) Outdoor storage or display areas shall be screened with landscaping consisting of shade trees and evergreen trees and shrubs. Such landscaped area shall be of sufficient width and density to provide an effective and aesthetically pleasing screen with trees and shrubs not less than five feet in height when planted. In lieu of planting strips, a six-foot tall solid vertical fence or masonry, heavy wood construction, or other similar material approved by the Code Official may be used as a screen.
 - (b) Outdoor storage or display shall be allowed only on hard-surface areas paved to parking lot specifications with asphalt or concrete.

27. Dwelling – Multiple–Unit.

- A. Defined. Multiple–Unit Dwelling means a structure containing three or more attached dwelling units used for residential occupancy. A multiple–unit dwelling does not include a townhouse dwelling.
- B. Use Standards.
 - (1) Buildings must be designed with consistent materials and treatments that wrap around all building elevations. There must be a unifying architectural theme for the entire multi-unit development, utilizing a common vocabulary of architectural forms, elements, materials, or colors in the entire structure.
 - (2) Building facades must include windows, projected or recessed entrances, overhangs, and other architectural features. Three-dimensional elements, such as balconies and bay windows, are encouraged to provide dimensional elements on a facade.
 - (3) Minimum required masonry on front and corner side yard building elevations in residential districts is 25%.
 - (4) A 15% minimum transparency requirement applies to any facade facing a street and is calculated on the basis of the entire area of the facade.
 - (5) Buildings shall be oriented to the best extent possible so that attached garages doors do not face the public right-of-way.
 - (6) Additional Commercial district design standards.
 - (a) Roofs shall be designed to be generally flat and shall be concealed from view by use of parapet walls or other architectural methods. Portions of roofs that are curved or

pitched may be allowed as architectural accents but shall not be used as the primary roof design.

29. Dwelling – Single-Unit Zero Lot Line.

- A. Defined. A Single-Unit Zero Lot Line Dwelling means a structure containing two dwelling units, the interior of which is configured in a manner such that the dwelling units are separated by a party wall and are on separate lots. A single-unit zero lot line dwelling is typically designed so that each unit has a separate exterior entrance and yard areas.
- B. Use Standards.
- (1) The interior side yard is not applicable to the side of the unit located on the lot line (shared wall attachment to another unit).
 - (2) Each unit must have an approved one-hour fire-resistive wall between them that is built in such a manner as to allow no connections other than the wall itself between the units
 - (3) The front entry must be an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front facade.
 - (4) Minimum required masonry on front and corner side yard building elevations is 25%, with the following exceptions:
 - (i) Two, two-inch caliper trees planted in the corner side yard. Existing trees of adequate size in the corner side yard may satisfy this requirement.
 - (ii) Architectural relief on the façade facing the corner side yard, such that the wall contains more than two offsets, which may consist of wall corners, bay or bowed windows, or other means approved by the Code Official.
 - (5) A 5% minimum transparency requirement applies to the front facade and is calculated on the basis of the area of the facade below the roofline.

30. Dwelling – Townhouse.

- A. Defined. Townhouse Dwelling means structure consisting of three or more dwelling units, the interior of which is configured in a manner such that the dwelling units are separated by a party wall and may or may not be on separate lots. A townhouse is typically designed so that each unit has a separate exterior entrance and yard areas. A townhouse dwelling does not include a multi-family dwelling. To provide for design flexibility, a townhouse dwelling development may include single-unit dwellings.
- B. Use Standards.
- (1) The interior side yard is not applicable to the side of the unit located on the lot line (shared wall attachment to another unit).

- (2) Each unit must have an approved one-hour fire-resistive wall between them that is built in such a manner as to allow no connections other than the wall itself between the units
- (3) The front entry must be an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front facade.
- (4) Minimum required masonry on front and corner side yard building elevations in residential districts is 25%.
- (5) A 5% minimum transparency requirement applies to the front facade and is calculated on the basis of the area of the facade below the roofline.
- (6) Additional commercial district design standards.
 - (a) Buildings shall be oriented to the best extent possible so that attached garages doors do not face the public right-of-way.
 - (b) Roofs shall be designed to be generally flat and shall be concealed from view by use of parapet walls or other architectural methods. Portions of roofs that are curved or pitched may be allowed as architectural accents but shall not be used as the primary roof design.
 - (c) A 15% minimum transparency requirement applies to any facade facing a street and is calculated on the basis of the entire area of the facade.

31. Dwelling - Two-Unit.

- A. Defined. A Two-Unit Dwelling means a structure containing two dwelling units, arranged side-by-side with each unit having an exterior entrance, on a single lot. To provide for design flexibility, a two-unit dwelling development may include single-unit dwellings.
- B. Use Standards.
 - (1) The front entry must be an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front facade.
 - (2) Minimum required masonry on front and corner side yard building elevations is 25%.
 - (3) A 5% minimum transparency requirement applies to the front facade and is calculated on the basis of the area of the facade below the roofline.

39. Fueling Station.
- A. Defined. Fueling Station means an establishment where fuel for vehicles is dispersed from fixed equipment into the fuel tanks or battery cells of said vehicles. A fueling station may also include ancillary car wash bays.
 - B. Use Standards. ~~None.~~
 - (1) Canopy support structures shall be wrapped in masonry materials consistent with the principal building.
72. Self-Storage Facility: Outdoor.
- A. Defined. Outdoor self-storage facility means an establishment for the storage of personal property where individual renters control and access individual storage spaces and where each storage unit has individual access from the outdoors. Ancillary retail sales of related items, such as moving supplies, and facility offices may also be included. Rental of vehicles and other equipment for moving is a separate use from self-storage facility. The heavy retail, rental, and service use must be allowed within the district and requires separate approval.
 - B. Use Standards.
 - (1) Storage units cannot be used for residential occupancy or business.
 - (2) No plumbing connections are permitted in self-storage units.
 - (3) Outdoor self-storage facilities shall be oriented to the best extent possible so that storage unit access doors do not face the public right-of-way, or residential districts as set forth in Section 168.02.
 - (4) Exterior facades not facing the exterior of the property are not subject to the masonry requirements set forth in Section 169.10.
 - (5) Commercial district design standards.
 - (a) Exterior facades that face a right-of-way or adjoining residential district shall include the following:
 - (i) Color, texture and building material changes.
 - (ii) Wall articulation change of no less than two feet in depth or projection every 50 feet.
 - (iii) Wall articulation change no less than two feet in vertical elevation every 50 feet in building width. The change in elevation shall extend a minimum of 20 feet in building width.
 - (iv) Exterior facades that face a right-of-way or adjoining residential district shall include windows or faux windows.

76. Utility (Sub)Station

A. Defined. Utility (sub)station means a structure or facility used by a public or quasi-public utility agency to store and/or distribute public utilities. Utility (sub)stations does not include outdoor storage or maintenance facilities.

B. Use Standards.

- (1) Utility (sub)stations, shall to the greatest degree possible, be located so as to minimize impacts on surrounding properties and public infrastructure.
- (2) No setbacks are required, however, utility (sub)stations shall not block visibility or create traffic hazards.
- (3) Minimum required masonry on all building elevations is 60%,
- (3) Utility (sub)stations shall be screened with landscaping consisting of shade trees and evergreen trees and shrubs. Such landscaped area shall be of sufficient width and density to provide an effective and aesthetically pleasing screen with trees and shrubs not less than five feet in height when planted. In lieu of a landscape area, a masonry wall may be used as a screen.

(4) Decorative fences within the front yard may exceed the maximum height specified in section 169.04 subject to the following:

- (a) Fence material shall be wrought iron or ornamental metal and shall have masonry columns spaced a maximum of 50 feet.
- (b) Maximum height is 10 feet.
- (c) Shall not be located within the corner visual clearance area.

SECTION 11. AMENDMENT OF ZONING ORDINANCE. Paragraph 2(F&G) of Chapter 169.01 of the North Liberty Code of Ordinances is amended as follows:

169.01 OFF-STREET PARKING AND LOADING.

- F. Setbacks. Off-street parking spaces and drive aisles within a parking lot or structure must be designed in accordance with the minimum dimensions in Table 169.01-B Off-Street Parking and Loading Setbacks.

District	Right-Of-Way Front/Corner Lot Line	Side Lot Line	Rear Lot Line
ID, RS, RD	25 feet ¹	3 feet ²	3 feet
R-MH	10 feet ³	5 feet	5 feet
RM, C, I, P	10 feet	5 feet	5 feet
O/RP	25 feet	10 feet	10 feet

- ~~For residential uses~~ Off-street parking areas may be within the front ~~or corner~~ side yard, but shall not occupy greater than 50 percent of the required ~~front~~ yard and shall not provide greater than one parking space in addition to that provided in the travel portion of the driveway. ~~Notwithstanding the foregoing, the two required parking spaces for single and two-unit dwellings may be located within either the required front or corner side yard single if no garage exists and there is inadequate area to locate one of the parking spaces in the side or rear yard subject to the condition that driveway be a maximum 20 feet in width.~~
- No setback required on an interior side lot line for two-unit dwelling buildings.
- Off-street parking areas may be within the front yard.
- In any district where off-street joint access is provided, the required setback on an interior side lot line may be reduced if a joint access easement agreement is recorded between the two lots.

- G. Single-Unit, Two-Unit Zero Lot Line, Duplex and Townhouse Dwellings.
- All required off-street parking spaces must have vehicular access from a driveway that connects to a street, alley or private drive isle. The width of the driveway shall be a minimum of 10 feet.
 - Townhouse developments are ~~generally~~ prohibited from constructing ~~curb cuts individual driveway accesses to along~~ a public street. ~~Exceptions may be granted to lower-volume local streets and/or in areas where property boundaries make access from a private street impractical.~~
 - Required off-street parking spaces may be designed so that the driver may back out into the street or alley.
 - All off-street parking areas must be improved with a hard surfaced, all-weather dustless material; pervious and non-pervious pavers may be used. Sealcoating and roto milling (the process of removing at least part of the surface of a paved area) and gravel is prohibited. Thickness of surfacing must comply with the regulations of the Iowa Statewide Urban Design and Specifications, as amended.

SECTION 12. AMENDMENT OF ZONING ORDINANCE. Paragraph 6 of Chapter 169.04 and table 169.05 of the North Liberty Code of Ordinances are amended as follows:

6. Height.
The height of all fences and/or retaining walls located within a front, corner side yard, side, or rear yard shall not exceed those found in Table ~~169.05~~169.04.

Table 169.05 <u>169.04</u> Maximum Fence and Wall Height				
District	Front Yard	Corner Side Yard	Side Yard	Rear Yard
Residential Districts	4'	4'	8' <u>6'</u>	8' <u>6'</u>
All Other Districts	4'	4'	16'	16'

1. Fences shall not be located within the corner visual clearance.
2. Chain ~~link~~ fences shall not be located within the required front or required corner side yard ~~(see exception within number 4 below)~~.
3. Fences shall not exceed 8' in height if the property abuts a residential district.
4. ~~With the exception of a reverse corner lot~~On a corner lot, a 6-foot-high privacy fence up to 6' high may be erected on that portion of the ~~corner~~ lot at the rear of the house provided the fence is erected a minimum of 15 feet from any sidewalk, driveway, or right-of-way line. Said fence shall comply in all other respects with the fence requirements.

SECTION 13. AMENDMENT OF ZONING ORDINANCE. Paragraphs 1, 2 and 3 of Chapter 169.05 of the North Liberty Code of Ordinances are amended as follows:

169.05 ACCESSORY STRUCTURES AND USES.

Accessory structures and uses shall occupy the same lot as the main use or building. No lot shall have an accessory structure or use without the principal use. No accessory structure shall be used as a dwelling unit. Accessory structures shall be constructed out of material intended for long-term exposure to the elements. Prohibited materials include, but are not limited to cloth, fabric, canvas, plastic sheets and tarps. Exceptions to the materials prohibition includes plastic for greenhouses and fabric and/or canvas for shade structures. Shipping containers are prohibited as an accessory structure.

1. Yard Encroachment.
No accessory building or use shall be located within any yard unless authorized by this Section and/or Section 169.08.
2. Freestanding ~~Private~~ Garages, Storage Buildings, Greenhouses, Gazebos, Pergolas, and other Similar Structures greater than 200 Square Feet Gross Floor Area.
 - A. RS, RD and ID districts shall be subject to the following:
 - (1) A maximum of one freestanding garage, storage building, greenhouse, gazebo, pergola, or other similar structure greater than 200 square feet gross floor area.
 - (2) Freestanding garages. A maximum gross floor area of 850 square feet. RS district exception: on properties exceeding .5 acres but less than .75 acres, the maximum gross floor area shall be 1,000 square feet. On properties

exceeding .75 acres but less than one acre, the maximum gross floor area shall be 1,200 square feet. On properties exceeding one acre, the maximum gross floor area shall be 1,400 square feet. Notwithstanding the foregoing, the gross floor area shall not exceed the total footprint of the residence.

~~(3)~~ All other structures besides freestanding garages. A maximum gross floor area of 600 square feet.

~~(3)(4)~~ May be located within the rear yard subject to a five foot side and rear setback.

~~(4)(5)~~ May be located within a side yard subject to meeting the required side and rear yard setbacks for the main building.

~~(5)(6)~~ Must be situated A minimum 20 feet from a public or private right-of-way or improved home.

~~(6)(7)~~ May Not not be located within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.

~~(7)(8)~~ A maximum height of 15 feet.

B. RM district.

(1) No maximum number ~~of freestanding garages accessory structures,~~ however, the aggregate floor area shall not exceed the aggregate footprint of the main buildings.

(2) May be located within the rear yard subject to a 10-foot side and rear setback.

(3) A minimum 20 feet from a public or private right-of-way or improved alley.

(4) Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.

(5) A maximum height of 15 feet.

3. Storage Buildings, ~~and~~ Greenhouses, Gazebos, Pergolas and other Similar Structures 200 Square Feet Gross Floor Area or Less.

A. ~~RS, and~~ RD and ID districts shall be subject to the following:

(1) A maximum two storage buildings, greenhouses, gazebos, pergolas, or structures designed for other similar use, or any combination thereof, may be located within the rear yard.

~~(2)~~ Maximum 200 square feet gross floor area per structure.

~~(3)(2)~~ A minimum of five feet from the side and rear property line.

~~(4)(3)~~ A minimum of 10 feet from a public or private right-of-way alley.

~~(5)(4)~~ Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.

~~(6)(5)~~ Maximum building height of 10 feet.

SECTION 14. AMENDMENT OF ZONING ORDINANCE. Paragraph 8(B) of Chapter 169.08 and table 169.08 of the North Liberty Code of Ordinances are amended as follows:

- B. In districts where a maximum height is imposed, such height limitations shall not apply to certain appurtenances and structures and are indicated in Table 169-08: Permitted Encroachments into Required Yards and Exceeding Maximum Building Height.

Table 169-08: Permitted Encroachments Into Required Yards and Exceeding Maximum Building Height Y= Permitted // N= Prohibited Max. = Maximum // Min. = Minimum				
	Required Front/Corner Side Yard	Required Side Yard	Required Rear Yard	Exceed Max. Building Height
Accessibility Ramp	Y	Y	Y	N
Air Conditioner Window Unit Max. projection of 18" from building wall	Y	Y	Y	N
Arbor or Trellis	Y	Y	Y	N
Awning or Sunshade Max. of 2' Does not include awnings used as a sign (See Chapter 173)	Y	Y	Y	N
Bay Window Max. of 2' Min. of 24" above ground	Y	Y	Y	N
Canopy Max. of 2' Does not include canopies used as a sign (See Chapter 17.12)	Y	Y	Y	N
Chimney Max. of 18" into required yard	Y	Y	Y	Y
Elevator and Stairway Bulkheads	N	N	N	Y
Emergency sirens and similar devices.	N	N	N	Y
Deck (uncovered) Min 5' from side lot line Min 10' from rear lot line	N	Y	Y	N
Dog House Min. of 4' from any lot line.	N	N	Y	N
Eaves, Gutters and Downspouts Max. of 4' into required yard	Y	Y	Y	N
Fire Escape Max. of 3' into required yard	N	Y	Y	Y
Fire Training Tower	N	N	N	Y
Gazebo or Pergola Min. of 5' from any lot line.	N	Y	Y	N
Grain Elevator (and necessary mechanical appurtenances)	N	N	N	Y
Landscaping	Y	Y	Y	N
Patio (uncovered) Min. 5' from any lot line	N	Y	Y	N

Table 169-08: Permitted Encroachments Into Required Yards and Exceeding Maximum Building Height Y= Permitted // N= Prohibited Max. = Maximum // Min. = Minimum				
	Required Front/Corner Side Yard	Required Side Yard	Required Rear Yard	Exceed Max. Building Height
<u>Pergola (attached)</u> <u>Min 5' from side lot line</u> <u>Min 10' from rear lot line</u>	<u>N</u>	<u>Y</u>	<u>Y</u>	<u>N</u>
Personal Recreation Game Court Min. of 5' from any lot line	N	N	Y	N
Playground Equipment Min. of 4' from any lot line	N	N	Y	N
Sidewalk Min. of 3' from any lot line except front lot line.	Y	Y	Y	N
Sills, Belt course, Cornices, and Ornamental features Max. of 2' into required yard	Y	Y	Y	N
Silos	N	N	N	Y
Smokestack	N	N	N	Y
Steeple, Spires and Belfries	N	N	N	Y
Steps (providing access to an entryway)	Y	Y	Y	Y
Stoop Max. of 4' into required yard	Y	Y	Y	N
Utility Equipment (Directly Connected to Structure being Served). Max. of ½ into Required Yard	N	Y	Y	Y
Water Towers and Cooling Towers	N	N	N	Y
<u>Window Wells</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>

SECTION 15. AMENDMENT OF ZONING ORDINANCE. Chapter 173.06 of the North Liberty Code of Ordinances is amended as follows:

173.06 SIGNS IN RESIDENTIAL ZONES.

1. Neighborhood or Development Signs. Residential developments or neighborhoods of four or more dwelling units shall be permitted one freestanding monument sign for each public street frontage or each entrance. Such signs may be placed in any location on private property provided the sign complies with the same height limitations specified for fences. Maximum sign area for each sign ~~shall be two square feet, plus one square foot for each dwelling unit or lot, but shall not exceed 50 square feet in area per sign face.~~
2. Non-residential Uses. Each non-residential principal use shall be permitted wall signs and one freestanding monument sign per public street frontage, subject to the following size requirements.

- A. Maximum Wall Sign Area. The total area of wall signage shall not exceed one square foot for each lineal foot of building wall when viewed in elevation, not to exceed 50 square feet.
- B. Maximum Freestanding Sign Area. One sign is permitted per public street access. The surface area for each sign shall not exceed 50 square feet and the height shall not exceed 5 feet.

SECTION 16. AMENDMENT OF ZONING ORDINANCE. Paragraph 2 of Chapter 173.07 of the North Liberty Code of Ordinances is amended as follows:

- 2. Business and Public Use Signs. Each enterprise, institution, or business shall be permitted wall signs, one canopy sign per street frontage, and one freestanding monument sign per public street frontage, subject to the following maximum size requirements. Multiple businesses in the same building shall apportion façade length, building wall, and street frontage such that any maximum size requirement is not exceeded for a particular property.
 - A. Maximum Wall Sign Area. The total area of wall signage shall not exceed the following requirements for each building wall to which the signage is attached.
 - (1) In the C-1-A and Public districts, one square foot for each lineal foot of building wall when viewed in elevation, not to exceed the following maximums:
 - (a) 40 square feet for building walls up to 50 feet in length.
 - (b) 80 square feet for building walls over 50 feet in length.
 - (2) In the C-1-B, C-2-A and C-3 zone districts, for buildings fewer than four-story in height, two square feet for each lineal foot of building wall when viewed in elevation, not to exceed 300 square feet. For buildings four-stories in height or greater, the total area of wall signage shall not exceed four square feet for each lineal foot of building wall the sign is attached to when viewed in elevation, not to exceed 400 square feet provided that the wall sign be mounted at or above the fourth-story.
 - B. Maximum Freestanding Sign Area.
 - (1) In the C-1-A and Public districts, one sign is permitted per public street access. The surface area for each sign shall not exceed 50 square feet, except for development complexes as specified in section 173.07(1), and the height shall not exceed 20 feet.
 - (2) In the C-1-B, C-2-A and C-3 zone districts, one sign is permitted per street frontage. The surface area for each sign shall not exceed 100 square feet, except for development complexes as specified in section 173.07(1), and the height shall not exceed 24 feet.

SECTION 17. AMENDMENT. The Official Zoning Map incorporated in Chapter 168.01(2) of the North Liberty Code of Ordinances is hereby amended such that each property currently designated as C-2-A Highway Commercial District is redesignated as C-2 Highway Commercial District. Each property currently designated as C-2-B Highway Commercial District is redesignated as C-2 Highway Commercial District. It is hereby authorized and directed that the Zoning Map of the City of North Liberty, Iowa, be changed to conform to this amendment upon final passage, approval and publication of this ordinance as provided by law.

SECTION 18. REPEALER. All Ordinances and parts of Ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 19. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the Ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 20. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 21. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____, 2023.

Second reading on _____, 2023.

Third and final reading on _____, 2023.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. _____ in the Cedar Rapids Gazette on the ____ day of _____, 2023.

TRACEY MULCAHEY, CITY CLERK



West Penn Street Public Improvements

RESOLUTION NO. 2023-100

APPROVAL TO PROCEED WITH A PUBLIC IMPROVEMENT, THE WEST PENN STREET IMPROVEMENT PROJECT

WHEREAS, the City of North Liberty has entered into an agreement pursuant to Iowa Chapter 28E with Johnson County (the "Agreement") for the purpose of identifying and allocating responsibilities and costs for the improvement of West Penn Street and James Avenue NW (the "Project"); and

WHEREAS, pursuant to the Agreement, Shive-Hattery was retained and has identified preliminary site locations for the Project and those portions of certain properties which would be affected by the Project, which are attached hereto; and

WHEREAS, a discussion was held on the proposed Project during the regular City Council Meeting on September 12, 2023; and

WHEREAS, persons interested in the Project presented their views regarding the proposed Project, and regarding the proposed acquisition of property for the Project; and

WHEREAS, the City Council of the City of North Liberty, Iowa has determined that the proposed Project, which contemplates the widening and paving of portions of West Penn Street and James Avenue Northwest, as well as the construction of shoulders and improvement of ditches, serves an important public purpose,

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA, AS FOLLOWS:

That the West Penn Street Improvement Project has a valid public purpose which will benefit the community; that the preliminary site location of the Project is approved and adopted; that there is a reasonable expectation that the acquisition of the real property identified in Exhibit A will enable the City to achieve its public purpose for the Project, that the Project will comply with all applicable standards, and the City will be able to obtain all permits necessary for the Project; that funding shall be provided for the acquisition of said real property; that the acquisition of all or a portion of the properties needed for the project, by condemnation if necessary, and all appurtenant expenses associated with such condemnation are hereby approved and authorized, and that the City Attorney is empowered to begin negotiations for the acquisition of same in

accordance with Chapter 6B of the Code of Iowa, and subject to the provisions of the Agreement with Johnson County.

