



**North Liberty Planning Commission
Tuesday, September 5, 2023, 6:30 PM
North Liberty City Council Chambers
1 Quail Creek Circle, North Liberty, Iowa 52317**

This meeting may be accessed live by the public in person or on the internet at northlibertyiowa.org/live, on Facebook at facebook.com/northliberty or on YouTube at youtube.com/northliberty. Meetings are rebroadcast on cable and available on-demand on northlibertyiowa.org.

Call to Order

- 1. Roll Call**
- 2. Approval of the Agenda**
- 3. Private Street Name:** Request of the City of North Liberty to establish "1 Steindler Way" as a private street name.
 - a. Staff Presentation
 - b. Public Comments
 - c. Questions and Comments
 - d. Recommendation to the City Council
- 4. Private Street Name:** Request of the City of North Liberty to establish "Sweetwater Lane" as a private street name.
 - a. Staff Presentation
 - b. Public Comments
 - c. Questions and Comments
 - d. Recommendation to the City Council
- 5. Preliminary Site Plan:** Request of North Liberty Storage LLC to approve a Preliminary Site Plan for an outdoor self-storage facility on 2.71 acres. The property is located at the southern terminus of North Madison Avenue (Proposed Lot 11 of Water Tower Place Subdivision).
 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council

- 6. Public Hearing on Zoning Map Amendment:** Request of Pratt Real Estate Management, Inc. for a zoning map amendment (rezoning) on approximately 1.59 acres from RS-9 Single-Unit Residence District to RD-10 Two-Unit Residence District. The property is located on the west side of North Jones Boulevard approximately 465 feet south of 240th Street.

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council

- 7. Public Hearing on Zoning Map Amendment and Preliminary Subdivision Plat:** Request of Pratt Real Estate Management, Inc. for a zoning map amendment (rezoning) on approximately 6.24 acres from ID Interim Development District and RS-9 Single-Unit Residence District to RD-10 PAD Two-Unit Residence District Planned Area Development and a Preliminary Subdivision Plat for a 24-lot subdivision on approximately 6.24 acres. The property is located at the southwest corner of North Jones Boulevard 240th Street.

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council

- 8. Public Hearing on Zoning Map Amendment:** Request of Scanlon Family, LLC. For a zoning map amendment (rezoning) on approximately 5.28 acres from RS-6 Single-Unit Residence District to RD-8 Two-Unit Residence District. The property is located on the north side of Berkshire Lane as extended westerly 85' from its current terminus in Greenbelt Trail, Part 2 Subdivision.

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council

9. Preliminary Subdivision Plat: Request of Scanlon Family, LLC. to approve a Preliminary Subdivision Plat revision for a 22-lot subdivision on approximately 5.28 acres. The property is located on the north side of Berkshire Lane as extended westerly 85' from its current terminus in Greenbelt Trail, Part 2 Subdivision.

- a. Staff Presentation
- b. Applicant Presentation
- c. Public Comments
- d. Questions and Comments
- e. Recommendation to the City Council

10. Public Hearing on Street Vacation: Request of the City of North Liberty to vacate North Front Street between Cherry Street and North Dubuque Street.

- a. Staff Presentation
- b. Public Comments
- c. Questions and Comments
- d. Recommendation to the City Council

11. Public Hearing on Ordinance: Request of the City of North Liberty for an Ordinance amending Chapters 139, 165, 166, 167, 168, 169 and 173 of the North Liberty Code of Ordinances, amending regulations for naming of streets, conditions for construction site plan approval, zoning map amendments, and required comprehensive plan components, adding new and updating definitions, amending certain residential districts and combining the C-2-A and C-2-B Zoning Districts, amending bulk requirements in certain residential and commercial districts, zoning use matrix and zoning use standards, off-street parking regulations, maximum fence height in residential districts, accessory structure standards, and permitted encroachments in required yards.

- a. Staff Presentation
- b. Public Comments
- c. Questions and Comments
- d. Recommendation to the City Council

12. Approval of Previous Minutes

13. Old Business

14. New Business

15. Adjournment



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **September 1, 2023**
 Re **Request of the City of North Liberty to establish "1 Steindler Way" as a private street name.**

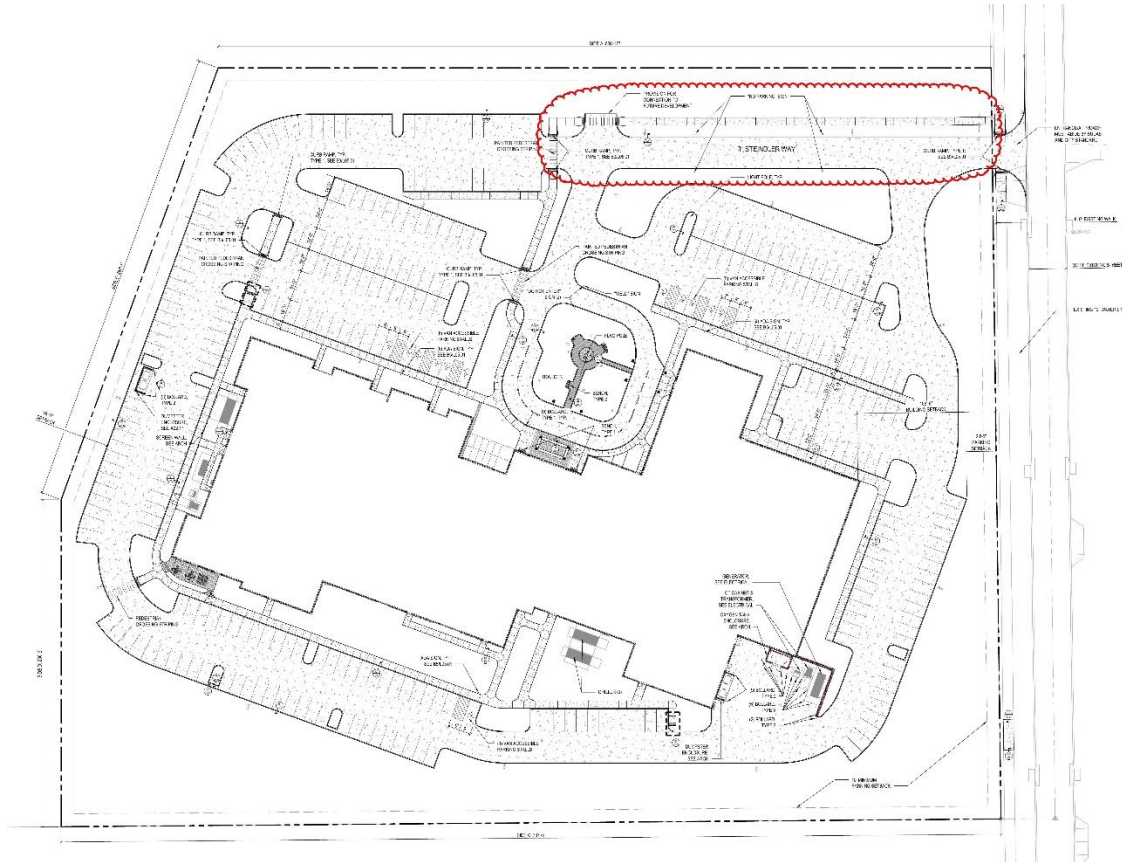
North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

At the time of preliminary site plan approval, the private street name was not depicted on the Steindler Orthopedic Clinic preliminary site plan. This request proposes to name the entrance street "1 Steindler Way".





2. Public Input:

No public input has been received.

3. Additional Considerations:

Pursuant to Section 139.01 (3) of the Zoning Code:

Proposed street names shall be referred to the Planning and Zoning Commission for review and recommendation.

The Police and Fire Department indicated no objection to the street name.

4. Staff Recommendation:

Finding:

1. The street name is unique and would achieve consistency with City street naming requirements.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request to establish "1 Steindler Way" as a private street name to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the request to establish "1 Steindler Way" as a private street name to the City Council with a recommendation for approval.



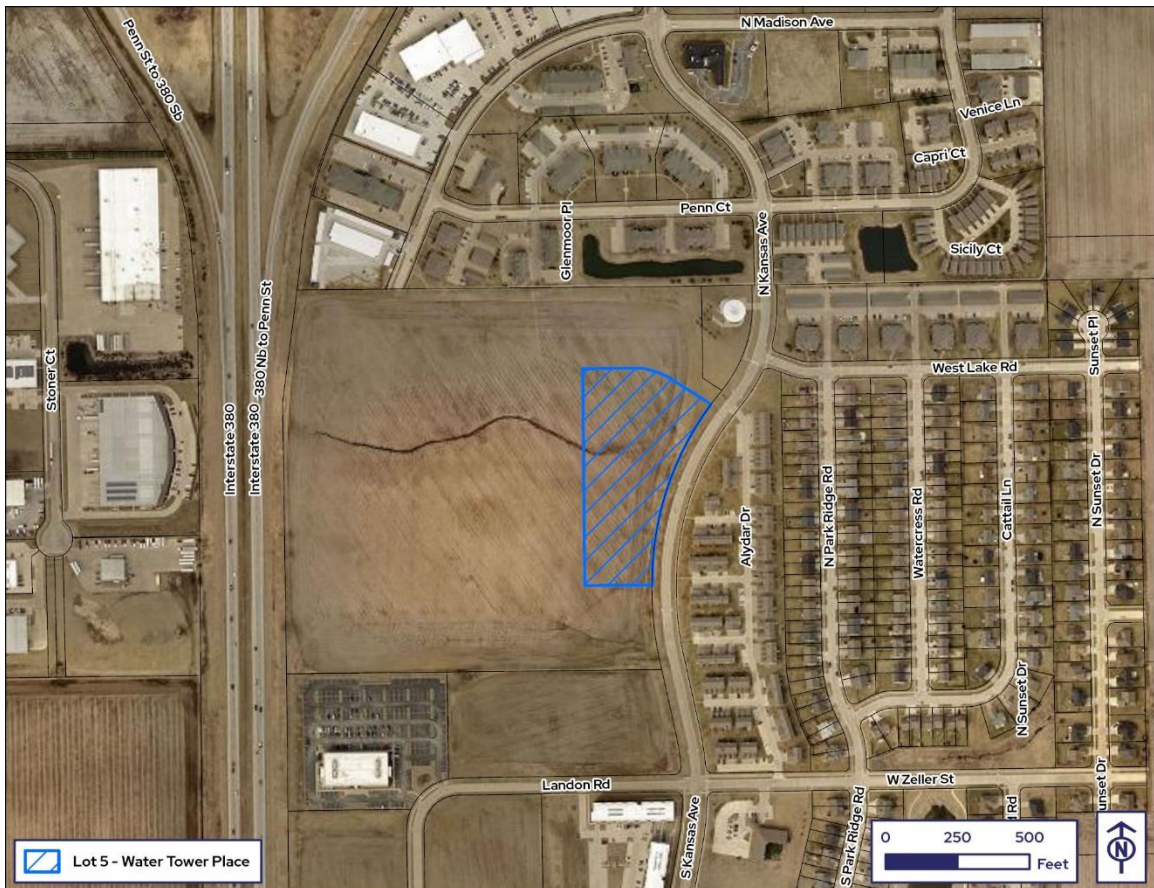
To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **September 1, 2023**
 Re **Request of the City of North Liberty to establish "Sweetwater Lane" as a private street name.**

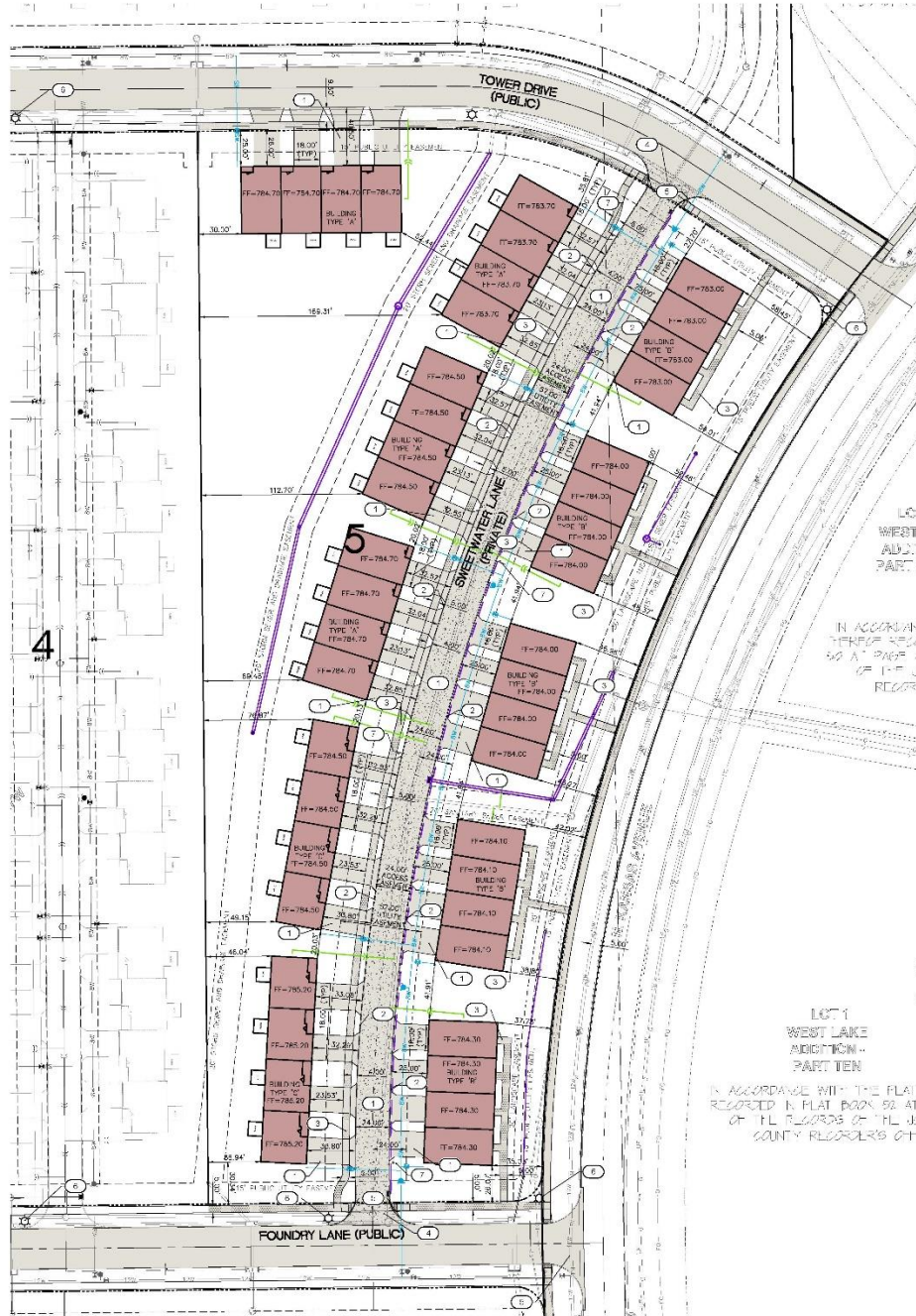
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- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

At the time of preliminary site plan approval, the private street name was not depicted on the Lot 5 – Water Tower Place site plan. This request proposes to name the private street "Sweetwater Lane".





2. Public Input:

No public input has been received.

3. Additional Considerations:

Pursuant to Section 139.01 (3) of the Zoning Code:

Proposed street names shall be referred to the Planning and Zoning Commission for review and recommendation.

The Police and Fire Department indicated no objection to the street name.

4. Staff Recommendation:

Finding:

1. The street name is unique and would achieve consistency with City street naming requirements.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request to establish "Sweetwater Lane" as a private street name to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the request to establish "Sweetwater Lane" as a private street name to the City Council with a recommendation for approval.

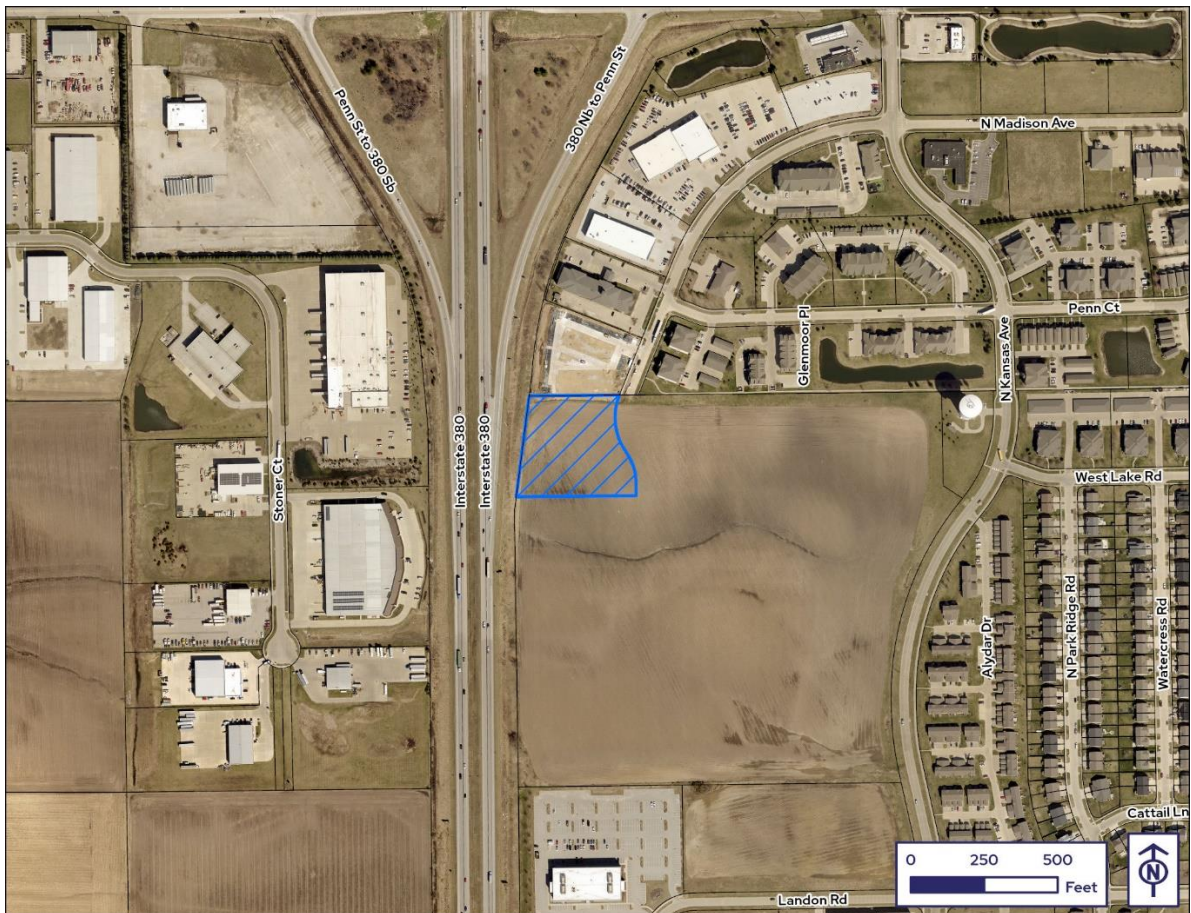


To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **September 1, 2023**
 Re **Request of North Liberty Storage LLC to approve a Preliminary Site Plan for an outdoor self-storage facility on 2.71 acres. The property is located at the southern terminus of North Madison Avenue (Proposed Lot 11 of Water Tower Place Subdivision).**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

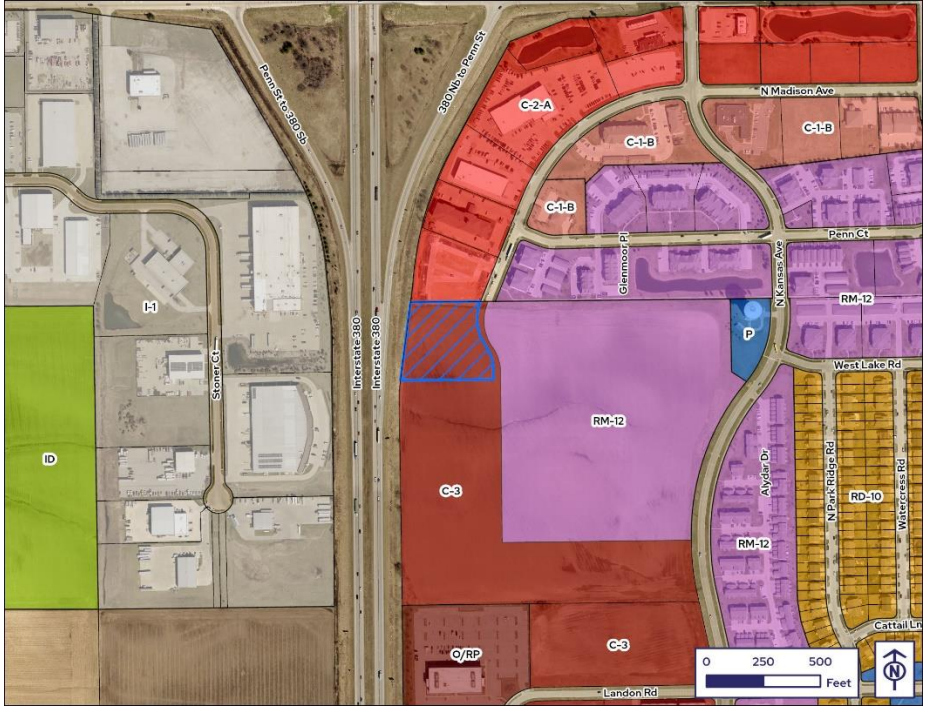
- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. **Request Summary:** The site plan proposes 271 outdoor self-storage units in six buildings on approximately 2.71 acres.



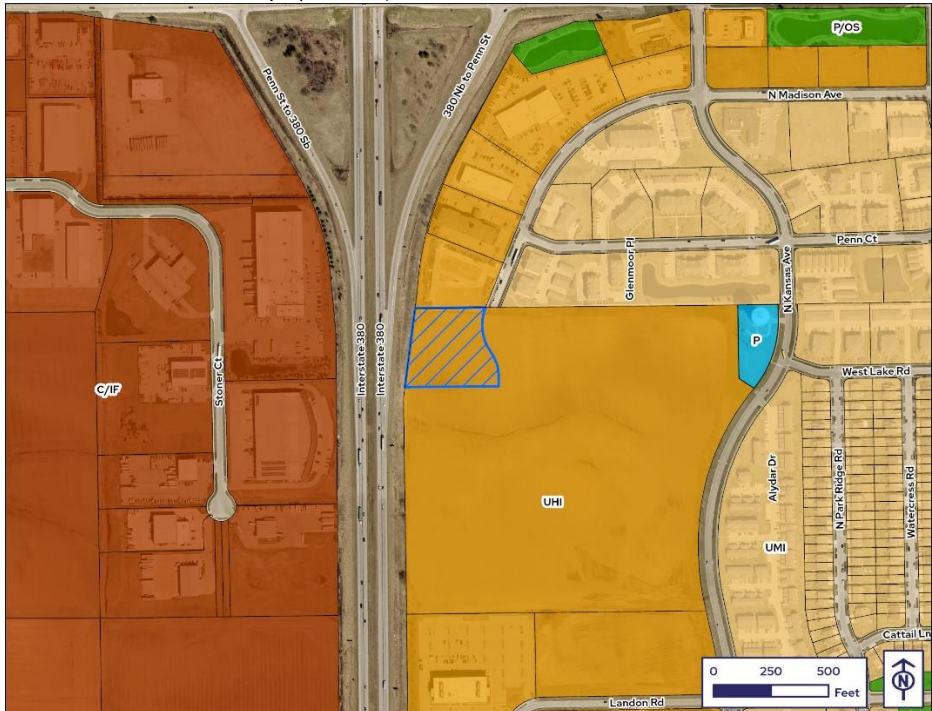
2. Existing Zoning: C-3 Higher Intensity Commercial District. "Outdoor Self-Storage Facility" is listed as a conditional use in the C-3 District. **As such, the conditional use must be approved by the Board of Adjustment.**

Zoning Map



3. Comprehensive Plan Future Land Use Map Designation: Urban High Intensity.

Future Land Use Map (FLUM)



5. Approval Standards:

Section 165.05(2)(E) of the North Liberty Code of Ordinances sets forth the approval standards (ordinance language in *italics* and staff analysis in **bold**).

E. *Approval Standards. The Planning Commission's recommendation to the City Council and the City Council's decision to approve or disapprove a preliminary site plan shall be informed by the preliminary site plan's adherence to the following standards:*

(1) *The consistency of the preliminary site plan with all adopted ordinances and regulations.*

See analysis below.

(2) *The consistency of the proposed land use with the Comprehensive Plan and any adopted land use policies. The submission of a preliminary site plan which proposes one or more uses inconsistent with the City's Future Land Use Map creates a rebuttable presumption that said use or uses are inharmonious with surrounding properties and incompatible with orderly development and redevelopment.*

The C-3 District is consistent with the UHI Land Use Map designation.