APPROVED AND ADOPTED this 12th day of September, 2023.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

Index Legend	
City:	N/A
County:	JOHNSON COUNTY
Geoparcels ID:	PARCEL ID: 0609176002
Description:	A PART OF SE 1/4 NE 1/4 SEC. 9-80-7
Proprietor:	ETHEL DOEHRMANN, GORDON DOEHRMANN
Surveyor:	JONATHON BAILEY, P.L.S.
Company:	SHIVE-HATTERY INC
Return To:	2839 NORTHGATE DRIVE IOWA CITY, IOWA 52245, PH: 319.354.3040

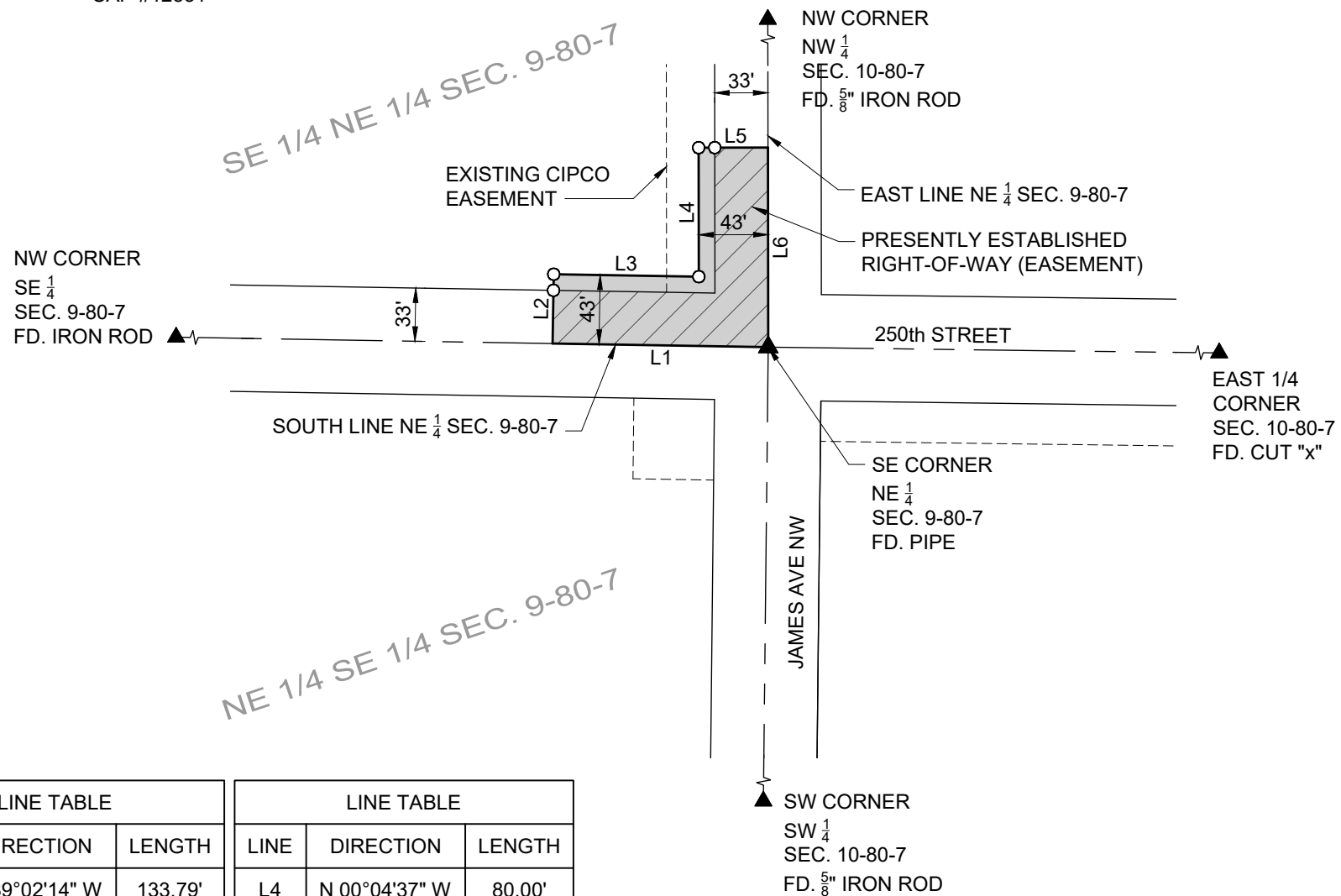
RIGHT-OF-WAY ACQUISITION PLAT

A PART THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER SECTION 9, TOWNSHIP 80 NORTH, RANGE 7 WEST JOHNSON COUNTY, IOWA

THIS SPACE RESERVED FOR RECORDER'S USE

LEGEND

- ▲ FOUND SECTION CORNER
- SET 5/8" IRON ROD W/ YELLOW CAP #12531



DESCRIPTION

That part of the Southeast Quarter of the Northeast Quarter of Section 9, Township 80 North, Range 7 West of the 5th P.M., Johnson County, Iowa described as follows:

Beginning at the Southeast Corner of said Northeast Quarter;

thence North 89°02'14" West 133.79 along the south line of said Northeast Quarter (assumed bearing for this description only);

thence North 0°57'46" East 43.00 feet;

thence South 89°02'14" East 90.00 feet along a line parallel with and 43 feet in perpendicular distance north of said Northeast Quarter;

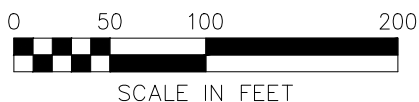
thence North 0°04'37" West 80.00 feet along a line parallel with and 43 feet in perpendicular distance west of the east line of said Northeast Quarter;

thence North 89°55'23" East 43.00 feet to a point of intersection with said east line of said Northeast Quarter;

thence South 0°04'37" East 123.79 feet along said east line to the point of beginning.

Area: Total area 9,193 square feet with a net area of 1,802 square feet which excludes the presently established right-of-way.

LINE TABLE			LINE TABLE		
LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH
L1	N 89°02'14" W	133.79'	L4	N 00°04'37" W	80.00'
L2	N 00°57'46" E	43.00'	L5	N 89°55'23" E	43.00'
L3	S 89°02'14" E	90.00'	L6	S 00°04'37" E	123.79'

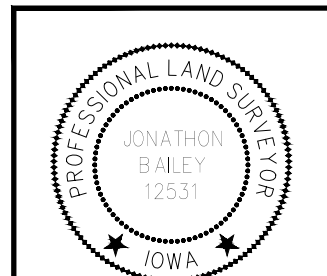


PROPERTY OWNER:
ETHEL DOEHRMANN
GORDON DOEHRMANN

SURVEY REQUESTED BY:
THE CITY OF NORTH LIBERTY
AND
JOHNSON COUNTY, IOWA

PRELIMINARY

ONLY THESE COPIES OF THIS DOCUMENT SIGNED AND DATED IN CONTRASTING INK COLOR ARE TO BE CONSIDERED CERTIFIED OFFICIAL COPIES PER IOWA ADMINISTRATION CODE 193C-6.1(5)



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: _____
NAME: JONATHON BAILEY
DATE: _____ LICENSE NUMBER: 12531
MY LICENSE RENEWAL DATE IS: DECEMBER 31, 2024
PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: 1 of 1

SHIVEHATTERY
ARCHITECTURE+ENGINEERING

2839 NORTHGATE DRIVE
IOWA CITY, IOWA 52245
319.354.3040 | SHIVE-HATTERY.COM

DATE	SCALE	AS SHOWN
7/24/2023	AS SHOWN	AS SHOWN
DRAWN BY	FIELD BOOK	
APPROVED BY	REVISION	

RIGHT-OF-WAY ACQUISITION PLAT
A PART OF THE SE 1/4 NE 1/4 SECTION 9-80-7

250TH STREET AND JAMES AVENUE
JOHNSON COUNTY, IOWA

2112202190

7/28/2023 10:02:33 AM

P:\Projects\IC2112202190\Deliverables\Drawings\1a_Survey\Acquisitions and Easements\acq-Doehrmann-SE-NE-9-80-7.dwg

Index Legend	
City:	N/A
County:	JOHNSON COUNTY
Geoparcels ID:	PARCEL ID 0610276001
Description:	A PART OF SE 1/4 NW 1/4 SEC. 10-80-7
Proprietor:	EC FARMS, LLC
Surveyor:	JONATHON BAILEY, P.L.S.
Company:	SHIVE-HATTERY INC
Return To:	2839 NORTHGATE DRIVE IOWA CITY, IOWA 52245, PH: 319.354.3040

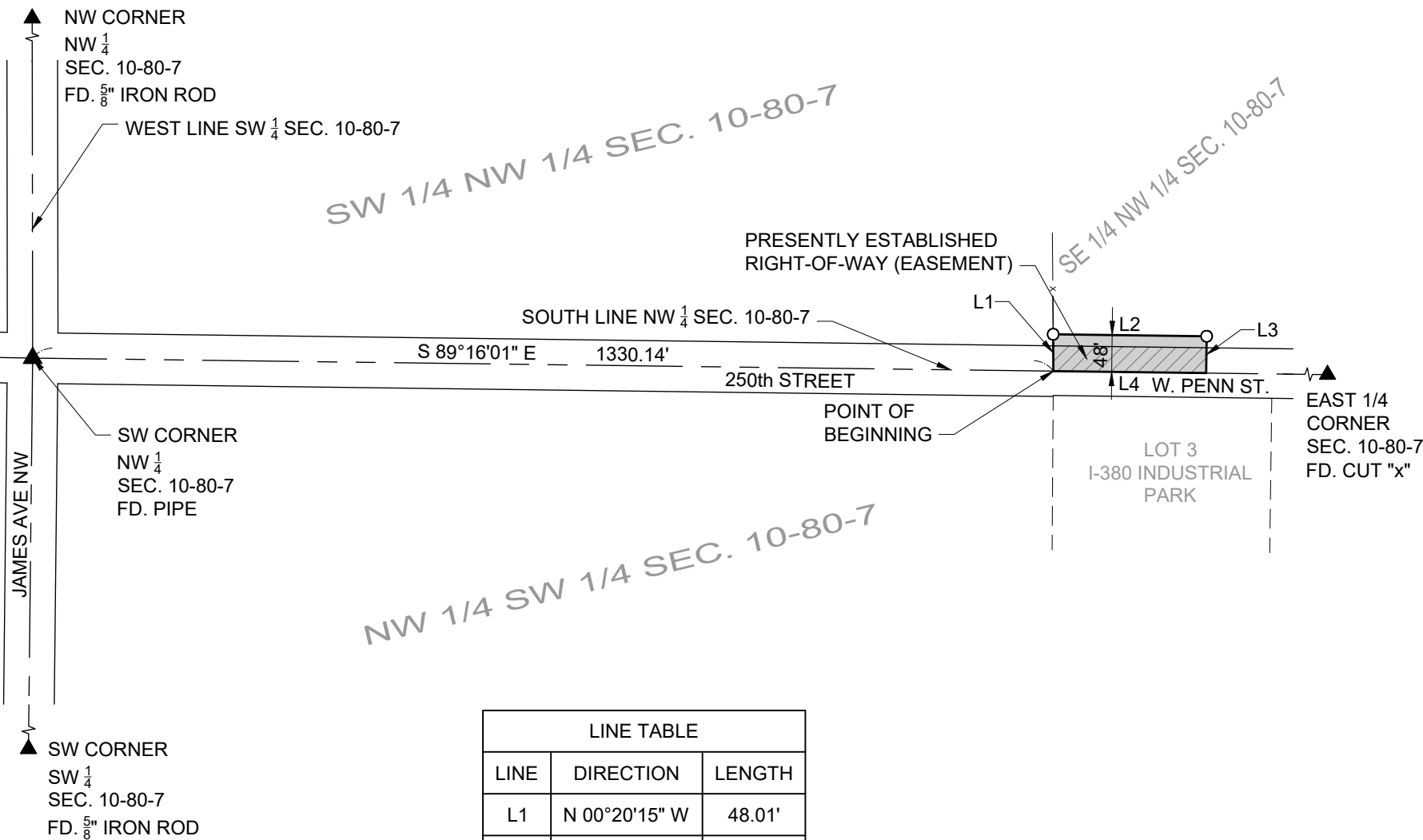
RIGHT-OF-WAY ACQUISITION PLAT

A PART THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER SECTION 10, TOWNSHIP 80 NORTH, RANGE 7 WEST JOHNSON COUNTY, IOWA

THIS SPACE RESERVED FOR RECORDER'S USE

LEGEND

- ▲ FOUND SECTION CORNER
- SET 5/8" IRON ROD W/ YELLOW CAP #12531



LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N 00°20'15" W	48.01'
L2	S 89°16'01" E	200.00'
L3	S 00°43'59" W	48.00'
L4	N 89°16'01" W	199.10'

DESCRIPTION

That part of the Southeast Quarter of the Northwest Quarter of Section 10, Township 80 North, Range 7 West of the 5th P.M., Johnson County, Iowa described as follows:

Commencing as a point of reference at the Southwest Corner of said Northwest Quarter;

thence South 89°16'01" East 1330.14 feet along the south line of said Northwest Quarter (assumed bearing for this description only) to the point of beginning;

thence North 0°20'15" West 48.01 feet along an existing fence line extended southerly and along said fence line;

thence South 89°16'01" East 200.00 feet along a line parallel with and 48 feet in perpendicular distance north of said south line of said Northwest Quarter;

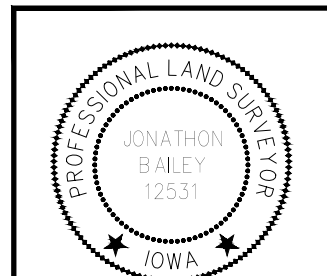
thence South 0°43'59" West 48.00 to a point of intersection with said south line;

thence North 89°16'01" West 199.10 feet along said south line to the point of beginning.

Area: Total area 9,578 square feet with a net area of 2,998 square feet which excludes the presently established right-of-way.

PRELIMINARY

ONLY THESE COPIES OF THIS DOCUMENT SIGNED AND DATED IN CONTRASTING INK COLOR ARE TO BE CONSIDERED CERTIFIED OFFICIAL COPIES PER IOWA ADMINISTRATION CODE 193C-6.1(5)



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: _____
NAME: JONATHON BAILEY

DATE: _____ LICENSE NUMBER: 12531

MY LICENSE RENEWAL DATE IS: DECEMBER 31, 2024

PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: _____
1 of 1

PROPERTY OWNER:
EC FARMS, LLC

SURVEY REQUESTED BY:
THE CITY OF NORTH LIBERTY
AND
JOHNSON COUNTY, IOWA

RIGHT-OF-WAY ACQUISITION PLAT
A PART OF THE SE 1/4 NW 1/4 SECTION 10-80-7

250TH STREET/ WEST PENN STREET
JOHNSON COUNTY, IOWA

DATE	SCALE	AS SHOWN
7/25/2023	JSB	JSB
DRAWN BY	FIELD BOOK	REVISION
APPROVED BY	JSB	JSB

2112202190

1 of 1

SHIVEHATTERY
ARCHITECTURE+ENGINEERING

2839 NORTHGATE DRIVE
IOWA CITY, IOWA 52245
319.354.3040 | SHIVE-HATTERY.COM

Index Legend	
City:	N/A
County:	JOHNSON COUNTY
Geoparcels ID:	PARCEL ID 0610276001
Description:	A PART OF SE 1/4 NW 1/4 SEC. 10-80-7
Proprietor:	EC FARMS, LLC
Surveyor:	JONATHON BAILEY, P.L.S.
Company:	SHIVE-HATTERY INC
Return To:	2839 NORTHGATE DRIVE IOWA CITY, IOWA 52245, PH: 319.354.3040

EASEMENT EXHIBIT TEMPORARY CONSTRUCTION EASEMENT

A PART THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER
SECTION 10, TOWNSHIP 80 NORTH, RANGE 7 WEST
JOHNSON COUNTY, IOWA

THIS SPACE RESERVED FOR RECORDER'S USE

LEGEND

▲ FOUND SECTION CORNER

▲ NW CORNER
NW 1/4
SEC. 10-80-7
FD. 5/8" IRON ROD

SW 1/4 NW 1/4 SEC. 10-80-7

SE 1/4 NW 1/4 SEC. 10-80-7

SOUTH LINE NW 1/4 SEC. 10-80-7

S 89°16'01" E 1330.14'
250th STREET

SW CORNER
NW 1/4
SEC. 10-80-7
FD. PIPE

JAMES AVE NW

NW 1/4 SW 1/4 SEC. 10-80-7

LOT 3
I-380 INDUSTRIAL
PARK

▲ EAST 1/4
CORNER
SEC. 10-80-7
FD. CUT "X"

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N 00°20'15" W	48.01'
L2	N 00°20'15" W	5.00'
L3	S 89°16'01" E	205.09'
L4	S 00°43'59" W	20.00'
L5	N 89°16'01" W	5.00'
L6	N 00°43'59" E	15.00'
L7	N 89°16'01" W	200.00'



PROPERTY OWNER:
EC FARMS, LLC

SURVEY REQUESTED BY:
THE CITY OF NORTH LIBERTY
AND
JOHNSON COUNTY, IOWA

DESCRIPTION

A temporary construction easement on that part of the Southeast Quarter of the Northwest Quarter of Section 10, Township 80 North, Range 7 West of the 5th P.M., Johnson County, Iowa described as follows:

Commencing as a point of reference at the Southwest Corner of said Northwest Quarter;

thence South 89°16'01" East 1330.14 feet along the south line of said Northwest Quarter (assumed bearing for this description only);

thence North 0°20'15" West 48.01 feet along an existing fence line extended southerly and along said fence line to the point of beginning;

thence continuing North 0°20'15" West 5.00 feet;

thence South 89° 16'01" East 205.09 feet;

thence South 0°43'59" West 20.00 feet to a point of intersection with the existing northerly right-of-way of West Penn Street;

thence North 89°16'01" West 5.00 feet along said right-of-way;

thence North 0°43'59" East 15.00 feet;

thence North 89°16'01" West 200.00 feet along a line parallel with and 48 feet in perpendicular distance north of said south line of said Northwest Quarter to the point of beginning.

Area: 1,100 square feet more or less.

SHIVEHATTERY
ARCHITECTURE + ENGINEERING

2839 NORTHGATE DRIVE
IOWA CITY, IOWA 52245
319.354.3040 | SHIVE-HATTERY.COM

EASEMENT EXHIBIT
A PART OF THE SE 1/4 NW 1/4 SECTION 10-80-7

250TH STREET/ WEST PENN STREET
JOHNSON COUNTY, IOWA

DATE	SCALE	AS SHOWN
7/29/2023	AS SHOWN	AS SHOWN
DRAWN BY	FIELD BOOK	
APPROVED BY	REVISION	

2112202190

PRELIMINARY

Index Legend	
City:	N/A
County:	JOHNSON COUNTY
Geoparcels ID:	PARCEL ID 0610303002
Description:	LOT 3, I-380 INDUSTRIAL PARK
Proprietor:	HICKORY POINTE, LLC
Surveyor:	JONATHON BAILEY, P.L.S.
Company:	SHIVE-HATTERY INC
Return To:	2839 NORTHGATE DRIVE IOWA CITY, IOWA 52245, PH: 319.354.3040

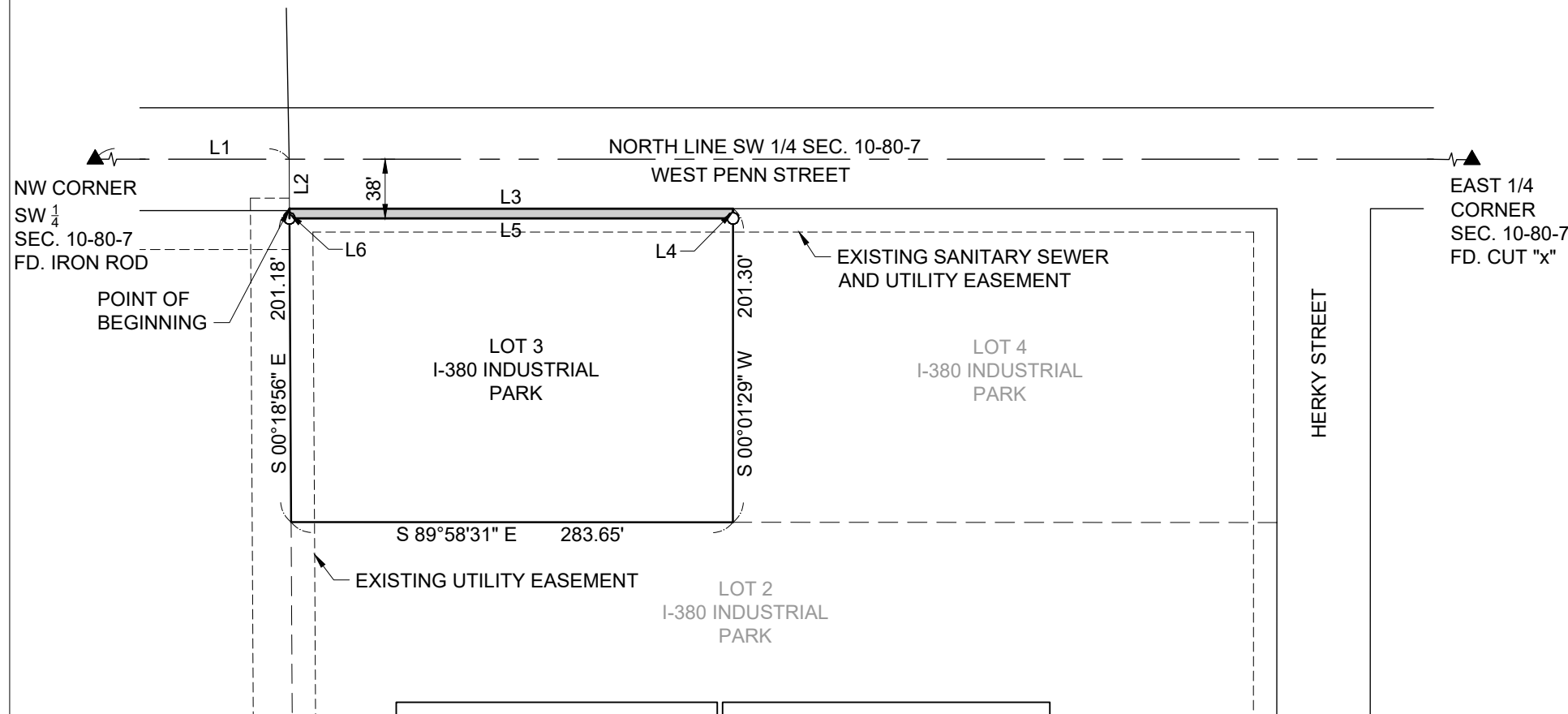
RIGHT-OF-WAY ACQUISITION PLAT

A PART OF LOT 3, I-380 INDUSTRIAL PARK
NORTH LIBERTY, JOHNSON COUNTY, IOWA

THIS SPACE RESERVED FOR RECORDER'S USE

LEGEND

- ▲ FOUND SECTION CORNER
- SET ^{0.00}IN IRON ROD W/ YELLOW CAP #12531



DESCRIPTION

That part of Lot 3, I-380 Industrial Park (Final Plat recorded in Plat Book 41, Page 200 at the Johnson County Recorder's Office) North Liberty, Johnson County, Iowa described as follows:

Commencing as a point of reference at the Northwest Corner of the Southwest Quarter of Section 10, Township 80 North, Range 7 West of the 5th P.M.;

thence North 90°00'00" East 1330.14 feet along the north line of said Southwest Quarter (assumed bearing for this description only);

thence South 0°18'56" East 31.77 feet along the west line of said Lot 3 extended to the northwest corner of said Lot 3, said corner being the point of beginning;

thence North 90°00'00" East 284.84 feet along the north line of said Lot 3 to the northeast corner of said Lot 3;

thence South 0°01'29" West 6.23 feet along the east line of said Lot 3;

thence North 90°00'00" West 284.80 along a line parallel with and 38 feet in perpendicular distance southerly from said north line of said Southwest Quarter to a point of intersection with the west line of said Lot 3;

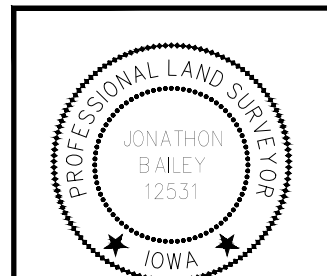
thence North 0°18'56" West 6.23 feet along said west line to the point of beginning.

Area: 1,775 square feet.