Analysis of adopted ordinances and regulations.

Section 168.07(72)(B) of the North Liberty Code of Ordinances sets forth the Outdoor Self-Storage Use Standards (ordinance language in *italics* and staff analysis in **bold**). Please note, City staff is recommending amendments to Use Standards (proposed amendments shown in **red**).

(1) *Storage units cannot be used for residential occupancy or business.*

(2) *No plumbing connections are permitted in self-storage units.*

(3) *Outdoor self-storage facilities shall be oriented to the best extent possible so that storage unit access doors do not face the public right-of-way, or residential districts as set forth in Section 168.02.*

(4) *Facades not facing the exterior of the property are not subject to the masonry requirements set forth in Section 169.10.*

(5) *Commercial district design standards.*

(a) *Exterior facades that face a right-of-way or adjoining residential district shall include the following:*

(i) *Color, texture and building material changes.*

(ii) *Wall articulation change of no less than two feet in depth or projection every 50 feet.*

(iii) *Wall articulation change no less than two feet in vertical elevation every 50 feet in building width. The change in elevation shall extend a minimum of 20 feet in building width.*

(iv) *Exterior facades that face a right-of-way or adjoining residential district shall include windows or faux windows.*

Staff worked with the applicant to achieve a higher design standard, which served as the basis for the proposed amendment to outdoor self-storage facilities. It is staff's opinion that the site plan achieves consistency with the aforementioned use standards as adopted and proposed.

However, since the ordinance amendment eliminating the required masonry for facades not facing the exterior of the property has not been approved, staff is recommending a condition requiring the 60% masonry requirement on all exterior facades if the ordinance is not approved.

Section 165.05(2)(D) of the North Liberty Code of Ordinances entitled, "Preliminary Site Review" sets forth the submission requirements (ordinance language in *italics* and staff analysis in **bold**).

- *Date, north arrow and graphic scale.* **Provided.**
- *The property owner's name and description of proposed development.* **Provided.**
- *A vicinity sketch showing the location of the property and other properties within 1,000 feet of it.* **Provided.**
- *Property boundary lines, dimensions, and total area.* **Provided.**
- *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the site plan.* **Provided.**
- *The location of existing streets, sidewalks, easements, utilities, drainage courses.* **Provided.**
- *The total square feet of building floor area, both individually and collectively.* **Provided.**
- *All structures and major features shall be fully dimensioned including distance between structures, distance between driveways, parking areas, property lines and building height.* **Provided.**
- *Off-street parking areas, ingress and egress to the property, number of parking spaces proposed, number of parking spaces required by this code and type of surfacing.* **Provided.**
- *Pedestrian walkways with special consideration given to pedestrian safety.* **Provided.**
- *Trash and refuse enclosures.* **Provided.**
- *The general drainage pattern and location of storm water detention features.* **Provided.**
- *The general location, type and size of landscaping and ground cover illustrated in color perspective.* **Provided.**
- *A rendering, elevation or photo of the proposed development.* **Provided.**

North Liberty Code of Ordinances Section 169.10 entitled, "Design Standards" sets forth certain design standards.

Requirements for All Districts (ordinance language in *italics* and staff analysis in **bold**).

- *Building design shall be visually harmonious and compatible with the neighborhood character.*
- *Buildings located on property with double frontages shall have similar wall design facing both streets.*
- *Except for RS RD, R-MH and ID districts, color schemes shall be primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas*

- may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited.*
- *Except in the R-MH district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs and there shall be a minimum roof overhang at the eaves of 12 inches. This does not apply to portions of a roof that are separate from the structure's primary roof. Metal roofs shall not be corrugated or similar appearance. The color of the roof shall be visually harmonious and compatible with the building color scheme.*

It is staff's opinion that the site plan achieves consistency with the aforementioned design standards.

Requirements for Development in Commercial Districts (ordinance language in *italics*).

- *Design. To achieve appealing aesthetic design through high quality architecture and construction, with attention to placement, relationship, and orientation of structures and amenities to provide both internal cohesiveness and compatibility with surrounding uses.*
- *Walkability. To achieve overall development patterns that encourage walking and reduce dependence on the automobile to travel from one business to another, and so reduces the dominance of the automobile within the development.*
- *Human-scale Activity. To achieve a sense of place by emphasizing pedestrian interaction with commercial uses rather than sprawling automobile-dominated designs, both in building architecture and public or private outdoor areas.*
- *Compatible Uses. To achieve the right blend of uses, compact and well-designed, that complement each other and provide cohesive overall developments.*
- *Materials. Minimum required masonry on all building elevations is 60%. Exterior walls not composed of masonry products shall not be covered with ribbed.*

It is staff's opinion that the site plan achieves consistency with the aforementioned design standards with the exception of the 60% masonry requirement. Since the ordinance amendment eliminating the required masonry for facades not facing the exterior of the property has not been approved, staff is recommending a condition requiring the 60% masonry requirement on all exterior facades if the ordinance is not approved.

6. Staff Recommendation:

Pursuant to Section 166.02(7)(D) of the Zoning Ordinance:

It shall be the duty of the Commission to review and comment on conditional use applications. The application shall be accompanied by maps, drawings, or other documentation in support of the request. The granting of a conditional use shall not exempt the applicant from compliance with other relevant provisions of related ordinances.

Recommendation to Board of Adjustment:

Staff recommends the Planning Commission forward the request to approve a conditional use for an outdoor self-storage facility on 2.71 acres to the Board of Adjustment with a recommendation for approval subject to the following condition:

1. All facades shall be subject to the 60% masonry requirements set forth in Section 169.10 unless the ordinance amendment for outdoor self-storage facilities is adopted, which would eliminate the required masonry on facades not facing the exterior of the property.

Suggested motion to Board of Adjustment:

I move that the Planning Commission forward the conditional use to the Board of Adjustment with a recommendation for approval subject to the condition recommended by City staff.

Finding for Recommendation City Council:

1. The preliminary site plan would achieve consistency with the approval standards enumerated in Section 165.05(2)(E) of the Zoning Code.

Recommendation to City Council:

Staff recommends the Planning Commission accept the listed finding and forward the request to approve a preliminary site plan for an outdoor self-storage facility on 2.71 acres to the City Council with a recommendation subject to the following condition:

1. All facades shall be subject to the 60% masonry requirements set forth in Section 169.10 unless the ordinance amendment for outdoor self-storage facilities is adopted, which would eliminate the required masonry on facades not facing the exterior of the property.

Suggested motion to City Council:

I move that the Planning Commission accept the listed finding and forward the preliminary site plan to the City Council with a recommendation for approval subject to the condition recommended by City staff.



CIVIL ENGINEERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS
1917 S. GILBERT ST.
IOWA CITY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date: Revision:
7-21-2023 PER CITY COMMENTS

PRELIMINARY SITE PLAN WATER TOWER PLACE, LOT 11 NORTH LIBERTY, IOWA

APPLICANT: KEVIN KIDWELL
2162 SUGAR BOTTOM ROAD
SOLON, IA 52333

OWNER: DANNOVAN HOLDINGS
1650 LINER LANE
NORTH LIBERTY, IA 52317

LEGAL DESCRIPTION: LOT 11 WATER TOWER PLACE, NORTH LIBERTY, JOHNSON COUNTY, IOWA, SAID TRACT OF LAND CONTAINS 2.70 ACRES, AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

PROPOSAL: APPLICANT PLANS TO DEVELOP 6 STORAGE UNIT BUILDINGS TO BE LOCATED ON A 2.70 ACRE SITE.

PHASE	AREA OF WORK	LAND USE TYPE(S)	CONSTRUCTION PERIOD
LOT 11	STORAGE UNITS		FALL 2023 THRU SPRING 2024

DEVELOPMENT CHARACTERISTICS
CURRENT ZONING: C-3
SETBACK REQUIREMENTS:
BUILDING SETBACKS: 25 FEET
FRONT YARD: 25 FEET
CORNER SIDE YARD: 25 FEET
SIDE YARD: 10 FEET
REAR YARD: 10 FEET

PARKING REQUIREMENTS:
SELF STORAGE: 1 SPACE PER 25 STORAGE UNITS = 11 SPACES (271 UNITS)
PARKING SPACES SHALL BE LOCATED AT FRONTS OF UNITS
FRONT YARD: 10 FEET
SIDE YARD: 5 FEET
REAR YARD: 5 FEET

MINIMUM LOT REQUIREMENTS:
LOT AREA: 20,000 SF
LOT FRONTAGE: 35 FEET
LOT WIDTH: 35 FEET
MAXIMUM BUILDING HEIGHT: 75 FEET

LOT CHARACTERISTICS:
LOT AREA: 117,470 SF (100% 2.70 AC)
BUILDING AREA - PROPOSED: 41,974 SF (38.7%)
PAVING AREA - PROPOSED: 48,916 SF (44.8%)
GREEN SPACE AREA: 26,304 SF (25.4%)

LIGHTING:
WALL MOUNTED LIGHTS NOT TO BE FORWARD THROWING.
MAXIMUM WATTAGE = 280 WATTS.
LIGHT SPREAD SHALL NOT IMPACT BEYOND PROPERTY LIMITS.

UTILITIES:
ALL PROPOSED UTILITIES SHOWN ARE PRIVATE UNLESS NOTED AS PUBLIC ON THIS PLAN.
NOTES:
- 4" PCC OVER 4" GRANULAR BASE SHALL BE DESIGNED TO SUPPORT FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
- THERE WILL BE NO DUMPSTERS ON THIS SITE.

PAVING LEGEND	
	6" PCC OVER 6" GRANULAR BASE (47,540 SF)
	4" PCC (1,652 SF)

INCLUDING OFFSITE PAVING

NUMBER	KEYNOTE
1	INSTALL 6" HIGH DECORATIVE STEEL FENCE AND GATE. COORDINATE FENCE MANUFACTURER WITH OWNER PRIOR TO CONSTRUCTION.
2	INSTALL 4" HIGH DECORATIVE STEEL FENCE AND GATE. COORDINATE FENCE MANUFACTURER WITH OWNER PRIOR TO CONSTRUCTION.
3	GATE ACCESS WITH A KNOX KEY PER FIRE DEPARTMENT.
4	SUDAS CONCRETE DRIVEWAY TYPE B WITH RADI
5	GATE VALVES TO BE LOCATED WITHIN PAVING TO BE REPLACED WITH SLIDE-TYPE VALVE BOX WITH FLANGE (TYP)
6	FIRE LANE: PROVIDE PAINT AND SIGNAGE PER CITY REQUIREMENTS

STANDARD LEGEND AND NOTES

SYMBOL	DESCRIPTION
---	PROPERTY &/or BOUNDARY LINES
---	CONGRESSIONAL SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING CENTER LINES
---	CENTER LINES
---	EXISTING RIGHT-OF-WAY LINES
---	LOT LINES, INTERNAL
---	LOT LINES, PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER

PROF: 22-1

SYMBOL	DESCRIPTION
---	POWER POLE
---	POWER POLE W/DRP
---	POWER POLE W/TRANS
---	POWER POLE W/LIGHT
---	LIGHT POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	WATER LINES
---	ELECTRICAL LINES
---	TELEPHONE LINES
---	GAS LINES
---	FIBER OPTIC
---	OVERHEAD ELECTRIC
---	CONTOUR LINES (INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE
---	EXISTING DECIDUOUS TREE & SHRUB
---	EXISTING EVERGREEN TREE & SHRUB

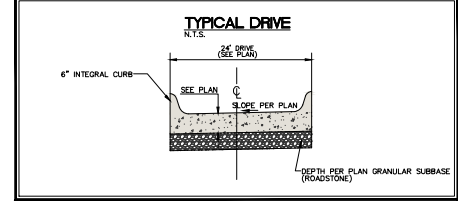
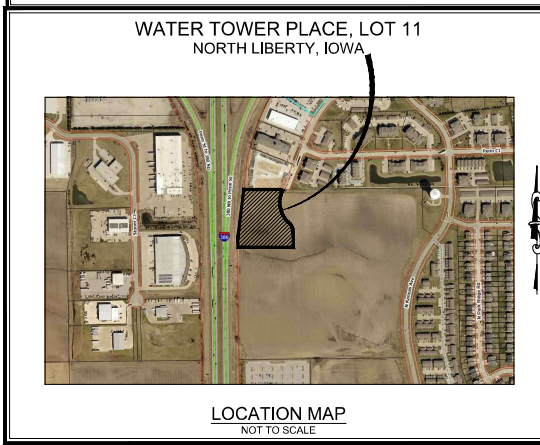
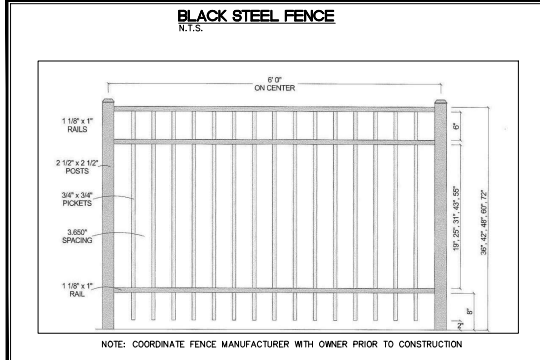
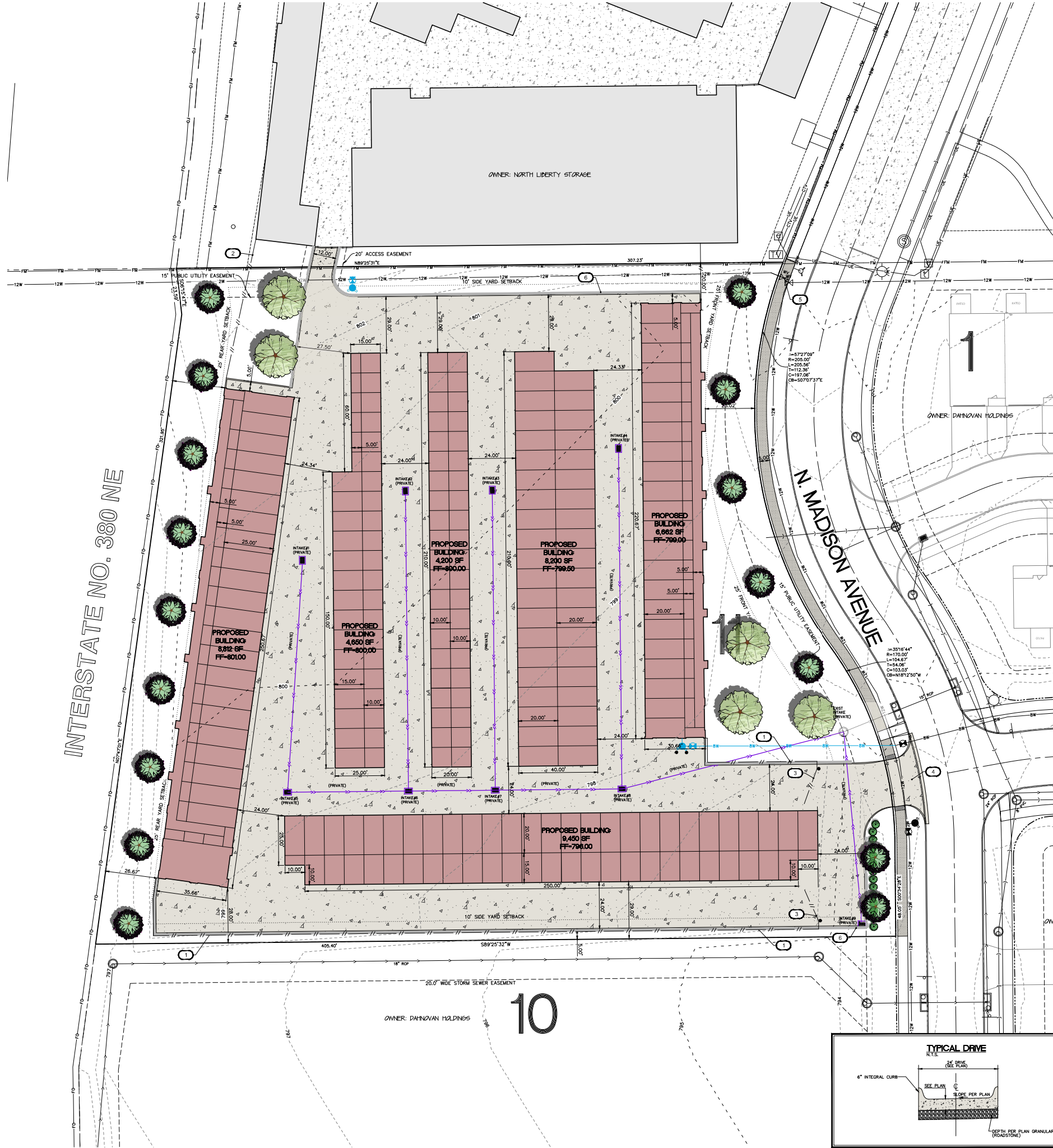
THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBJECT TO THE APPROVAL OF THIS DOCUMENT.

LANDSCAPE REQUIREMENTS

1 TREE FOR EVERY 2,000 SF OF BUILDING FOOTPRINT.
41,774 / 2,000 = 21 TREES

CONCEPT PLANT SCHEDULE

SHADE TREE	5
ORNAMENTAL TREE	16
EVERGREEN SHRUB	14



IOWA ONE CALL

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800/282-8889 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FACILITIES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THESE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IF IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREBY. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

I hereby certify that this engineering document was prepared by me or under my direct supervision and I am a duly licensed Professional Engineer under the laws of the State of Iowa.

CHRISTOPHER A. THOMPSON, P.E. Iowa Lic. No. 25333
October 31, 2023

SEAL

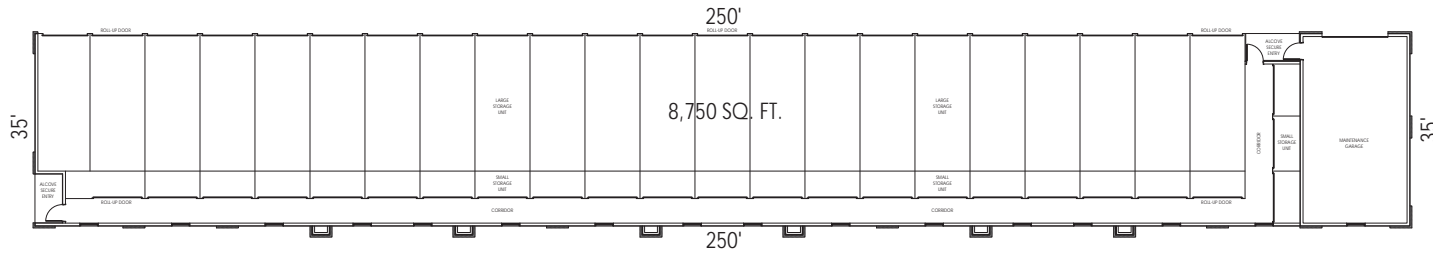
LOT 11 WATER TOWER PLACE NORTH LIBERTY JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.
Date: 07-21-2023
Designed by: CAT
Drawn by: ADP
Checked by: CAT
Project No: 1963-082
Field Book No:
Scale:
Sheet No: 1
of: 1





(W) WEST ELEVATION (PROPOSED) - HIGHWAY VIEW
NOTE: SEE EXISTING ELEVATION (EXIST)
Scale: 1/8" = 1'-0"



(1) FLOOR PLAN (PRELIMINARY)
NOTE: FINAL LAYOUT & DIMENSIONS TO BE DETERMINED
Scale: 1/8" = 1'-0"

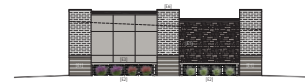


ELEVATION KEYED NOTES (TYPICAL)

- (S1) 4IN HORIZONTAL BRICK - 1A STORE NECESSARY BRICK LINE
- (S2) VENER BRICK WINDOW - 4IN 6IN 6IN BRICK GAUGE
- (S3) STONE BALCONY RAMP
- (S4) WINDOW CORNER BRICK - 4IN 6IN 6IN
- (S5) SHINGLE BRICK CORNER BRICK - 4IN 6IN 6IN
- (S6) PRIVATE GAR PLUMBING CLASSIC & METAL TRIM PREFERRED BLACK
- (S7) BRICK TRIM CORNER & DORMER OR 4IN 6IN 6IN BLACK
- (S8) ROLL UP DOOR AND DOOR BRICK
- (S9) INSULATED ALUMINUM METAL DOOR & TRIM, 4IN 6IN 6IN BRICK
- (S10) ALUMINUM CORNER WINDOW SYSTEM BLACK GRAB BRICK
- (S11) WINDOW BRICK CORNER BRICK TRIM 4IN 6IN 6IN
- (S12) WINDOW BRICK CORNER BRICK TRIM 4IN 6IN 6IN
- (S13) WINDOW BRICK CORNER BRICK TRIM 4IN 6IN 6IN



(N) NORTH ELEVATION (PROPOSED)
NOTE: SEE EXISTING ELEVATION (EXIST)
Scale: 1/8" = 1'-0"



(S) SOUTH ELEVATION (PROPOSED)
NOTE: SEE EXISTING ELEVATION (EXIST)
Scale: 1/8" = 1'-0"



(E) EAST ELEVATION (PROPOSED) - INTERIOR DRIVE VIEW
Scale: 1/8" = 1'-0"



PRELIMINARY DRAWING
NOT TO BE USED FOR CONSTRUCTION PURPOSES

REVISIONS		DESCRIPTION
#	DATE	BY

THIS IS AN INSTRUMENT OF PROFESSIONAL SERVICE PROVIDED BY SELECT STRUCTURAL ENGINEERING, LLC. DO NOT REPRODUCE OR TRANSMIT IN ANY MANNER WITHOUT WRITTEN PERMISSION.

PROJECT: NORTH LIBERTY SELF STORAGE
ADDRESS: MADISON AVENUE
CITY: NORTH LIBERTY, IOWA
DESIGNER: KEVIN KIDWELL

SHEET TITLE: PROPOSED WEST BUILDING ELEVATIONS & PLAN

DESIGNED BY:	AKS
CHECKED BY:	
APPROVED BY:	
JOB DATE:	03/20/23
JOB NO.:	23173

PAGE NO.: A-101

606 14TH AVE SW
CEDAR RAPIDS, IA 52404
319-365-1150

2435 KIMBERLY RD.
SUITE 240S
BETTENDORF, IA 52722
563-359-3117



#	DATE	BY	DESCRIPTION

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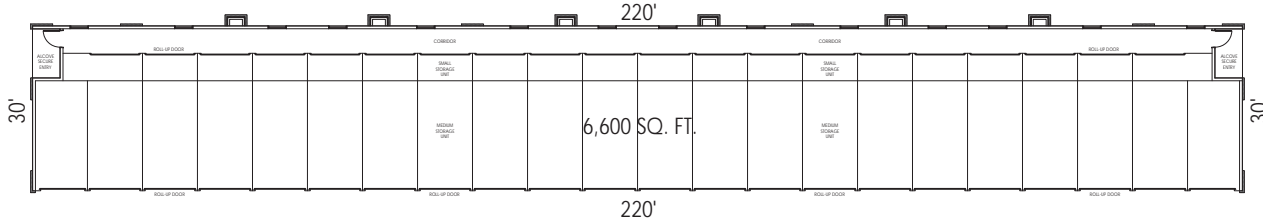
NORTH LIBERTY SELF STORAGE
MADISON AVENUE
NORTH LIBERTY, IOWA
KEVIN KIDWELL

SHEET NO. 1
PROPOSED EAST BUILDING ELEVATIONS & PLAN

DATE: 03/20/23
JOB DATE: 2/21/23
JOB NO.:
PAGE NO. A-102



E EAST ELEVATION (PROPOSED) - STREET VIEW
NOTE: SEE ARCHITECT'S EXTERIOR FINISH SCHEDULE
Scale: 1/8" = 1'-0"

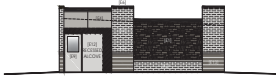


1 FLOOR PLAN (PRELIMINARY)
NOTE: FINAL LAYOUT & FEE BARBERS TO BE DETERMINED
Scale: 1/8" = 1'-0"



ELEVATION KEYED NOTES (TYPICAL)

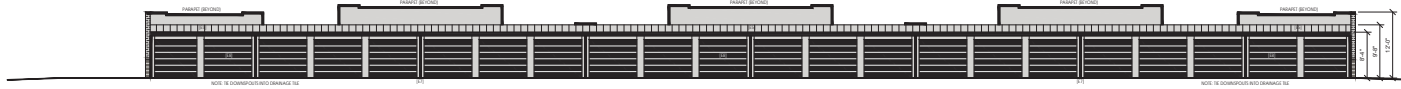
- (E1) TAN BRICK SOME MASONRY - 1 1/2" & SOME VENEER/CLAY BRICK-LIKE
- (E2) VENEER BRICK MASONRY - HANG KINGS OR/VA BLACK GLAZED
- (E3) STONE SLAB/CLAY BRICK
- (E4) WHITE CONCRETE/PAINTED PANEL "TRAIL COPY"
- (E5) STAINLESS STEEL/SCH 40 DOWN-SLOPE GALVANNEED
- (E6) PAINTED CAP/SLABS/CLAY BRICK & METAL TRIM/PREFINISHED "BLACK"
- (E7) HANG TRIM GUTTER & DOWNSPOUTS (OR W/OUT) "BLACK"
- (E8) ROLL-UP DOOR/DOOR "BLACK"
- (E9) ISOLATED HANGING METAL DOORS & PANELS GALVANNEED (PAINTED)
- (E10) ALUMINUM CORNER/FRONT/STORY "BLACK" TRIM/FRAME
MID-COLOR BRICK/CLAY/SLATE/CLAY BRICK
- (E11) LANDING/FRONT (SEE CIVIL PLAN)
- (E12) METAL PANEL WITH CONCRETE/GASTEM "WHITE"
- (E13) VENEER BRICK/CLAY MASONRY "SLATE" VENEER/LIKE



5 NORTH ELEVATION (PROPOSED)
NOTE: SEE ARCHITECT'S EXTERIOR FINISH SCHEDULE
Scale: 1/8" = 1'-0"



5 SOUTH ELEVATION (PROPOSED)
NOTE: SEE ARCHITECT'S EXTERIOR FINISH SCHEDULE
Scale: 1/8" = 1'-0"



W WEST ELEVATION (PROPOSED) - INTERIOR DRIVE VIEW
NOTE: SEE ARCHITECT'S EXTERIOR FINISH SCHEDULE
Scale: 1/8" = 1'-0"



PRELIMINARY DRAWING
NOT TO BE USED FOR CONSTRUCTION PURPOSES

I:\SS\CS\3807\3807.dwg, 03/21/23 11:03 AM, User: kevin.kidwell, Plot Date: 03/21/23 11:03 AM, Plot Scale: 1/8" = 1'-0"



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **September 1, 2023**
 Re **Request of Pratt Real Estate Management, Inc. for a zoning map amendment (rezoning) on approximately 1.59 acres from RS-9 Single-Unit Residence District to RD-10 Two-Unit Residence District. The property is located on the west side of North Jones Boulevard approximately 465 feet south of 240th Street.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

The request proposes to rezone a portion of the proposed Solomon’s Landing development to allow Single-Unit Zero Lot Line Dwellings.