LINE TABLE			LINE TABLE		
LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH
L1	N 90°00'00" E	1330.14'	L4	S 00°01'29" W	6.23'
L2	S 00°18'56" E	31.77'	L5	N 90°00'00" W	284.80'
L3	N 90°00'00" E	284.84'	L6	N 00°18'56" W	6.23'

PRELIMINARY

ONLY THESE COPIES OF THIS DOCUMENT SIGNED AND DATED IN CONTRASTING INK COLOR ARE TO BE CONSIDERED CERTIFIED OFFICIAL COPIES PER IOWA ADMINISTRATION CODE 193C-6.1(5)

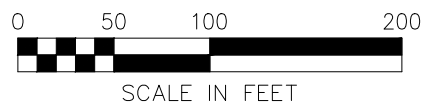


I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: _____
 NAME: JONATHON BAILEY
 DATE: _____ LICENSE NUMBER: 12531
 MY LICENSE RENEWAL DATE IS: DECEMBER 31, 2024
 PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: 1 of 1

PROPERTY OWNER:
HICKORY POINTE, LLC

SURVEY REQUESTED BY:
THE CITY OF NORTH LIBERTY
AND
JOHNSON COUNTY, IOWA



SHIVEHATTERY
ARCHITECTURE+ENGINEERING

2839 NORTHGATE DRIVE
IOWA CITY, IOWA 52245
319.354.3040 | SHIVE-HATTERY.COM

RIGHT-OF-WAY ACQUISITION PLAT
A PART OF LOT 3, I-380 INDUSTRIAL PARK

WEST PENN STREET
NORTH LIBERTY, JOHNSON COUNTY, IOWA

DATE	SCALE	FIELD BOOK	REVISION
7/26/2023	AS SHOWN	JSB	JSB

2112202190

Index Legend	
City:	N/A
County:	JOHNSON COUNTY
Geoparcels ID:	PARCEL ID: 0609401001
Description:	A PART OF NE 1/4 SE 1/4 SEC. 9-80-7
Proprietor:	DARYL NEITDERHISAR
Surveyor:	JONATHON BAILEY, P.L.S.
Company:	SHIVE-HATTERY INC
Return To:	2839 NORTHGATE DRIVE IOWA CITY, IOWA 52245, PH: 319.354.3040

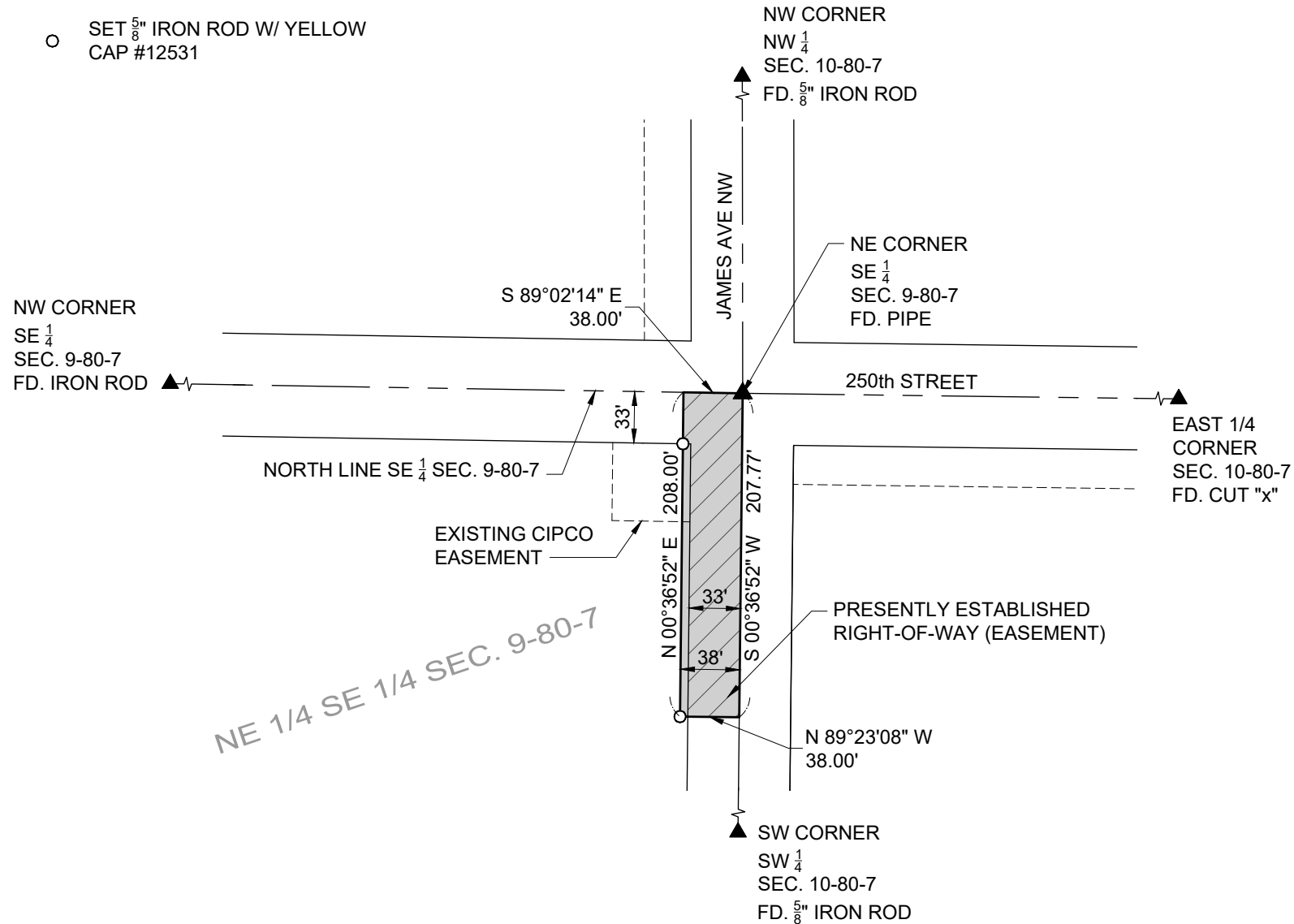
RIGHT-OF-WAY ACQUISITION PLAT

A PART THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER SECTION 9, TOWNSHIP 80 NORTH, RANGE 7 WEST JOHNSON COUNTY, IOWA

THIS SPACE RESERVED FOR RECORDER'S USE

LEGEND

- ▲ FOUND SECTION CORNER
- SET $\frac{5}{8}$ " IRON ROD W/ YELLOW CAP #12531



DESCRIPTION

That part of the Northeast Quarter of the Southeast Quarter of Section 9, Township 80 North, Range 7 West of the 5th P.M., Johnson County, Iowa described as follows:

Beginning at the Northeast Corner of said Southeast Quarter;

thence South 0°36'52" West 207.77 along the east line of said Southeast Quarter (assumed bearing for this description only);

thence North 89°23'08" West 38.00 feet;

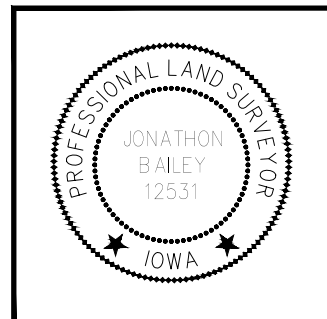
thence North 0°36'52" East 208.00 feet along a line parallel with and 38 feet in perpendicular distance west of the east line of said Southeast Quarter to a point of intersection with the north line of said Southeast Quarter

thence South 89°02'14" East 38.00 feet along said north line to the point of beginning.

Area: Total area 7,900 square feet with a net area of 875 square feet which excludes the presently established right-of-way.

PRELIMINARY

ONLY THESE COPIES OF THIS DOCUMENT SIGNED AND DATED IN CONTRASTING INK COLOR ARE TO BE CONSIDERED CERTIFIED OFFICIAL COPIES PER IOWA ADMINISTRATION CODE 193C-6.1(5)



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: _____
 NAME: JONATHON BAILEY
 DATE: _____ LICENSE NUMBER: 12531
 MY LICENSE RENEWAL DATE IS: DECEMBER 31, 2024
 PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: 1 of 1

PROPERTY OWNER:
DARYL NEITDERHISAR

SURVEY REQUESTED BY:
THE CITY OF NORTH LIBERTY
AND
JOHNSON COUNTY, IOWA



RIGHT-OF-WAY ACQUISITION PLAT
A PART OF THE NE 1/4 SE 1/4 SECTION 9-80-7

250TH STREET AND JAMES AVENUE
JOHNSON COUNTY, IOWA

DATE	7/24/2023	SCALE	AS SHOWN
DRAWN BY	JSB	FIELD BOOK	
APPROVED BY	JSB	REVISION	

2112202190

SHIVEHATTERY
ARCHITECTURE+ENGINEERING
2839 NORTHGATE DRIVE
IOWA CITY, IOWA 52245
319.354.3040 | SHIVE-HATTERY.COM

Index Legend	
City:	N/A
County:	JOHNSON COUNTY
Geoparcels ID:	PARCEL ID: 0609401001
Description:	A PART OF NE 1/4 SE 1/4 SEC. 9-80-7
Proprietor:	DARYL NEITDERHISAR
Surveyor:	JONATHON BAILEY, P.L.S.
Company:	SHIVE-HATTERY INC
Return To:	2839 NORTHGATE DRIVE IOWA CITY, IOWA 52245, PH: 319.354.3040

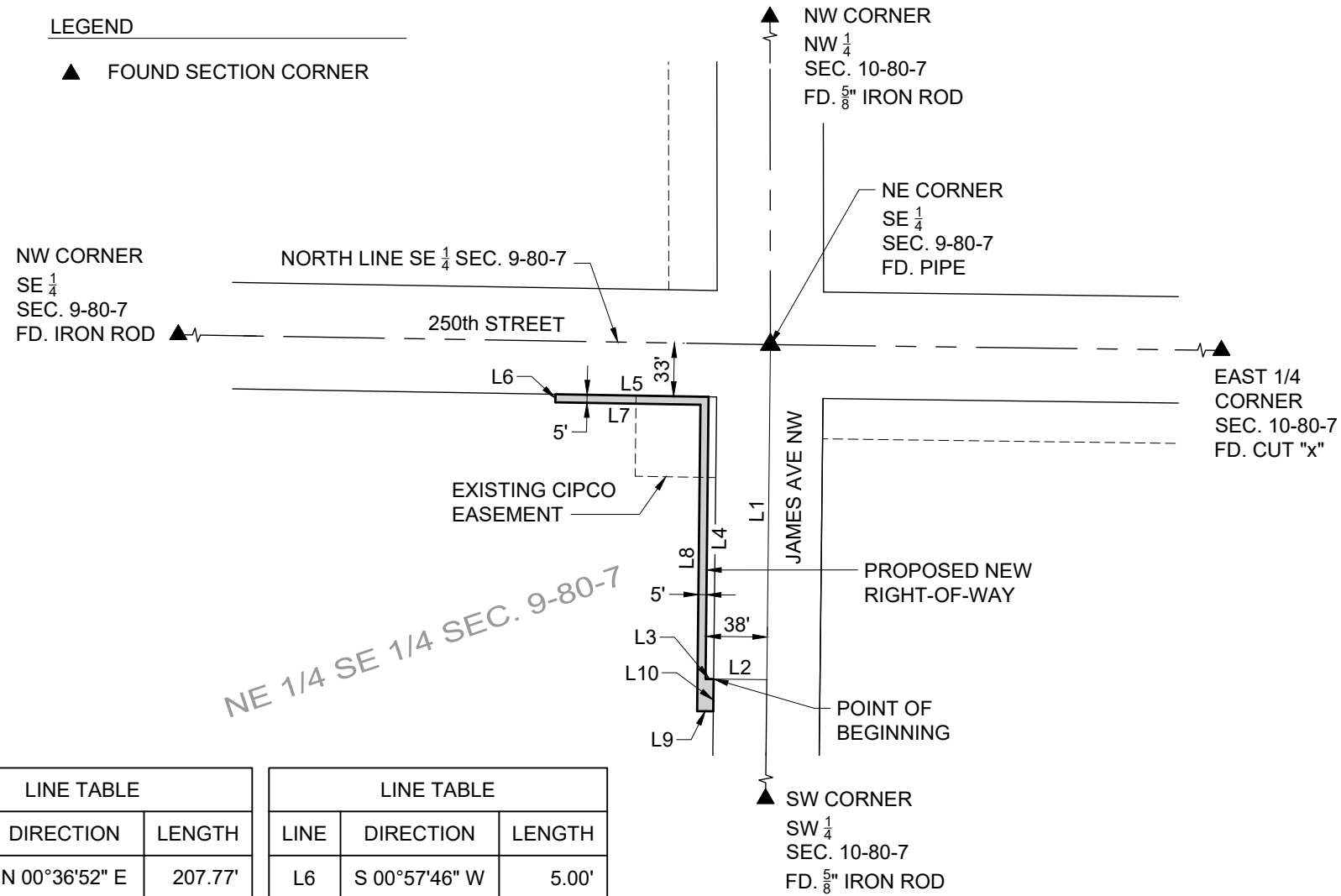
EASEMENT EXHIBIT TEMPORARY CONSTRUCTION EASEMENT

A PART THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER
SECTION 9, TOWNSHIP 80 NORTH, RANGE 7 WEST
JOHNSON COUNTY, IOWA

THIS SPACE RESERVED FOR RECORDER'S USE

LEGEND

▲ FOUND SECTION CORNER



DESCRIPTION

A temporary construction easement on that part of the Northeast Quarter of the Southeast Quarter of Section 9, Township 80 North, Range 7 West of the 5th P.M., Johnson County, Iowa described as follows:

Commencing as a point of reference at the Northeast Corner of said Southeast Quarter;

thence South 0°36'52" West 207.77 along the east line of said Southeast Quarter (assumed bearing for this description only);

thence North 89°23'08" West 33.00 feet to a point of intersection with the westerly right-of-way of James Avenue NW, said point being the point of beginning;

thence continuing North 89°23'08" West 5.00 feet;

thence North 0°36'52" East 175.00 feet along a line parallel with and 38 feet in perpendicular distance west of the east line of said Southeast Quarter to a point of intersection with the southerly right-of-way of 250th Street;

thence North 89°02'14" West 95.00 feet along said southerly right-of-way;

thence South 0°57'46" West 5.00 feet;

thence South 89°02'14" East 90.03 feet;

thence South 0°36'52" West 190.03 feet;

thence South 89°23'08" East 10.00 feet to a point of intersection with said westerly right-of-way of said James Avenue NW;

thence North 0°36'52" East 20.00 feet along said westerly right-of-way to the point of beginning.

Area: 1,525 square feet more or less.

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N 00°36'52" E	207.77'
L2	N 89°23'08" W	33.00'
L3	N 89°23'08" W	5.00'
L4	N 00°36'52" E	175.00'
L5	N 89°02'14" W	95.00'

LINE TABLE		
LINE	DIRECTION	LENGTH
L6	S 00°57'46" W	5.00'
L7	S 89°02'14" E	90.03'
L8	S 00°36'52" W	190.03'
L9	S 89°23'08" E	10.00'
L10	N 00°36'52" E	20.00'



PROPERTY OWNER:
DARYL NEITDERHISAR

SURVEY REQUESTED BY:
THE CITY OF NORTH LIBERTY
AND
JOHNSON COUNTY, IOWA

DESCRIPTION

A temporary construction easement on that part of the Northeast Quarter of the Southeast Quarter of Section 9, Township 80 North, Range 7 West of the 5th P.M., Johnson County, Iowa described as follows:

Commencing as a point of reference at the Northeast Corner of said Southeast Quarter;

thence South 0°36'52" West 207.77 along the east line of said Southeast Quarter (assumed bearing for this description only);

thence North 89°23'08" West 33.00 feet to a point of intersection with the westerly right-of-way of James Avenue NW, said point being the point of beginning;

thence continuing North 89°23'08" West 5.00 feet;

thence North 0°36'52" East 175.00 feet along a line parallel with and 38 feet in perpendicular distance west of the east line of said Southeast Quarter to a point of intersection with the southerly right-of-way of 250th Street;

thence North 89°02'14" West 95.00 feet along said southerly right-of-way;

thence South 0°57'46" West 5.00 feet;

thence South 89°02'14" East 90.03 feet;

thence South 0°36'52" West 190.03 feet;

thence South 89°23'08" East 10.00 feet to a point of intersection with said westerly right-of-way of said James Avenue NW;

thence North 0°36'52" East 20.00 feet along said westerly right-of-way to the point of beginning.

Area: 1,525 square feet more or less.

SHIVEHATTERY
ARCHITECTURE+ENGINEERING

2839 NORTHGATE DRIVE
IOWA CITY, IOWA 52245
319.354.3040 | SHIVE-HATTERY.COM

EASEMENT EXHIBIT
A PART OF THE NE 1/4 SE 1/4 SECTION 9-80-7
250TH STREET AND JAMES AVENUE
JOHNSON COUNTY, IOWA

DATE	SCALE	FIELD BOOK	REVISION
7/27/2023	AS SHOWN	JSB	JSB

2112202190

PRELIMINARY

Index Legend	
City:	N/A
County:	JOHNSON COUNTY
Geoparcels ID:	PARCEL ID 0610326001
Description:	A PART OF NW 1/4 SW 1/4 SEC. 10-80-7
Proprietor:	MARCELLA L. RAIM
Surveyor:	JONATHON BAILEY, P.L.S.
Company:	SHIVE-HATTERY INC
Return To:	2839 NORTHGATE DRIVE IOWA CITY, IOWA 52245, PH: 319.354.3040

RIGHT-OF-WAY ACQUISITION PLAT

A PART THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER SECTION 10, TOWNSHIP 80 NORTH, RANGE 7 WEST JOHNSON COUNTY, IOWA

THIS SPACE RESERVED FOR RECORDER'S USE

SHIVEHATTERY
ARCHITECTURE+ENGINEERING
2839 NORTHGATE DRIVE
IOWA CITY, IOWA 52245
319.354.3040 | SHIVE-HATTERY.COM

LEGEND

- ▲ FOUND SECTION CORNER
- SET ⁵/₈" IRON ROD W/ YELLOW CAP #12531

DESCRIPTION

That part of the Northwest Quarter of the Southwest Quarter of Section 10, Township 80 North, Range 7 West of the 5th P.M., Johnson County, Iowa described as follows:

Beginning at the Northwest Corner of said Southwest Quarter;

thence South 89°16'01" East 1330.14 feet along the north line of said Southwest Quarter (assumed bearing for this description only);

thence South 0°25'03" West 43.00 feet along the west line of Lot 3, I-380 Industrial Park (Final Plat recorded in Plat Book 41, Page 200 at the Johnson County Recorder's Office) extended northerly and along said west line;

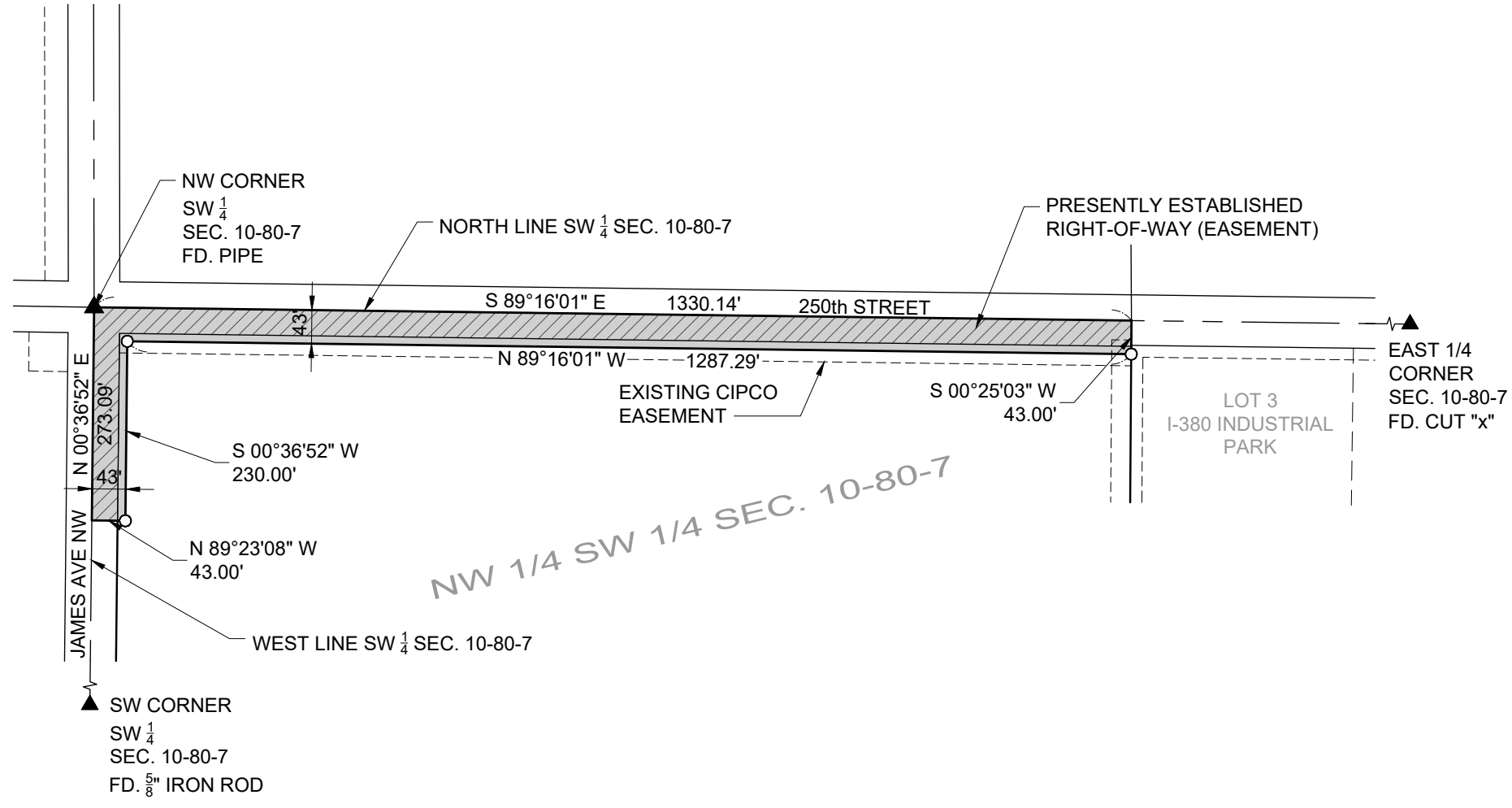
thence North 89°16'01" West 1287.29 feet along a line parallel with and 43 feet in perpendicular distance south of said north line of said Southwest Quarter;

thence South 0°36'52" West 230.00 along a line parallel with and 43 feet in perpendicular distance east of the west line of said Southwest Quarter;

thence North 89°23'08" West 43.00 feet to a point of intersection with said west line;

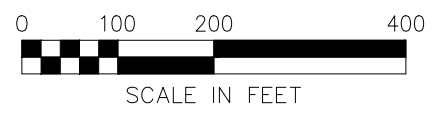
thence North 0°36'52" East 273.09 feet along said west line to the point of beginning.

Area: Total area 1.54 acres with a net area of 0.35 acres which excludes the presently established right-of-way.



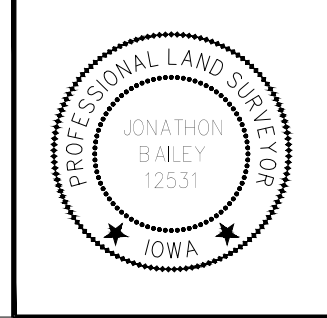
PROPERTY OWNER:
MARCELLA L. RAIM

SURVEY REQUESTED BY:
THE CITY OF NORTH LIBERTY
AND
JOHNSON COUNTY, IOWA



PRELIMINARY

ONLY THESE COPIES OF THIS DOCUMENT SIGNED AND DATED IN CONTRASTING INK COLOR ARE TO BE CONSIDERED CERTIFIED OFFICIAL COPIES PER IOWA ADMINISTRATION CODE 193C-6.1(5)



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: _____
NAME: JONATHON BAILEY

DATE: _____ LICENSE NUMBER: 12531

MY LICENSE RENEWAL DATE IS: DECEMBER 31, 2024

PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: 1 of 1

RIGHT-OF-WAY ACQUISITION PLAT
A PART OF THE NW 1/4 SW 1/4 SECTION 10-80-7

250TH STREET AND JAMES AVENUE
JOHNSON COUNTY, IOWA

DATE	7/24/2023	SCALE	AS SHOWN
DRAWN BY	JSB	FIELD BOOK	
APPROVED BY	JSB	REVISION	

2112202190

7/28/2023 10:37:11 AM

P:\Projects\IC2112202190\Deliverables\Drawings\1a_Survey\Acquisitions and Easements\Acq-Raim-NW-SW-10-80-7.dwg

Index Legend	
City:	N/A
County:	JOHNSON COUNTY
Geoparcels ID:	PARCEL ID 0610326001
Description:	A PART OF NW 1/4 SW 1/4 SEC. 10-80-7
Proprietor:	MARCELLA L. RAIM
Surveyor:	JONATHAN BAILEY, P.L.S.
Company:	SHIVE-HATTERY INC
Return To:	2839 NORTHGATE DRIVE IOWA CITY, IOWA 52245, PH: 319.354.3040

EASEMENT EXHIBIT TEMPORARY CONSTRUCTION EASEMENT

A PART THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER
SECTION 10, TOWNSHIP 80 NORTH, RANGE 7 WEST
JOHNSON COUNTY, IOWA

THIS SPACE RESERVED FOR RECORDER'S USE

SHIVEHATTERY
ARCHITECTURE+ENGINEERING
2839 NORTHGATE DRIVE
IOWA CITY, IOWA 52245
319.354.3040 | SHIVE-HATTERY.COM

LEGEND

▲ FOUND SECTION CORNER

DESCRIPTION

A temporary construction easement on that part of the Northwest Quarter of the Southwest Quarter of Section 10, Township 80 North, Range 7 West of the 5th P.M., Johnson County, Iowa described as follows:

Commencing as a point of reference at the Northwest Corner of said Southwest Quarter;

thence South 89°16'01" East 1330.14 feet along the north line of said Southwest Quarter (assumed bearing for this description only);

thence South 0°30'59" West 43.00 feet along the west line of Lot 3, I-380 Industrial Park (Final Plat recorded in Plat Book 41, Page 200 at the Johnson County Recorder's Office) extended northerly and along said west line to the point of beginning;

thence North 89°16'01" West 1287.22 feet along a line parallel with and 43 feet in perpendicular distance south of said north line of said Southwest Quarter;

thence South 0°36'52" West 230.00 along a line parallel with and 43 feet in perpendicular distance east of the west line of said Southwest Quarter;

thence North 89°23'08" West 10.00 feet to a point of intersection the easterly right-of-way of James Avenue NW;

thence South 0°36'52" West 273.09 feet along said easterly right-of-way;

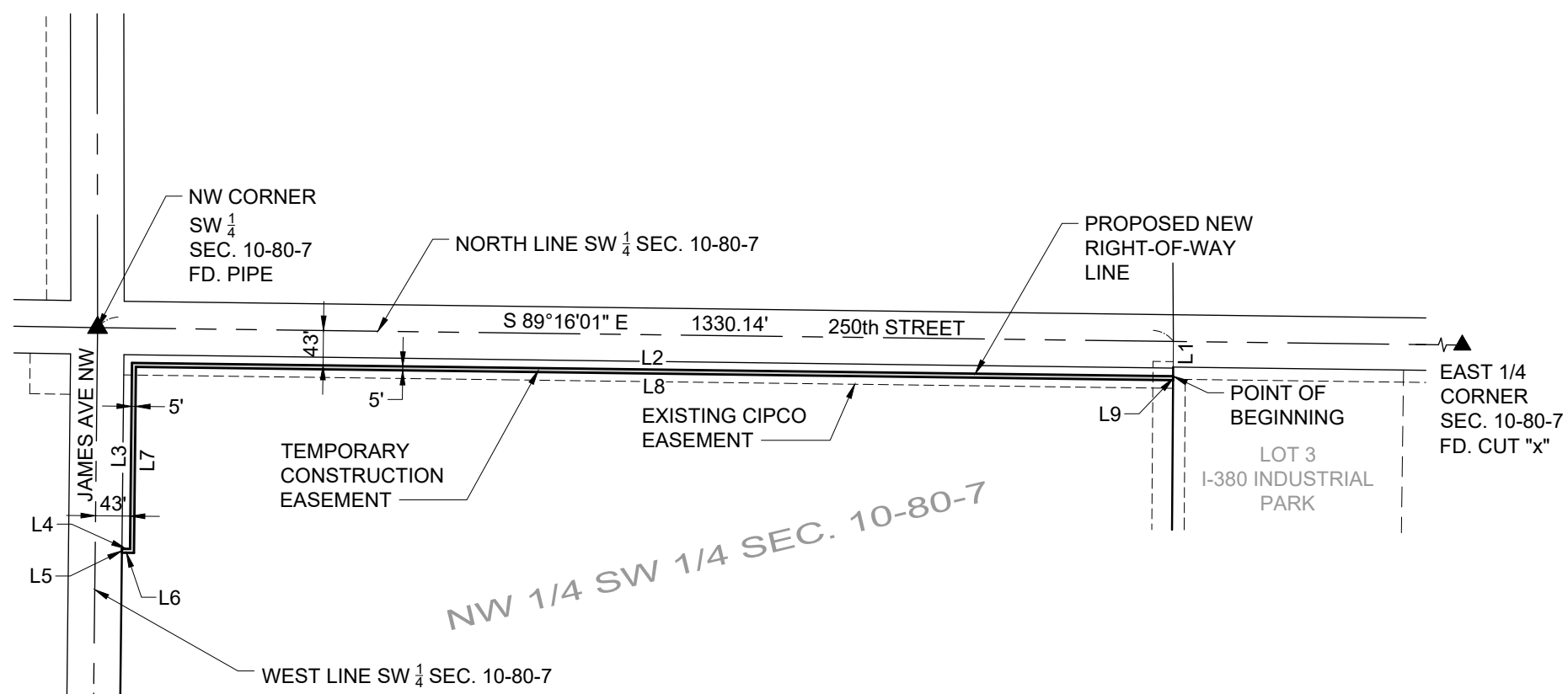
thence South 89°23'08" East 15.00 feet;

thence North 0°36'52" East 229.99 feet;

thence South 89°16'01" East 1282.31 feet to a point of intersection with the west line of said Lot 3;

thence North 0°25'03" East 5.00 feet to the point of beginning.

Area: 0.18 acres more or less.



LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S 00°25'03" W	43.00'
L2	N 89°16'01" W	1287.29'
L3	S 00°36'52" W	230.00'
L4	N 89°23'08" W	10.00'
L5	S 00°36'52" W	5.00'

LINE TABLE		
LINE	DIRECTION	LENGTH
L6	N 89°23'08" W	15.00'
L7	S 00°36'52" W	229.99'
L8	S 89°16'01" E	1282.31'
L9	N 00°25'03" E	5.00'

PROPERTY OWNER:
MARCELLA L. RAIM

SURVEY REQUESTED BY:
THE CITY OF NORTH LIBERTY
AND
JOHNSON COUNTY, IOWA

PRELIMINARY

RIGHT-OF-WAY ACQUISITION PLAT
A PART OF THE NW 1/4 SW 1/4 SECTION 10-80-7

250TH STREET AND JAMES AVENUE
JOHNSON COUNTY, IOWA

DATE	SCALE	AS SHOWN
7/24/2023	AS SHOWN	AS SHOWN
DRAWN BY	FIELD BOOK	REVISION
JSB	JSB	JSB
APPROVED BY		

2112202190

7/28/2023 10:48:07 AM

P:\Projects\IC2112202190\Deliverables\Drawings\1a_Survey\Acquisitions and Easements\EP-TCE-Rain-NW-SW-10-80-7.dwg

Index Legend	
City:	N/A
County:	JOHNSON COUNTY
Geoparcels ID:	PARCEL ID 0610251001
Description:	A PART OF SW 1/4 NW 1/4 SEC. 10-80-7
Proprietor:	JOHN P. RARICK, THEOLA K. RARICK
Surveyor:	JONATHON BAILEY, P.L.S.
Company:	SHIVE-HATTERY INC
Return To:	2839 NORTHGATE DRIVE IOWA CITY, IOWA 52245, PH: 319.354.3040

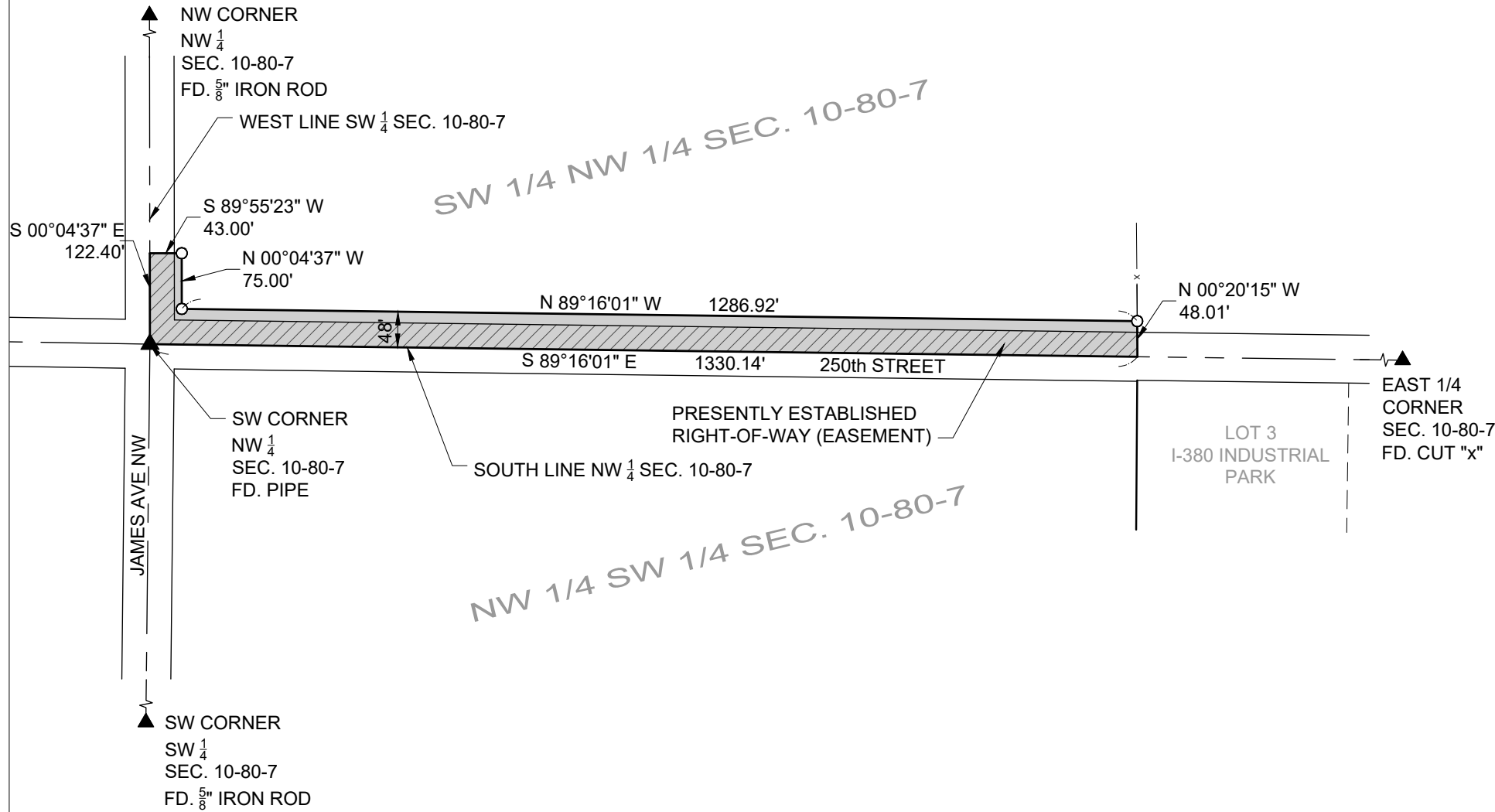
RIGHT-OF-WAY ACQUISITION PLAT

A PART THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER SECTION 10, TOWNSHIP 80 NORTH, RANGE 7 WEST JOHNSON COUNTY, IOWA

THIS SPACE RESERVED FOR RECORDER'S USE

LEGEND

- ▲ FOUND SECTION CORNER
- SET 5/8" IRON ROD W/ YELLOW CAP #12531



DESCRIPTION

That part of the Southwest Quarter of the Northwest Quarter of Section 10, Township 80 North, Range 7 West of the 5th P.M., Johnson County, Iowa described as follows:

Beginning at the Southwest Corner of said Southwest Quarter;

thence South 89°16'01" East 1330.14 feet along the south line of said Southwest Quarter (assumed bearing for this description only);

thence North 0°20'15" West 48.01 feet along an existing fence line extended southerly and along said fence line;

thence North 89°16'01" West 1286.92 feet along a line parallel with and 48 feet in perpendicular distance north of said south line of said Northwest Quarter;

thence North 0°04'37" West 75.00 along a line parallel with and 43 feet in perpendicular distance east of the west line of said Northwest Quarter;

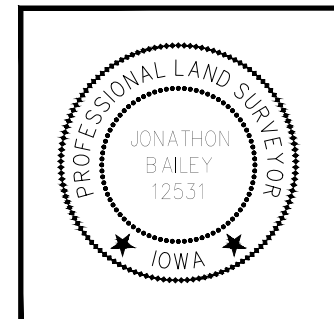
thence South 89°55'23" West 43.00 feet to a point of intersection with said west line;

thence South 0°04'37" East 122.40 feet along said west line to the point of beginning.

Area: Total area 1.54 acres with a net area of 0.46 acres which excludes the presently established right-of-way.

PRELIMINARY

ONLY THESE COPIES OF THIS DOCUMENT SIGNED AND DATED IN CONTRASTING INK COLOR ARE TO BE CONSIDERED CERTIFIED OFFICIAL COPIES PER IOWA ADMINISTRATION CODE 193C-6.1(5)



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: _____
 NAME: JONATHON BAILEY
 DATE: _____ LICENSE NUMBER: 12531
 MY LICENSE RENEWAL DATE IS: DECEMBER 31, 2024
 PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: 1 of 1

PROPERTY OWNER:
 JOHN P. RARICK
 THEOLA K. RARICK

SURVEY REQUESTED BY:
 THE CITY OF NORTH LIBERTY
 AND
 JOHNSON COUNTY, IOWA



7/28/2023 9:53:23 AM

P:\Projects\IC2112202190\Deliverables\Drawings\1a_Survey\Acquisitions and Easements\acq-Rarick-SW-NW-10-80-7.dwg

SHIVEHATTERY
ARCHITECTURE+ENGINEERING

2839 NORTHGATE DRIVE
IOWA CITY, IOWA 52245
319.354.3040 | SHIVE-HATTERY.COM

RIGHT-OF-WAY ACQUISITION PLAT
A PART OF THE SW 1/4 NW 1/4 SECTION 10-80-7

250TH STREET AND JAMES AVENUE NW
JOHNSON COUNTY, IOWA

DATE	7/24/2023
DRAWN BY	JSB
APPROVED BY	JSB
SCALE	AS SHOWN
FIELD BOOK	
REVISION	

2112202190

Index Legend	
City:	N/A
County:	JOHNSON COUNTY
Geoparcels ID:	PARCEL ID 0610251001
Description:	A PART OF SW 1/4 NW 1/4 SEC. 10-80-7
Proprietor:	JOHN P. RARICK, THEOLA K. RARICK
Surveyor:	JONATHAN BAILEY, P.L.S.
Company:	SHIVE-HATTERY INC
Return To:	2839 NORTHGATE DRIVE IOWA CITY, IOWA 52245, PH: 319.354.3040

EASEMENT EXHIBIT TEMPORARY CONSTRUCTION EASEMENT

A PART THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER
SECTION 10, TOWNSHIP 80 NORTH, RANGE 7 WEST
JOHNSON COUNTY, IOWA

THIS SPACE RESERVED FOR RECORDER'S USE

LEGEND

▲ FOUND SECTION CORNER

DESCRIPTION

A temporary construction easement on that part of the Southwest Quarter of the Northwest Quarter of Section 10, Township 80 North, Range 7 West of the 5th P.M., Johnson County, Iowa described as follows:

Commencing as a point of reference at the Southwest Corner of said Southwest Quarter;

thence South 89°16'01" East 1330.14 feet along the south line of said Southwest Quarter (assumed bearing for this description only);

thence North 0°20'15" West 48.01 feet along an existing fence line extended southerly and along said fence line to the point of beginning;

thence North 89°16'01" West 1286.92 feet along a line parallel with and 48 feet in perpendicular distance north of said south line of said Northwest Quarter;

thence North 0°04'37" West 75.00 along a line parallel with and 43 feet in perpendicular distance east of the west line of said Northwest Quarter;

thence South 89°55'23" West 10.00 feet to a point of intersection with the westerly right-of-way of James Avenue NW;

thence North 0°04'37" West 5.00 feet along said westerly right-of-way;

thence North 89°55'23" East 15.00 feet;

thence South 0°04'37" East 75.07 feet;

thence South 89°16'01" East 276.65 feet;

thence North 44°11'47" West 36.45 feet;

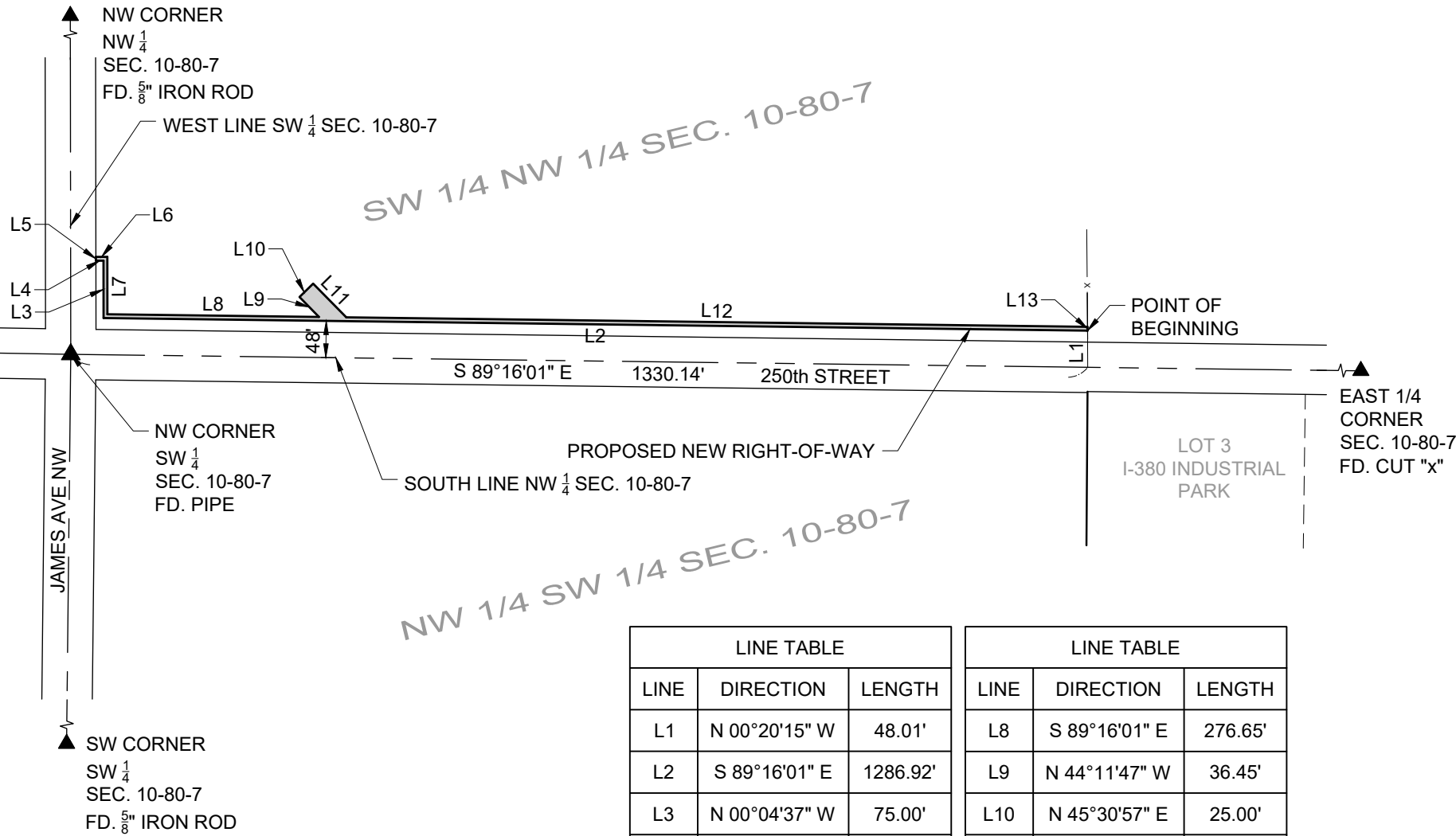
thence North 45°30'57" East 25.00 feet;

thence South 44°31'36" East 61.87 feet;

thence South 89°16'01" East 969.43 feet;

thence South 0°20'15" East 5.00 feet to the point of beginning.

Area: 0.19 acres more or less.



LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N 00°20'15" W	48.01'
L2	S 89°16'01" E	1286.92'
L3	N 00°04'37" W	75.00'
L4	S 89°55'23" W	10.00'
L5	N 00°04'37" W	5.00'
L6	N 89°55'23" E	15.00'
L7	S 00°04'37" E	75.07'

LINE TABLE		
LINE	DIRECTION	LENGTH
L8	S 89°16'01" E	276.65'
L9	N 44°11'47" W	36.45'
L10	N 45°30'57" E	25.00'
L11	S 44°31'36" E	61.87'
L12	S 89°16'01" E	969.43'
L13	S 00°20'15" E	5.00'

PROPERTY OWNER:
JOHN P. RARICK
THEOLA K. RARICK

SURVEY REQUESTED BY:
THE CITY OF NORTH LIBERTY
AND
JOHNSON COUNTY, IOWA



EASEMENT EXHIBIT
A PART OF THE SW 1/4 NW 1/4 SECTION 10-80-7

250TH STREET AND JAMES AVENUE NW
JOHNSON COUNTY, IOWA

DATE	7/24/2023	SCALE	AS SHOWN
DRAWN BY	JSB	FIELD BOOK	
APPROVED BY	JSB	REVISION	

2112202190

PRELIMINARY

SHIVEHATTERY

ARCHITECTURE+ENGINEERING

2839 NORTHGATE DRIVE
IOWA CITY, IOWA 52245
319.354.3040 | SHIVE-HATTERY.COM

7/28/2023 9:37:19 AM

P:\Projects\IC2112202190\Deliverables\Drawings\1a_Survey\Acquisitions and Easements\EP-TCE-Rarick-SW-NW-10-80-7.dwg



West Side Fire Station

RESOLUTION NO. 2023-101

APPROVAL TO PROCEED WITH A PUBLIC IMPROVEMENT, THE WEST SIDE FIRE STATION PROJECT

WHEREAS, a discussion was held on the proposed West Side Fire Station Project (the "Public Improvement") during the regular City Council Meeting on the September 12, 2023; and

WHEREAS, the City Engineer has identified the portions of those properties which will be impacted by the Public Improvement, the details of which are attached hereto; and

WHEREAS, notice to those persons with an ownership interest in the property which would be impacted by the Public Improvement has been provided prior to the meeting as set forth in Iowa law; and

WHEREAS, persons interested in the project presented their views regarding the proposed Public Improvement, and regarding the proposed acquisition of property for the Public Improvement; and

WHEREAS, the City Council of the City of North Liberty, Iowa has determined that the proposed Public Improvement, which contemplates the construction of a fire station and appurtenant facilities on approximately three (3.00) acres north of St. Andrews Dr., serves an important public purpose,

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA, AS FOLLOWS:

That the West Side Fire Station Project (the "Project") has a valid public purpose which will benefit the community; that the preliminary site location of the Project is approved and adopted; that there is a reasonable expectation that the acquisition of the real property identified in Exhibit A will enable the City to achieve its public purpose for the Project, that the Project will comply with all applicable standards, and the City will be able to obtain all permits necessary for the Project; that funding shall be provided for the acquisition of said real property; that the acquisition of all or a portion of the properties needed for the project, by condemnation if necessary, and all appurtenant expenses associated with such condemnation are hereby approved and authorized, and that the City Attorney is empowered to begin negotiations for the acquisition of same in

accordance with Chapter 6B of the Code of Iowa.

APPROVED AND ADOPTED this 12th day of September, 2023.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

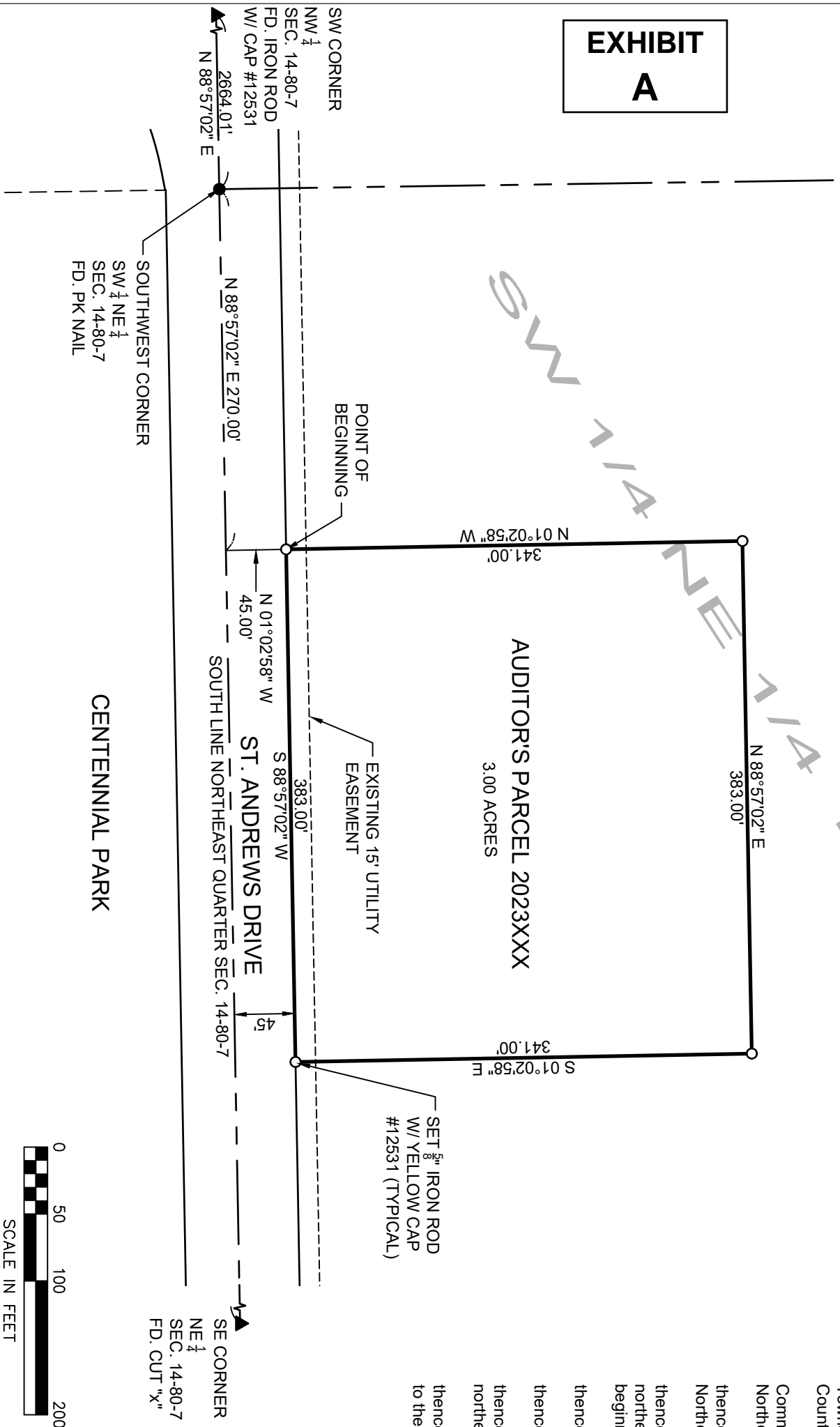
TRACEY MULCAHEY, CITY CLERK

INDEX LEGEND	
LOCATION :	SW 1/4 NE 1/4 SECTION 14-80-7 NORTH LIBERTY, JOHNSON COUNTY, IOWA
REQUESTOR :	THE CITY OF NORTH LIBERTY
PROPRIETOR :	HAROLD W. CAMERON
SURVEYOR :	JONATHAN BAILEY, P.L.S.
SURVEY COMPANY :	SHIVE-HATTERY, INC.
RETURN TO :	2839 NORTHGATE DR. IOWA CITY, IA 52245 THE CITY OF NORTH LIBERTY

PLAT OF SURVEY
AUDITOR'S PARCEL 2023XXX
 A PART THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER SECTION 14, TOWNSHIP 80 NORTH, RANGE 7 WEST NORTH LIBERTY, JOHNSON COUNTY, IOWA



EXHIBIT A



THIS SPACE RESERVED FOR RECORDERS USE

DESCRIPTION

That part of the Southwest Quarter of the Northeast Quarter of Section 14, Township 80 North, Range 7 West of the 5th P.M., North Liberty, Johnson County, Iowa described as follows:

Commencing as a point of reference at the Southwest Corner of said Northeast Quarter:

thence North 88°57'02" East 270.00 feet along the south line of said Northeast Quarter (assumed bearing for this description only);

thence North 1°02'58" West 45.00 feet to a point of intersection with the northerly right-of-way line of St. Andrews Drive, said point being the point of beginning;

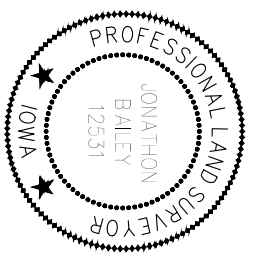
thence continuing North 1°02'58" West 341.00 feet;

thence North 88°57'02" East 383.00 feet;

thence South 1°02'58" East 341.00 feet to a point of intersection with the northerly right-of way of said St. Andrews Drive;

thence South 88°57'02" West 383.00 feet along said northerly right-of-way to the point of beginning and containing 3.00 acres more or less.