2. Current and Proposed Zoning:

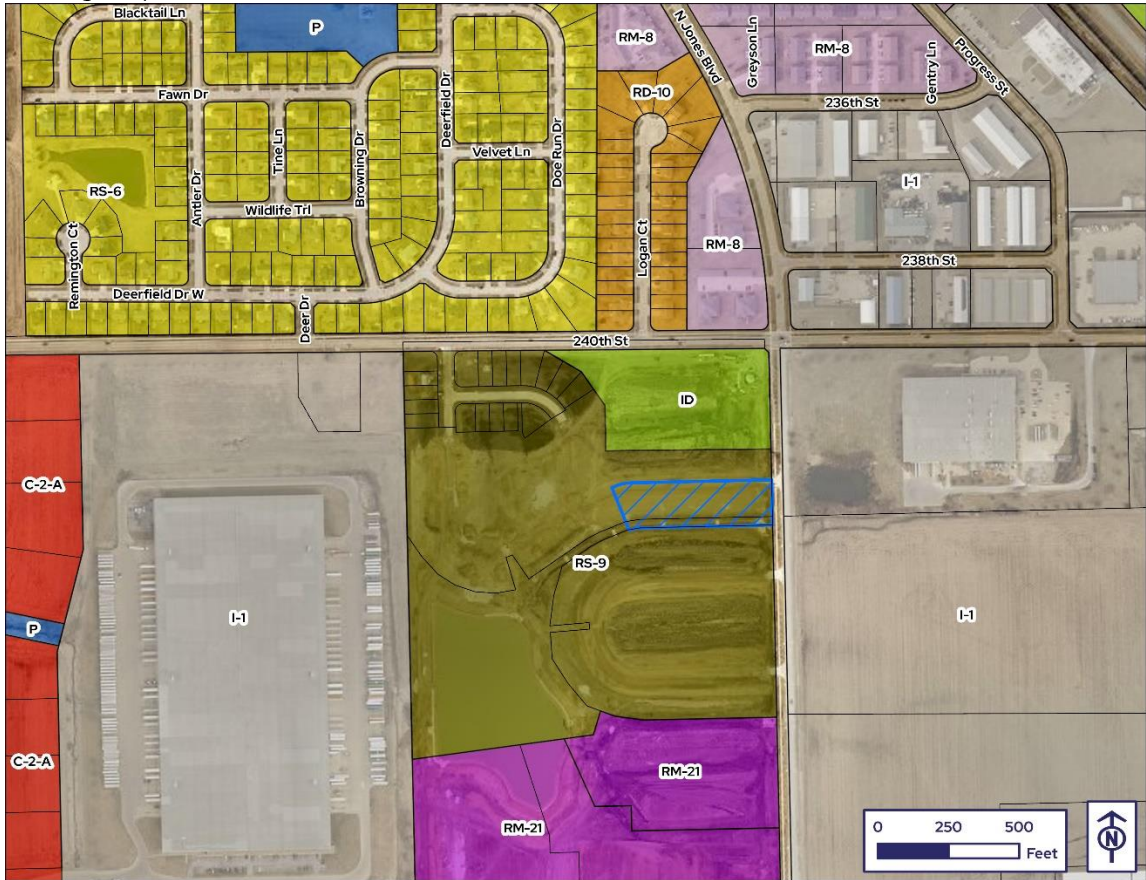
Current Zoning

RS-9 Single-Unit Residence District. The RS-9 District is intended to provide for and maintain high-density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-9 District.

Proposed Zoning

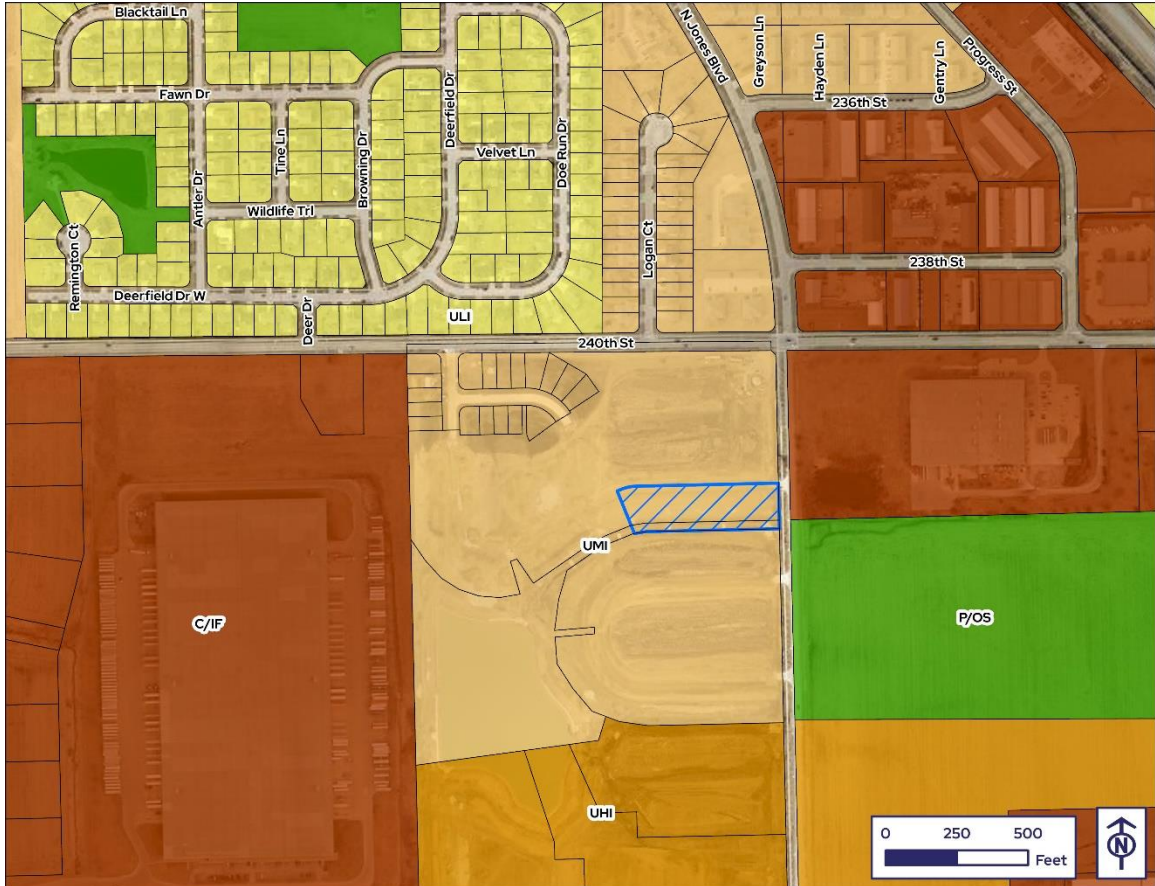
RD-10 Two-Unit Residence District. The RD-10 District is intended to allow for attached single-unit dwellings joined together on a common boundary line with a common wall between the units. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RD-10 District.

Zoning Map



3. Consistency with Comprehensive Plan Land Use Designation: Urban Medium Intensity.

Future Land Use Map (FLUM)



Urban Medium Intensity Description

More variety in housing arrangements and more allowance for activity areas that draw people from outside the immediate area for services or recreation. Increased intensity (compared to ULI) improves opportunities for economic activity and social interaction. Medium intensity areas include mostly a horizontal mix of residential and non-residential uses at compatible moderate densities and scale, although there may be opportunities for vertical mixed-use.

Residential

Uses include a variety of housing types that may be on smaller lots. Housing mix can include single-family detached homes, duplexes, townhomes, and multifamily buildings to create integrated neighborhoods.

Form and Features

- » General aggregate development density of 7 to 14 dwelling units per acre. Innovative designs should allow more public spaces than ULI.
- » Attached housing developments maintain the identity of the individual housing units.
- » High connectivity with multiple access points into neighborhoods. As compared to ULI, UMI encourages closer proximity between transportation, housing, and commercial services.

4. Public Input:

A virtual good neighbor meeting was held on July 18, 2023. City staff, one member of the Planning Commission and the applicant attended the meeting. There are no formal objections to the request.

5. Analysis of the Request

Section 165.09(4)(D)(1) of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

Map Amendments.

- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

Figure 3.4 within *Connected to Tomorrow* was utilized to determine which zoning district would be compatible with the *Future Land Use Map*.

Figure 3.4: Land Use Compatibility

TRADITIONAL LAND USES	AGRICULTURE (AG)	URBAN RESERVE (UR)	URBAN LOW INTENSITY (ULI)	URBAN MEDIUM INTENSITY (UMI)	URBAN HIGH INTENSITY (UHI)	COMMERCIAL/ INDUSTRIAL FLEX (FLX)	PUBLIC AND SEMI PUBLIC (PUB)	PARK AND OPEN SPACE (P, OS)
Agriculture	●	●						
Rural residential		●						○
Low-density residential			●	○				
Medium-density residential			●	●	○			
High-density residential				●	●	○		
Rural commercial		●						
Neighborhood commercial			○	●	●	●		
Community commercial				○	●	●		
Regional commercial					○	●		
Low/medium intensity office			○	●	●	●		
High-intensity office				○	●	●		
Limited industrial		○				●		
Heavy industrial						○		
Parks and civic uses	●	●	●	●	●	○	●	●
Major public/civic facilities						○	●	○
Residential density range (du/A*)	≤40	≤40	3-8	7-14	14+	14+	NA	NA

● Permitted ○ Permitted with special review
*Dwelling Units per Acre

The RD-10 zoning allows a lot size of 4,500 square feet per dwelling unit (9.68 units/acre). It is staff’s opinion that the zoning map amendment would achieve consistency with the Comprehensive Plan and adopted land use policies.

(b) The compatibility with the zoning of nearby property.
The surrounding properties within the Solomon's Landing development are zoned RS-9, which allows a lot size of 4,500 square feet per dwelling unit. It is staff's opinion that the proposed zoning would be compatible with the area.

(c) The compatibility with established neighborhood character.
It is staff's opinion that the proposed zoning would be compatible with established neighborhood character.

(d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.
It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.

(e) The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property in question for one or more of the uses permitted under the existing zoning classification.
The ID District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas. Staff is unaware of any active agricultural use on the property.

(f) The extent to which the proposed amendment creates nonconformities.
It is staff's opinion that the proposed zoning would not create any nonconformities.

6. Additional Considerations:

A similar zoning map amendment to RD-10 has been submitted for the portion of the development north of the subject property.

7. Staff Recommendation:

Finding:

1. The rezoning request from RS-9 Single-Unit Residence District to RD-10 Two-Unit Residence District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request for zoning map amendment (rezoning) from RS-9 Single-Unit Residence District to RD-10 Two-Unit Residence District on approximately 1.59 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the zoning map amendment to the City Council with a recommendation for approval.



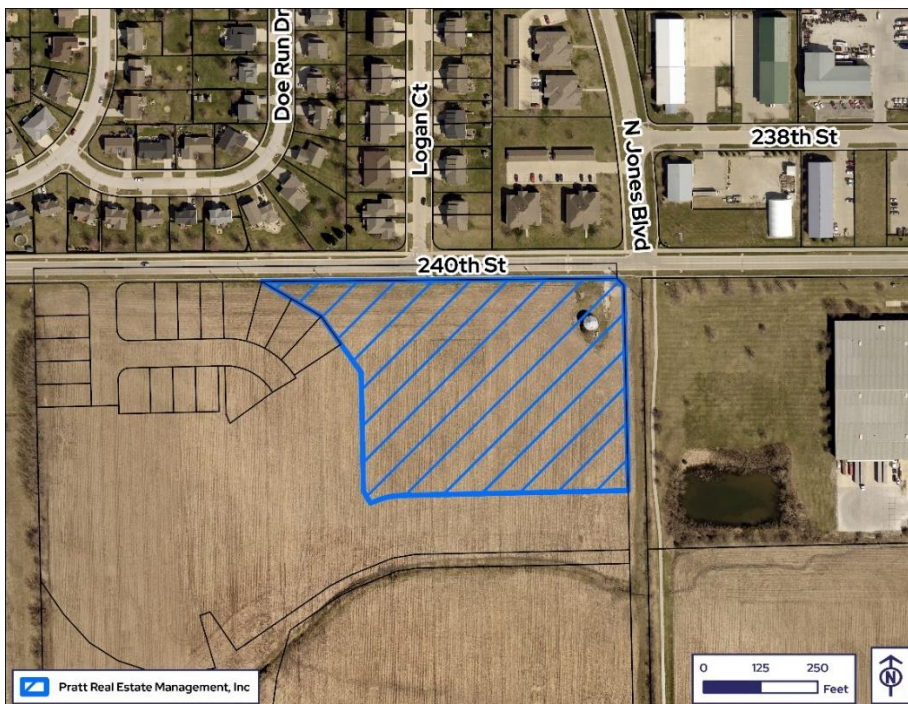
To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **September 1, 2023**
 Re **Request of Pratt Real Estate Management, Inc. for a zoning map amendment (rezoning) on approximately 6.24 acres from ID Interim Development District and RS-9 Single-Unit Residence District to RD-10 PAD Two-Unit Residence District Planned Area Development and a Preliminary Subdivision Plat for a 24-lot subdivision on approximately 6.24 acres. The property is located at the southwest corner of North Jones Boulevard 240th Street.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

The purpose of the request is to incorporate 48 single-unit zero lot line dwellings into the Solomon’s Landing development. The Planned Area Development is being requested to allow a reduction in minimum lot size, reduce minimum setbacks and to allow access from a private street.



2. Current and Proposed Zoning:

Current Zoning

ID Interim Development District. The ID District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas.

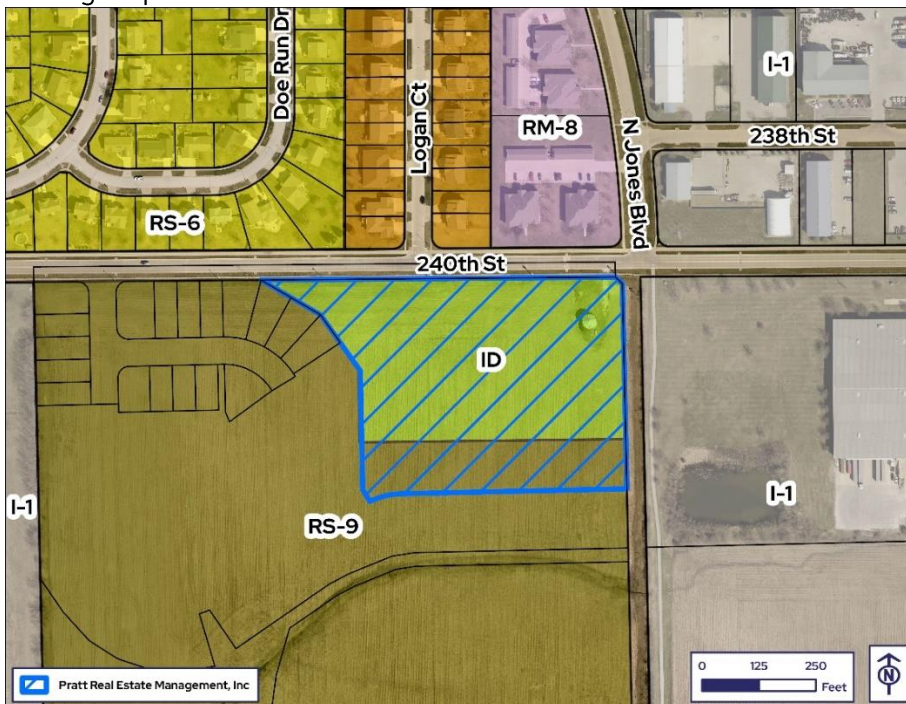
RS-9 Single-Unit Residence District. The RS-9 District is intended to provide for and maintain high-density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-9 District.

Proposed Zoning

RD-10 Two-Unit Residence District. The RD-10 District is intended to allow for attached single-unit dwellings joined together on a common boundary line with a common wall between the units. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RD-10 District.

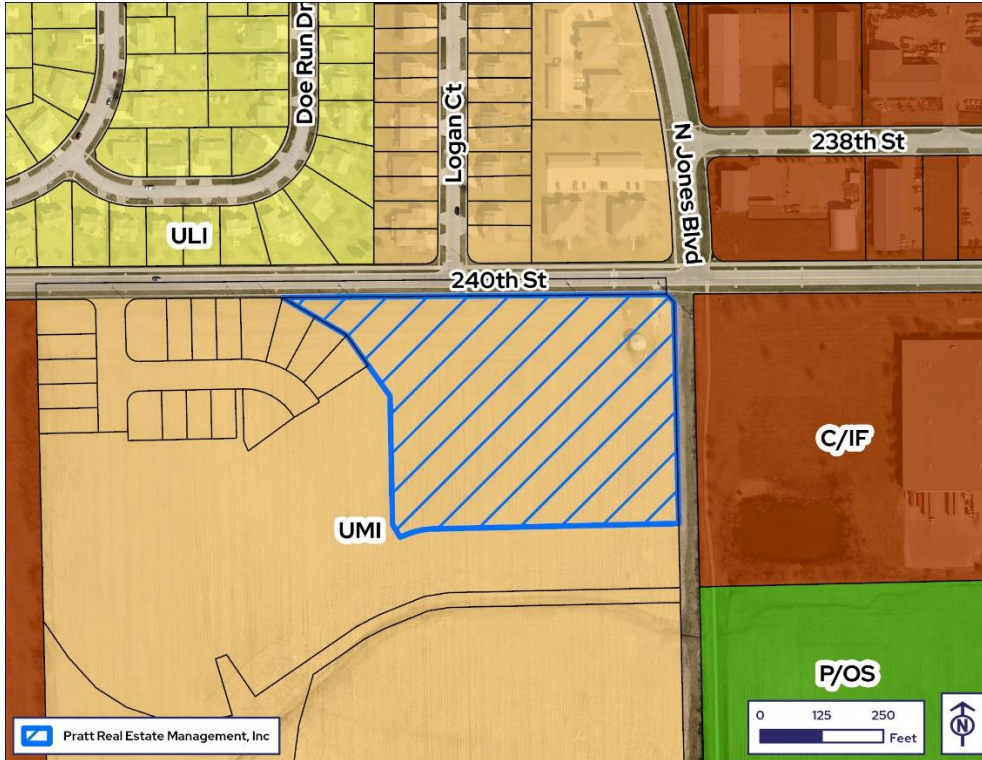
PAD Planned Area Development Overlay District. The PAD District is intended to encourage innovation and flexibility in planning the development of land so development is compatible with the site's physical and environmental characteristics. This district allows for flexibility in district requirements. The Planned Area Development District provides an opportunity for the development of a mixture of uses and housing types in a coordinated manner. The intent of the underlying district shall guide the development. It is incumbent upon the person proposing the PAD to justify the project, and any variations from the underlying zone district.

Zoning Map



3. Consistency with Comprehensive Plan Land Use Designation: Urban Medium Intensity.

Future Land Use Map



Urban Medium Intensity Description

More variety in housing arrangements and more allowance for activity areas that draw people from outside the immediate area for services or recreation. Increased intensity (compared to ULI) improves opportunities for economic activity and social interaction. Medium intensity areas include mostly a horizontal mix of residential and non-residential uses at compatible moderate densities and scale, although there may be opportunities for vertical mixed-use.

Residential

Uses include a variety of housing types that may be on smaller lots. Housing mix can include single-family detached homes, duplexes, townhomes, and multifamily buildings to create integrated neighborhoods.

Form and Features

- » General aggregate development density of 7 to 14 dwelling units per acre. Innovative designs should allow more public spaces than ULI.
- » Attached housing developments maintain the identity of the individual housing units.
- » High connectivity with multiple access points into neighborhoods. As compared to ULI, UMI encourages closer proximity between transportation, housing, and commercial services.

4. Public Input:

A virtual good neighbor meeting was held on August 22, 2023. City staff, one member of the Planning Commission and the applicant attended the meeting. There are no formal objections to the request.

5a. Zoning Map Approval Standards:

Section 165.09(4)(D)(1) of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

Map Amendments.

- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

Figure 3.4 within Connected to Tomorrow was utilized to determine which zoning district would be compatible with the Future Land Use Map.

Figure 3.4: Land Use Compatibility

TRADITIONAL LAND USES	AGRICULTURE (AG)	URBAN RESERVE (UR)	URBAN LOW INTENSITY (ULI)	URBAN MEDIUM INTENSITY (UMI)	URBAN HIGH INTENSITY (UHI)	COMMERCIAL/ INDUSTRIAL FLEX (FLX)	PUBLIC AND SEMI PUBLIC (PUB)	PARK AND OPEN SPACE (P, OS)
Agriculture	●	●						○
Rural residential		●						
Low-density residential			●	○				
Medium-density residential			●	●	○			
High-density residential				●	●	○		
Rural commercial		●						
Neighborhood commercial			○	●	●	●		
Community commercial				○	●	●		
Regional commercial					○	●		
Low/medium intensity office			○	●	●	●		
High-intensity office				○	●	●		
Limited industrial		○				●		
Heavy industrial						○		
Parks and civic uses	●	●	●	●	●	○	●	●
Major public/civic facilities					○	○	●	○
Residential density range (du/A*)	≤40	≤40	3-8	7-14	14+	14+	NA	NA

● Permitted ○ Permitted with special review
*Dwelling Units per Acre

The proposed development would allow 48 units on 6.24 acres (7.24 units/acre). It is staff's opinion that the zoning map amendment would achieve consistency with the Comprehensive Plan and adopted land use policies.

- (b) The compatibility with the zoning of nearby property. *The surrounding properties within the Solomon's Landing development are zoned RS-9, which allows a lot size of 4,500 square feet per dwelling unit. It is staff's opinion that the proposed zoning would be compatible with the area.*

(c) The compatibility with established neighborhood character.
It is staff's opinion that the proposed zoning would be compatible with established neighborhood character.

(d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.
It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.

(e) The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property in question for one or more of the uses permitted under the existing zoning classification.
The ID District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas. Staff is unaware of any active agricultural use on the property.

(f) The extent to which the proposed amendment creates nonconformities.
It is staff's opinion that the proposed zoning would not create any nonconformities.

Section 165.05(2) of the North Liberty Code of Ordinances entitled, "Preliminary Site Review" sets forth the approval standards (Ordinance language in *italics* and staff analysis in **bold**).

- *Date, north arrow and graphic scale.* **Provided.**
- *The property owner's name and description of proposed development.* **Provided.**
- *A vicinity sketch showing the location of the property and other properties within 1,000 feet of it.* **Provided.**
- *Property boundary lines, dimensions, and total area.* **Provided.**
- *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the site plan.* **Provided.**
- *The location of existing streets, sidewalks, easements, utilities, drainage courses.* **Provided.**
- *The total square feet of building floor area, both individually and collectively.* **Provided.**
- *All structures and major features shall be fully dimensioned including distance between structures, distance between driveways, parking areas, property lines and building height.* **Provided.**
- *Off-street parking areas, ingress and egress to the property, number of parking spaces proposed, number of parking spaces required by this code and type of surfacing.* **Provided.**
- *Pedestrian walkways with special consideration given to pedestrian safety.* **Provided.**
- *Trash and refuse enclosures.* **Provided.**
- *The general drainage pattern and location of storm water detention features.* **Provided.**

- *The general location, type and size of landscaping and ground cover illustrated in color perspective. **Provided.***
- *A rendering, elevation or photo of the proposed development. **Provided.***

Notably, the crosswalk at Logan Court will need to be removed or relocated. The ramp at the northeast corner of Logan Court will need to be modified. This will be reviewed during review of the subdivision construction plans.



It is staff's opinion that the site plan achieves consistency with the aforementioned design standards.

Requirements for All Districts (ordinance language in *italics* and staff analysis in **bold**).

- *Building design shall be visually harmonious and compatible with the neighborhood character.*
- *Buildings located on property with double frontages shall have similar wall design facing both streets.*
- *Except in the R-MH district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs and there shall be a minimum roof overhang at the eaves of 12 inches. This does not apply to portions of a roof that are separate from the structure's primary roof. Metal roofs shall not be corrugated or similar appearance. The color of the roof shall be visually harmonious and compatible with the building color scheme.*

5b. Preliminary Plat Approval Standards:

Section 180.11(3)(A) of the North Liberty Code of Ordinances sets forth the preliminary subdivision plat submittal requirements and review (Ordinance language in *italics* and staff analysis in **bold**).

Preliminary Subdivision Plat Submittal Requirements and Review. The preliminary plat, in general, contains more information than the final plat, so that the subdivider and the City can ensure conformance with codes, master facility plans, and good planning and engineering practices. Though the preliminary plat is not recorded, it is approved by resolution of the City Council, and conditions for approval of the plat shall be addressed on any final plats of the same area.

A. *Preliminary Plat Contents. The application shall include a preliminary plat of the subdivision drawn to a scale of one inch to one hundred feet minimum, and shall show:*

(1) A location map to provide spatial reference, showing the outline of the area to be subdivided, existing streets and corporate limits in the vicinity, a north arrow and scale or note stating "not to scale," and other information that might help clarify where the plat is located as well as its surroundings and size relative to other City features;

This has been provided on the Preliminary Plat.

(2) Name of proposed subdivision and date;

This has been provided on the Preliminary Plat.

(3) Legal description and acreage;

This has been provided on the Preliminary Plat.

(4) Name and address of owner;

This has been provided on the Preliminary Plat.

(5) Names of the persons preparing the plat, owner's attorney, representative or agent, if any;

This has been provided on the Preliminary Plat.

(6) Existing and proposed zoning district classification of all land within the proposed subdivision and within about 200 feet of the subdivision;

Staff is not requiring this information on the Preliminary Plat.

(7) North point and graphic scale;

This has been provided on the Preliminary Plat.

(8) Contours at two-foot intervals or less, both existing and as generally proposed (subject to more refinement in subsequent construction plans);

This has been provided on the Preliminary Plat.

(9) *Building setback lines as required by the current or proposed zoning district classifications;*

This has been provided on the Preliminary Plat.

(10) *The approximate boundaries of areas of known flood levels or floodplains, areas covered by water, wooded areas, floodways, and all open channel drainage ways;*

This has been provided on the Preliminary Plat.

(11) *Locations, names, and dimensions of existing lot lines, streets, public utilities, water mains, sewers, drainpipes, culverts, watercourses, bridges, railroads and buildings within in the proposed subdivision and within about 200 feet of the subdivision;*

This has been provided on the Preliminary Plat.

(12) *Layout of proposed blocks, if used, and lots, including the dimension of each lot, and the lot and block number in numerical order;*

This has been provided on the Preliminary Plat.

(13) *Layout and dimensions of proposed streets, sidewalks, trails, alleys, utility and other easements, parks and other open spaces or reserved areas;*

This has been provided on the Preliminary Plat.

(14) *Grades of proposed streets and alleys;*

This has been provided on the Preliminary Plat.

(15) *A cross-section of the proposed streets showing the roadway locations, the type of curb and gutter, the paving, and sidewalks to be installed;*

This has been provided on the Preliminary Plat.

(16) *The layout of proposed water mains and sanitary sewer systems;*

This has been provided on the Preliminary Plat.

(17) *The drainage of the land, including proposed storm sewers, ditches, culverts, bridges and other structures;*

This has been provided on the Preliminary Plat.

(18) *Stormwater management facilities when applicable;*

This has been provided on the Preliminary Plat.

(19) *A signed certificate of the Johnson County Auditor for the subdivision name;*

This information has been provided.

(20) *Other special details or features that may be proposed or required.*

None required.

6. Additional Considerations:

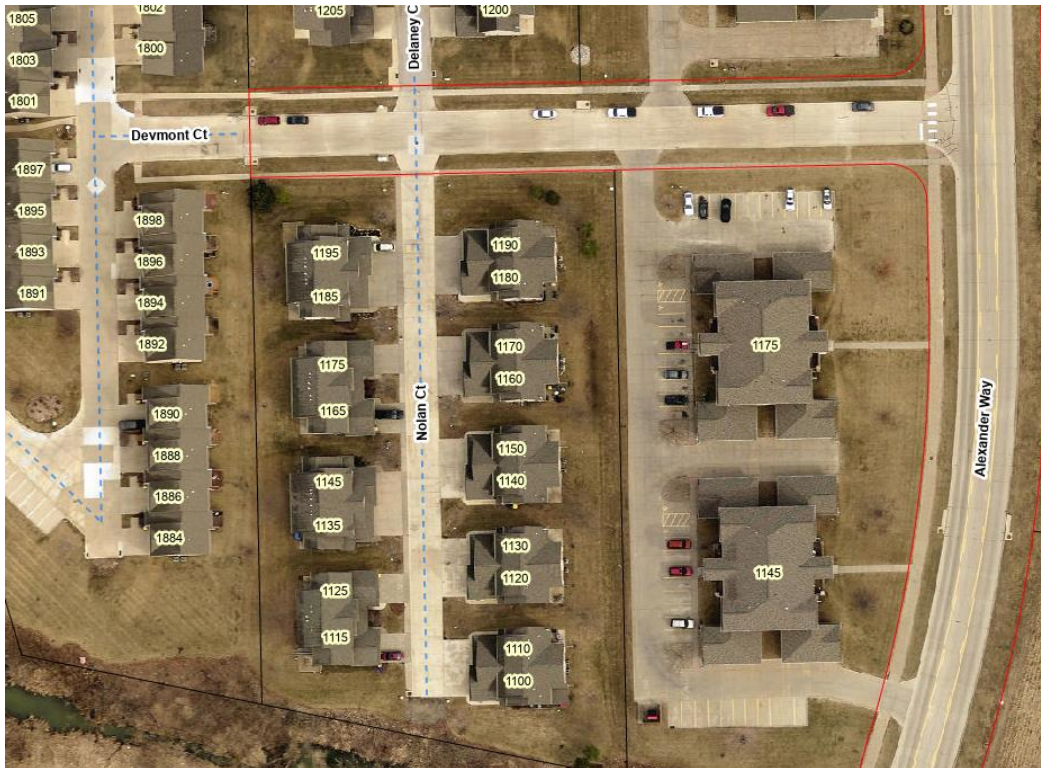
PAD waivers requested:

1. Allow the proposed development on private streets.
2. Reduction to the minimum lot size of 9,000 square feet per lot.
3. Reduction to the minimum lot frontage of 35 feet.
4. Reduction to the minimum lot width of 80 feet.
5. Reduction to the minimum front and corner side yard setback of 25 feet (on a private street).
6. Reduction to the minimum rear yard setback of 30 feet.

Section 180.12(8)(A) of the Subdivision Ordinance reads:

Private streets in single family residential areas are not allowed.

Staff has taken the position that this applies to RD Districts, which permit "single-unit zero lots line dwellings. Notably, this requirement is only applicable due to the desire to subdivide the property into individual lots. Below is a similar style of development on Nolan Court, which is a private street. However, it is a condominium, and therefore, was permitted as an RM – Multi-Unit Residential development.



It's unclear why the Zoning and Subdivision Ordinance doesn't support this type of development. Staff intends to explore allowing this type of development without the need for PAD.

7. Staff Recommendation:

Findings:

1. The rezoning request from RS-9 Single-Unit Residence District to RD-10 PAD Two-Unit Residence District Planned Area Development would achieve consistency with the zoning map amendment approval standards enumerated in Section 165.09 of the Zoning Code;
2. The site plan, with certain requirements modified, would achieve consistency with North Liberty Code of Ordinances Section 165.05(2) entitled, "Preliminary Site Plan Review", and other Code of Ordinance requirements;
3. The preliminary plat, with certain conditions modified, would achieve consistency with Section 180.11(3)(A) and 180.12 of the North Liberty Code of Ordinances, which sets forth the preliminary subdivision plat submittal requirements and design standards, respectively.

Recommendation:

Staff recommends the Planning Commission accept the three listed findings and forward the request for a zoning map amendment (rezoning) on approximately 6.24 acres from ID Interim Development District and RS-9 Single-Unit Residence District to RD-10 PAD Two-Unit Residence District Planned Area Development and a Preliminary Subdivision Plat for a 24-lot subdivision on approximately 6.24 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the three listed findings and forward the zoning map amendment to the City Council with a recommendation for approval.







FRONT ELEVATION



REAR ELEVATION

**BUILDING
TYPE A**

REV#	REVISIONS	DATE	BY

PROJECT:
SPRUCE DUPLEX
WALKOUT

DRAWING TITLE:
FRONT & REAR
ELEVATIONS

SCALE: 1/8" = 1'-0"

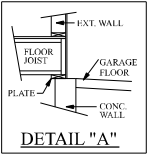
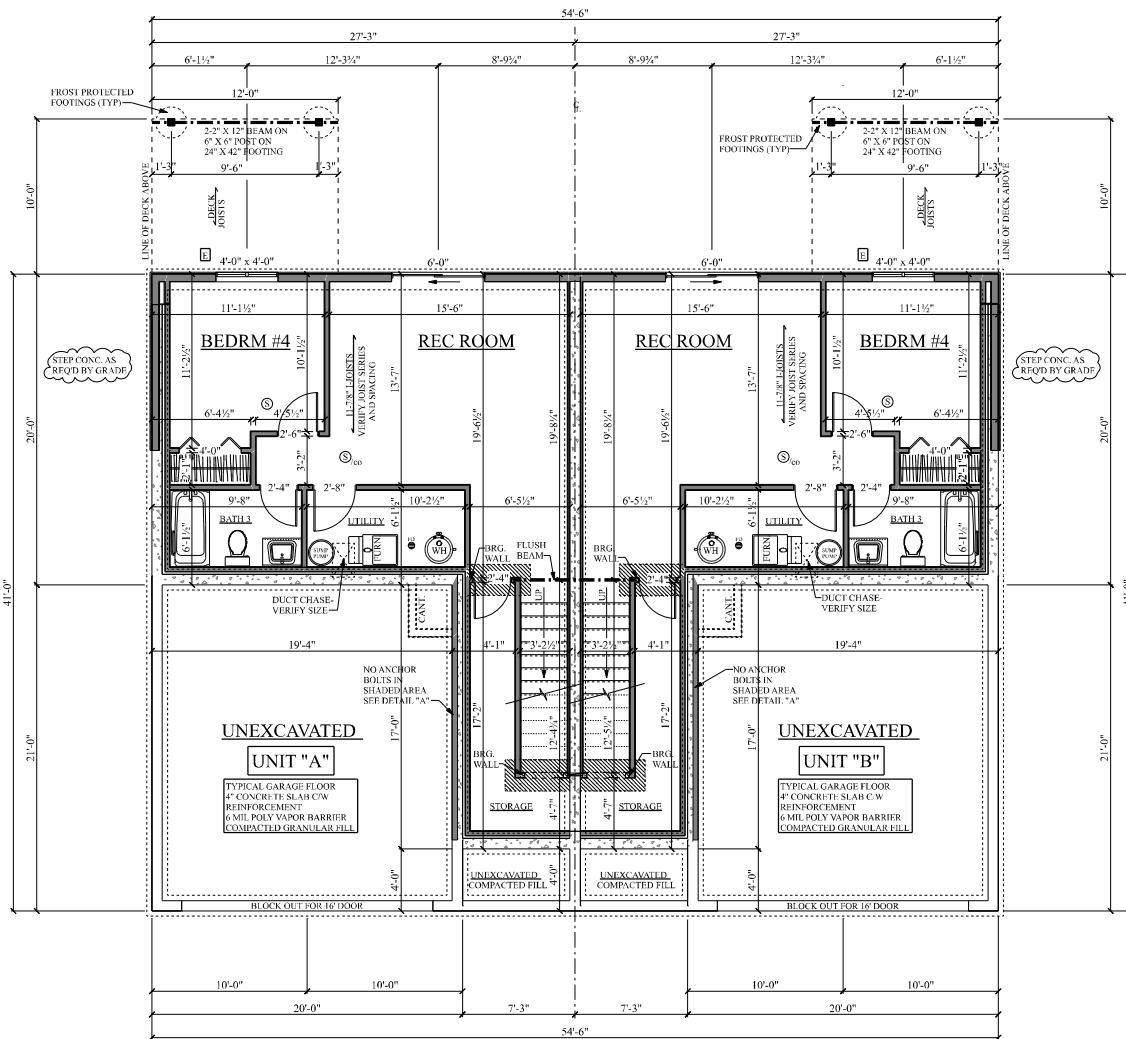
DRAWN BY: PCD

DATE:
9/7/2018

PROJECT NO:
2197-0918

CHECKED BY:

A1



**FUTURE FINISHED AREA
474 SQ. FT.**

- GENERAL NOTES**
- DESIGN LOAD FACTORS.
FLOOR AREAS - 55 TOTAL LBS. SQ. FT.
ROOF TRUSSES - 50 TOTAL LBS. SQ. FT.
 - VERIFY ALL EXTERIOR WALLS - UNLESS NOTED.
ALL INTERIOR WALLS ARE 2 X 4 - UNLESS NOTED.
 - 8'-0" CONC. WALL HEIGHT - UNLESS NOTED.
 - VERIFY ALL HEADER SIZES OVER ALL EXTERIOR LOAD BEARING OPENINGS.
 - EXTERIOR WALL DIMENSIONS ARE OUTSIDE TO OUTSIDE OF STUD. INTERIOR DIMENSIONS ARE INSIDE TO INSIDE OF STUD.
 - WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE OWNER/CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME.
 - TRUSS SUPPLIERS ARE TO HAVE FINAL SAY ON ROOF/FLOOR LAYOUT AND INTEGRITY.
 - SMOKE DETECTORS
 - SMOKE DETECTORS W/ CO. DETECTOR
 - EGRESS WINDOW
 - EXHAUST FAN
 - VERIFY ALL LOCAL BUILDING CODES.

- NOTES**
- INTERIOR DOORS ON NO - STEP LEVEL WITH 38" ROUGH FRAMING WIDTH. FINISHED DOORS MAY BE SMALLER.
 - WALL SWITCHES, OUTLETS, HEATING CONTROLS TO BE 15" MIN. TO 48" MAX. ABOVE FLOOR.
 - ELECTRICAL PANEL W/ BRANCH CIRCUIT BREAKERS BETWEEN 18" MIN. AND 54" MAX. ABOVE FLOOR.
 - PROVIDE WALL REINFORCEMENT FOR GRAB BARS IN BATHROOMS.
 - EXTERIOR DECK AND PATIO SURFACES ON THE NO - STEP LEVEL WITHIN 4" OF THE TOP OF THE DOOR THRESHOLD.
 - INSTALL PASSIVE RADON SYSTEM 3" PVC PIPE FROM SEALED SUMP PIT TO 12" ABOVE ROOF (VERIFY WITH LOCAL CODE).
 - VERIFY ALL LOCAL BUILDING CODES.

CONC. DEADMANS AS REQ'D FOR STRUCTURAL SUPPORT

BUILDING TYPE A

DATE: 9/7/2018

REV. REVISIONS:

NO.	DATE	BY	DESCRIPTION

PROJECT:
SPRUCE DUPLEX
WALKOUT

DRAWING TITLE:
LOWER FLOOR
PLAN

SCALE: 1/8" = 1'-0"

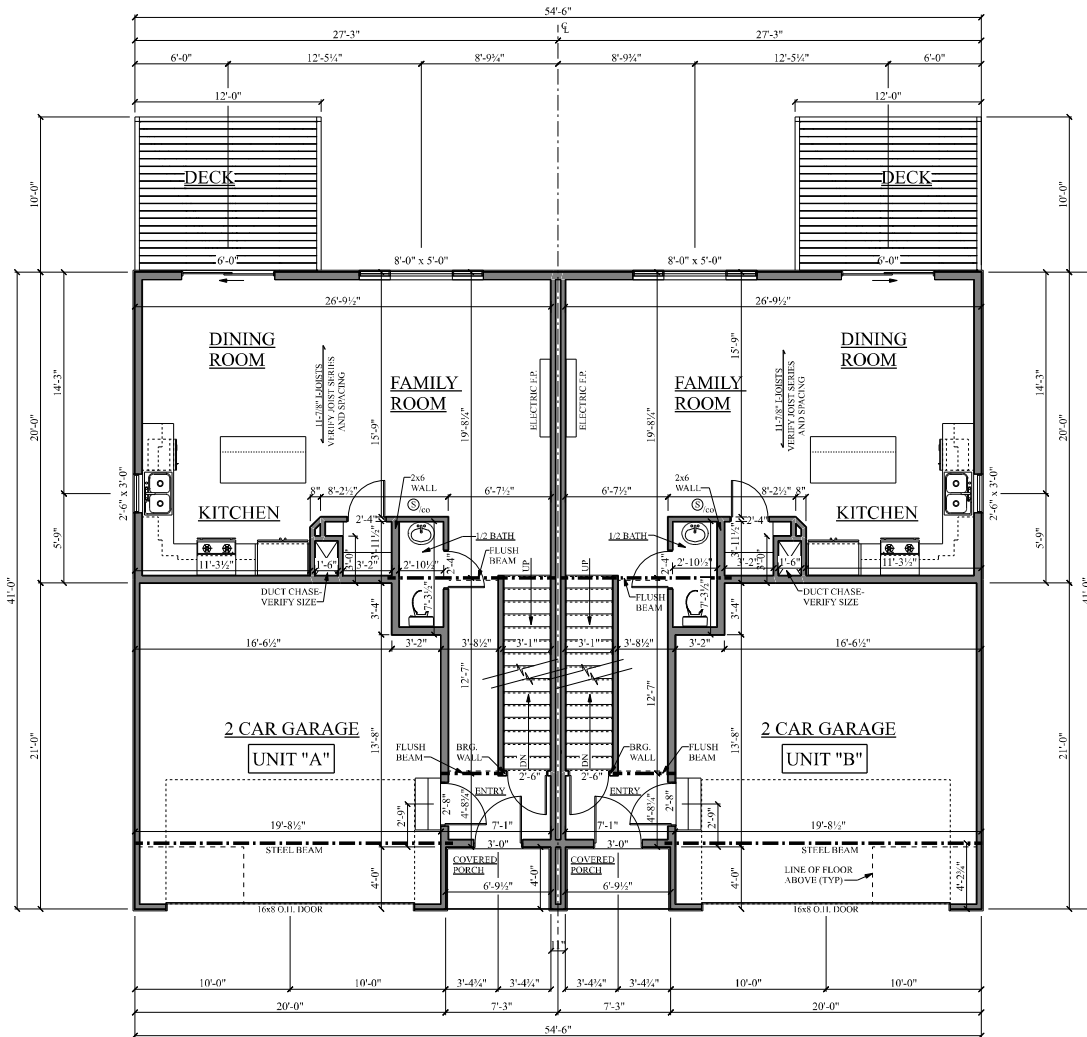
DRAWN BY: PCD

DATE: 9/7/2018

PROJECT NO: 2197-0918

CHECKED BY:

A3



**1ST FLOOR AREA
678 SQ. FT.**

**GARAGE AREA
405 SQ. FT.**

GENERAL NOTES

- DESIGN LOAD FACTORS.
FLOOR AREAS - 55 TOTAL LBS. SQ. FT.
ROOF TRUSSES - 50 TOTAL LBS. SQ. FT.
- ALL EXTERIOR WALLS ARE 2 X 6 - UNLESS NOTED.
ALL INTERIOR WALLS ARE 2 X 4 - UNLESS NOTED.
GARAGE WALL TO BE 2 X 4 - UNLESS NOTED.
- 7'-1 1/8" WALL HEIGHT - UNLESS NOTED.
- VERIFY ALL HEADER SIZES OVER ALL EXTERIOR LOAD BEARING OPENINGS.
- EXTERIOR WALL DIMENSIONS ARE OUTSIDE TO OUTSIDE OF STUD. INTERIOR DIMENSIONS ARE INSIDE TO INSIDE OF STUD.
- WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE OWNER/CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME.
- TRUSS SUPPLIERS ARE TO HAVE FINAL SAY ON ROOF/FLOOR LAYOUT AND INTEGRITY.
- ☉ - SMOKE DETECTOR
- ☉_{CO} - SMOKE DETECTOR W/ CO DETECTOR
- ☐ - EGRESS WINDOW
- EXHAUST FAN.
- VERIFY ALL LOCAL BUILDING CODES.

APPLIANCES

- ELECTRIC WATER HEATER - 93%
- 14.5 SEER A/C UNIT
- 95% GAS FURNACE
- ELECTRIC RANGE
- ELECTRIC DRYER
- GAS FIREPLACE

NOTES

- INTERIOR DOORS ON NO - STEP LEVEL WITH 3/8" ROUGH FRAMING WIDTH. FINISHED DOORS MAY BE SMALLER.
- WALL SWITCHES, OUTLETS, HEATING CONTROLS TO BE 15" MIN. TO 48" MAX. ABOVE FLOOR.
- ELECTRICAL PANEL W/ BRANCH CIRCUIT BREAKERS BETWEEN 18" MIN. AND 54" MAX. ABOVE FLOOR.
- PROVIDE WALL REINFORCEMENT FOR GRAB BARS IN BATHROOMS.
- EXTERIOR DECK AND PATIO SURFACES ON THE NO - STEP LEVEL WITHIN 4" OF THE TOP OF THE DOOR THRESHOLD.
- INSTALL PASSIVE RADON SYSTEM 3" PVC PIPE FROM SEALED SUMP P/T TO 12" ABOVE ROOF (VERIFY WITH LOCAL CODE).
- VERIFY ALL LOCAL BUILDING CODES.

**BUILDING
TYPE A**

DATE	REV.	BY	CHK

**PROJECT:
SPRUCE DUPLEX
WALKOUT**

**DRAWING TITLE:
MAIN FLOOR
PLAN**

SCALE: 1/8" = 1'-0"

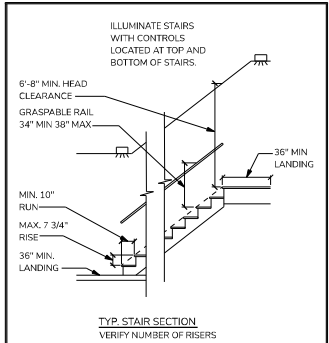
DRAWN BY: PCD

**DATE:
9/7/2018**

**PROJECT NO:
2197-0918**

CHECKED BY:

A4



R311.5.6 Handrails. Handrails shall be provided on at least one side of each continuous run of treads or flight with four or more risers.