PRELIMINARY



ONLY THESE COPIES OF THIS DOCUMENT SIGNED AND DATED IN CONTRASTING INK COLOR ARE TO BE CONSIDERED CERTIFIED OFFICIAL COPIES PER IOWA ADMINISTRATION CODE 193C-6.(13)

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

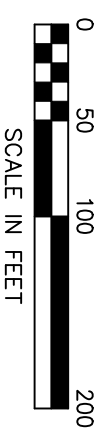
SIGNATURE: _____
 NAME: **JONATHAN BAILEY**
 LICENSE NUMBER: 12531
 DATE: _____
 MY LICENSE RENEWAL DATE IS: DECEMBER 31, 2024
 PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: 1 of 1

SHIVE-HATTERY
 ARCHITECTURE + ENGINEERING
 2839 Northgate Drive | Iowa City, Iowa 52245
 319.354.3040 | www.shive-hattery.com
 Iowa | Illinois | Indiana | Nebraska | Wisconsin
 Illinois Firm Number: 184-000214

PLAT OF SURVEY
 A PART OF THE SW 1/4 NW 1/4, SECTION 14-80-7
 CAMERON PROPERTY
 NORTH LIBERTY, JOHNSON COUNTY, IOWA

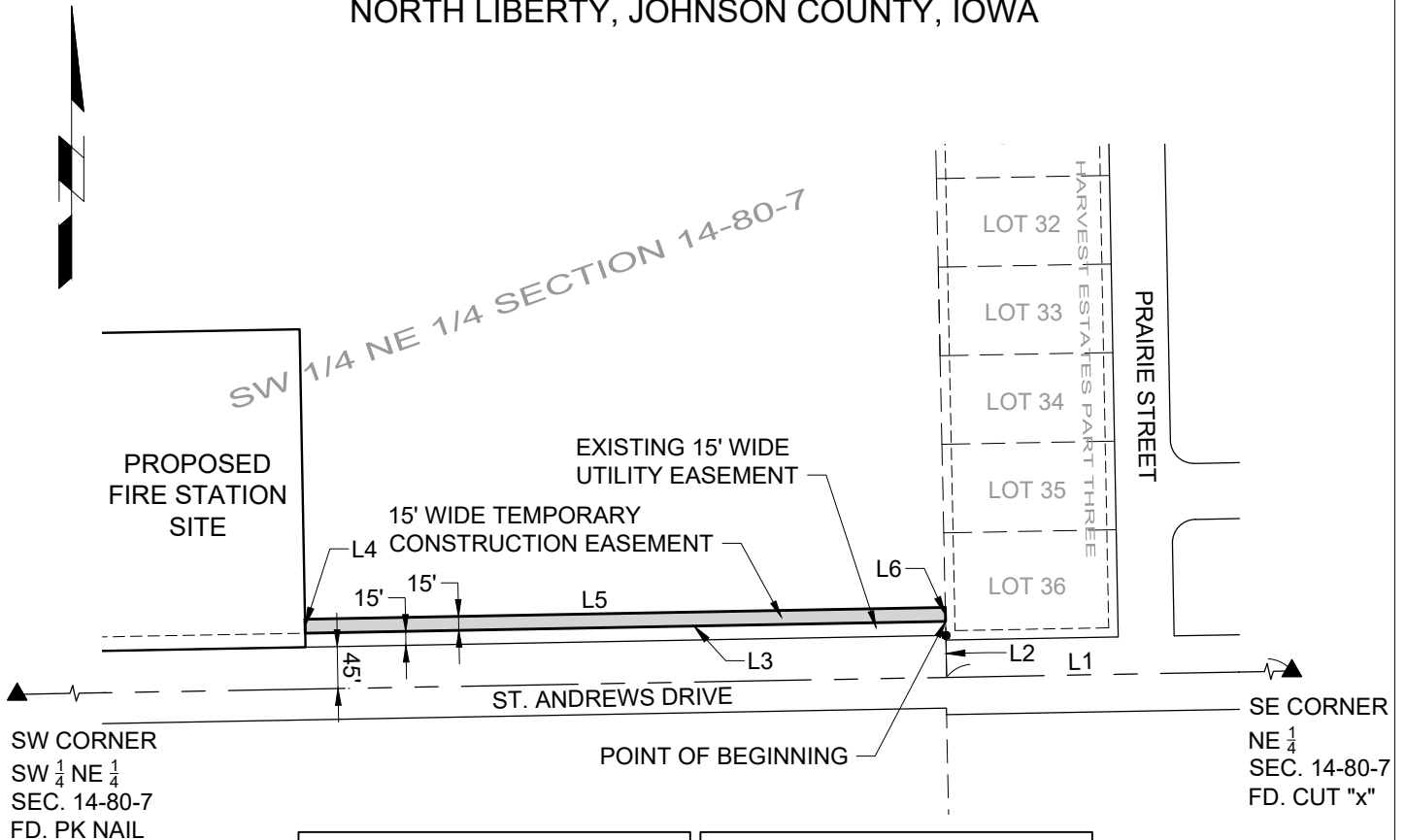
DATE	2/22/2023	SCALE	AS SHOWN
DRAWN	JSB	FIELD BOOK	--
APPROVED	JSB	REVISION	8/07/2023

PROJECT NO. 2112301020
 SHEET NO. 1 of 1



EASEMENT EXHIBIT TEMPORARY CONSTRUCTION EASEMENT

A PART OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER
SECTION 14, TOWNSHIP 80 NORTH, RANGE 7 WEST
NORTH LIBERTY, JOHNSON COUNTY, IOWA



LINE TABLE			LINE TABLE		
LINE	DIRECTION	LENGTH	LINE	DIRECTION	LENGTH
L1	S 88°57'02" W	1338.09'	L4	N 01°02'58" W	15.00'
L2	N 01°11'11" W	60.00'	L5	N 88°57'02" E	686.96'
L3	S 88°57'02" W	687.00'	L6	S 01°11'11" E	15.00'

DESCRIPTION

A 15 foot wide temporary construction easement on that part of the Southwest Quarter of the Northeast Quarter of Section 14, Township 80 North, Range 7 West of the 5th P.M., North Liberty, Johnson County, Iowa described as follows:

Commencing as a point of reference at the Southeast Corner of said Northeast Quarter;

thence South 88°57'02" West 1338.09 feet along the south line of said Northeast Quarter (assumed bearing for this description only);

thence North 1°11'11" West 60.00 feet along the west line of Harvest Estates Part Three (Final Plat recorded in Plat Book 48, Page 259 at the Johnson County Recorder's Office) and said west line extended to the north line of an existing utility easement and the point of beginning;

thence South 88°57'02" West 687.00 feet;

thence North 1°02'58" West 15.00 feet;

thence North 88°57'02" East 686.98 feet to a point of intersection with the west line of said Harvest Estates Part Three;

thence South 1°11'11" East 15.00 feet along said west line to the point of beginning.

Area: 10,305 square feet more or less.

PRELIMINARY



EASEMENT REQUESTED BY: **THE CITY OF NORTH LIBERTY** PROPERTY OWNER: **HAROLD W. CAMERON**

SHIVE-HATTERY
ARCHITECTURE + ENGINEERING
2839 Northgate Drive | Iowa City, Iowa 52245
319.354.3040 | www.shive-hattery.com
Iowa | Illinois | Indiana | Nebraska | Wisconsin

EASEMENT EXHIBIT TEMPORARY CONSTRUCTION EASEMENT A PART OF SW 1/4 NW 1/4 SEC. 14-80-7 NORTH LIBERTY, JOHNSON COUNTY, IOWA			PROJECT NO. 2112301020
DATE	6/29/2023	SCALE	AS SHOWN
DRAWN	JSB	FIELD BOOK	--
APPROVED	JSB	REVISION	
1 of 1			SHEET NO.

Resolution No. 2023-102

**ESTABLISHING FAIR MARKET VALUE AND JUST
COMPENSATION FOR THE ACQUISITION OF CERTAIN
PROPERTY FOR THE WEST SIDE FIRE STATION PROJECT**

WHEREAS, the City Council of North Liberty, Iowa, intends to acquire certain real estate parcels for the West Side Fire Station Project (the "Project") owned by Harold Cameron; and

WHEREAS, The City of North Liberty, Iowa, pursuant to Section 6B.54, Code of Iowa, has obtained an appraisal of the below identified property;

WHEREAS, Section 6B.54, Code of Iowa, requires the City of North Liberty, Iowa to establish the amount which it believes to be just compensation for the real property based on said appraisal; and

WHEREAS, Sections 6B.2B and 6B.45, Code of Iowa, require the City of North Liberty, Iowa to make good-faith effort to negotiate with each property owner to acquire the necessary portion of property based on said established amount of just compensation.

BE IT RESOLVED BY THE CITY OF NORTH LIBERTY, IOWA that the established amount of just compensation for each of the respective following properties is as follows:

A. Owner: Harold Cameron

That part of the Southwest Quarter of the Northeast Quarter of Section 14, Township 80 North, Range 7 West of the 5th P.M., North Liberty, Johnson County, Iowa described as follows: Commencing as a point of reference at the Southwest Corner of said Northeast Quarter; thence North 88°57'02" East 270.00 feet along the south line of said Northeast Quarter (assumed bearing for this description only); thence North 1°02'58" West 45.00 feet to a point of intersection with the northerly right-of-way line of St. Andrews Drive, said point being the point of beginning, thence continuing North 1°02'58" West 341.00 feet; thence North 88°57'02" East 383.00 feet; thence South 1°02'58" East 341.00 feet to a point of intersection with the northerly right-of-way of said St. Andrews Drive; thence South 88°57'02" West 383.00 feet along said northerly right-of-way to the point of beginning and containing 3.00 acres more or less.

AND ALSO

A 15 foot wide temporary construction easement on that part of the Southwest Quarter of the Northeast Quarter of Section 14, Township 80 North, Range 7 West

of the 5th P.M., North Liberty, Johnson County, Iowa described as follows: Commencing as a point of reference at the Southeast Corner of said Northeast Quarter; thence South 88°57'02" West 1338.09 feet along the south line of said Northeast Quarter (assumed bearing for this description only); thence North 1°11'11" West 60.00 feet along the west line of Harvest Estates Part Three (Final Plat recorded in Plat Book 48, Page 259 at the Johnson County Recorder's Office) and said west line extended to the north line of an existing utility easement and the point of beginning; thence South 88°57'02" West 687.00 feet; thence North 1°02'58" West 15.00 feet; thence North 88°57'02" East 686.98 feet to a point of intersection with the west line of said Harvest Estates Part Three; thence South 1°11'11" East 15.00 feet along said west line to the point of beginning.

Area: 10,305 square feet more or less.

The Project contemplates the acquisition of the above-described subject property in its entirety. The City of North Liberty has caused a value-finding appraisal of the property to be made. Upon consideration of the nature and extent of the acquisition, the appraisal determined an amount of One Hundred Seventy-Five Thousand Dollars (\$175,000.00) to be just compensation to the Owner. Said appraised sum is hereby established as just compensation with respect to the interests to be acquired in the above-described property.

BE IT FURTHER RESOLVED that the North Liberty, Iowa, City Attorney, Grant Lientz, is hereby directed to submit a copy of the pertinent appraisal to each property owner(s) as required by Section 6B.45, Code of Iowa, and to commence negotiation for the purchase of each of the above-described portions of property at the above-stated fair market values of just compensation, and to initiate acquisition of the property interests by condemnation, should such negotiations not be successful.

APPROVED AND ADOPTED this 12th day of September, 2023.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK



Assessment Resolution

Resolution No. 2023-103

**RESOLUTION ASSESSING AMOUNTS OWED TO THE CITY OF
NORTH LIBERTY, IOWA TO INDIVIDUAL PROPERTY TAXES**

WHEREAS, the following individuals have not paid the amounts listed below which are due and payable to the City of North Liberty, Iowa as follows:

<u>Name</u>	<u>Parcel Number</u>	<u>Address</u>	<u>Amount</u>	<u>Description</u>
Patrick J & Barbara J. Johanns Revocable Trust	0601305005	675 Black Bear Bend	\$152.10	Mowing
Laura J. Brown	0602477001	1498 Doe Run Drive	\$230.75	Mowing

WHEREAS, diligent effort has been made to collect said amount; and

WHEREAS, under the terms of the Municipal Code of North Liberty, Iowa, this amount is delinquent and should be certified pursuant to said Municipal Code.

NOW, THEREFORE, BE IT RESOLVED THAT that the City Clerk is hereby authorized and directed to certify to the Johnson County Treasurer the above and foregoing delinquent amount to the appropriate real property in North Liberty, Johnson County, Iowa, as herein described.

APPROVED AND ADOPTED this 12th day of September, 2023.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK



The Preserve Part Three A

Resolution No. 2023-104

**RESOLUTION APPROVING THE FINAL PLAT FOR THE PRESERVE
PART THREE A IN NORTH LIBERTY, IOWA**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY,
IOWA:**

WHEREAS, the owner, Watts Group Development Inc., has filed with the City Clerk a final plat for the property described in Exhibit A, which is attached hereto and made a part hereof;

WHEREAS, said real estate is owned by the above-named parties and the resubdivision is being made with the free consent and in accordance with the desires of the owners;

WHEREAS, said final plat is found to conform with Chapter 354 of the Code of Iowa and ordinances of the City of North Liberty;

WHEREAS, the installation of public improvements serving the property has been provided for in accordance with the terms of the Developer's Agreement for The Preserve Part Three A.

NOW, THEREFORE, BE IT RESOLVED that the final plat The Preserve Part Three A is hereby approved and accepted.

APPROVED AND ADOPTED this 12th day of September, 2023.

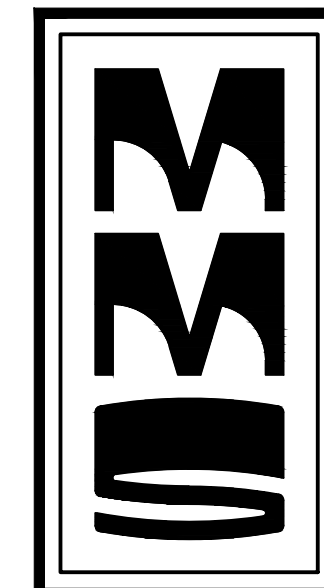
CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
08-31-23	PER RRN REVIEW -JDM

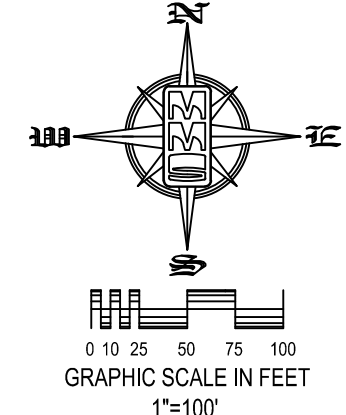
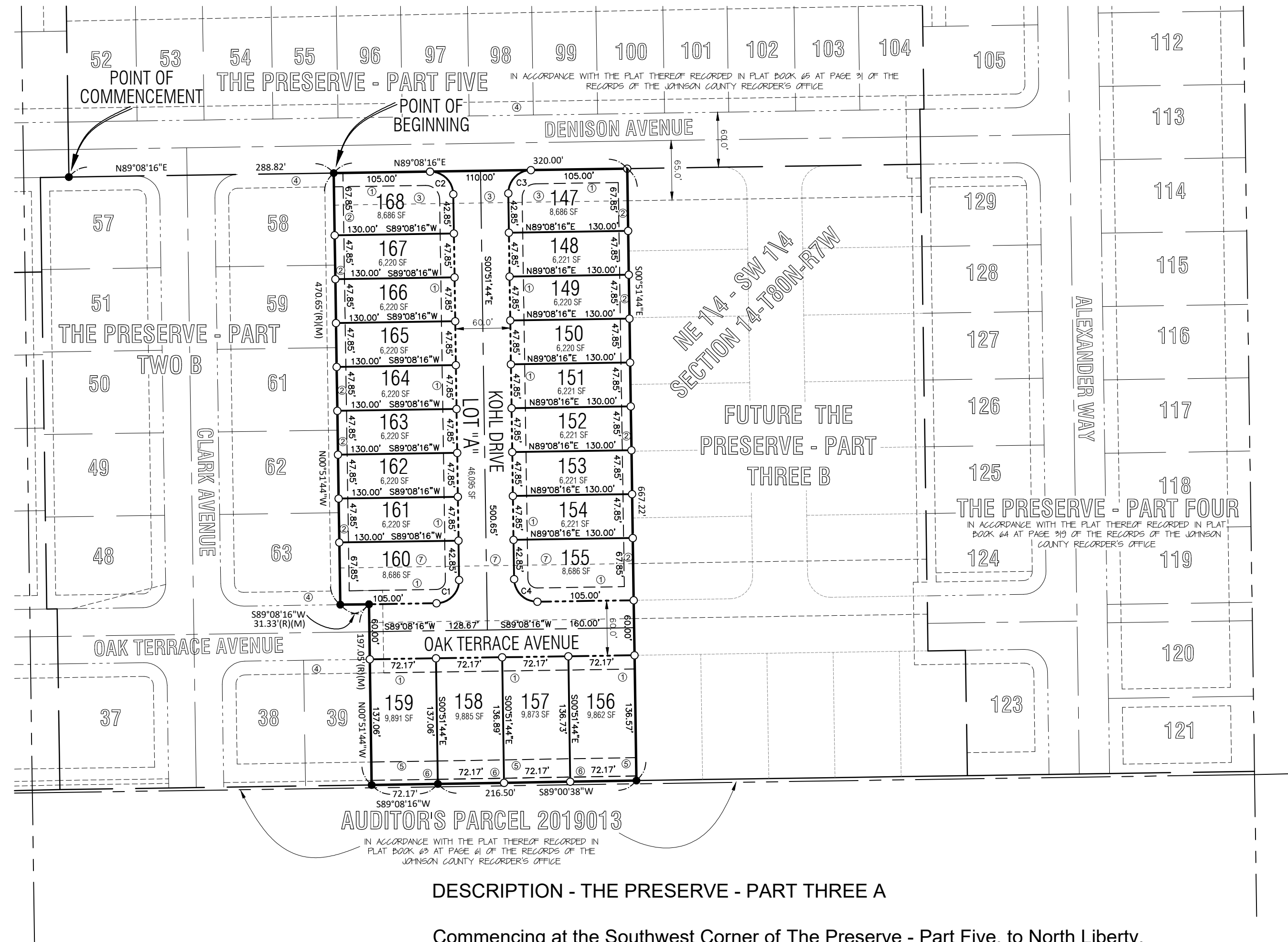
FINAL PLAT

THE PRESERVE - PART THREE A

A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 80 NORTH, RANGE 7 WEST,
OF THE FIFTH PRINCIPAL MERIDIAN
TO NORTH LIBERTY, JOHNSON COUNTY, IOWA

LOCATION: A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 80 NORTH, RANGE 7 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, NORTH LIBERTY, IOWA.	SUBDIVIDER: WATTS GROUP DEVELOPMENT INC. 425 E OAKDALE BLVD. #201 CORALVILLE, IOWA, 52241
LAND SURVEYOR: RICHARD R. NOWOTNY P.L.S. MMS CONSULTANTS INC. 1917 SOUTH GILBERT STREET IOWA CITY, IOWA, 52240 PHONE: 319-351-8282	SUBDIVIDER'S ATTORNEY: MICHAEL J. PUGH 425 E OAKDALE BLVD. #201 CORALVILLE, IOWA, 52241
DATE OF SURVEY: 05-22-2021	PROPRIETOR OR OWNER: WATTS GROUP DEVELOPMENT INC. 425 E OAKDALE BOULEVARD #101 CORALVILLE, IOWA, 52241
	DOCUMENT RETURN INFORMATION: LAND SURVEYOR

FOR COUNTY RECORDER'S USE



LEGEND AND NOTES

	- CONGRESSIONAL CORNER, FOUND
	- CONGRESSIONAL CORNER, REESTABLISHED
	- PROPERTY CORNER(S), FOUND (as noted)
	- PROPERTY CORNERS SET (5/8" Iron Pin w/ yellow, plastic LS Cap embossed with "MMS")
	- CUT "X"
	- PROPERTY &/or BOUNDARY LINES
	- CONGRESSIONAL SECTION LINES
	- RIGHT-OF-WAY LINES
	- CENTER LINES
	- LOT LINES, INTERNAL
	- LOT LINES, PLATTED OR BY DEED
	- EASEMENT LINES, WIDTH & PURPOSE NOTED
	- EXISTING EASEMENT LINES, PURPOSE NOTED
	- RECORDED DIMENSIONS
	- MEASURED DIMENSIONS
	- CURVE SEGMENT NUMBER

UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND HUNDREDTHS

EASEMENT IDENTIFICATION TABLE

LABEL	DESCRIPTION
①	15.0 FOOT WIDE PUBLIC UTILITY EASEMENT
②	10.0 FOOT WIDE STORM SEWER AND DRAINAGE EASEMENT
③	EXISTING 65.0 FOOT WIDE TEMPORARY OVERLAND DRAINAGE EASEMENT (TO BE RELEASED)
④	EXISTING 15.0 FOOT WIDE UTILITY EASEMENT
⑤	20.0 FOOT WIDE STORM SEWER AND DRAINAGE EASEMENT
⑥	5.0 FOOT WIDE ACCESS AND MAINTENANCE EASEMENT
⑦	EXISTING 60.0 FOOT WIDE TEMPORARY OVERLAND DRAINAGE EASEMENT (TO BE RELEASED)

NOTE:
ALL PROPERTY CORNERS FOUND ARE 5/8" IRON REBARS WITH YELLOW PLASTIC LS CAP 13287.

CURVE SEGMENT TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	BEARING
C1	90°00'00"	25.00'	39.27'	25.00'	35.36'	S44°08'16"W
C2	90°00'00"	25.00'	39.27'	25.00'	35.36'	S45°51'44"E
C3	90°00'00"	25.00'	39.27'	25.00'	35.36'	S44°08'16"W
C4	90°00'00"	25.00'	39.27'	25.00'	35.36'	S45°51'44"E

LOT A CONTAINS 45,095 SQUARE FEET, AND IS TO BE DEDICATED TO THE CITY OF NORTH LIBERTY FOR PUBLIC RIGHT-OF-WAY FOR KOHL DRIVE AND OAK TERRACE AVENUE.