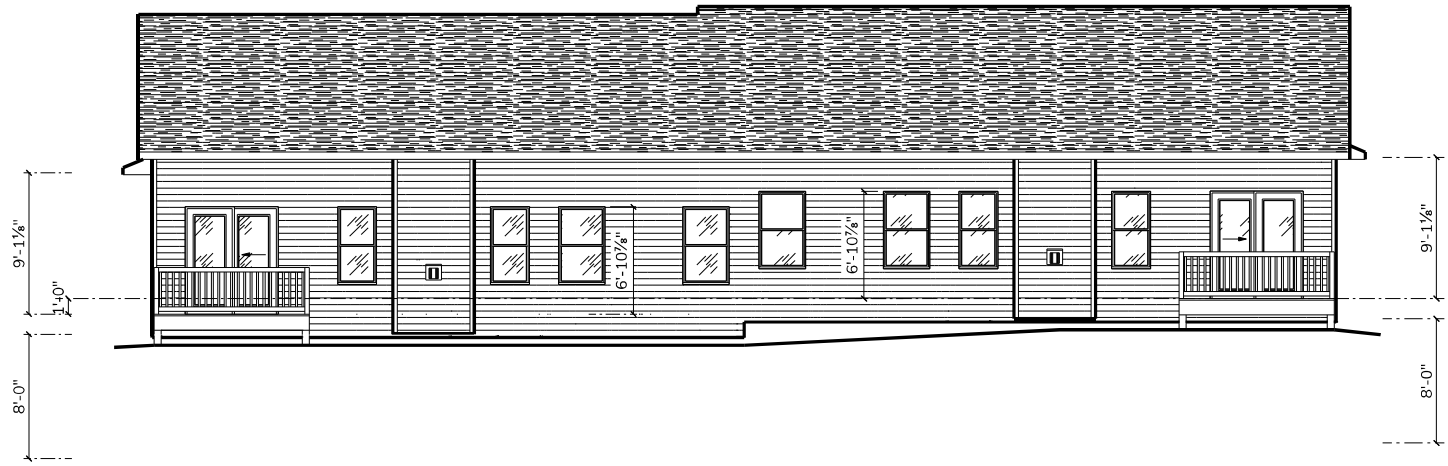
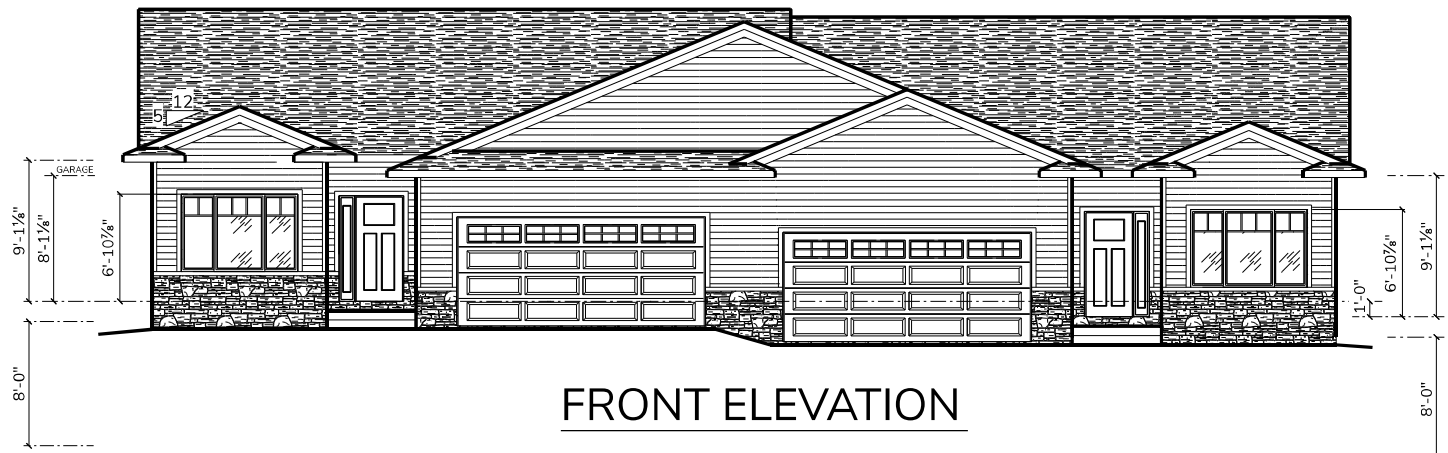
R311.5.6.1 Height. Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

R311.5.6.2 Continuity. Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to wall shall have a space of not less than 1 1/2 inch (38 mm) between the wall and the handrails.

Exceptions:
1. Handrails shall be permitted to be interrupted by a newel post at the turn.
2. The use of a volute, turnout, starting easing or starting newel shall be allowed over the lowest tread.

R312.1 Guards. Porches, balconies, ramps or raised floor surfaces located more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 36 inches (914 mm) in height. Open sides of stairs with a total rise of more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 34 inches (864 mm) in height measured vertically from the nosing of the treads.

Porches and decks which are enclosed with insect screening shall be equipped with guards where the walking surface is located more than 30 inches (762 mm) above the floor or grade below.



BUILDING TYPE B

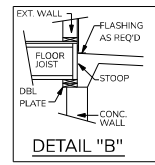
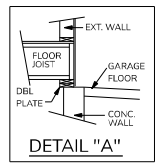
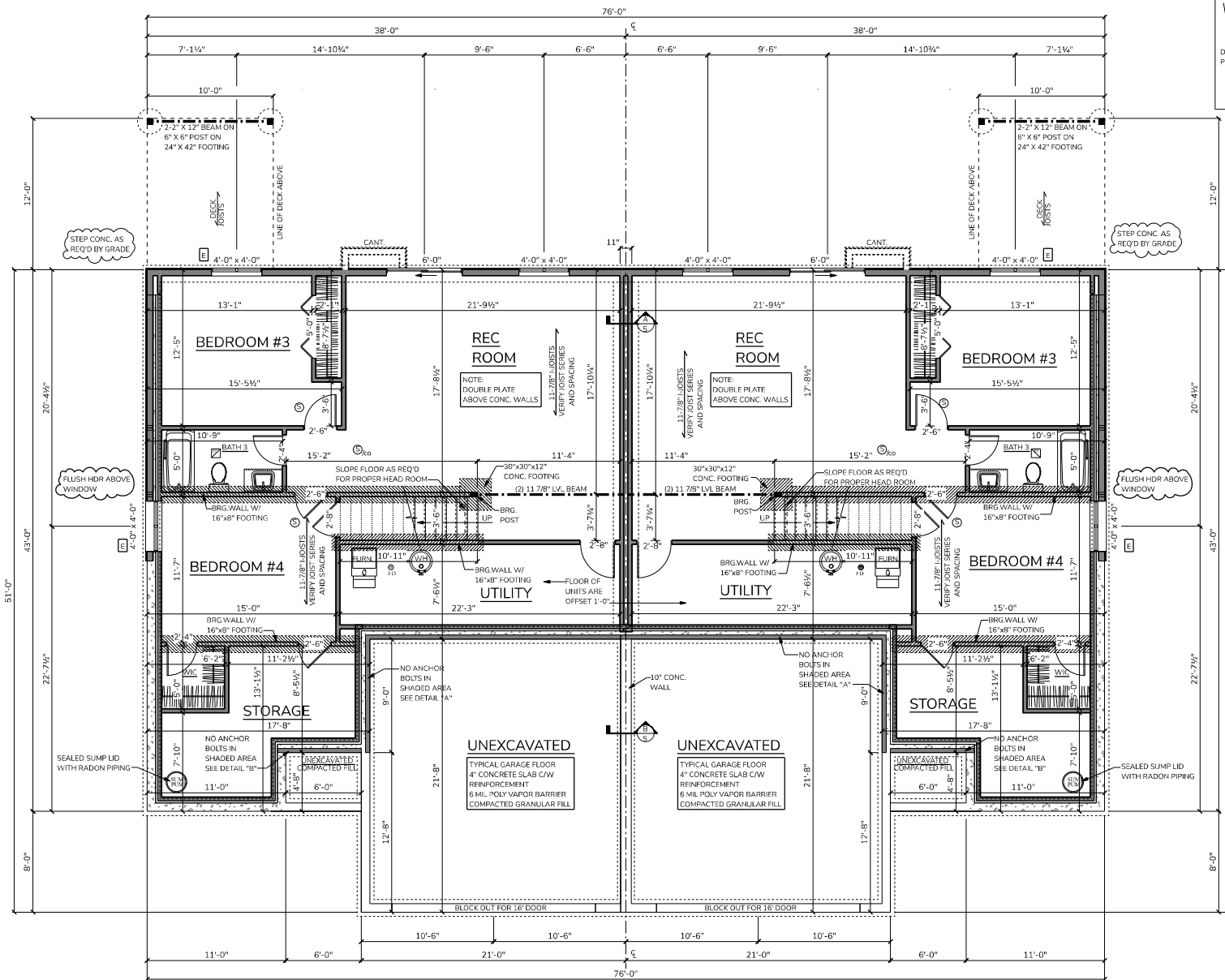
REV.	REVISIONS	DATE	BY	CHK

PROJECT:
WEST BRANCH DUPLEX
SYCAMORE III

DRAWING TITLE:
FRONT & REAR
ELEVATIONS &
STAIR SECTION

SCALE: 1/8" = 1'-0"
DRAWN BY: PCD
DATE: 11/09/2021
PROJECT NO: 3020-0921
CHECKED BY:

A1



**FINISHED AREA
930 SQ. FT.**

- GENERAL NOTES**
- DESIGN LOAD FACTORS. FLOOR AREAS - 55 TOTAL LBS. SQ. FT. ROOF TRUSSES - 60 TOTAL LBS. SQ. FT.
 - VERIFY ALL EXTERIOR WALLS - UNLESS NOTED. ALL INTERIOR WALLS ARE 2 X 4 - UNLESS NOTED.
 - 8'-0" CONC. WALL HEIGHT - UNLESS NOTED.
 - VERIFY ALL HEADER SIZES OVER ALL EXTERIOR LOAD BEARING OPENINGS.
 - EXTERIOR WALL DIMENSIONS ARE OUTSIDE TO OUTSIDE OF STUD. INTERIOR DIMENSIONS ARE INSIDE TO INSIDE OF STUD.
 - WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE OWNER/CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME.
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 - ⊙ = SMOKE DETECTORS
 - ⊙_{CO} = SMOKE DETECTORS W/ CO DETECTOR
 - ⊞ = EGRESS WINDOW
 - EXHAUST FAN.
 - VERIFY ALL LOCAL BUILDING CODES.

- NOTES**
- INTERIOR DOORS ON NO - STEP LEVEL WITH 3/8" ROUGH FRAMING WIDTH. (FINISHED DOORS MAY BE SMALLER).
 - WALL SWITCHES, OUTLETS, HEATING CONTROLS TO BE 15" MIN. TO 48" MAX. ABOVE FLOOR.
 - ELECTRICAL PANEL W/ BRANCH CIRCUIT BREAKERS BETWEEN 18" MIN. AND 54" MAX. ABOVE FLOOR.
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 - VERIFY ALL LOCAL BUILDING CODES.

CONC. DEADMANS AS REQ'D FOR STRUCTURAL SUPPORT

BUILDING TYPE B

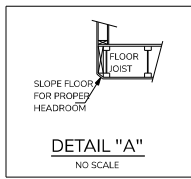
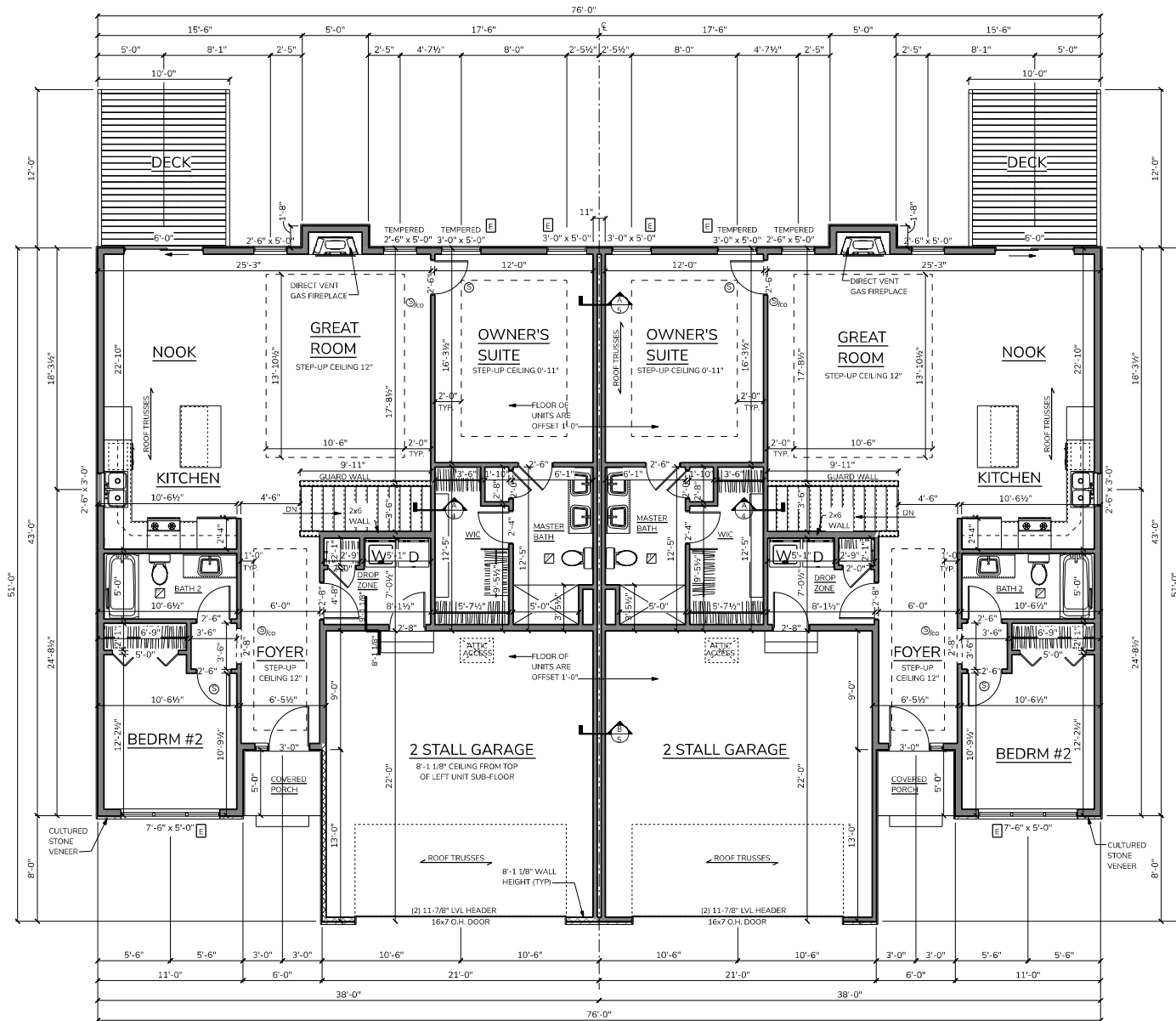
REV.	REVISIONS	DATE	BY	CHK

PROJECT:
WEST BRANCH DUPLEX
SYCAMORE III

DRAWING TITLE:
LOWER FLOOR
PLAN

SCALE: 1/8" = 1'-0"
DRAWN BY: PCD
DATE: 11/09/2021
PROJECT NO: 3020-0921
CHECKED BY:

A3



1ST FLOOR AREA
1313 SQ. FT.

GARAGE AREA
459 SQ. FT.

- GENERAL NOTES**
- DESIGN LOAD FACTORS.
FLOOR AREAS - 55 TOTAL LBS. SQ. FT.
ROOF TRUSSES - 50 TOTAL LBS. SQ. FT.
 - ALL EXTERIOR WALLS ARE 2 X 6 - UNLESS NOTED.
ALL INTERIOR WALLS ARE 2 X 4 - UNLESS NOTED.
GARAGE WALL TO BE 2 X 4 - UNLESS NOTED.
 - 9'-1 1/8" WALL HEIGHT - UNLESS NOTED.
 - VERIFY ALL HEADER SIZES OVER ALL EXTERIOR LOAD BEARING OPENINGS.
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 - ☐ = EGRESS WINDOW
 - EXHAUST FAN. ☑
 - VERIFY ALL LOCAL BUILDING CODES.
- APPLIANCES**
- ELECTRIC WATER HEATER - 93%
 - 14.5 SEER AC UNIT
 - 95% GAS FURNACE
 - ELECTRIC RANGE
 - ELECTRIC DRYER
 - GAS FIREPLACE
- NOTES:**
- INTERIOR DOORS ON NO - STEP LEVEL WITH 38" ROUGH FRAMING WIDTH. (FINISHED DOORS MAY BE SMALLER).
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BUILDING TYPE B

REV.	REVISIONS	DATE	BY	CHK.

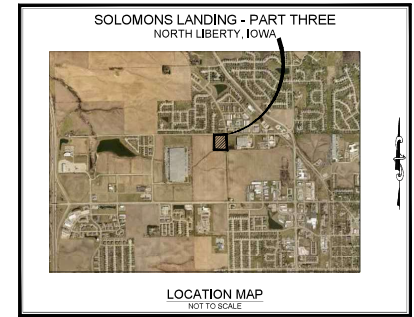
PROJECT:
WEST BRANCH DUPLEX
SYCAMORE III

DRAWING TITLE:
MAIN FLOOR
PLAN

SCALE: 1/8" = 1'-0"
DRAWN BY: PCD
DATE: 11/09/2021
PROJECT NO: 3020-0921
CHECKED BY:

A4

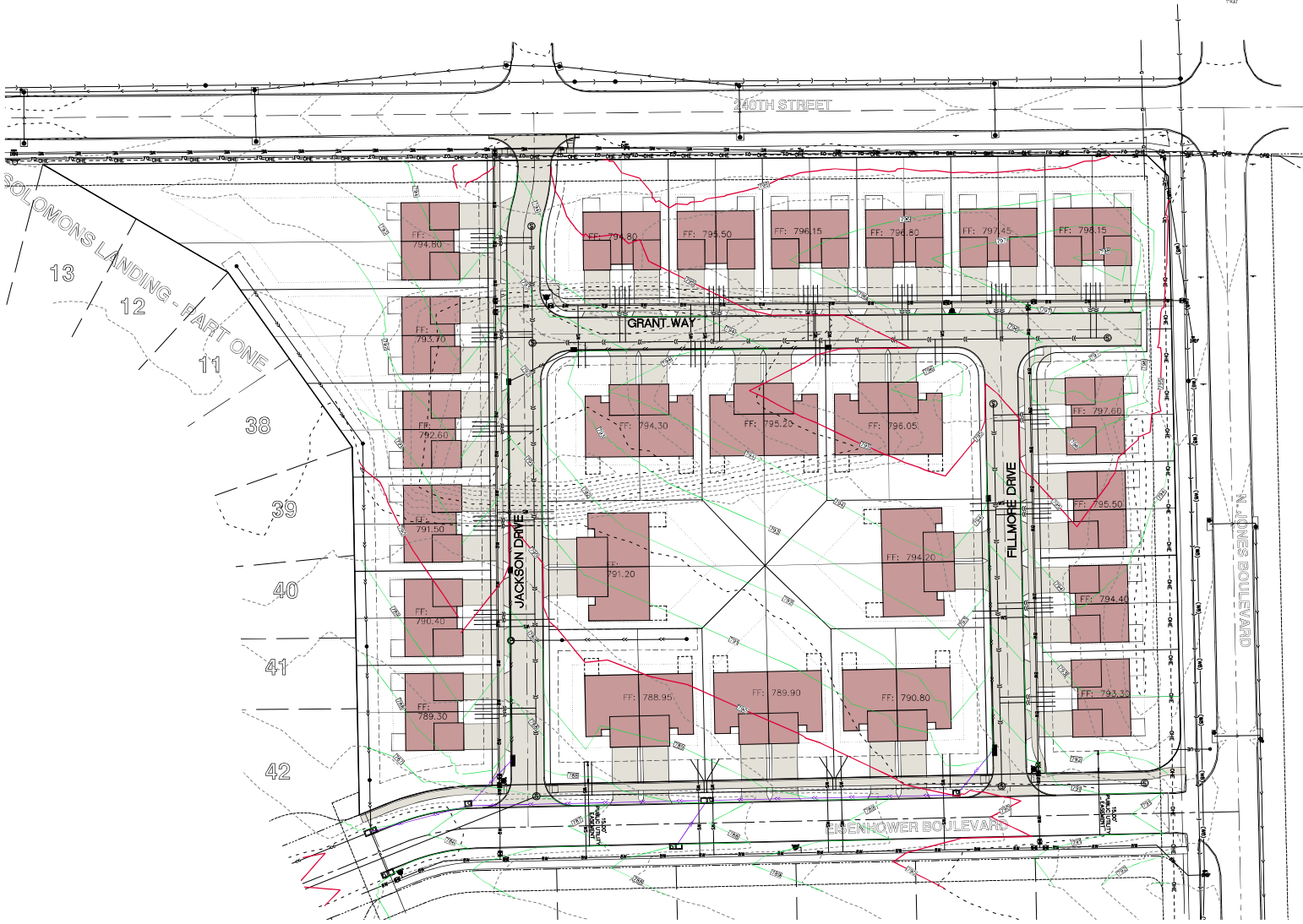
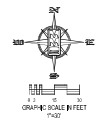
PRELIMINARY GRADING PLAN SOLOMONS LANDING - PART THREE NORTH LIBERTY, IOWA



6.24 AC



MMS CONSULTANTS, INC.
CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS
1917 S. GILBERT ST.
NORTH LIBERTY, IOWA 52450
(515) 395-4332
WWW.MMSCONSULTANTS.COM



STANDARD LEGEND AND NOTES	
	PROPERTY AND BOUNDARY LINES
	COMPUTATIONAL CENTER LINES
	EXISTING CENTERLINE OF WAY LINES
	EXISTING CENTERLINE OF WAY LINES
	LOT LINES INTERNAL
	LOT LINES PLOTTED BY DEED
	PROPOSED EASEMENT LINES
	EXISTING EASEMENT LINES
	RECORDED EASEMENT LINES
	SOME GEOMETRY NUMBER
	POWER POLE 4800V
	POWER POLE 1200V
	POWER POLE 240V
	GAS PIPE 12" DIA.
	GAS PIPE 8" DIA.
	GAS PIPE 6" DIA.
	WATER MAIN 12" DIA.
	WATER MAIN 8" DIA.
	WATER MAIN 6" DIA.
	FIRE HYDRANT
	STORM SEWER 18" DIA.
	STORM SEWER 15" DIA.
	STORM SEWER 12" DIA.
	STORM SEWER 9" DIA.
	STORM SEWER 6" DIA.
	SANITARY SEWER 12" DIA.
	SANITARY SEWER 9" DIA.
	SANITARY SEWER 6" DIA.
	ELECTRICAL LINES
	TELEPHONE LINES
	CABLE TV LINES
	FIBER OPTIC LINES
	PROPOSED ELECTRIC LINES
	CONTOUR LINES (OF INTERVAL)
	PROPOSED GRADE
	EXISTING TREE LINE
	EXISTING EVERGREEN TREES & SHRUBS

IOWA ONE CALL

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FOR ALL UTILITIES TO BE LOCATED AND SHOWN PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FOR ALL UTILITIES TO BE LOCATED AND SHOWN PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FOR ALL UTILITIES TO BE LOCATED AND SHOWN PRIOR TO CONSTRUCTION.

PRELIMINARY GRADING PLAN

SOLOMONS LANDING - PART THREE
NORTH LIBERTY
JOHNSON COUNTY
IOWA

MMS CONSULTANTS, INC.
Date: 08-01-2023
Designed by: BMM
Drawn by: JMM
Checked by: JMM
Project No.: 11728-001

3



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **September 1, 2023**
 Re **Request of Scanlon Family, LLC. For a zoning map amendment (rezoning) on approximately 5.28 acres from RS-6 Single-Unit Residence District to RD-8 Two-Unit Residence District. The property is located on the north side of Berkshire Lane as extended westerly 85' from its current terminus in Greenbelt Trail, Part 2 Subdivision.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

The request proposes to rezone a portion of the proposed Greenbelt Trail development to allow 22 single-unit zero lot line dwellings.



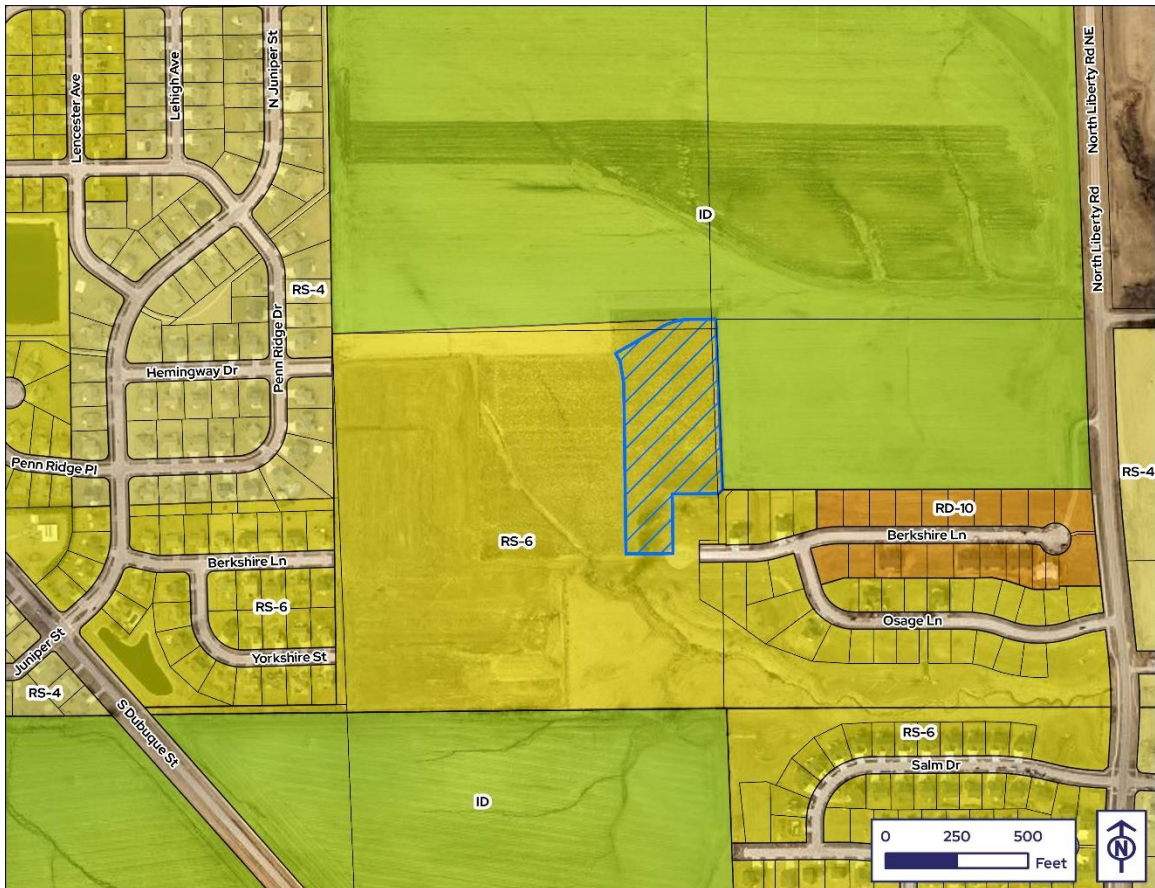
2. Current and Proposed Zoning:

Current Zoning

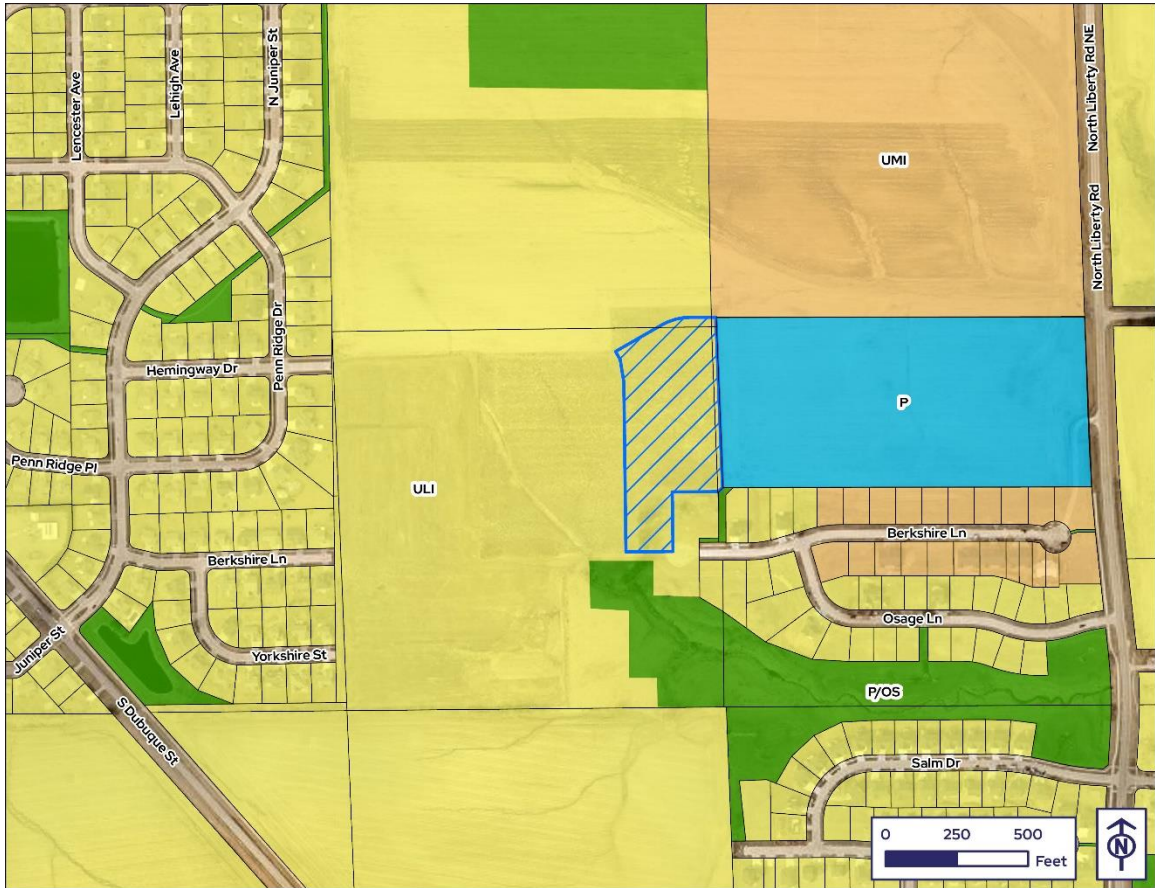
RS-6 Single-Unit Residence District. The RS-6 District is intended to provide for and maintain moderate density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-6 District.

Proposed Zoning

RD-8 Two-Unit Residence District. The RD-8 District is intended to allow for attached single-unit dwellings joined together on a common boundary line with a common wall between the units. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RD-8 District.



3. Consistency with Comprehensive Plan:
Land Use Plan designation: Urban Low Intensity.



Urban Low Intensity Description

An efficient, walkable pattern of lower-density development. Compared to denser areas, ULI has more space and separation of uses, with farther distances between destinations and fewer shared amenities. Low-intensity areas can include a horizontal mix of primarily residential and limited non-residential uses at compatible lower densities and scales.

Residential

Emphasis on single-family detached and attached residential developments. Attached housing projects may primarily be at transition areas between arterial or collector streets, small scale commercial uses, and higher intensity districts.

Form and Features

- » General aggregate development density of 3 to 8 units per acre. Lot sizes can vary within developments to provide different housing types.
- » A framework of streets and open space should create neighborhoods and multiple access points for all types of transportation.
- » Open spaces, streets, and trail connections integrate with the larger community.

4. Public Input:

A virtual good neighbor meeting was held on July 18, 2023. City staff, one member of the Planning Commission and the applicant attended the meeting. There are no objections to the request.

5. Zoning Map Amendment Approval Standards

Section 165.09(4)(D)(1) of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

Map Amendments.

- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

Figure 3.4 within Connected to Tomorrow was utilized to determine which zoning district would be compatible with the Future Land Use Map.

Figure 3.4: Land Use Compatibility

TRADITIONAL LAND USES	AGRICULTURE (AG)	URBAN RESERVE (UR)	URBAN LOW INTENSITY (ULI)	URBAN MEDIUM INTENSITY (UMI)	URBAN HIGH INTENSITY (UHI)	COMMERCIAL/ INDUSTRIAL FLEX (FLX)	PUBLIC AND SEMI PUBLIC (PUB)	PARK AND OPEN SPACE (P, OS)
Agriculture	●	●						○
Rural residential		●						
Low-density residential			●	○				
Medium-density residential			●	●	○			
High-density residential				●	●	○		
Rural commercial		●		●	●			
Neighborhood commercial			○	●	●	●		
Community commercial				○	●	●		
Regional commercial					○	●		
Low/medium intensity office			○	●	●	●		
High-intensity office				○	●	●		
Limited industrial		○				●		
Heavy industrial						○		
Parks and civic uses	●	●	●	●	●	○	●	●
Major public/civic facilities					○	○	●	○
Residential density range (du/A*)	≤40	≤40	3-8	7-14	14+	14+	NA	NA

● Permitted ○ Permitted with special review
*Dwelling Units per Acre

The RD-8 zoning allows a lot size of 5,000 square feet per dwelling unit (8.71 units/acre). It is staff's opinion that the zoning map amendment would achieve consistency with the Comprehensive Plan and adopted land use policies.

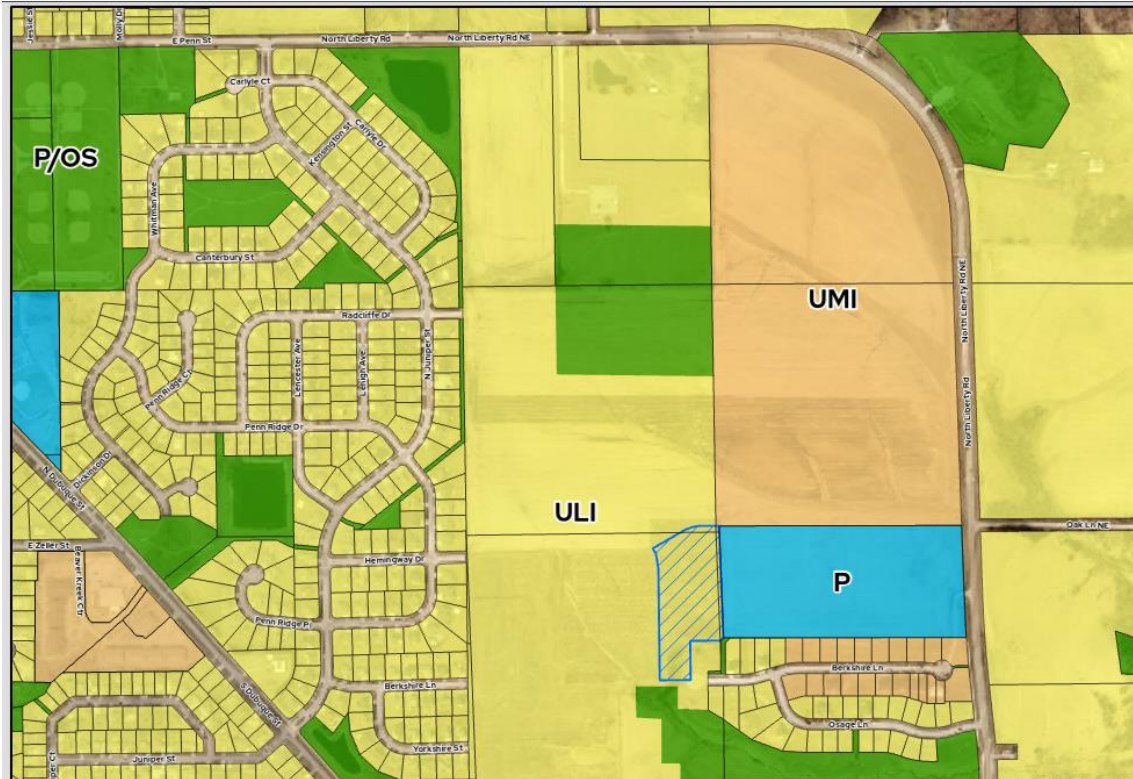
- (b) The compatibility with the zoning of nearby property.
The surrounding properties within the Greenbelt Trail development are zoned RS-6 and RD-10, which allow lot sizes of 7,000 square feet and 4,500 square feet per dwelling unit, respectively. It is staff's opinion that the proposed zoning would be compatible with the area.
- (c) The compatibility with established neighborhood character.
It is staff's opinion that the proposed zoning would be compatible with established neighborhood character.
- (d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.
It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.
- (e) The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property in question for one or more of the uses permitted under the existing zoning classification.
The property is currently approved for 14 single-unit dwelling lots. If approved, this would 22 zero lot line single-unit dwellings.
- (f) The extent to which the proposed amendment creates nonconformities.
It is staff's opinion that the proposed zoning would not create any nonconformities.

6. Additional Considerations:

It is staff's understanding that this request is due to the developer wishing to maintain a mix of single-unit and zero lot line single-unit dwellings for Greenbelt Trail Part 3. The developer has indicated that the RD zoning (south of future Hemmingway Dr) would be limited to this location and that the adjacent property would remain RS-6, which would ensure compatibility with the Arlington Ridge Subdivision.

The City Council denied a rezoning from RS-6 to RD-10 on this property in 2022. Notably, the new Comprehensive Plan has since been adopted, which provides better guidance on land uses than the comprehensive plan in effect in 2022. The subject property and adjacent properties to the west and north are designed Urban Low Intensity (ULI) on the Future Land Use Map. ULI allows a general aggregate development density of 3 to 8 units per acre. While RD-8 is at the higher end of this density, it is staff's opinion that the location is appropriate due to its proximity to the future school and other RD zoned properties. Staff expects residential density to decrease as development gets closer to Arlington Ridge.

There is a large amount of land area designed Urban Medium Intensity (UMI) on the Future Land Use Map adjacent to the North Liberty Road. UMI allows general aggregate development density of 7 to 14 dwelling units per acre. This will facilitate a good mix of residential development while allowing compatibility with surrounding neighborhood character.



7. Staff Recommendation:

Finding:

1. The rezoning request from RS-6 Single-Unit Residence District to RD-8 Two-Unit Residence District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request for zoning map amendment (rezoning) from RS-6 Single-Unit Residence District to RD-8 Two-Unit Residence District on approximately 5.28 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the zoning map amendment to the City Council with a recommendation for approval.

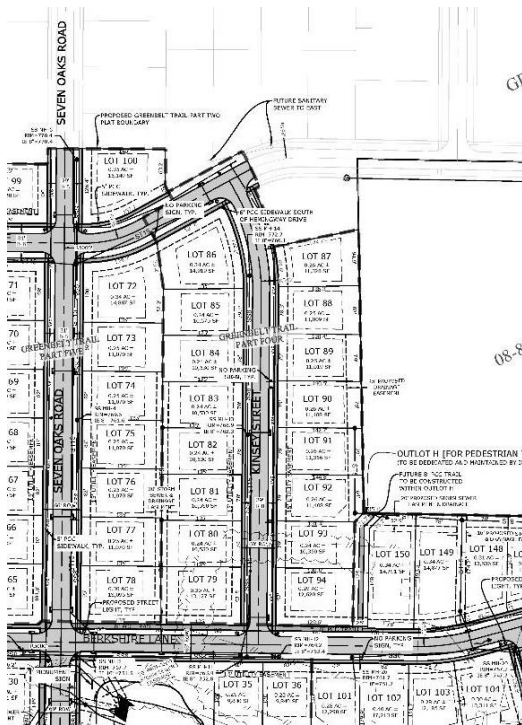


To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **September 1, 2023**
 Re **Request of Scanlon Family, LLC. to approve a Preliminary Subdivision Plat revision for a 22-lot subdivision on approximately 5.28 acres. The property is located on the north side of Berkshire Lane as extended westerly 85' from its current terminus in Greenbelt Trail, Part 2 Subdivision.**

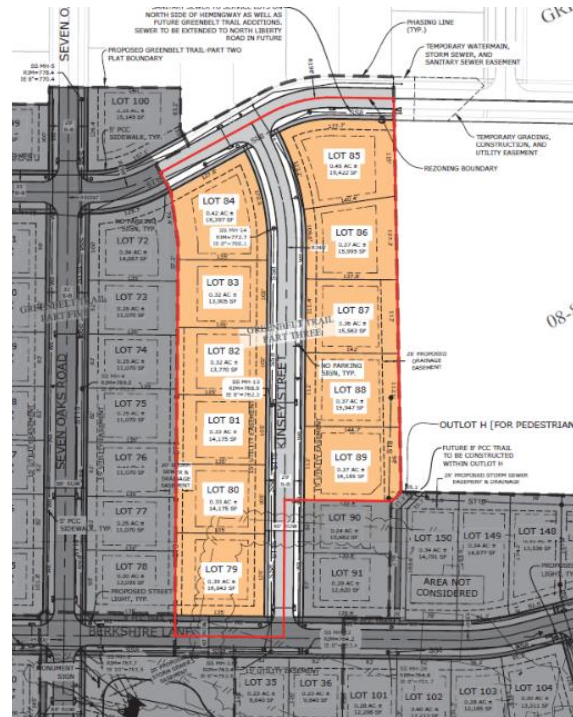
North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:
 Ryan Heiar, City Administrator
 Tracey Mulcahey, Assistant City Administrator
 Grant Lientz, City Attorney
 Tom Palmer, City Building Official
 Kevin Trom, City Engineer
 Ryan Rusnak, Planning Director

1. Request Summary:

The Preliminary Plat proposes 22 lots and related infrastructure approximately 5.28 acres (and adds an additional lot and extends the street). Previously, this portion of the development was approved for 14 lots.



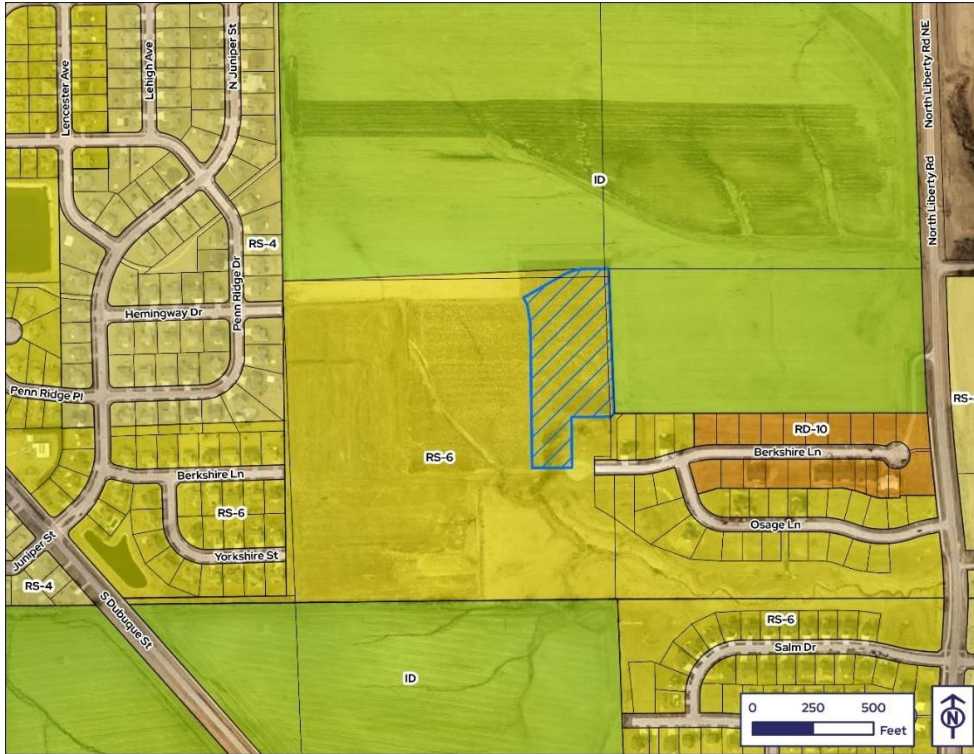
Approved Preliminary Plat



Proposed Preliminary Plat
 Shown as 11 lots – Would be Subdivided into 22 lots

2. Current Zoning:

The property is currently zoned RS-6 Single-Unit Residence District. There is a related request to rezone the property to RD-8 Two-Unit Residence District.



3. Comprehensive Plan Future Land Use Map Designation:

Land Use Plan designation: Urban Low Intensity.

The proposed preliminary plat would achieve consistency with the Future Land Use Map.

4. Public Input:

A virtual good neighbor meeting was held on July 18, 2023. City staff, one member of the Planning Commission and the applicant attended the meeting. There are no objections to the request.

5. Approval Standards:

Section 180.11(3)(A) of the North Liberty Code of Ordinances sets forth the preliminary subdivision plat submittal requirements and review (Ordinance language in *italics* and staff analysis in **bold**).

Preliminary Subdivision Plat Submittal Requirements and Review. The preliminary plat, in general, contains more information than the final plat, so that the subdivider and the City can ensure conformance with codes, master facility plans, and good planning and engineering practices. Though the preliminary plat is not recorded, it is approved by resolution of the City Council, and conditions for approval of the plat shall be addressed on any final plats of the same area.

- A. *Preliminary Plat Contents. The application shall include a preliminary plat of the subdivision drawn to a scale of one inch to one hundred feet minimum, and shall show:*
- (1) *A location map to provide spatial reference, showing the outline of the area to be subdivided, existing streets and corporate limits in the vicinity, a north arrow and scale or note stating "not to scale," and other information that might help clarify where the plat is located as well as its surroundings and size relative to other City features;*

This has been provided on the Preliminary Plat.

- (2) *Name of proposed subdivision and date;*

This has been provided on the Preliminary Plat.

- (3) *Legal description and acreage;*

This has been provided on the Preliminary Plat.

- (4) *Name and address of owner;*

This has been provided on the Preliminary Plat.

- (5) *Names of the persons preparing the plat, owner's attorney, representative or agent, if any;*

This has been provided on the Preliminary Plat.

- (6) *Existing and proposed zoning district classification of all land within the proposed subdivision and within about 200 feet of the subdivision;*

Staff is not requiring this information on the Preliminary Plat.

- (7) *North point and graphic scale;*

This has been provided on the Preliminary Plat.

- (8) *Contours at two-foot intervals or less, both existing and as generally proposed (subject to more refinement in subsequent construction plans);*

This has been provided on the Preliminary Plat.

- (9) *Building setback lines as required by the current or proposed zoning district classifications;*

This has been provided on the Preliminary Plat.

- (10) *The approximate boundaries of areas of known flood levels or floodplains, areas covered by water, wooded areas, floodways, and all open channel drainage ways;*

This has been provided on the Preliminary Plat.

(11) Locations, names, and dimensions of existing lot lines, streets, public utilities, water mains, sewers, drainpipes, culverts, watercourses, bridges, railroads and buildings within in the proposed subdivision and within about 200 feet of the subdivision;

This has been provided on the Preliminary Plat.

(12) Layout of proposed blocks, if used, and lots, including the dimension of each lot, and the lot and block number in numerical order;

This has been provided on the Preliminary Plat.

(13) Layout and dimensions of proposed streets, sidewalks, trails, alleys, utility and other easements, parks and other open spaces or reserved areas;

This has been provided on the Preliminary Plat.

(14) Grades of proposed streets and alleys;

This has been provided on the Preliminary Plat.

(15) A cross-section of the proposed streets showing the roadway locations, the type of curb and gutter, the paving, and sidewalks to be installed;

This has been provided on the Preliminary Plat.

(16) The layout of proposed water mains and sanitary sewer systems;

This has been provided on the Preliminary Plat.

(17) The drainage of the land, including proposed storm sewers, ditches, culverts, bridges and other structures;

This has been provided on the Preliminary Plat.

(18) Stormwater management facilities when applicable;

This has been provided on the Preliminary Plat.

(19) A signed certificate of the Johnson County Auditor for the subdivision name;

This information has been provided.

(20) Other special details or features that may be proposed or required.

None required.

6. Additional information:

None.

7. Staff Recommendation:

Findings:

1. The preliminary plat, which proposes low density residential development, would achieve consistency with the Comprehensive Plan Future Land Map designation of Urban Low Intensity; and
2. The preliminary plat would achieve consistency with Section 180.11(3)(A) and 180.12 of the North Liberty Code of Ordinances, which sets forth the preliminary subdivision plat submittal requirements and design standards, respectively.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request of Scanlon Family, LLC. to approve a Preliminary Subdivision Plat for a 22-lot subdivision on approximately 5.28 acres to the City Council with a recommendation for approval.

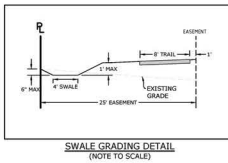
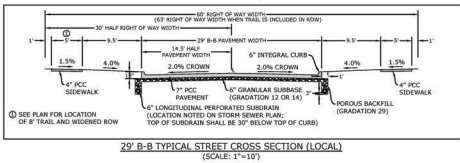
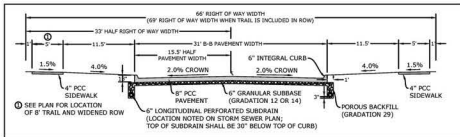
Suggested motion:

I move that the Planning Commission accept the two listed findings and forward the Preliminary Subdivision Plat to the City Council with a recommendation for approval.