PLAT/PLAN APPROVED BY: CITY OF NORTH LIBERTY	DATE:
CITY CLERK	DATE:
UTILITY EASEMENTS APPROVED BY:	DATE:
MIDAMERICAN ENERGY	DATE:
MEDIACOM	DATE:
LINN COUNTY R.E.C.	DATE:
SOUTH SLOPE COOPERATIVE TELEPHONE CO.	DATE:

DESCRIPTION - THE PRESERVE - PART THREE A

Commencing at the Southwest Corner of The Preserve - Part Five, to North Liberty, Iowa, in accordance with the Plat thereof Recorded in Plat Book 65 at Page 31 of the Records of the Johnson County Recorder's Office; Thence N89°08'16"E, along the South Line of said The Preserve - Part Five, a distance of 288.82 feet, to the Point of Beginning; Thence continuing N89°08'16"E, along said South Line, 320.00 feet; Thence S00°51'44"E, 667.22 feet, to a Point on the North Line of Auditor's Parcel 2019013, in accordance with the Plat thereof Recorded in Plat Book 63 at Page 61 of the Records of the Johnson County Recorder's Office; Thence S89°00'38"W, along said North Line, 216.50 feet; Thence S89°08'16"W, along said North Line, 72.17 feet, to the Southeast Corner of The Preserve - Part Two B, in accordance with the Recorded Plat thereof; Thence N00°51'44"W, along the East Line of said The Preserve - Part Two B, 197.05 feet; Thence S89°08'16"W, along said East Line, 31.33 feet; Thence N00°51'44"W, along said East Line, 470.65 feet, to the Point of Beginning. Said The Preserve - Part Three A contains 4.76 Acres, and is subject to easements and restrictions of record.

LICENSED PROFESSIONAL LAND SURVEYOR

RICHARD R. NOWOTNY

17916

IOWA

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

_____ 20__

RICHARD R. NOWOTNY
P.L.S. Iowa Lic. No. 17916
My license renewal date is December 31, 20__.

Pages or sheets covered by this seal:

Signed before me this ____ day of _____, 20__.

Notary Public, in and for the State of Iowa.

FINAL PLAT

THE PRESERVE - PART THREE A

NORTH LIBERTY
JOHNSON COUNTY
IOWA
MMS CONSULTANTS, INC.

Date:	08-30-2023
Designed by:	KJB
Field Book No.:	1361
Drawn by:	RLW
Scale:	1"=100'
Checked by:	GDM
Sheet No.:	1
Project No.:	1331-620
IOWA CITY	of: 1

LOCATION: A PORTION OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 80 NORTH, RANGE 7 WEST, OF THE FIFTH PRINCIPAL MERIDIAN, NORTH LIBERTY, IOWA.	SUBDIVIDER: WATTS GROUP DEVELOPMENT INC. 425 E OAKDALE BOULEVARD #101 CORALVILLE, IOWA, 52241
LAND SURVEYOR: RICHARD R. NOWOTNY P.L.S MMS CONSULTANTS INC. 1917 SOUTH GILBERT STREET IOWA CITY, IOWA, 52240 PHONE: 319-351-8282	SUBDIVIDER'S ATTORNEY: MICHAEL J. PUGH 425 E OAKDALE BLVD. #201 CORALVILLE, IOWA, 52241
DATE OF SURVEY: 05-22-2021	PROPRIETOR OR OWNER: WATTS GROUP DEVELOPMENT INC. 425 E OAKDALE BOULEVARD #101 CORALVILLE, IOWA, 52241
	DOCUMENT RETURN INFORMATION: LAND SURVEYOR

EASEMENT PLAT

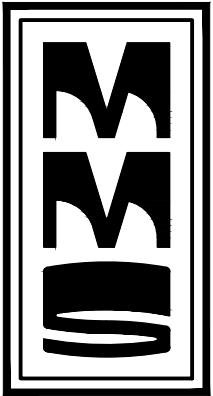
SANITARY SEWER AND WATERMAIN TO NORTH LIBERTY, JOHNSON COUNTY, IOWA

EASEMENT IDENTIFICATION TABLE	
LABEL	DESCRIPTION
①	EXISTING 100 FOOT WIDE STORM SEWER AND DRAINAGE EASEMENT
②	EXISTING 150 FOOT WIDE UTILITY EASEMENT

LEGEND AND NOTES

- — — — — PROPERTY &/or BOUNDARY LINES
- — — — — CONGRESSIONAL SECTION LINES
- — — — — RIGHT-OF-WAY LINES
- — — — — CENTER LINES
- — — — — LOT LINES, PLATTED OR BY DEED
- - - - - EASEMENT LINES, WIDTH & PURPOSE NOTED
- - - - - EXISTING EASEMENT LINES, PURPOSE NOTED
- (R) — — — — — RECORDED DIMENSIONS
- (M) — — — — — MEASURED DIMENSIONS

UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE IN FEET AND HUNDREDTHS

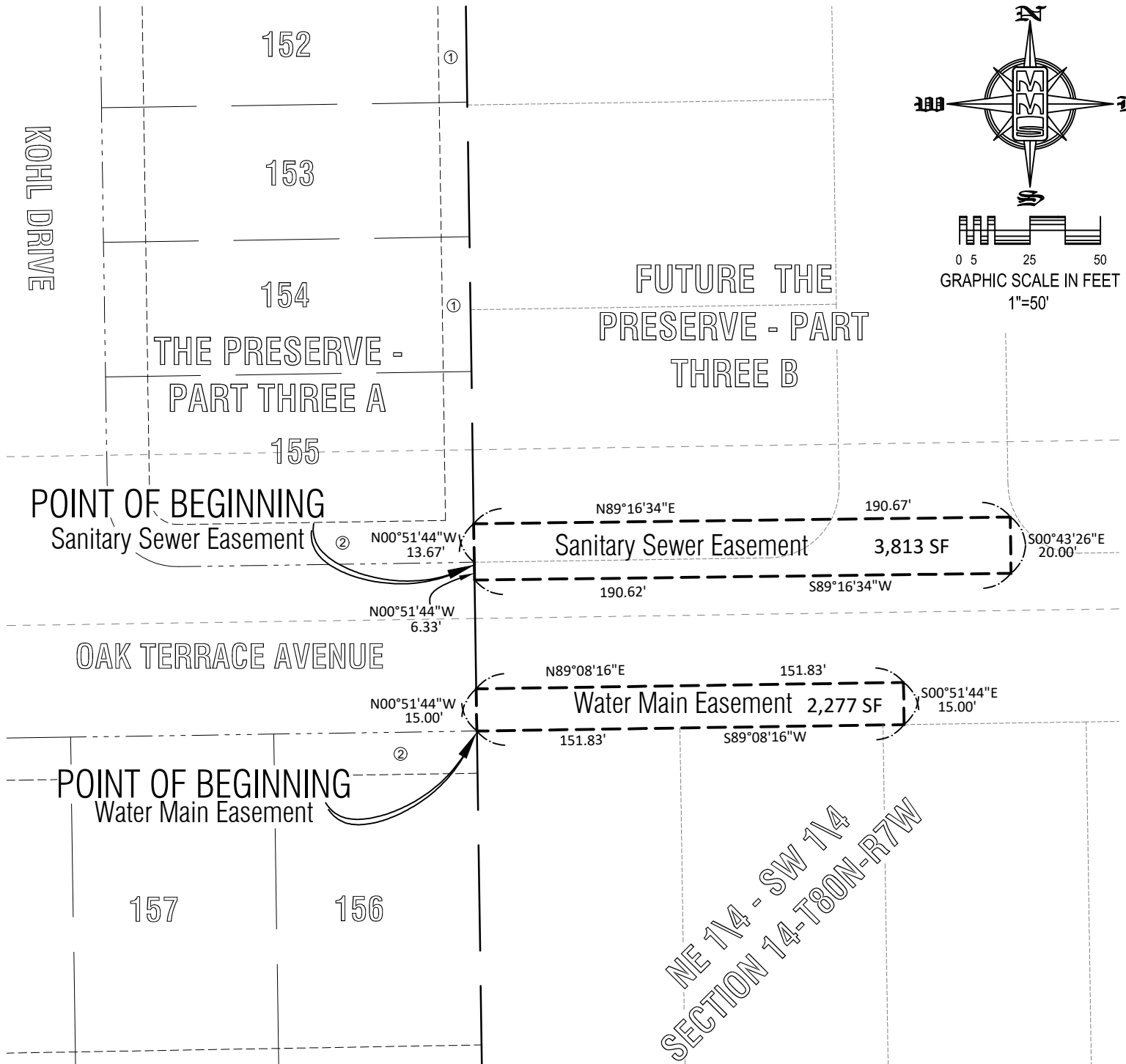


CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282

www.mmsconsultants.net

FOR COUNTY RECORDER'S USE



DESCRIPTION - SANITARY SEWER EASEMENT

Beginning at the Southeast Corner of Lot 155 of The Preserve - Part Three A, to North Liberty, Johnson County, Iowa, in accordance with the Recorded Plat thereof; Thence N00°51'44"W, along the East Line of said Lot 155, a distance of 13.67 feet; Thence N89°16'34"E, 190.67 feet; Thence S00°43'26"E, 20.00 feet; Thence S89°16'34"W, 190.62 feet, to a Point on the East Line of said The Preserve - Part Three A; Thence N00°51'44"W, along said East Line, 6.33 feet, to the Point of Beginning. Said Sanitary Sewer Easement contains 3,813 square feet, and is subject to easements and restrictions of record.

DESCRIPTION - WATER MAIN EASEMENT

Commencing at the Northeast Corner of Lot 156 of The Preserve - Part Three A, to North Liberty, Johnson County, Iowa, in accordance with the Recorded Plat thereof; Thence N00°51'44"W, along the East Line of said The Preserve - Part Three A, 15.00 feet; Thence N89°08'16"E, 151.83 feet; Thence S00°51'44"E, 15.00 feet; Thence S89°08'16"W, 151.83 feet, to the Point of Beginning. Said Water Main Easement contains 2,277 square feet, and is subject to easements and restrictions of record.

Date	Revision
05-09-23	PER RRN REVIEW -JDM

EASEMENT PLAT

SANITARY SEWER WATER MAIN

NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.

Date:	05-07-2023
Designed by:	JDM
Field Book No:	1202
Drawn by:	RLW
Scale:	1"=50'
Checked by:	RRN
Sheet No:	1
Project No:	IC 1331-620
of:	1

LICENSED PROFESSIONAL LAND SURVEYOR

RICHARD R. NOWOTNY
17916

IOWA

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

_____ 20____

RICHARD R. NOWOTNY
P.L.S. Iowa Lic. No. 17916

My license renewal date is December 31, 20 ____.

Pages or sheets covered by this seal: _____

SEAL

NE 114 - SW 114
SECTION 14-T80N-R7W



**Enhance Iowa –
Community Attraction
and Tourism Grant
Application**

Resolution No. 2023-105

RESOLUTION AUTHORIZING AND DIRECTING THE CITY ADMINISTRATOR TO SIGN, EXECUTE AND SUBMIT APPLICATION AND ASSOCIATED DOCUMENTS FOR THE ENHANCE IOWA - COMMUNITY ATTRACTION AND TOURISM PROGRAM

WHEREAS, the City of North Liberty has engaged with Shive-Hattery to revise the master plan and preliminary design for the buildout of Centennial Park entertainment complex; and

WHEREAS, the concept plan and design includes an amphitheater, four seasons community events facility, large open air pavilion, splash pad, restroom facilities, ADA enhancements, veterans memorial, additional parking and other site amenities; and

WHEREAS, phase one of the project includes the amphitheater, community events facility and related utilities and site work at an estimated cost of \$8.8 million; and

WHEREAS, the Centennial Park Project planned improvements will create a regional amenity in the City of North Liberty for events including festivals, weddings, farmer’s markets, sporting events, family reunions, meetings and other events in the park; and

WHEREAS, the North Liberty City Council is committed to funding the project for the estimated project expenses of \$8,800,000, through fundraising, sale of bonds, additional grant opportunities and funds on hand, to create an attraction and additional quality of life for residents as expanded in the following chart:

Funding Sources	
Enhance Iowa/CAT	\$1,000,000
City ARPA Funds	\$1,000,000
Franchise Fees	\$2,000,000
Bond Proceeds	\$3,500,000
Fundraising/Naming Rights	\$1,300,000
Total	\$8,800,000

; and

WHEREAS, said grant application now requires execution and submittal on behalf of the City of North Liberty.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of North Liberty, Iowa, that the City Administrator is hereby authorized and directed to sign, execute and submit on

behalf of the City of North Liberty, the above described grant application and any and all additional forms required for submittal to the Iowa Economic Development Authority.

APPROVED AND ADOPTED this 8th day of August, 2023.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

Resolution No. 2023-91

RESOLUTION AUTHORIZING AND DIRECTING THE CITY ADMINISTRATOR TO SIGN, EXECUTE AND SUBMIT APPLICATION AND ASSOCIATED DOCUMENTS FOR THE ENHANCE IOWA - COMMUNITY ATTRACTION AND TOURISM PROGRAM

WHEREAS, the City of North Liberty has engaged with Shive-Hattery to revise the master plan and preliminary design for the buildout of Centennial Park entertainment complex; and

WHEREAS, the concept plan and design includes an amphitheater, four seasons community events facility, large open air pavilion, splash pad, restroom facilities, ADA enhancements, veterans memorial, additional parking and other site amenities; and

WHEREAS, phase one of the project includes the amphitheater, community events facility and related utilities and site work at an estimated cost of \$8.8 million; and

WHEREAS, the Centennial Park Project planned improvements will create a regional amenity in the City of North Liberty for events including festivals, weddings, farmer’s markets, sporting events, family reunions, meetings and other events in the park; and

WHEREAS, the North Liberty City Council is committed to funding the project for the estimated project expenses of \$8,800,000, through fundraising, sale of bonds, additional grant opportunities and funds on hand, to create an attraction and additional quality of life for residents as expanded in the following chart:

Funding Sources	
Enhance Iowa/CAT	\$1,000,000
City ARPA Funds	\$1,000,000
Franchise Fees	\$2,000,000
Bond Proceeds	\$3,500,000
Fundraising/Naming Rights	\$1,300,000
Total	\$8,800,000

; and

WHEREAS, the City of North Liberty commits \$5,000,000 in local funds from franchise fees and bond proceeds toward the project; and

WHEREAS, said grant application now requires execution and submittal on behalf of the City of North Liberty.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of North Liberty, Iowa, that the City Administrator is hereby authorized and directed to sign, execute and submit on behalf of the City of North Liberty, the above described grant application and any and all additional forms required for submittal to the Iowa Economic Development Authority.

APPROVED AND ADOPTED this 8th day of August, 2023.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK



Additional Information



JOHNSON COUNTY IOWA
BOARD OF SUPERVISORS MEETING MINUTES
MONDAY, July 17, 2023

Cultivation Station

Joint Entities Meeting

4:33 PM

JOHNSON COUNTY HISTORIC POOR FARM
4811 MELROSE AVE
IOWA CITY, IA 52246

Vice Chairperson Sullivan called the Johnson County Board of Supervisors to order in the Johnson County Historic Poor Farm Cultivation Station at 4:33 p.m. Members present: V. Fixmer-Oraiz, Jon Green, Royceann Porter, Rod Sullivan. Members absent: Lisa Green-Douglass.

Sullivan announced that agenda item B [Public Comment] will take place after agenda item C [Welcome and Introductions].

WELCOME AND INTRODUCTIONS

Johnson County: Executive Director Guillermo Morales, Local Foods Assistant Cassidy Beamer, Local Food and Farm Manager Ilsa DeWald, Media Production and Technology Specialist J.J. Johnson, Assistant Attorney III Ryan Maas, Emergency Management Coordinator Travis Beckman and Emergency Management Coordinator Dave Wilson

City of Coralville: City Council Members Laurie Goodrich, Hai Huynh, Keith Jones and City Administrator Kelly Hayworth

City of Hills: Mayor Tim Kemp

City of Iowa City: Council Members Laura Bergus, Andrew Dunn, Shawn Harmsen, Pauline Taylor, and John Thomas

Iowa City Community School District (ICCS): Superintendent Matt Degner, ICCSD Board Members J.P. Claussen, Charlie Eastham, Jayne Finch, and Maka Pilcher Hayek

City of North Liberty: Mayor Chris Hoffman, North Liberty City Council Members Ashley Barrel and RaQuishia Harrington and City Administrator Ryan Heiar

University Heights: Mayor Louise From, City Council Member Stepheny Gahn

City of Tiffin: City Administrator Doug Boldt

Iowa Valley Resource Conservation and Development: Executive Director and Farm Manager Jason Grimm

Hawkeye Area Community Action Plan: Johnson County Coordinator Debbie Ackerman

Global Food Project: Manager Will Kapp

Better Together 2030: Executive Director Cady Gerlach

Johnson County Community Foundation: President and CEO Shelly Maharry

Johnson County Historical Society: Executive Director Alex McKendree

Land Access Program: Farmer Nasr Mohammed

PUBLIC COMMENTS

Iowa City Council Member Andrew Dunn reported that union negotiations broke down between the North American Central School Bus, ICCSD drivers, and Teamsters Local 238. Dunn stated that ICCSD bus drivers plan to strike when classes resume if negotiations are not resolved. Dunn recommended contacting Teamsters Local 238 Principal Officer Jesse Case with any questions.

DISCUSSION/UPDATES

Register's Annual Great Bicycle Ride across Iowa Update

Coralville Council Member Kelly Hayworth thanked area residents who signed up to volunteer in Coralville during Register's Annual Great Bicycle Ride across Iowa (RAGBRAI) in late July. Hayworth confirmed that volunteers filled all RAGBRAI rider housing requests.

Smart 911 Update

Iowa City Council Member Pauline Taylor discussed the limitations of 911 during a mental health crisis and said residents can call the 988 Suicide and Crisis Lifeline.

Johnson County Emergency Management Coordinator Travis Beckman discussed the Johnson County Emergency Notification System (JCENS), known as Johnson County Alerts, and part of the Alert Iowa System. He said JCENS uses the Smart911 app that allows residents to sign up online and receive targeted emergency alerts. Beckman said the app allows residents to share lifesaving information to 911 and specify their primary language. He noted the special needs registry is not available online. Beckman said municipalities could request administrative access to Johnson County Alerts in order to have targeted emergency alerts for their specific department.

Bus Rapid Transit Update

Metropolitan Planning Organization of Johnson County (MPOJC) Executive Director Kent Ralston discussed the Bus Rapid Transit Study in the CRANDIC corridor. He said the study will review using electric buses, and that the results can be compared to the completed Passenger Rail Study. Officials asked for funding details. Ralston stated the total funding needed for the study is \$250,000 and that more details will be forthcoming.

Manufactured Housing Taskforce Update

Johnson County Supervisor V Fixmer-Oraiz spoke about the Manufactured Housing Taskforce and the poor living conditions of manufactured housing residents. Fixmer-Oraiz noted the taskforce's limitations due to lack of local control on the issue in addition to discussing outreach plans. Iowa City Council Member Shawn Harmson discussed ways entities can support residents. Officials spoke about having the Manufactured Task Force speak at the Iowa Housing Conference.

Sullivan announced that agenda item five [Johnson County Historic Poor Farm Overview] will be moved to the end of the agenda.

Discuss Schedule and Host for Upcoming Joint Entities Meetings

October 16, 2023: Iowa City Community School District

January 15, 2024: Coralville

April 15, 2024: Iowa City

July 15, 2024: North Liberty

October 21, 2024: University Heights

January 13, 2025: Johnson County

Johnson County Historic Poor Farm Overview

Johnson County Board Office Food and Farm Manager Ilsa DeWald presented information about the Johnson County Historic Poor Farm including an overview of the site, the 10-year Master Plan, and current projects. After adjournment, the Historic Poor Farm Staff provided an informal tour of the site.

Adjourned at 5:27 p.m.

Attest: Travis Weipert, Auditor

Recorded by Auditors Office: Marly Melsh, Executive Clerk to the Board



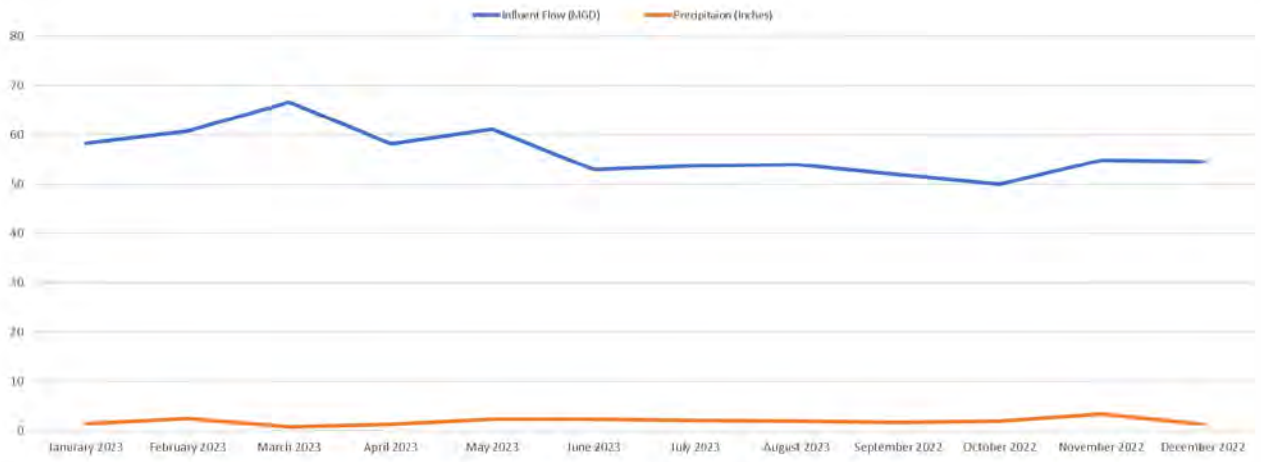
To **City Council, Mayor, and City Administrator**
From **Drew Lammers**
Date **Sept 1, 2023**
Re **August 2023 Water Pollution Control Plant (WPCP) Report**

1. All scheduled preventative maintenance at the plant and lift stations was completed. **88 work orders** were completed throughout June. Maintenance staff continue to work ahead with preventative maintenance so additional time can be spent on the upcoming recovery cleans. Staff replaced 1 lift station pump at Aspen Ridge with a spare pump. The original pump was making irregular noise and showing decreased pumping rates. This pump was cleaned and delivered to a local motor shop for repairs.

Staff also ran both bypass trailer pumps for a day. This requires pumps to be set up to pull water from our effluent discharge channel and discharge hoses placed to recirculate the water. One of the pumps was recently rebuilt. All equipment functioned properly.

2. This month's staff safety meeting topic was Hearing Protection. Staff completed target solutions online and reviewed the topic as a group. All building sound level (dba) warnings were updated and replaced as needed. Staff used a sound level instrument to verify each location decibel level.
3. Operations and Lab completed all monthly sample results and reports. DMR-QA sample testing final results showed proficient testing for all parameters. Monthly Influent Flow Avg. was **1.74 MGD**. Operators have lowered the biological solids in the treatment tanks to try to assist biological phosphorus removal. **1.338 MG** of solids were wasted from biological tanks to digesters during July. Biosolids storage building is about 65% full. We will be working with our hauling contractor to locate possible application sites available as soon as crops are harvested.
4. WPCP staff and Veolia representatives worked together to replace 240 membrane modules and refurbish 5 cassette frames in train 1 membrane tank. This was the last of the original 2008 membranes with exception of 2 test cassettes we continue to run for life span testing. MBR Train 1 is in service and operating well with the new membranes.
5. WPCP staff poured a new sidewalk by the pretreatment building and replaced all materials in 2 rock waterways for drainage. Heavy equipment was borrowed from Streets Dept. to complete both jobs.
6. Mark Farrier passed the Iowa DNR Grade 4 Wastewater Exam. There are 1550 wastewater operators (Grades 1,2,3,4) total in Iowa and only 155 of them are Grade 4 operators. Technical knowledge, skill, and experience in the wastewater trade are all required to achieve this certification. Mark is well deserving of this achievement.

Influent Flow, Precipitation













To **Mayor and City Council**
CC **City Administrator Ryan Heiar**
From **Street Superintendent Michael Pentecost**
Date **September 1, 2023**
Re **Street Department Staff Monthly Report for August**

The following items took place in the month of **August** that involved the Streets Department.