REVISED PRELIMINARY PLAT FOR GREENBELT TRAIL SUBDIVISION REVISED PART THREE IN THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

UTILITY AND EMERGENCY TELEPHONE NUMBERS CITY OF NORTH LIBERTY, IOWA

PLANNING DEPARTMENT	(319)-626-5747
POLICE DEPARTMENT	(319)-356-6800
EMERGENCY	911
FIRE DEPARTMENT	(319)-356-6800
EMERGENCY	911
WATER DEPARTMENT	(319)-626-5719
STREETS DEPARTMENT	(319)-626-5718
PARKS AND RECREATION	(319)-626-5720
IOWA ONE CALL (UTILITIES)	(800)-292-8989
MID-AMERICAN ENERGY	(800)-289-6261
ALLIANT ENERGY (ELECTRIC)	
INFORMATION	(800)-255-4268
MEDiacom (CABLE TV)	(800)-883-0145
SOUTHSLOPE (TELEPHONE / CABLE TV)	(319)-626-2211
LINN COUNTY REC	(800) 332-5420
WINDSTREAM	(800) 289-1901
CEDAR RAPIDS AND IOWA CITY RAILWAY COMPANY	(800)-283-1540
IOWA DEPARTMENT OF TRANSPORTATION	
DISTRICT ENGINEER	(319)-364-0235
MAINTENANCE GARAGES	(319)-364-8189
JOHNSON COUNTY ENGINEER	(319)-356-6046



EXISTING	PROPOSED
(SSS)	SANITARY SEWER W/SIZE
(S715)	STORM SEWER W/SIZE
(SBS)	SUBSTRAIN
(FMS)	FORCE MAIN W/SIZE
(WMS)	WATER MAIN W/SIZE
(G)	GAS
(OHE)	ELECTRIC OVERHEAD
(E)	ELECTRIC UNDERGROUND
(C)	CABLE TV UNDERGROUND
(OHC)	CABLE TV OVERHEAD
(OHT)	TELEPHONE OVERHEAD
(F)	FIBER OPTIC UNDERGROUND
(OHT)	FIBER OPTIC OVERHEAD
(T)	TELEPHONE UNDERGROUND
(CORP)	CITY CORPORATION LIMITS
(CORP)	PROPERTY LINE
(CORP)	EASEMENT
(CORP)	CITY CORPORATION LIMITS
(CORP)	CONTIGUOUS LINE
(CORP)	LIGHT POLE W/O MAST
(CORP)	LIGHT POLE W/MAST
(CORP)	TELEPHONE POLE
(CORP)	POWER POLE
(CORP)	GUY ANCHOR
(CORP)	GUY POLE
(CORP)	TELEPHONE PEDESTAL
(CORP)	TELEPHONE MANHOLE
(CORP)	CABLE TV PEDESTAL
(CORP)	UTILITY CONTROL CABINET
(CORP)	SANITARY MANHOLE
(CORP)	STORM MANHOLE
(CORP)	GATE INTAKE
(CORP)	RA-3 INTAKE
(CORP)	RA-5 INTAKE
(CORP)	RA-6 INTAKE
(CORP)	RA-8 INTAKE

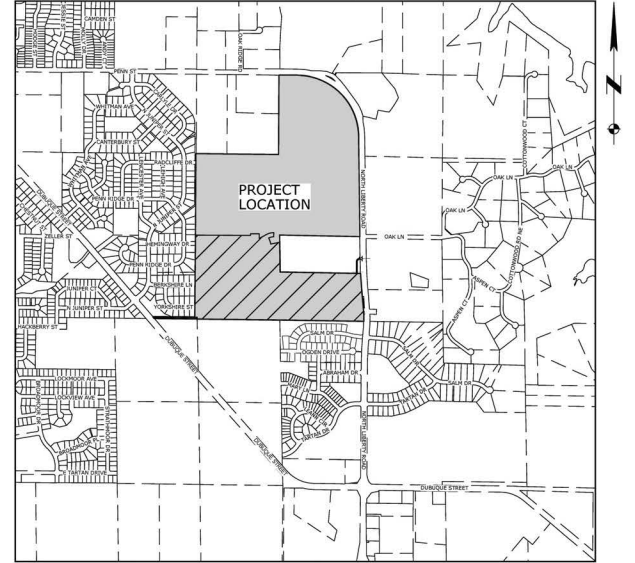
EXISTING	PROPOSED
(H)	HORSESHOE CATCH BASIN W/O FLUME
(H)	HORSESHOE CATCH BASIN W/FLUME
(G)	GAS VALVE
(F)	FLANGED IRD SECTION
(C)	CLEANOUT, STORM OR SANITARY
(B)	BENCHMARK
(S)	STREET SIGN
(W)	WELL
(F)	FIRE HYDRANT
(V)	WATER VALVE
(S)	WATER SHUTOFF
(S)	WATER BLOWOFF
(S)	WATER BLOWOFF
(S)	SURVEY CONTROL MONUMENT AS NOTED

NOTES:
1. THIS IS A STANDARD LEGEND. SOME ITEMS MAY NOT APPEAR ON DRAWINGS.

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www.halleng.com

LOCATION MAP
(1"=1000')



SHEET INDEX

NO.	DESCRIPTION
1	COVER
2	PRELIMINARY PLAT GRADING PLAN

LEGAL DESCRIPTION:
THAT PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER, SECTION 17 AND THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, SECTION 9 AND THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER, SECTION 18 AND THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER, SECTION 7 ALL IN TOWNSHIP 80 NORTH, RANGE 6 WEST OF THE 5TH PRINCIPAL MERIDIAN, NORTH LIBERTY, JOHNSON COUNTY, IOWA DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF AUDITOR'S PLAT NO. 2021024 AS RECORDED IN BOOK 64, PAGE 353 IN THE OFFICE OF THE JOHNSON COUNTY, IOWA RECORDER; THENCE S45°44'12"W ON A NORTHWESTERLY LINE OF SAID AUDITOR'S PARCEL, 19.89 FEET; THENCE N89°18'06"W, 162.43 FEET; THENCE S0°29'51"W, 208.50 FEET; THENCE N89°18'06"W, 165.00 FEET; THENCE N0°29'51"E, 595.93 FEET; THENCE N80°23'59"W, 79.99 FEET; THENCE N28°36'15"W, 33.00 FEET; THENCE N61°23'45"E, 187.78 FEET TO THE BEGINNING OF A 198.34 FOOT RADIUS CURVE, CONCAVE SOUTHERLY AND HAVING A LONG CHORD OF 101.56 FEET BEARING N76°13'05"E; THENCE EASTERLY ON THE ARC OF SAID CURVE, 102.71 FEET; THENCE S88°54'45"E, 90.83 FEET; THENCE S1°03'09"E ON THE WEST LINE OF AUDITOR'S PARCEL NO. 2018039 AS RECORDED IN BOOK 62, PAGE 97 IN THE OFFICE OF THE JOHNSON COUNTY, IOWA RECORDER, 597.25 FEET TO THE POINT OF BEGINNING.

DESCRIBED PARCEL CONTAINS 5.28 ACRES.
PLAT PREPARED BY:
HALL & HALL ENGINEERS, INC.
1860 BOYSSON ROAD
HIAWATHA, IA 52233
(319) 362-9548
OWNER/APPLICANT:
GREENBELT TRAIL, L.L.C.
PO BOX 323
OKOBOJI, IA 51355
(617) 734-0446
scanlonfarm@gmail.com
APPLICANT'S ATTORNEY:
ROBERT N. DOWNER
122 S LINN STREET
IOWA CITY, IA 52240
ZONING/LAND USE:
EXISTING ZONING: ID
PROPOSED ZONING: RS-6 AND RD-8
PROPERTY AREA:
176.51 ACRES
PRELIMINARY PLAT NOTES:
1. ALL EXISTING FIELD TILES SHALL BE EXPOSED, AND RE-ROUTED INTO PROPOSED STORMWATER MANAGEMENT SYSTEM.

DIMENSIONAL STANDARDS:
RS-6: MINIMUM LOT SIZE REQUIREMENTS FRONTAGE: 35 FT WIDTH: 70 FT AREA: 7,000 SF MINIMUM YARD REQUIREMENTS FRONT YARD DEPTH: 25 FT SIDE YARD DEPTH: 8 FT REAR YARD DEPTH: 30 FT MAXIMUM BUILDING PARAMETERS MAX HEIGHT: 35 FT OR 2.5 STORIES
RD-8: MINIMUM LOT SIZE REQUIREMENTS FRONTAGE: 40 FT WIDTH: 100 FT AREA: 10,000 SF OR 5,000 SF/DU MINIMUM YARD REQUIREMENTS FRONT YARD DEPTH: 25 FT SIDE YARD DEPTH: 10 FT REAR YARD DEPTH: 30 FT MAXIMUM BUILDING PARAMETERS MAX HEIGHT: 35 FT OR 2.5 STORIES

STREET	CLASS	DESIGN SPEED	ROW WIDTH	PAVEMENT WIDTH	PAVEMENT THICKNESS
YORKSHIRE STREET	LOCAL	30 MPH	60'	29'	7"
BERKSHIRE LANE	LOCAL	30 MPH	60'-43'	29'	7"
HEMINGWAY DRIVE	COLLECTOR	30 MPH	66'	31'	8"
MCLURE STREET	LOCAL	30 MPH	60'	29'	7"
STRUB STREET	LOCAL	30 MPH	60'	29'	7"
SEVEN GAKS ROAD	COLLECTOR	30 MPH	60'-69'	29'-31'	8"
KINSEY STREET	LOCAL	30 MPH	60'	29'	7"
OSAGE LANE	LOCAL	30 MPH	60'	29'	7"
BERKSHIRE COURT	LOCAL	30 MPH	60'	29'	7"

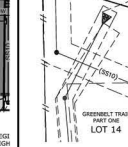
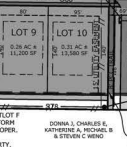
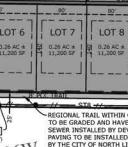
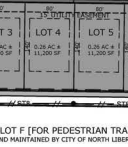
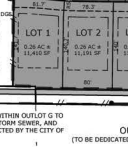
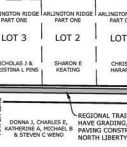
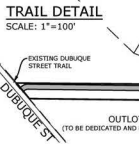
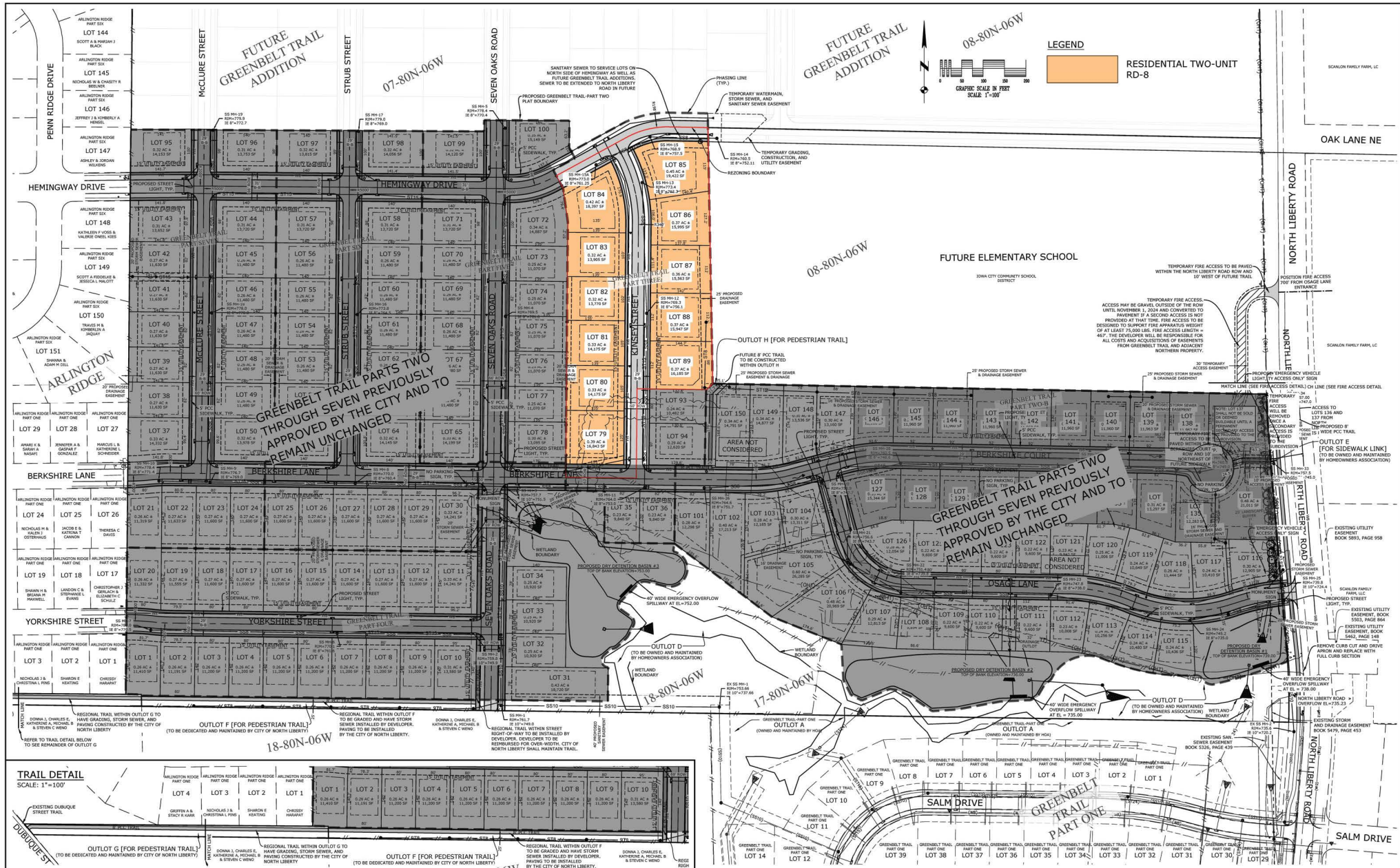
PLAT APPROVED BY THE CITY OF NORTH LIBERTY
CITY CLERK _____ DATE _____
UTILITY EASEMENTS, AS SHOWN HEREON, MAY OR MAY NOT INCLUDE SANITARY SEWER LINES, AND/OR STORM SEWER LINES, AND/OR WATER LINES. SEE CONSTRUCTION PLANS FOR DETAILS.
CITY FILE NUMBER:
HALL & HALL ENGINEERS PROJECT NUMBER: 9249-GBT.2

GREENBELT TRAIL
NORTH LIBERTY · IOWA

North Liberty

Contact Person	JASON STONE, P.E.
Telephone Number	(319) 362-9548
Fax Number	(319) 362-7595
Mailing Address	1860 BOYSSON ROAD HIAWATHA, IA 52233
E-Mail Address	jason@halleng.com
Date Submitted	08/28/2023
Date Re-submitted	
Date Re-submitted	

REVISED PRELIMINARY PLAT FOR GREENBELT TRAIL SUBDIVISION - REVISED PART THREE
C:\D:\Users\jstone\OneDrive\Documents\Greenbelt Trail\2023\Greenbelt Trail Second Addition\DWG\REVISED PART THREE.dwg Date Plotted: Monday, August 28, 2023 11:33:48 AM Plotted By: Jason Stone



DRAWN BY: JGS
 CHECKED BY: LMH
 APPROVED BY:
 DATE: 08-28-2023
 FIELD BOOK: NO.

NO.	REVISION DESCRIPTION	APPROVED	DATE



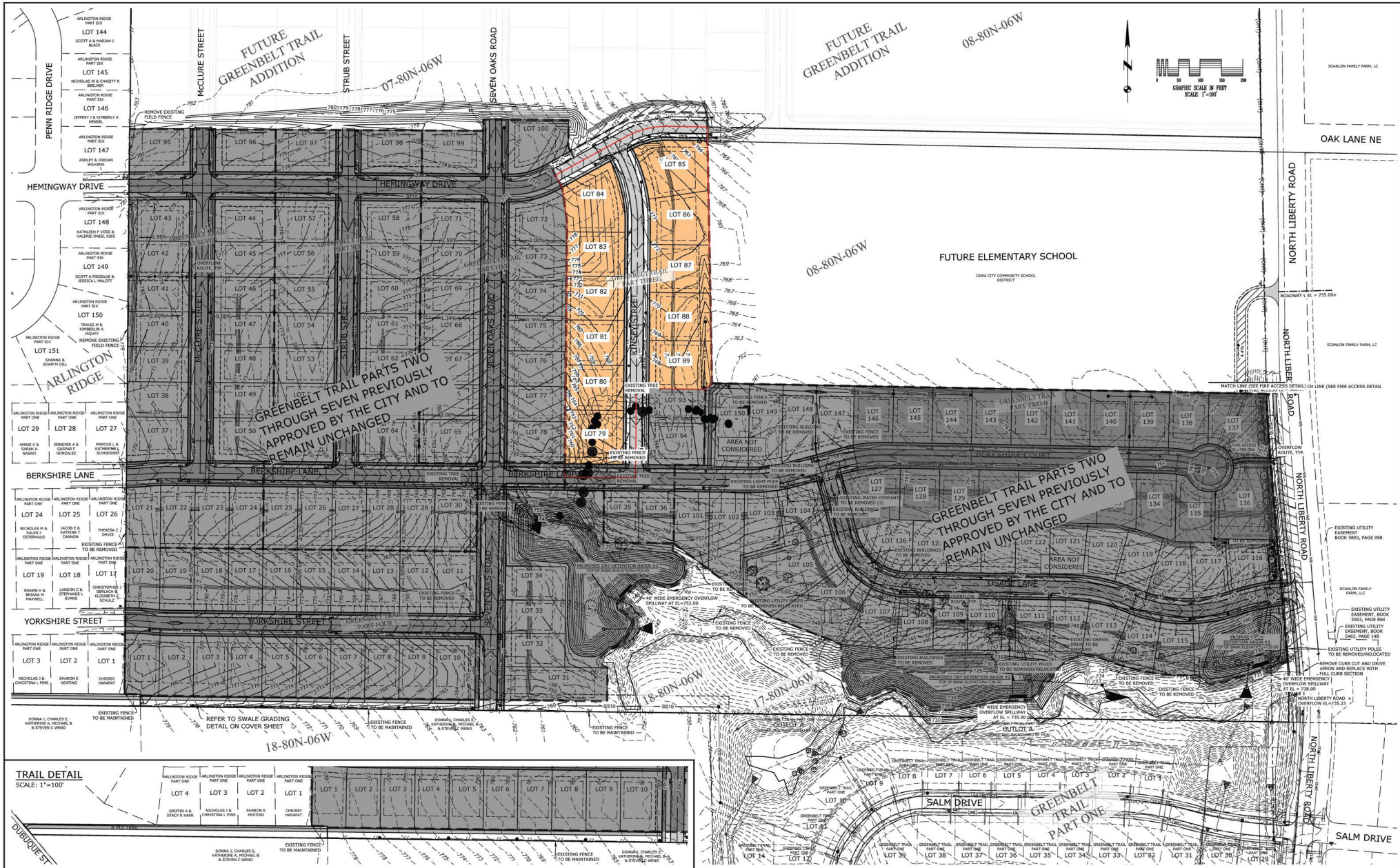
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GREENBELT TRAIL SUBDIVISION
 REVISED PART THREE
 IN THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

PRELIMINARY PLAN
 SCALE: 1"=100'
 PROJECT NO. 9749-GBT-2

SHEET
 1

C:\Users\jgs\OneDrive\Documents\9749-GBT_Schematic\9749-GBT_Schematic.dwg Date Plotted: Monday, August 28, 2023 11:35:25 AM Plotted By: Jason Stone



FIELD BOOK:	NO.	REVISION DESCRIPTION	APPROVED	DATE



North Liberty

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**GREENBELT TRAIL SUBDIVISION
 REVISED PART THREE**
 IN THE CITY OF NORTH LIBERTY, JOHNSON COUNTY, IOWA

GRADING PLAN
 SCALE: 1"=100'
 PROJECT NO. 9749-GBT-2

C:\Users\jason\OneDrive\Documents\9749-GBT-2_Schedule\Drawings\Greenbelt_Trail_Subdivision\DWG\9749-GBT-2_Grading_Plan.dwg Date Plotted: Monday, August 28, 2023 11:36:41 AM Plotted By: Jason Stone



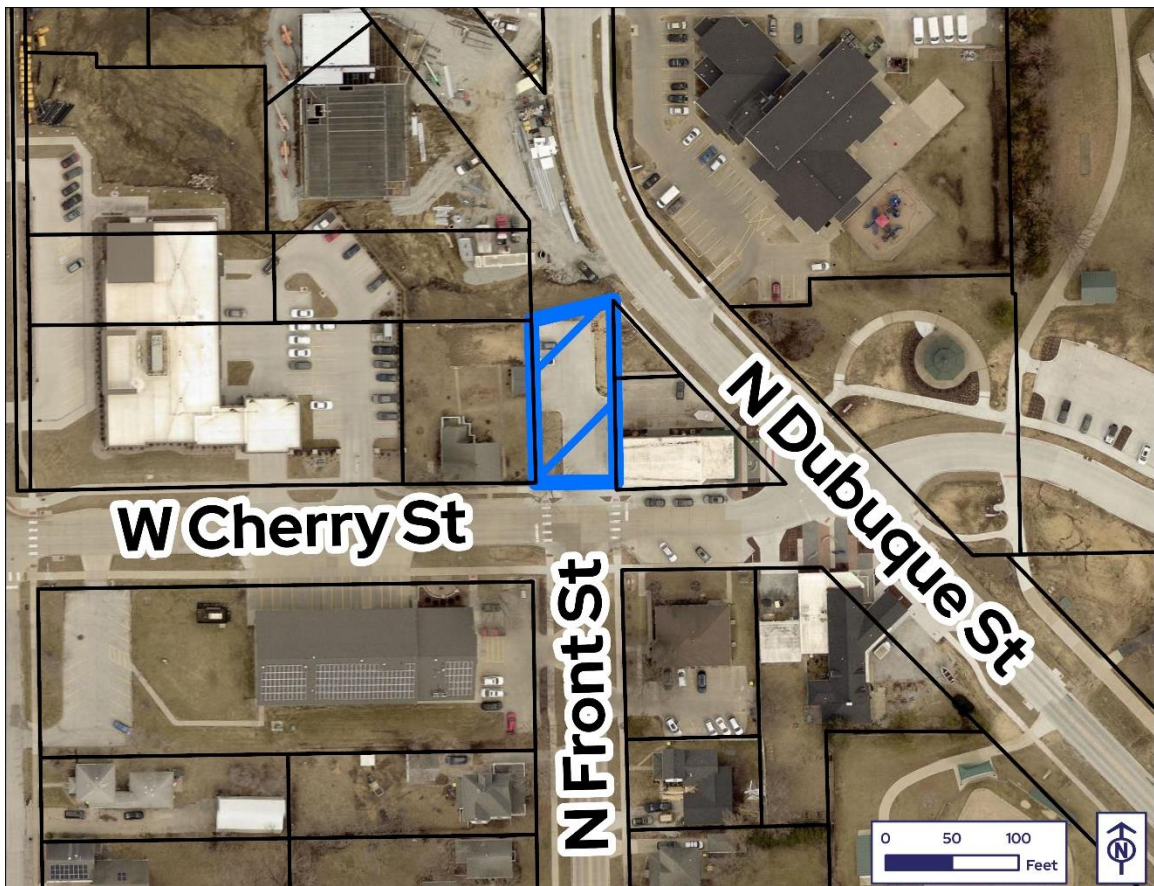
To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **September 1, 2023**
Re **Request of the City of North Liberty to vacate North Front Street between Cherry Street and North Dubuque Street.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Kevin Trom, City Engineer
- Ryan Rusnak, Planning Director

1. Request Summary:

With the North Dubuque Street realignment, the section of North Front Street between the realigned North Dubuque Street and Cherry Street was no longer needed as a public street. It is anticipated that the right-of-way would be divided between the property at 10 West Cherry Street, 325 North Dubuque Street and the new Civic Campus.



2. Public Input:

No public input has been received.

3. Additional Considerations:

Pursuant to Section 137.01 of the City Code:

Any proposal to vacate a street, alley, portion thereof, or any public grounds shall be referred by the Council to the Planning and Zoning Commission for its study and recommendation prior to further consideration by the Council. The Commission shall submit a written report including recommendations to the Council within thirty (30) days after the date the proposed vacation is referred to the Commission..

4. Staff Recommendation:**Findings:**

1. North Front Street right-of-way between the North Dubuque Street and Cherry Street rights-of-way is not needed for the use of the public, and therefore, its maintenance at public expense is no longer justified; and
2. The proposed vacation will not deny owners of property abutting on the street or alley reasonable access to their property.

Recommendation:

Staff recommends the Planning Commission accept the two listed findings and forward the request to vacate North Front Street between Cherry Street and North Dubuque Street to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the request to vacate North Front Street between Cherry Street and North Dubuque Street to the City Council with a recommendation for approval.

Ordinance No. 2023-XX

AN ORDINANCE VACATING A PORTION OF RIGHT OF WAY IN NORTH LIBERTY, IOWA

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. PURPOSE. The purpose of this ordinance is to vacate a portion of right of way and convey it to the adjoining property owners. Such vacation has been approved by the Planning and Zoning Commission.

SECTION 2. FINDINGS. The City Council of North Liberty, Iowa, hereby makes the following findings:

A. That the City of North Liberty held a public hearing on the proposal to vacate those portions of North Front Street intersecting with Cherry Street from the north, as part of the Dubuque Street Phase One public improvement project. The right of way to be vacated is divided into two parcels.