- Locating of all City utilities (295 job tickets) ongoing
 - a. This is a decrease of 16% from July 2022
- Continued animal control services (16 responses to animal issues)
- Cemetery plot locates (4 in total)
- Projects/Meetings
 - a. W Penn Street reconstruct (west of I380)
 - i. Continued design work and collaboration with Johnson Co Secondary Roads
 - ii. Core samples of road taken by staff and given to Shive for better construction design details
 - iii. Met with one of the affected property owners to answer any questions or concerns on how project could potentially affect them
 - b. Penn Meadows Project
 - i. Penn St closure and detour lasted about 2 weeks and is now open
 - ii. Most of the remaining parts of the project is for the Penn Meadows Parking lot
 - c. New Subdivision Review
 - i. Construction plan review and evaluation by staff for new projects
 - ii. The Preserves Pt 3A walk through of project by staff to identify punch list items to be completed in order for city acceptance
 - d. Traffic Controls Committee met to review recent request, complaints, or suggestions from the public of various signage locations
 - e. Street Department Building Project
 - i. Continued project design
 - ii. Met with Shive to review design and possible conflicts
 - f. I380/Penn St Bridge
 - i. Met with staff and IDOT for high level review of up coming project schedule
- Staff conducted monthly safety inspections for all street equipment and buildings
- Monthly warning siren testing in all 8 locations were cancelled this month and not performed because of testing day bad weather
 - a. Test will resume as normal next month

- Traffic Signals
 - a. Repairs on a few intersections for cabinet and signal equipment
 - b. Various street sign repairs and new installs
- Removed 9 tandem loads of compost from leaf collection site to be used in city projects in order to make space for 2023 leaf collection season
- Prep work for new school year starting
 - a. Completed all school speed zone signs programming to coincide with school schedules
 - b. Completed all line of sight clearing for intersections and pedestrian crossing locations
 - c. Completed all street painting of crosswalks, stop bars, symbols, arrows, lines, and roundabouts
 - d. Staff monitored and assisted with traffic congestion for the first days of school
- Service work performed on equipment
- Streets
 - a. Cold patching of potholes where needed
 - b. GIS mapping of all street signs continues
 - c. GIS mapping of electrical grid that is the responsibility of City continues
 - d. Street sweeping in a few locations where heavy debris tends to collect
 - e. Street repairs
 - i. Heritage St concrete repairs completed
 - ii. S Dubuque St asphalt repairs completed
 - iii. W Forevergreen Rd concrete panel repairs completed
 - iv. Lininger Ln and Alexander Way concrete repairs started
- Sanitary Sewer
 - a. Inspection of various manhole locations
 - b. Spot inspection of manholes downstream from restaurant showed large grease deposits
 - i. Jet/Vac of this system to clean and remove these deposits of grease and foreign material
- Storm Sewer
 - a. Storm system repairs of tile, pipe, and structures in various location of town
- New staff member Levi Braem started this month



Street repairs on Heritage Dr



All 23 school speed signs programmed



South Dubuque St asphalt repair



North Liberty Police Monthly Report August 2023

Training:

- Members attended monthly Canine, Tactical Team, and Honor Guard Training. (56 hours)
- A sergeant and an officer attended ALERT Level 1 train the trainer course for response to active shooters. (80 hours)
- Three officers attended the Secret Service Active Shooter Threats Assessment/History online training. (9 hours)
- Officer Sexton attended a course in Johnson County on the Community Violence Intervention project. It is based on the book Bleeding Out response guide, by Thomas Abt. (8 hours)
- One officer attended the train the trainer training for ICAT and de-escalation best practices. (16 hours)
- Three Taser instructors received re-certification training hosted at NLPD. (24 hours)



- Officers competed online training on tactical considerations when dealing with people (25 hours)
- Officer Zach Jirak graduated from the ILEA 16-week police academy. He is back and assigned to FTO for the next three months. (636 hours)

Traffic Contacts	605
Parking Contacts	74
Vehicle Inspections	20
Vehicle Unlocks	28
Crash Investigations	19
Public Assists	503
Assist other Agency	143
Crimes Against Persons Report	3
Crimes Against Property Report	13
Other Reports	33
Arrests	26
Warrants	3
Alcohol/Narcotics Charges	19
Crimes Against Persons Charges	3
Crimes Against Property Charges	0
Other Charges	21
Animal Calls	48
Total Calls for Service	2481
*Total Calls for Service for the year	17718

Public Relations:

- Our community outreach officer, Jordan Gallagher and Investigations Lieutenant participated in a Safe Schools community Forum at First United Methodist Church.
- Two officers were nominated by the patrol commander to receive the Mothers Against Drunk Driving (MADD) award for increased traffic enforcement for impaired driving. Sergeant Mitch Seymour and Officer Rhonda Hayes were nominated and received awards.
- Completed ALICE training at several schools prior to the start of the school year at their request. ALICE training was also held for the employees at SouthSlope.



- Two officers were presented with Life Savings Awards for successful CPR earlier this year. The Mayor presented the awards to Officer Scott Sammons and Office Bryan Davis.
- Officers attended the Summer Send Off and handed out stickers.



Equipment:

- We are trying out AT&T FirstNet Wireless services in two of our patrol cars for coverage in North Liberty. We currently have Verizon but have noticed a few dead spots in town where our mobiles disconnect or the connection drops.
- We purchased interior equipment for the Patrol Lieutenant's truck for installation.
- Continue to work with the HVAC installers for control and humidity issues within the building. On hot (over 95 degrees) days, the humidity control in the building is not functioning properly. We are replacing two mix air sensors that are not working in the building.
- Due to leaking, we are working on repairing door seals on the PD dishwasher. If unable to repair, we will have to purchase a new one.
- We received two more dynamic entry tool kits we ordered last year. These have been on back order. We ordered these kits for each patrol car.

Enforcement/Crime:

- Several Officers from NL and other agencies worked a joint night project coordinated by NLPD to satisfy our GTSB grant traffic enforcement project. The focus was on speed, traffic control devices, and alcohol impairment around North Liberty.
- We planned for the first day of school and the patrol happenings for the school session. No issues on our part for the first week of school. The patrol commander instituted an "adopt a school program" for each of the day officers, so they could become better acquainted with students and staff in specific buildings and be a direct point of contact for non-emergency needs.
- To review any criminal complaints for the month [List of Criminal Complaints | Johnson County Iowa](#) or see North Liberty Calls for service go to [Joint Emergency Communications Center \(jecc-ema.org\)](#) or you can visit the crime map at [LexisNexis® Community Crime Map](#) and type in North Liberty.

Department Admin:

- We jumped up in the ratings for the Safest Cities in Iowa for SafeWise based on 2022 data. Ranked #6. [Iowa's 20 Safest Cities of 2023 | SafeWise](#)
- Chief held two command staff meetings with Records and the two lieutenants. I also have participated in the Iowa Police Chief's Legislative Committee zoom meetings and local Chief's meeting with the County Attorney's office.
- Officer Chuck Tygart has decided September 28th will be his retirement date. We will host reception for his last day.
- Curbs, drainage tile, and new concrete was poured in the PD lot that is part of the City Hall Construction project.
- The Patrol Commander has been checking several boxes to host ALICE training at the PD early next year. We will be partnering with local agencies, schools and churches to get instructors for active shooter responses.

Respectfully Submitted by Chief Diane Venenga and Alisha Ruffcorn 9/6/2023



Parks & Recreation Commission
September 7, 2023, 7:00pm
City Council Chambers, 1 Quail Creek Circle, North Liberty, Iowa

This meeting may be accessed live by the public in person or on the internet at northlibertyiowa.org/live, on Facebook at facebook.com/northliberty or on YouTube at youtube.com/c/northliberty. Meetings are rebroadcast on cable and available on-demand on northlibertyiowa.org.

1. Call to Order
2. Approval of Minutes
 - a. August 3, 2023
3. Reports
 - a. Parks Report
 - b. Recreation/Pool Report
 - c. Questions, Concerns, Updates
4. Community Input / Ideas to Share
5. Upcoming Events
 - a. Sept 9 – Messy Playdate
 - b. Sept 10-Oct 8 – Indoor Pool Closed
 - c. Sept 14 – NLCC Open House
 - d. Sept 15 – Mystery Murder Dinner – ticket event
 - e. Sept 23 – Star Party with TAKO
6. New Business
7. Old Business
8. Next Meeting
 - a. Thursday, October 5, 2023, at 7:00pm.
9. Adjourn



Parks & Recreation Commission
August 3, 2023, 7:00pm
City Council Chambers, 1 Quail Creek Circle, North Liberty, Iowa

This meeting may be accessed live by the public in person or on the internet at northlibertyiowa.org/live, on Facebook at facebook.com/northliberty or on YouTube at youtube.com/c/northliberty. Meetings are rebroadcast on cable and available on-demand on northlibertyiowa.org.

1. Call to Order
2. Approval of Minutes
 1. July 6, 2023
 - i. Motion: Gwen Johnson, Second: Amy Chen, Unanimous approval
3. Reports
 1. Parks Report
 - i. Babe Ruth and Koser building completed.
 - ii. Sports field maintenance team continue maintenance.
 - iii. Splash pad has continued to be busy. The public can still use the North parking lot, but it will close soon.
 - iv. Landscaping crews have been very busy due to dry weather.
 - v. Forestry crew continues to remove dead trees. Some have been at the dog park to make way for dirt to be brought in.
 - vi. Woodchips have been removed from playgrounds.
 - vii. Treating ponds for algae with a bio bacteria product. Dry and hot weather promotes algae.
 - viii. Continuing to meet with Shive Hattery. City building and Centennial Park have been main focus.
 - ix. Blues and BBQ: Parks staff did a lot of the set up and parking of cars.
 - x. Sidewalk repairs due to buckling due to heat have been completed.
 - xi. 2 new AEDs at Penn Meadows Park have been installed.
 - xii. Coralville needed help in parking RVs for RAGBRAI. Parks staff assisted the city in that.
 - xiii. Seasonal help will be leaving in mid-August.
 - xiv. Jeremy Parrish asked about the splash pad portion of Centennial Park addition, regarding recirculating water. Recirculated water will be utilized in the splash pad. Penn Meadows does not use recirculated water.
 - xv. Local businesses have donated to Centennial Park recently. Reminder to residents they can donate. For \$500, donors can have their names displayed on a wall at Centennial Park.
 - xvi. Information about Centennial park can be found here:
<https://northlibertyiowa.org/departments/parks/next-stage-centennial-park-north-liberty-iowa/>
 2. Recreation/Pool Report
 - i. Ductsox are being replaced as they're falling. It is about \$75,000.
 - ii. The outdoor pool will close August 22nd.
 - iii. August 7th, registrations start. Registration brochures can be found online.
 - iv. Peewee sports and pickleball leagues will be starting, as well as volleyball. Iowa volleyball club will be coming to help at a camp.
 - v. A golf program will be started between North Liberty, Coralville, and Tiffin at the new golf place in Tiffin, Pinseeekers. The focus will be youth, 1st - 8th grade.
 - vi. Disc Golf course went in at Penn Meadows Park.

- vii. Repainting of the indoor pool will happen when new duct socks are done.
- viii. Jeremy asked about pool revenues and the uses of the money. Money is set aside in a fund typically for future rec use for facility improvement.
- 3. Questions, Concerns, Updates
 - i. Richard updated on the new golf cart ordinance that has passed.
 - ii. UTV (gators, side by sides) ordinance is going to the City Council for the 3rd reading soon. If it does pass, it will only be in effect for one year and will have to go through the process again afterwards.
 - iii. The City Council is working on ordinance for trails for E-bikes.
 - iv. Youth council had their year report. There was a note of the lack of activities for teenagers in the city. Youth are encouraged to talk with the board about what they would like to see.
 - v. Guy mentioned there have been discussions on an outdoor basketball court. It may be included in the next budget cycle. It may be located where the current playground is.
 - 1. Basketball courts are at quail ridge park and fox run neighborhood.
- 4. Community Input / Ideas to Share
- 5. Upcoming Events
 - 1. Dive in Movie (Splash Night) – Aug 4. Food truck will be on site and free.
 - 2. Circus/Aerials at Centennial Park – Aug 6
 - 3. Swim Storytime – Aug 11
 - 4. Summer Send-off – Aug 19. Carnival games and live music
- 6. New Business
- 7. Old Business
- 8. Next Meeting
 - 1. Thursday, September 7, 2023, at 7:00pm.
- 9. Adjourn
 - 1. Motion: Jamie Gade, Seconded by Kevin Stibal, Unanimous approval



o **Park & Recreation Commission Board Members**
CC **Mayor, City Council, City Administrator**
From **Shelly Simpson**
Date **September 1, 2023**
Re **Monthly Report – August 2023**

Summer Fun concluded this month, time spent for vacations, and preparations for a whole new school year. The outdoor pool closed for the season on August 22 due to our younger HS staff. Indoor Pool will be closed Sept 10 through October 8 for re-painting. Registration for Fall programming took place this month as most programs will begin in September.

Recdesk Database:

Reviewing our Recdesk database; we have 13,366 residents (61%) and 8,689 non-residents (39%) totaling 22,055 individuals. Increase of 367 from last month.

Aqua Programs:

Aqua classes continue with 66 registered participants, plus daily drop-ins. Arthritis Aqua, Aqua Zumba, Easy Does It, and Water Resistance continue to be the most popular. Other classes held include Lifeguard and Jr. Lifeguard classes. Aqua Program revenues totaled \$4,320.75.

Swim Lessons:

Summer swim lessons ended and due to indoor pool repainting, lessons will not resume until October. Swim lesson revenues totaled \$12,174.50.

Leagues/Sports:

Registration for many sport leagues this month.
Fall Outdoor Soccer: Hybrid divisions - 114 participants; Recreation divisions - 71 participants.
Supreme Leagues are cooperative leagues with CV and Tiffin; our registration included;
Flag Football – 125 participants, Supreme Volleyball – 129 participants
Adult Basketball and Co-ed Volleyball will begin soon as well.
Sport/Leagues Revenues totaled \$11,880.

Recsters BASP Program:

As soon as Summer Camp ends, we have a short window prior to the school year starting.
BASP AM – 18 participants, PM – 45 participants
Before & After School revenues this month totaled \$7,365.

Classes/Programs:

Various rec fitness classes take place. A new Zumba class began.
Tippi Toes Dance classes (Aug session) have 58 participants.
Senior Connections Lunches served 114 meals for the month.
Classes/Programs revenue totaled \$36,499.

Pools: The outdoor pool season came to an end Aug 22. Indoor Pool will be closed Sept 10-October 8, 2023 for repainting. Ashley reports we had a good summer. This month, Season Pool Pass revenues totaled \$3,399; Daily Pool Fees totaled \$24,007; Pool Rentals totaled \$1,125, and Concessions revenues totaled \$9,148.25.

Weight & Exercise Area / Track:

Weight fee revenues totaled \$10,743; Split membership revenues totaled \$3,076.

We had 3,242 active memberships for the month.

We had 6,173 point of sale transactions for the month.

Gymnasiums:

Gymnasium Rental revenues totaled \$1,640.

Rentals:

Community Center Rental revenues totaled \$5,712.46; Shelter rental revenues totaled \$265;

Field Rental/Tennis Courts revenues totaled \$3,327.50.

Revenues:

Revenues for this month (August 1-31) totaled \$134,923.39.

Additional Reports: Recdesk Monthly Revenue, Dashboard Summary, Membership Summary and Organizational Activity.

Revenue By Period - GL Account Summary

Start Date: 8/1/2023 12:00 AM End Date: 8/31/2023 11:59 PM

Payment Methods: CA, CK, CC, IC, EC, GR

User(s)/Cashier(s): - All -

Regular Revenue

	**Gross	**Net	DEBITS						CREDITS					
			Cash	Check	CC.(Gross)	CC.(Net)	ACH.(Gross)	ACH.(Net)	Internal CC	Acct Credit	Other	Refunds	Other	
000 - Household Credit Account	120.93	120.93	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1,258.50	0.00	0.00	-1,137.57
001-0000-4310-01 - Pool Rentals	1,125.00	1,091.25	0.00	250.00	1,125.00	1,091.25	0.00	0.00	0.00	0.00	0.00	-250.00	0.00	0.00
001-0000-4310-02 - Community Center Rentals (Room Rental)	5,712.46	5,636.83	615.00	2,739.96	2,520.00	2,444.37	0.00	0.00	0.00	0.00	0.00	-162.50	0.00	0.00
001-0000-4310-03 - Gymnasium Rentals	1,640.00	1,639.40	20.00	1,660.00	20.00	19.40	0.00	0.00	0.00	0.00	0.00	-60.00	0.00	0.00
001-0000-4310-04 - Park/Special Event Fees	120.00	116.40	0.00	0.00	120.00	116.40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-0000-4310-04 - Shelter Rental	265.00	258.21	0.00	35.00	226.25	219.46	0.00	0.00	0.00	0.00	3.75	0.00	0.00	0.00
001-0000-4310-05 - Field Rentals/Tennis Courts	3,327.50	3,232.29	18.75	135.00	3,173.75	3,078.54	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-0000-4500-10 - Weight Fees	10,743.00	10,526.42	3,155.00	360.00	7,219.43	7,002.85	0.00	0.00	0.00	0.00	17.57	-9.00	0.00	0.00
001-0000-4500-11 - Class/Programs	36,499.00	35,367.43	719.00	215.00	37,626.50	36,494.93	0.00	0.00	0.00	0.00	228.50	-2,290.00	0.00	0.00
001-0000-4500-12 - League Fees	11,880.00	11,461.95	0.00	0.00	13,931.25	13,513.20	0.00	0.00	0.00	0.00	98.75	-2,150.00	0.00	0.00

Revenue By Period - GL Account Summary

Start Date: 8/1/2023 12:00 AM End Date: 8/31/2023 11:59 PM

Payment Methods: CA, CK, CC, IC, EC, CR

User(s)/Cashier(s): - All -

001-0000-4500-13 - Before/After School	7,365.00	7,095.30	0.00	0.00	8,990.00	8,720.30	0.00	0.00	0.00	0.00	0.00	0.00	0.00	-1,625.00	0.00
001-0000-4500-19 - Season Pool Pass	3,399.00	3,296.31	36.00	0.00	3,423.00	3,320.31	0.00	0.00	0.00	0.00	0.00	0.00	0.00	-60.00	0.00
001-0000-4500-20 - Daily Pool Fees	24,007.00	23,617.42	11,018.00	0.00	12,986.00	12,596.42	0.00	0.00	0.00	0.00	3.00	0.00	0.00	0.00	0.00
001-0000-4500-21 - Swim Lessons	12,174.50	11,799.24	60.00	0.00	12,490.00	12,114.74	0.00	0.00	0.00	0.00	72.00	0.00	0.00	-447.50	0.00
001-0000-4500-22 - Aquatic Program/Classes	4,320.75	4,199.33	454.00	49.00	3,975.75	3,854.33	0.00	0.00	0.00	0.00	250.00	0.00	0.00	-408.00	0.00
001-0000-4760 - Pool Concessions	9,148.25	9,062.23	6,312.00	0.00	2,836.25	2,750.23	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
NONE - Unassigned	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Split - Membership - Black & Gold	3,076.00	2,960.32	324.00	0.00	3,856.00	3,740.32	0.00	0.00	0.00	0.00	0.00	0.00	0.00	-1,104.00	0.00
	134,923.39	131,481.25	22,731.75	5,443.96	114,519.18	111,077.04	0.00	0.00	0.00	673.57	1,258.50	0.00	0.00	-8,566.00	-1,137.57

** Difference between GROSS and NET calculation is that NET uses CC (Net) value instead of CC (Gross) value

Sales Tax

Dashboard Summary; August 1-31, 2023:

Today is Friday, September 1, 2023

Home | [Recent Registrations](#) | [Recent Reservations](#) | [Recent Memberships](#) | [Recent Members](#) | [CRM+](#)

Time Period: Last 30 Days

Top 5 Programs - Registrations

Program	Registrations
Rookie Basketball (Kindergart...)	~70
Supreme Basketball-1st-2nd Gr...	~65
Supreme Basketball-3rd-4th Gr...	~45
Supreme Basketball-1st-2nd Gr...	~35
Rookie Basketball (Kindergart...)	~30

Top 5 Programs - Revenue

Program	Revenue
BASP Sept. PM	~\$9,000
Mens Basketball Fall	~\$3,500
Rookie Basketball (Kindergart...)	~\$2,500
Basketball	~\$2,000
Basketball	~\$1,500

Total Program Registrations **1589**

- Online: 1244
- In-house (In Person): 345

Total Receipts **\$149,869.46**

- RecDesk Credit Card: [\\$121,162.68](#)
- Cash: [\\$21,599.75](#)
- Check: [\\$6,443.96](#)
- Household Credit: [\\$663.07](#)
- Refunds: [\\$8,366.00](#)

Invoices - Balance Due

- Open: [\\$37,279.97](#)
- Overdue: [\\$4,295.00](#)

Alerts & Notices

Membership Counts; August 1-31,2023:

Membership Counts (By Period)

Time Range: Last Month | From Date: 8/1/2023 | To Date: 8/31/2023

Summary By Month

	Aug, 2023
New Primaries	224
All New	285
Primary Renewals	93
All Renewals	135
Active Primaries	2184
All Active	3242

Organization Activity; August 1-31, 2023:

Organization Activity

From 8/2/2023 to 9/1/2023

	Registrations	Reservations	Memberships	Check-Ins	Profiles Created	POS Transactions
All	1577	103	399	6636	453	6173
Resident	1239	78	296	4507	234	
Non-Resident	338	25	103	2129	219	
No Residency Set	0	0	0	0	0	
Demographics						
< 18	1215	1	117	1252	192	
18 - 65	112	96	230	3492	244	
65+	248	6	52	1891	16	
Male	769	59	227	4242	211	
Female	808	44	172	2394	242	
Other Genders	0	0	0	0	0	
Online vs In-House						
Online	1240	0	26	N/A	353	
In-Person	337	103	373	N/A	100	

Database Breakdown:

Residents: 13,366
 Non-residents: 8,689
 Total Database: 22,055

North Liberty (Residents) 13,361; (Outside city limits – 902)
 Iowa City 2,024
 Coralville 1,922
 Tiffin 971
 Solon 800
 Other 2,075



To **Mayor and City Council**
CC **City Administrator**
From **Tom Palmer, Building Official**
Date **9/5/2023**
Re **Monthly Report**

August Permits:

113 permits were issued in August with an estimated construction value of 6.3 million dollars. Fifteen new housing permits were issued with a construction value of 3.7 million dollars. Staff completed 343 inspections during the month of August.

Rental/Code Compliance Cases:

Fifteen new rental permit applications were received in August. Ten code compliance cases were processed in August.

Aldi Food Store:



The contractor is onsite removing trees and demolishing structures.



August Permit Tally Report

Permit Type		Construction Value	Total Fees
Group: Accessory Structure			
		\$2,000.00	\$0.00
Group Total: 1			
Group: Automatic Fire Sprinkler System			
		\$331,780.00	\$308.00
Group Total: 2			
Group: Backflow Preventer			
		\$6,100.00	\$70.50
Group Total: 3			
Group: Commercial Alteration			
		\$94,000.00	\$1,091.00
Group Total: 2			
Group: Construction Site Runoff			
		\$0.00	\$150.00
Group Total: 1			
Group: Deck			
		\$267,767.00	\$3,469.30
Group Total: 16			
Group: Demolition			
		\$0.00	\$50.00
Group Total: 2			
Group: Fence			
		\$28,471.00	\$325.00
Group Total: 13			
Group: Fire Alarm & Detection Equipment			
		\$11,933.01	\$81.00
Group Total: 2			
Group: Fire Protection System			
		\$2,075.00	\$152.00
Group Total: 2			
Group: Mechanical Electrical Plumbing (MEP)			
		\$66,118.00	\$250.25
Group Total: 10			
Group: New Multi-Family Dwelling			
		\$1,020,000.00	\$5,681.75
Group Total: 1			
Group: New Single Family Dwelling			
		\$1,492,226.00	\$15,215.21

Group Total: 5

Group: New Single Family Dwellings Attached

		\$1,572,859.00	\$16,588.51
--	--	----------------	-------------

Group Total: 6

Group: New Townhouse

		\$740,000.00	\$9,031.00
--	--	--------------	------------

Group Total: 4

Group: Patio

		\$400.00	\$0.00
--	--	----------	--------

Group Total: 1

Group: Rental

		\$4,181.77	\$1,450.00
--	--	------------	------------

Group Total: 15

Group: Residential Addition

		\$277,058.00	\$2,481.58
--	--	--------------	------------

Group Total: 3

Group: Residential Alteration

		\$450,258.80	\$4,475.19
--	--	--------------	------------

Group Total: 10

Group: Right of Way

		\$16,702.45	\$117.50
--	--	-------------	----------

Group Total: 5

Group: Sign

		\$13,400.00	\$150.00
--	--	-------------	----------

Group Total: 3

Group: Stormwater Quality Grant

		\$0.00	\$0.00
--	--	--------	--------

Group Total: 4

Group: Zoning Certificate

		\$0.00	\$25.00
--	--	--------	---------

Group Total: 1

		\$6,397,330.03	\$61,162.79
--	--	----------------	-------------



Certificate of Occupancy August Report

Applicant	Parcel Address	Project Description	Permit Type
Man Kwok (Tommy) Zhu	1245 Chipman Ln	2023 Rental Permit	Residential Rental
Matthew Gaston	464 N DUBUQUE ST APT C	2023 Rental Permit	Residential Rental
Nick & Lexi Greteman	1224 Ronald Way	2023 Rental Permit	Residential Rental
Pamela Kay Vaughn	7 Golfview Ct	2023 Rental Permit	Residential Rental
Connor Murphy	155 N MAIN ST	2023 Rental Permit	Residential Rental
Catherine Prier	1462 Marilyn Dr	2023 Rental Permit	Residential Rental
Ashraful Arefin	1880 Carroll Ct	2023 Rental Permit	Residential Rental
Karthik Ponmudi	1257 Abraham Dr	2023 Rental Permit	Residential Rental
EMS Detergent Services	2865 STONER CT	Cleaning products manufacturer/distributor	Zoning
Kathryn Wilson	1152 Mary Ln	Decided not to rent - see attached file	Residential Rental
Adam Byerly	202 N Park Ridge Rd	2023 Rental Permit	Residential Rental
Hani Aqel	415 Community Dr Ste C	Tobacco & Cigar retail store.	Zoning
Puneet Handa	2222 Eversull Ln	2024 Rental Permit	Residential Rental
Mario Minnaert	580 Locust Dr	2023 Rental Permit	Residential Rental
Dahnovan Builders LLC	1740 Lininger Ln	New clinic space build out. Add 3 offices to	Building
Jeanie Kochan	320 Lockmoor Ave	Expanding existing screened-in porch and converting it to a four	Building
Doug Lee	1030 HARRISON ST	New Construction single family	Building
Brad Klaes - Ben Hur Construction	755 Community Dr	Apartments (52 units)	Zoning
Tonja Fortney	94 Golfview Ct	New home installation on existing home site	Building

Tonja Fortney	88 Golfview Ct	New Home installation on existing lot	Building
Dahnovan Builders LLC	1662 Aspen Ct	new construction 4 plex unit	Building
Devin	1285 Eisenhower Blvd	Single family home used as model home.	Building
Pro Platinum Construction	180 E Forevergreen Rd	Install temporary classrooms See Plans	Building
Jason Peterson Stillwater Homes LLC	1217 Abraham Dr	residential new construction	Building
Rocca Custom Homes LLC	1455 Salm Dr	New Single Family Home	Building
Paul Scallon	1237 Berkshire Ln	Building a Duplex	Building
Dream Builders of Iowa, LLC.	1225 Ogden Ln	new construction 1645 sq ft single family home	Building



Permit Summary Report Inspection Type

Schedule Date 01/01/2023 TO 08/31/2023

	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Row Total
Inspection request	7	2	12	25	42	42	26	41	0	0	0	0	197
Re-inspection	30	28	38	57	37	28	34	27	0	0	0	0	279
1st SWPPP	1	4	4	9	0	3	1	14	0	0	0	0	36
Above Suspended Ceiling	0	1	0	0	3	1	0	0	0	0	0	0	5
Backflow Preventer	0	0	0	0	0	0	0	1	0	0	0	0	1
Building Sewer	0	0	1	2	4	0	0	2	0	0	0	0	9
Commercial Final	0	0	1	1	2	6	0	1	0	0	0	0	11
Commercial Rough-In	1	1	1	1	1	2	3	0	0	0	0	0	10
Commercial Water Service	0	0	0	0	2	0	0	1	0	0	0	0	3
Deck, Porch, Sunroom Footings	6	2	7	5	6	13	9	11	0	0	0	0	59
Final	12	10	14	8	15	30	19	30	0	0	0	0	138
Fire - Aboveground Storage Tank for Motor Vehicle Fuel Dispensing	0	0	0	0	0	0	0	1	0	0	0	0	1
Fire - Automatic Sprinkler System	6	0	1	2	3	2	1	0	0	0	0	0	15
Fire - Automatic Sprinkler System - Preconcealment	0	0	0	0	0	0	1	0	0	0	0	0	1
Fire - Compressed Gas Detection	0	0	0	0	2	0	0	0	0	0	0	0	2
Fire - Fire Alarm Installation	0	0	1	3	3	2	1	0	0	0	0	0	10
Fire - Fire Alarm Installation (Rough-In)	0	0	0	0	0	0	2	0	0	0	0	0	2
Fire - Fire Dept. Acceptance	0	0	2	2	3	3	1	0	0	0	0	0	11
Fire - Kitchen Hood Suppression System Installation	0	0	0	0	0	2	0	0	0	0	0	0	2
Fire - Retail Sales of Fireworks	0	0	0	0	0	1	0	0	0	0	0	0	1
Fire - Smoke Alarms (Rough-In)	0	0	0	0	0	0	1	0	0	0	0	0	1
Footings/Slabs	5	6	11	14	5	9	10	20	0	0	0	0	80
Foundation Dampproofing	0	1	3	2	6	5	3	6	0	0	0	0	26
Foundation Wall	2	3	6	6	5	7	6	14	0	0	0	0	49
Framing	2	1	0	0	0	0	3	1	0	0	0	0	7
Gas Piping	0	0	0	1	0	0	0	0	0	0	0	0	1
Gas service release	17	10	14	6	17	3	3	6	0	0	0	0	76
Grading	3	3	2	11	10	6	9	2	0	0	0	0	46
Manufactured Home	0	6	2	2	2	4	0	2	0	0	0	0	18
Meeting	0	0	2	3	3	2	1	2	0	0	0	0	13
Notice of Termination CSR	5	2	3	2	12	0	11	4	0	0	0	0	39
Other	2	1	2	4	0	1	4	2	0	0	0	0	16
Permanent Electric Service Release	5	8	19	13	16	12	2	19	0	0	0	0	94
Plumbing below slab	3	3	6	5	9	9	3	18	0	0	0	0	56
Rental	16	77	103	60	22	20	5	10	0	0	0	0	313
Residential final (New Construction)	16	13	20	21	6	0	19	6	0	0	0	0	101
Residential Photovoltaic (PV) Solar System	1	1	7	2	1	2	2	1	0	0	0	0	17
Residential Rough-in (New Construction)	10	6	11	9	12	13	1	11	0	0	0	0	73
Residential Sewer Service	1	3	11	4	4	8	2	21	0	0	0	0	54
Residential Water Service	1	2	10	2	8	7	2	27	0	0	0	0	59
Rough-in	4	2	2	2	4	6	4	6	0	0	0	0	30
Sanitary Sewers	0	0	1	0	0	0	0	0	0	0	0	0	1
Sidewalk Release	5	5	3	9	5	0	12	4	0	0	0	0	43
Sump Pump Discharge Line	0	0	6	20	5	6	1	7	0	0	0	0	45
Temporary Electric Service	3	0	7	5	4	8	4	8	0	0	0	0	39
Water Heater	0	0	1	0	0	2	3	2	0	0	0	0	8
Water Main and Appurtenance	0	0	0	2	1	0	0	0	0	0	0	0	3
Witness air pressure test and piping inspection	17	10	12	12	18	11	5	15	0	0	0	0	100
Totals:	181	211	346	332	298	276	214	343	0	0	0	0	2201

Code Compliance Report

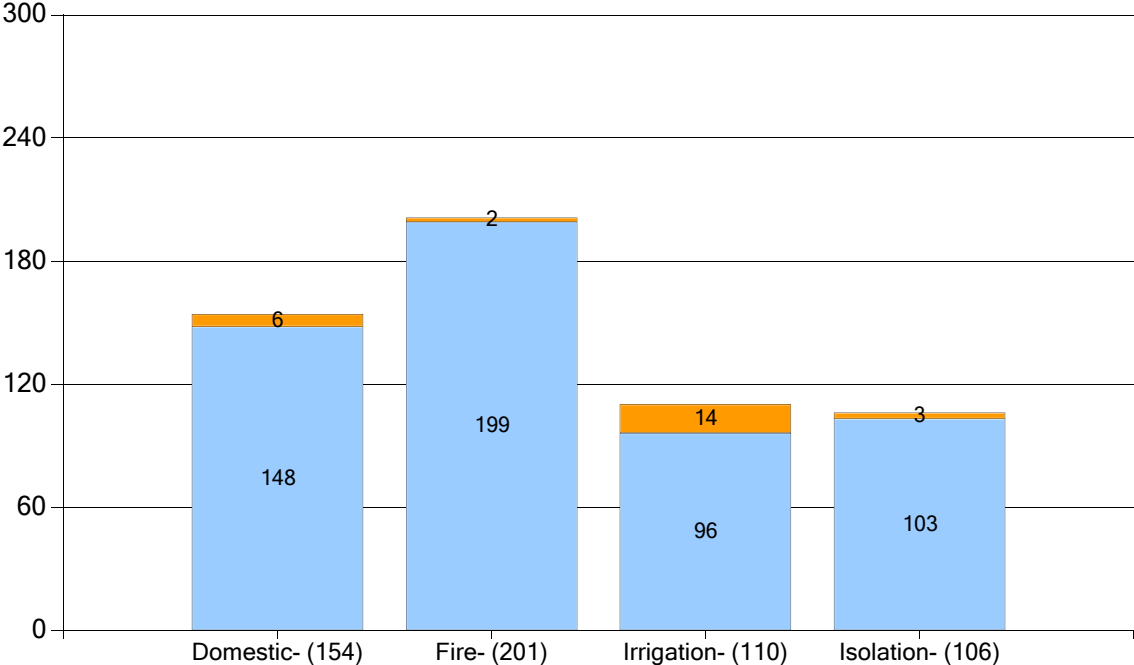
08/01/2023 - 08/31/2023

Case Date	Case #	Status	Complaint	Reporting Code
8/3/2023	20230043		nuisance dog barking, unpermitted home-based business.	Nuisance
8/10/2023	20230044		uncut weeds and grass exceeding 6"	Nuisance
8/14/2023	20230045		Uncut weeds and grass	Nuisance
8/16/2023	20230046		failed to provide backflow preventer test report	City Code
8/18/2023	20230047		uncut weeds and grass exceeding 6"	Nuisance
8/21/2023	20230048		uncut weeds and grass exceeding 6"	Nuisance
8/22/2023	20230049		uncut weeds and grass.	Nuisance
8/25/2023	20230050		Junk in driveway & side yard.	Nuisance
8/25/2023	20230051		Uncut weeds and grass.	Nuisance
8/25/2023	20230052		uncut weeds and grass.	Nuisance

Breakdown of Backflow Preventer Compliance

Non Compliant Compliant

Fire = Fire Protection / Fire Detector Bypass
Domestic = Domestic / Domestic Bypass
Irrigation = Lawn Irrigation
Isolation = All Others





To **Mayor and City Council**
CC **City Administrator Ryan Heiar**
From **Community Relations Director Nick Bergus**
Date **Sept. 6, 2023**
Re **Community Relations Staff Report**

City Slate

The City Slate included 4 planned events in August: Splash Night (Aug. 4), Kinetic Circus (Aug. 6), Swimming Storytime (Aug. 11) and Summer Send-Off (Aug. 19). Splash Night, unfortunately, had to be canceled when our screen vendor was unable to arrive for the event in time. Our Kinetic Circus moved into the Community Center due to weather. Shea Nelson, who worked with us through the summer, lead planning on Summer Send-Off and did great work all summer. We also spent time getting ready for Iowa vs. Iowa State Community Tailgate (Sept. 9) and Neighbors & Flavors (Sept. 17).

Community Center Monthly Highlights

We completed development on a monthly highlights newsletter to help the community navigate the offerings at our Community Center and in the community, and published the first in September. The highlights are published on our website and available to have delivered to subscriber email inboxes. The highlights are also available as a one-sheet publication at the Community Center. These guides are all being published in house.

Building North Liberty's Next Stage

Staff prepared, in cooperation with Think Iowa City, and submitted an Enhance Iowa grant application, and will present to the board on Sept. 7. We hosted a booth at the Summer Send-Off, put together a more detailed fundraising plan and continued to meet and discuss the project with members of the community and potential donors as well as with the design team to complete the design documents in preparation for the more detailed necessary for construction.

Youth Council

The inaugural Youth Council hosted a free showing of Spider-Man: No Way Home following the superhero-themed Summer Send-Off. The showing was well attended. Micah prepared for the fall's term, which begins in September. The group is intentionally a little smaller and we've made some other adjustments to the program, including more frequent but shorter meetings, plans for more guest speakers with whom the members might find partners and deemphasizing formal roles. We have three vacancies that can be filled on a rolling basis. The application is available at northlibertyiowa.org/youthcouncil.

Welcoming Week

Last year, as part of the Rural Welcoming Initiative, we hosted the inaugural Neighbors & Flavors during Welcoming Week. This fall, the week will be recognized countywide, with the second annual Neighbors & Flavors serving as the finale on Sunday, Sept. 17, which will offer a Mediterranean meal and music and, as part of the City Slate, will be free.

Organizations working with immigrant populations will be present.

Other Items

Staff volunteered with the North Liberty Community Pantry, Englert Theatre, Bike Iowa City, Johnson County Successful Aging Policy Board, United Action for Youth and worked with other local initiatives and non-profits.

We produced the City Council meeting and submitted it to the Iowa City government channel and produced several podcasts for the library in addition to 52317 episodes.

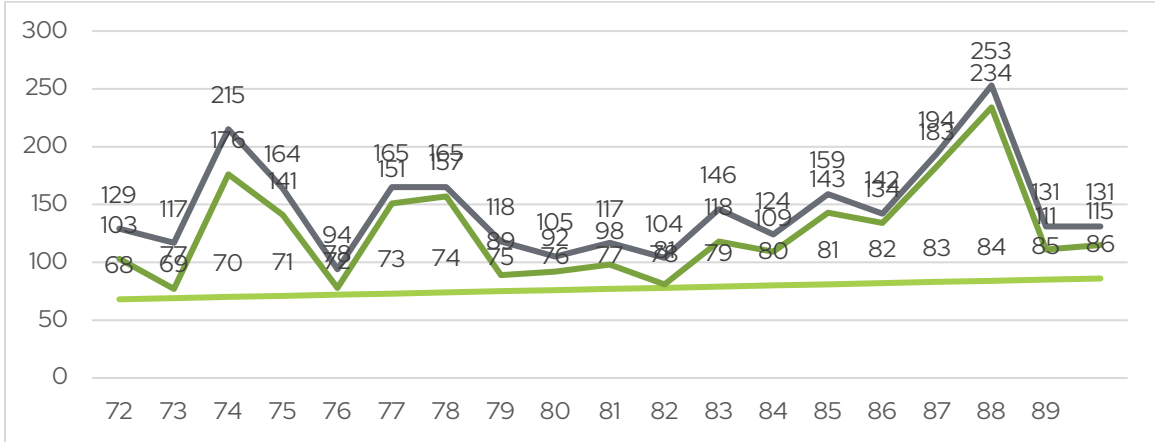
We posted news releases about City Slate events, Meet Your Neighbor Day, Community Center Open House, a library mural, and more.

Completed Videos

Title	Requested By	Completed	Duration
Social: Blues & BBQ Highlights	Community Relations	Aug. 1	0:01
Diana Goetsch Author Visit	Library	Aug. 1	1:23
Parks & Recreation Commission	Administration	Aug. 3	0:50
Totally Murdered	Recreation	Aug. 4	0:01
City Council	Administration	Aug. 8	0:38
Library Board of Trustees	Administration	Aug. 21	0:44
Eye on: Neighborhood Amb	Community Relations	Aug. 22	0:07
City Council	Administration	Aug. 22	0:12
GNM: Pratt Real Estate	Planning	Aug. 22	0:11
Total completed productions: 9	Duration of new video: 4.12 hours		

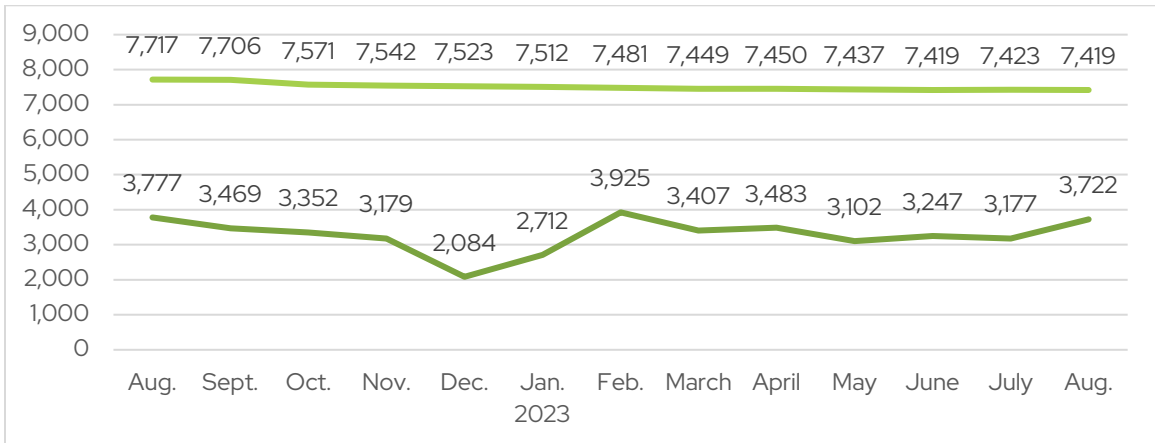
52317 Podcast

Episodes release every three weeks and can be found at northlibertyiowa.org/52317.



Downloads is the number times the podcast file was downloaded to a player, including a podcast client, webpage-embedded player or other device in its first 30 days and 90 days of publication. Numbers are as reported by service provider LibSyn as of the date of this report.

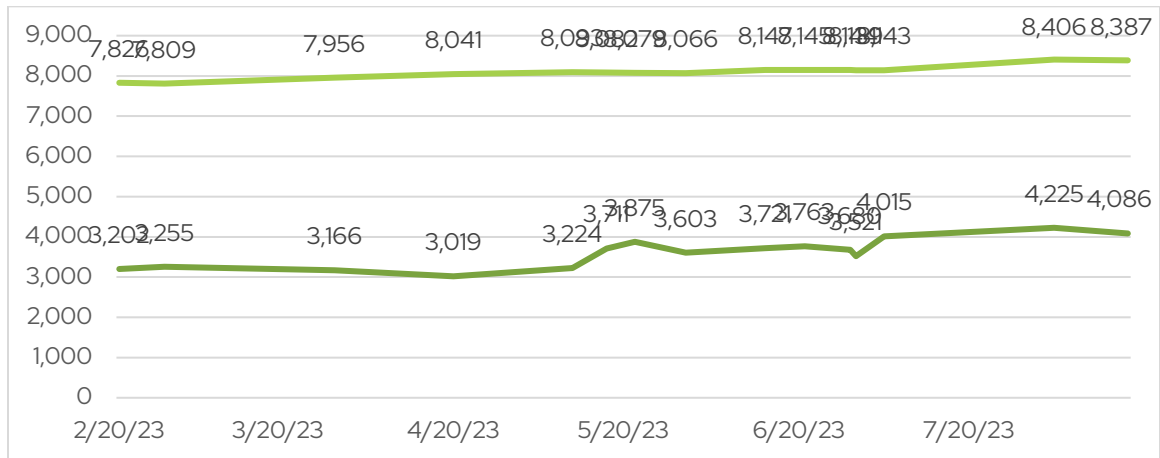
North Liberty Bulletin Email Newsletters



Recipients is the number of email addresses to which an issue of the Bulletin was sent and is represented by the top line. **Opens** is the number of unique recipients who opened the Bulletin and is represented by the bottom line; the standard open rate for government is 25.4%. Numbers are as reported by service provider Mailchimp.

Know Before You Go Emails

These emails focus on free, large-scale community and leverage the city’s email list. It is a key marketing channel for City Slate events.



Recipients is the number of email addresses to which an issue of the Bulletin was sent and is represented by the top line. **Opens** is the number of unique recipients who opened the Bulletin and is represented by the bottom line; the standard open rate for government is 25.4%. Numbers are as reported by service provider Mailchimp.

Social Media

Month	Facebook		Instagram	Nextdoor
	New follows	Reach	Followers	Members
Aug	78	94,400	3,129	6,087
July	113	88,157	3,097	6,058
June	208	220,786	3,063	6,026
May	195	102,109	3,035	5,999
April	144	118,294	2,994	5,945
March	92	41,370	2,977	5,937
Feb	110	49,514	2,952	5,916
Jan 2023	59	46,763	2,919	5,890
Dec	54	25,825	2,890	5,847
Nov	64	35,617	2,862	5,807
Oct	91	25,561	2,840	5,789
Sept	50	23,333	2,828	5,741
Aug	93	36,131	2,815	5,713

Facebook new likes is the net number of new users following the city’s Facebook page; it does not include new *followers*. **Facebook reach** is the number of unique users who saw any of the city’s Facebook content, reported on a 28-day period. **Instagram followers** is the number of users following the city’s Instagram account. **Nextdoor members** is the number of verified North Liberty residents who are users and able to receive our agency messages.

Website Statistics

Month	Sessions	Users	Pageviews
Aug 2023	37,257	27,312	58,583
July 2023	37,766	27,419	63,041
June 2023	43,919	33,828	144,710
May 2023	36,029	24,207	108,993
April 2023	32,588	24,857	60,148
March 2023	33,771	26,678	61,955
Feb 2023	31,173	25,273	54,240
Jan 2023	31,768	24,915	57,610
Dec 2022	23,328	18,270	45,983
Nov 2022	29,888	22,127	58,381
Oct 2022	34,361	24,315	60,653
Sept 2022	23,690	17,833	44,903
Aug 2022	28,712	21,863	52,942

Sessions is the number of time-bound user interactions with the website. **Users** is the number of unique devices loading the site in that month. **Pageviews** is the total number of pages loaded or reloaded. All stats are monthly.



TO: Ryan Heiar, City Administrator and City Council
FROM: Jennifer Jordebek, Assistant Library Director
DATE: September 6, 2023
SUBJECT: Monthly Library Report

Library News

Summer reading has wrapped up and was a wonderful success. Our community enjoyed and participated in a variety of activities and programs for all ages. Below are a few interesting collection statistics between June 1 - August 31:

- * Staff registered and welcomed 553 new patrons or 46 people a week
- * Staff processed and added 1,085 materials to the collection
- * Circulation for physical items was 29,852 or 2,487 items per week
- * Circulation for our digital collection was 11,951 items or 996 items per week

Our new Youth & Teen Services Librarian is Kayla, who was previously our Assistant Youth & Teen Services Librarian. We have recently welcomed Zoe to the assistant position, vacated by Kayla's promotion.

The library is partnering with Kirkwood Community College and IowaWORKS to host an intern, Sydney. This experience will provide Sydney an opportunity to develop introductory work skills in the field of librarianship.

Displayed on an outside wall of the library and adjacent to the Community Center's playground, is a new portable mural by Johamy Narvaez and local youth artists. It was unveiled on August 17 at a reception for the artists. The project was a partnership between the North Liberty Library and United Action for Youth. Financial support was provided by a Community Foundation of Johnson County grant, the North Liberty Optimist Club and the Friends of the North Liberty Library.

The Friends Book Sale this summer was very profitable. They raised \$1,530 and will host a second book sale September 21-23 during library hours.

The library recently updated our Quick Print stations. This will provide our patrons with an enhanced experience and improved on demand printing. Promotional materials for this service are posted throughout the library.

September kicks off Library Card Sign-Up Month. Upcoming events include a *One Community, One Book* discussion, an ELEMENTAL Movie Night, and two City Slate events including an Iowa vs. ISU Watch Party and Neighbors & Flavors program. During the month of September, the library is hosting a costume drive to collect gently used Halloween attire for ages birth to 12. The public will be able to shop the *free* Costume Closet on October 1 in the library.

Scroll down for additional highlights.

**Johnson County Libraries Booth
at the Johnson County Fair**



People viewed the stars inside the planetarium during the Ad Astra Mobile Planetarium program

**Portable Mural celebrates community and creativity
with artist Johamy Narvaez and local youth artists**



**The library held its first professionals' mixer in
partnership with the Immigrant Entrepreneurs Summit**

**Blackout Poetry Winner, Deena
Adult Summer Reading Program**



Staff, Kayla and Zoe,
at the Play Garden
outside the library,
which has been a
popular addition to
our outside space
this summer





To **North Liberty Mayor and City Council Members**
CC **City Administrator Ryan Heiar**
From **Water Superintendent Greg Metternich**
Date **September 1, 2023**
Re **Monthly Report – August 2023**

In the month of August, we treated a total of 46,176,000 gallons of water, our average daily flow was 1,490,000 gallons, and our maximum daily flow was 1,763,000 gallons. The total amount of water used in the distribution system was about 10.6% higher than August 2022.

We have had a busy month with 9,239 accounts read, 39 re-reads, 330 service orders, 66 shut-offs, 65 re-connects for water service, 180 shut-off notices delivered, 23 new meter set inspections, 11-meter change outs, 20 MIU change outs, assisted 32 customers with data logging information, 69 calls for service, and 14 after hour or emergency calls. Our monthly total service work averaged 35 service orders per day.

We replaced two fire hydrants on St. Andrews Drive last month. While working on the first hydrant the eight-inch by six-inch hydrant tee broke at the water main, this required us to remove our shoring system, excavate a larger area, install a larger trench box safety system, cut the water main, install solid sleeves, a section of water main, and a new tee. This repair added about 5 hours to the job.

Dave Schmit Construction finished installing a water main loop connecting South Jones Blvd. to Forevergreen Rd. through the University Hospital site. This required a water main shut-down on South Jones to install a tee and valve system. The water main has been filled, flushed, bacteria tested, pressure tested, and put into service.

Saturday August 26th, we received a call about a water leak at 5 Dickson Drive, the service saddle had blown off the water main, these are the owned by the property owner and we don't usually do the repairs. This leak was large enough it started to undermine the road so we went ahead and called in additional staff and made the necessary repairs. The property owner was on site and will be paying for the repair.

Concrete repairs were made at two different locations on Heritage Drive, one on North Dubuque Street, one on St. Andrews, and a small one on Penn Street. We will be working on grading and seeding all our repair sites in the next few weeks.

Staff has continued to work on our Lead and Copper inventory list, currently we have collected data on 6,342 properties and have 2,937 unknowns. We were able to identify 62 services in the month of August. As of the date of this report, I am not aware of any Lead service lines, and we have not found any connected to our distribution system.

Water Superintendent
Greg Metternich