1. Parcel 1 is described as:

That part of Front Street located in the Northeast Quarter of the Southeast Quarter of Section 12, Township 80 North, Range 7 West of the 5th P.M., North Liberty, Johnson County, Iowa described as follows:

Commencing as a point of reference at the Southeast Corner of said Southeast Quarter; thence North 0°02'37" West 1390.95 feet along the east line of said Southeast Quarter (assumed bearing for this description only) to the point of beginning; thence South 89°29'32" West 33.00 feet to the southeast corner of Lot 1, Block 4 of the Original Town of North Liberty, Iowa; thence North 0°02'37" West 122.00 feet along the east line of said Block 4 and the westerly right-of-way of Front Street; thence North 81°26'31" East 33.37 feet to a point of intersection with said east line of said Southeast Quarter; thence South 0°02'37" East 126.67 feet along said east line feet to the point of beginning and containing 4103 square feet more or less.

2. Parcel 2 is described as:

That part of Front Street located in the Northwest Quarter of the Southwest Quarter of Section 7, Township 80 North, Range 6 West of the 5th P.M., North Liberty, Johnson County, Iowa described as follows:

Commencing as a point of reference at the Southwest Corner of said Southwest Quarter; thence North 0°02'37" West 1390.95 feet along the west line of said Southwest Quarter (assumed bearing for this description only) to the point of beginning; thence continuing North 0°02'37" West 169.67 feet along said west line; thence North 81°26'31" East 30.33 feet to a point of intersection with the southwesterly right-of-way of Dubuque Street; thence South 0°02'37" East 131.39 feet along the easterly right-of-way of said Front Steet to a point of intersection with the northerly right-of-way of Cherry Street; thence North 89°36'21" West 30.00 feet to the point of beginning and containing 3871 square feet more or less.

B. The right of way described above is not needed for the use of the public, and therefore its maintenance at public expense is no longer justified.

C. The proposed vacation will not deny owners of property abutting it reasonable access to their property.

D. That under the provisions stated above, the above-described Parcel 1 and Parcel 2 are hereby vacated and declared no longer a part of the public streets and grounds of North Liberty, Iowa.

SECTION 3. CONVEYANCE.

A. Parcel 1, as described in Section 2(A)(1) above, is hereby conveyed to MCBALLARD, L.L.C., as the owner of the adjacent property situated at 10 W. Cherry Street. Said Parcel 1 is conveyed subject to a public utility easement over and across the entirety of the area so described in Section 2(A)(1) above.

B. Parcel 2, as described in Section 2(A)(2) above, is hereby conveyed to Yetley Real Estate, LLC, as the owner of the adjacent property situated at 325 N. Dubuque Street.

SECTION 4. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 5. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 6. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____.
Second reading on _____.
Third and final reading on _____.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2023-XX in the *Cedar Rapids Gazette* on _____.

TRACEY MULCAHEY, CITY CLERK



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **September 1, 2023**
Re **Request of the City of North Liberty for an Ordinance amending the City of North Liberty, Iowa Code of Ordinances, by amending Chapter 165, Zoning Code – Administrative regarding extension of public utilities and moratorium, Chapter 173, Zoning Code – Sign Regulations regarding signs in residential zones and Chapter 180 – Subdivision Ordinance regarding subdivision plat preparation, review and submittal process requirements.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

Ryan Heiar, City Administrator
Tracey Mulcahey, Assistant City Administrator
Grant Lientz, City Attorney
Tom Palmer, City Building Official
Kevin Trom, City Engineer
Ryan Rusnak, Planning Director

1. Request Summary:

Staff is committed to amending the Zoning Ordinance to adapt to changing land use trends a best planning practices. Giving citizens and developers flexibility while maintaining North Liberty's community standards is a primary consideration.

A summary of the proposed changes include:

- Clarifies that private street names can be designated on a preliminary site plan.
- Strengthens construction site plan review requirements.
- Removes a zoning map amendment (rezoning) approval standard.
- Amends Comprehensive Plan elements, which currently do not align with the recently adopted Plan.
- Amends and reorganizes zoning definitions.
- Reduces side yards setbacks for RD-8 and RD-10 zoned properties.
- Combines the C-2-A and C-2-B Zoning Districts into the C-2 District, amends commercial setbacks and increases commercial maximum building height.
- Amends certain zoning use standards.
- Amends parking regulations, which includes a minor allowance for off-street parking within the front yard.
- Amends fence regulations to differentiate allowances for a fence on a corner lot vs a reverse corner lot. A diagram of the various types of lots has been added to the zoning definitions.
- Allows for structures besides private garages be larger than 200 square feet. Examples include storage buildings, greenhouses, gazebos, pergolas, and other similar structures.

- Amends permitted encroachments into required yards.
- Minor amendments to the sign ordinance.

2. Public Input:

No public input has been received.

3. Staff Recommendation:

Finding:

1. The proposed Ordinance would implement desired practices and adapt to changing land use trends.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the Ordinance amendment to the City Council with a recommendation for approval.

Suggested Motion:

I move that the Planning Commission accept the listed finding and forward the Ordinance amendment to the City Council with a recommendation for approval.

ORDINANCE NO. _____

REQUEST OF THE CITY OF NORTH LIBERTY FOR AN ORDINANCE AMENDING CHAPTERS 139, 165, 166, 167, 168, 169 AND 173 OF THE NORTH LIBERTY CODE OF ORDINANCES, AMENDING REGULATIONS FOR NAMING OF STREETS, CONDITIONS FOR CONSTRUCTION SITE PLAN APPROVAL, ZONING MAP AMENDMENTS, AND REQUIRED COMPREHENSIVE PLAN COMPONENTS, ADDING NEW AND UPDATING DEFINITIONS, AMENDING CERTAIN RESIDENTIAL DISTRICTS AND COMBINING THE C-2-A AND C-2-B ZONING DISTRICTS, AMENDING BULK REQUIREMENTS IN CERTAIN RESIDENTIAL AND COMMERCIAL DISTRICTS, ZONING USE MATRIX AND ZONING USE STANDARDS, OFF-STREET PARKING REGULATIONS, MAXIMUM FENCE HEIGHT IN RESIDENTIAL DISTRICTS, ACCESSORY STRUCTURE STANDARDS, AND PERMITTED ENCROACHMENTS IN REQUIRED YARDS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT OF THE NAMING OF STREETS ORDINANCES. Chapter 139.01 of the North Liberty Code of Ordinances is amended to read as follows:

New streets shall be assigned names in accordance with the following:

1. Extension of Existing Street. Streets added to the City that are natural extensions of existing streets shall be assigned the name of the existing street.
2. Resolution. All streets ~~shall be names~~ named by resolution, except streets named as a part of a subdivision or platting procedure, shall be named by resolution. Streets names depicted on a final subdivision plat and/or preliminary site plan approved by resolution satisfy this requirement.
3. Planning and Zoning Commission. Proposed street names shall be referred to the Planning and Zoning Commission for review and recommendation.

SECTION 2. AMENDMENT OF ZONING ORDINANCE. Paragraph 3(D) of Chapter 165.05 of the North Liberty Code of Ordinances is amended to read as follows:

- D. Extension of public utilities and services, dedication of right-of-way.
(1) The petitioner may, as a condition of the construction site plan approval, be required to install public utilities, including (but not limited to) water lines, storm sewer, sanitary sewer, street paving, fire hydrants, and such other utilities as applicable to properly serve the proposed development ~~and allow for the orderly future development of neighboring parcels,~~ to provide easements for the ingress and egress of public utility and emergency vehicles, and to dedicate right-of-way to accommodate motorized and

nonmotorized transportation, parking, and utility requirements. The City and petitioner may enter into a written site plan agreement governing the installation and establishment of such utilities and accommodations necessary to satisfy public needs. Where required as a condition of a construction site plan approval, utilities shall be constructed in accordance with construction standards as established by resolution of the City Council for those portions within the public right-of-way and to be dedicated to the City, and may be required to be constructed to the same specifications for those undedicated portions where said utilities may have a direct effect on the future safety, proper functioning, and maintenance of those portions to be dedicated.

(2) To allow orderly development, the water lines and sanitary sewer service installed in a proposed development pursuant to subparagraph 1 above shall extend to the boundary line of the subject property, and beyond as may be determined to be necessary by the City to provide for future service to adjacent properties. The City shall require the installation of water and sewer service of sufficient size and capacity to serve the full area capable of being served by each such type of improvement, so that the City will not be required to construct parallel or duplicate facilities. If such improvements are greater in size than needed to serve the subject property itself, the City, at its discretion, may share in the expense thereof. Such cost sharing shall be according to the terms of a site plan agreement. Any payment of excess costs by the City shall be pursuant to state law.

SECTION 3. AMENDMENT OF ZONING ORDINANCE. Paragraph 4(D) of Chapter 165.09 of the North Liberty Code of Ordinances is amended to read as follows:

- D. Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards.
- (1) Map Amendments.
 - (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.
 - (b) The compatibility with the zoning of nearby property
 - (c) The compatibility with established neighborhood character.
 - (d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.
 - ~~(e) The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the~~

property in question for one or more of the uses permitted under the existing zoning classification.

(f)(e) The extent to which the proposed amendment creates nonconformities.

SECTION 4. AMENDMENT OF ZONING ORDINANCE. Paragraph 7(A) of Chapter 166.02 of the North Liberty Code of Ordinances is amended to read as follows:

A. — Comprehensive Plan. It shall be the duty of the Commission, after holding public hearings, to create and recommend to the Council a comprehensive plan for the physical development of its jurisdiction, which may include areas outside of the City's boundaries which bear consideration to the planning of the jurisdiction. The Commission shall also recommend amendments to the comprehensive plan. The comprehensive plan shall include at least the following elements:

B. — Official Maps

Growth and Land Use

Commercial/Industrial Uses

Transportation and Utilities

Community Facilities

Housing

Environmental

Geologic/Natural Hazards

The Commission may also recommend amendments to the comprehensive plan.

SECTION 5. AMENDMENT OF ZONING ORDINANCE. Chapter 167.01 of the North Liberty Code of Ordinances is amended as follows:

1. The existing defined term, "Accessory building," is amended to read as follows:

"Accessory building structure" means a subordinate building structure customarily incidental to and located on the same lot occupied by the main use or building, such as a detached garage as the principal building.

2. A new defined term, "Gazebo," as set forth below, is inserted between the definitions of "Garage, private" and "Grade":

"Gazebo" means a freestanding roofed structure with open sides.

3. Delete definitions, "Lot," "Lot, corner," "Lot, flag," "Lot, interior".

"Lot" means a parcel of land, adequate for occupancy by a use permitted under this chapter, which provides the yards, area, and off-street parking required under this code and which fronts directly upon a public street or upon an officially approved place.

"Lot area" means the total area within the boundaries of a lot, excluding any street right-of-way, usually defined in square footage.

"Lot, corner" means a lot abutting on two intersecting or intercepting streets, where the interior angle of intersection or interception does not exceed 135 degrees.

4. New defined term, "Lot," as set forth below, is inserted between the definitions of "Livestock" and "Lot area":

"Lot" means the basic development unit for determination of lot area, depth, and other dimensional regulations. The following describes the types of lot configurations:

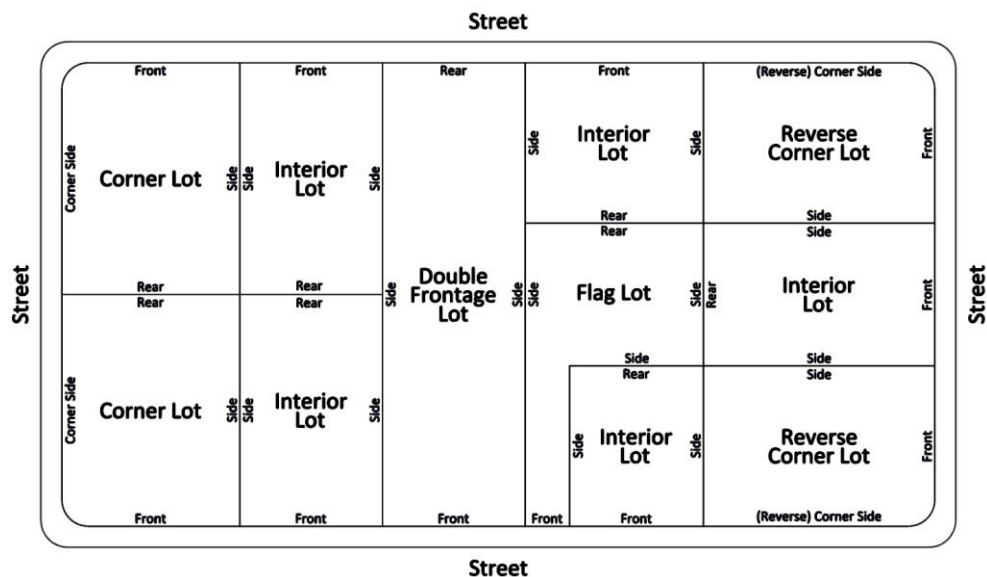
An "interior lot" means a lot other than a corner or through lot, bounded by two interior side lot lines.

A "corner lot" means a lot situated at the junction of, and abutting on, two or more intersecting streets.

A "double frontage lot" means a lot which fronts upon two streets, or which fronts upon two streets which do not intersect at the boundaries of the lot.

A "reverse corner lot" is a corner lot where the side lot line adjoining a street is substantially a continuation of the front lot line of the first lot to its rear.

A "flag lot" means a lot such that the main building site area (the "flag") is set back from the street on which it fronts and includes an access strip (the "pole") connecting the main building site with the street.



3. A new defined term, "Pergola," as set forth below, is inserted between the definitions of "Parking space" and "Person":

"Pergola" means an open structure, which may either be freestanding or attached to a structure, that forms a partially shaded pedestrian walkway, passageway, or seating area.

SECTION 6. AMENDMENT OF ZONING ORDINANCE. Paragraphs 1(A) and 1(B) of Chapter 168.01 of the North Liberty Code of Ordinances is amended as follows:

- A. Residential Districts
- (1) RS-3 Single-~~FamilyUnit~~ Residence District.
 - (2) RS-4 Single-Unit Residence District.
 - (3) RS-6 Single-Unit Residence District.
 - (4) RS-7 Single-Unit Residence District.
 - (5) RS-8 Single-Unit Residence District.
 - (6) RS-9 Single-Unit Residence District.
 - (7) RD-8 Two-Unit Residence District.
 - (8) RD-10 Two-Unit Residence District.
 - (9) RM-8 Multi-Unit Residence District.
 - (10) RM-12 Multi-Unit Residence District.
 - (11) RM-21 Multi-Unit Residence District.
 - (12) R-MH Residential Manufactured Home Park District.
- B. Commercial Districts
- (1) C-1-A Central Commercial District.
 - (2) C-1-B General Commercial District.
 - (3) C-2-~~A~~ Highway Commercial District.
 - ~~(4)~~ ~~C-2-B Highway Commercial District.~~
 - ~~(5)~~~~(4)~~ C-3 Higher-Intensity Commercial District.
 - ~~(6)~~~~(5)~~ O/RP Office and Research Park District

SECTION 7. AMENDMENT OF ZONING ORDINANCE. Paragraphs 1(A) and 5(B) of Chapter 168.02 of the North Liberty Code of Ordinances is amended as follows:

168.02 RESIDENTIAL DISTRICTS.

- A. RS-3 Single-~~FamilyUnit~~ Residence District. The RS-3 District is intended to provide and maintain low-density single-~~familyunit~~ residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-3 District.

B. RD and RM Districts.

Table 168.02-B Dimensional Standards SF = Square Feet, DU= Dwelling Unit, ' = Feet					
	RD-8	RD-10	RM-8	RM-12	RM-21
Bulk					
Minimum Lot Area	10,000 SF 5,000 SF/DU	9,000 SF 4,500 SF/DU	21,780 SF 5,000 SF/DU	21,780 SF 3,500 SF/DU	21,780 SF 2,000 SF/DU
Minimum Frontage	40'	35'	75'	50'	50'
Minimum Lot Width	100'	80'	100'	80'	80'
Maximum Building Height	35'	35'	40'	40'	65'*
Setbacks					
Minimum Required Front Yard	25'	25'	25'	25'	25'*
Minimum Required Corner Side Yard	25'	25'	25'	25'	25'*
Minimum Required Side Yard	10'8'	10'5'	15'	15'	10'*
Minimum Required Rear Yard	30'	30'	30'	30'	30'
*An additional foot of setback is required for every foot of building height over 45'					

SECTION 8. AMENDMENT OF ZONING ORDINANCE. Chapter 168.03 of the North Liberty Code of Ordinances is amended as follows:

168.03 COMMERCIAL DISTRICTS.

1. Defined.
 - A. C-1-A Central Commercial District. The C-1-A District is intended to provide a traditional central setting oriented toward pedestrians as well as automobiles. It is typified by high-density commercial development with minimal setback requirements.
 - B. C-1-B General Commercial District. The C-1-B District is intended to provide for the uses established under the C-1-A Central Commercial District and other commercial uses which due to space requirements and the nature of operations are not suitable for location within a compact central commercial center. Setback and yard requirements are greater than under the C-1-A Central Commercial District.
 - C. ~~C-2-A~~ Highway Commercial District. The ~~C-2-A~~ District is intended to provide for those commercial uses which may take particular advantage of a highway location and/or due to size or other nuisance constraints may be incompatible with the predominantly retail uses permitted in the C-1-A and C-1-B Commercial Districts, and whose service area is not confined to any one neighborhood or community.
 - ~~D. C-2-B Highway Commercial District. The C-2-B District is intended to provide for those commercial uses which may take advantage of a highway location and are compatible with second-story residential uses. This district will be used sparingly after initial passage of the City zoning map.~~
 - E.D. C-3 Higher-Intensity Commercial District. The C-3 District is intended to accommodate higher-intensity commercial development that serves both local and regional markets. The C-3 District addresses medium and large-scale development that may generate considerable traffic and typically requires significant off-street parking. Higher density residential uses are also allowed to facilitate a mixed-use orientation where appropriate.
 - F.E. O/RP Office and Research Park District. The O/RP District is intended to accommodate office buildings, similar structures, and complementary uses in a mutually compatible environment. It is designed to provide landscaping and space requirements suitable for an office and research setting. Uses are limited to those compatible with an office setting and those which do not produce noise, air, or other environmental nuisances which might interfere with activities within the district and surrounding residential areas.

2. Dimensional Standards.

Table 168.03 Dimensional Standards SF = Square Feet, ' = Feet						
	C-1-A	C-1-B	C-2-A	C-2-B	C-3	O/RP
Bulk						
Minimum Lot Area	None	None	None	None	20,000 SF	1.5 acres
Minimum Frontage	35'	35'	35'	35'	35	100'
Minimum Lot Width	35'	35'	35'	35'	35'	150'
Maximum Building Height	45'	45'	35'45'	35'	75'*	75'
Setbacks						
Minimum Required Front Yard	0'	25'	25'	25'	25'	50'
Minimum Required Corner Side Yard	0'	25'	25'	25'	25'	50'
Minimum Required Side Yard	0'	10'	10'	10'	10' unless abutting a residential district then 20' *	20'
Minimum Required Rear Yard	10'	20' 10' unless abutting a residential district than 20'*	20' 10' unless abutting a residential district than 20'*	20'	10' unless abutting a residential district then 25' than 20'*	50'

* One foot of additional setback above the required side or rear yard setback as measured from a lot line of property within a residential district for every one-foot building height above 35 feet.

SECTION 9. AMENDMENT OF ZONING ORDINANCE. Table 168.06: Use Matrix, in Chapter 168.06 of the North Liberty Code of Ordinances is amended as follows:

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2-A	C-2-B	C-3	OR/P	I-1	I-2	I-P	P
1. Adult Entertainment													C		
2. Agricultural Experience	C														
3. Agriculture	P														
4. Amusement Facility – Indoor						C	P	P	P	P					
5. Amusement Facility – Outdoor										C					
6. Animal Care Facility						P	P	P	P			P			
7. Animal Shelter												C			C
8. Art Gallery						P	P	P	P	P					
9. Arts and Fitness Studio						P	P	P	P	P					
10. Bar						P	P	P	P	P		P		P	
11. Bed and Breakfast Home		C													
12. Body Art Establishment								P	P						
13. Brewery-Micro						P	P	P	P	P				P	
14. Broadcasting Studio								P	P	P				P	P
15. Building Trades and Services								P	P	P		P		P	
16. Car Wash								P	P						
17. Child Care Center						P	P	P	P	P	P			P	P
18. Child Care Home		P			P										
19. Child Development Home		P													
20. Community Center						P	P	P	P	P				P	P
21. Community Pantry	C	C	C	C		C	P	P	P						
22. Cultural Facility						P	P	P	P	P					P
23. Distillery, Micro						P	P	P	P	P				P	
24. Drive-Through Facility						C	P	P	P	P	P			P	
25. Dwelling – Manufactured Home					P										
26. Dwelling – Mixed Use						P	P	P	P	P					
27. Dwelling – Multiple-Unit				P				P		P					

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2-A	C-2-B	C-3	OR/P	I-1	I-2	I-P	P
<u>28. Dwelling – Single-Unit</u>	P	P													
<u>29. Dwelling – Single-Unit Zero Lot Line</u>			P												
<u>30. Dwelling – Townhouse</u>				P				P							
<u>31. Dwelling – Two Unit</u>			P	P											
<u>32. Educational Facility – Primary</u>	P	P	P	P		P	P	P	P	P					P
<u>33. Educational Facility – Secondary</u>	P	P	P	P		P	P	P	P	P					P
<u>34. Educational Facility – University or College</u>											P			P	P
<u>35. Educational Facility – Vocational</u>						C	P	P	P	P		P		P	
<u>36. Financial Institution</u>						P	P	P	P	P				P	
<u>37. Fireworks, Retail Sales of</u>												P			
<u>38. Food Bank</u>												P			
<u>39. Fueling Station</u>							P	P	P	P		P		P	
<u>40. Fulfillment Center, Micro</u>								C	C	C		P			
<u>41. Funeral Home</u>								P	P						
<u>42. Golf Course/Driving Range</u>							P								P
<u>43. Greenhouse/Nursery - Retail</u>												P			
<u>44. Group Home</u>	P	P	P		P										
<u>45. Healthcare Institution</u>										P				P	P
<u>46. Heavy Rental and Service Establishment</u>												P			
<u>47. Heavy Retail Establishment</u>										P		P			
<u>48. Hotel</u>						C	P	P	P	P	P			P	
<u>49. Industrial - General</u>												P	P		
<u>50. Industrial - Light</u>												P	P	P	
<u>51. Industrial Design</u>							P	P	P	P		P		P	

Table 168:06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

<u>Use</u>	<u>ID</u>	<u>RS</u>	<u>RD</u>	<u>RM</u>	<u>R-MH</u>	<u>C-1-A</u>	<u>C-1-B</u>	<u>C-2-A</u>	<u>C-2-B</u>	<u>C-3</u>	<u>OR/P</u>	<u>I-1</u>	<u>I-2</u>	<u>I-P</u>	<u>P</u>
<u>77. Vehicle Dealership, New and Used</u>								P	P	P					
<u>78. Vehicle Dealership, Used</u>								C	C						
<u>79. Vehicle Operations Facility</u>												P			P
<u>80. Vehicle Rental</u>												P			
<u>81. Vehicle Repair - Major</u>								C	C			P			
<u>82. Vehicle Repair - Minor</u>								P	P			P			
<u>83. Warehouse</u>												P			
<u>84. Wholesale Establishment</u>												P			
<u>85. Winery, Micro</u>						P	P	P	P	P				P	

SECTION 10. AMENDMENT OF ZONING ORDINANCE. Paragraphs 6, 15, 30, 29, 30, 31, 39, and 72 of Chapter 168.07 of the North Liberty Code of Ordinances are each respectively amended as follows:

6. Animal Care Facility.
 - A. Defined. Animal Care Facility means an establishment which provides care for domestic animals, including veterinary offices for the treatment of animals, pet grooming facilities and animal training centers and clubs. The boarding of animals is limited. Animal care facilities do not include animal breeders or animal shelters.
 - B. Use Standards.
 - (1) Animal care facilities must locate exterior exercise areas in the rear yard only. Exterior exercise areas must provide covered areas over a minimum of 30% of the exterior area to provide shelter against sun/heat and weather. A fence a minimum of six feet in height is required for all exterior exercise areas.
 - (2) Animal care facilities must locate all overnight boarding facilities indoors. Overnight boarding is not permitted in the C-1-B; and C-2-A Districts ~~and C-2-B Districts~~ unless short-term boarding is incidental to the veterinary treatment of animals.
 - (3) All animal quarters and exterior exercise areas must be kept in a clean, dry, and sanitary condition.

15. Building Trades and Services
 - A. Defined. Building Trades and Services means an establishment that undertakes activities related to building construction projects, as well as those that provide repair and maintenance services to buildings, including building systems, home appliances, and the like. These specialized trade contractors may work on subcontract from a general contractor, performing only part of the work covered by the general contract, or they may work directly for the owner of the building or project. Building and Trade Services uses primarily perform their work at the site of the structure being constructed or serviced, although they also may have shops where they perform work incidental to the job site. Examples of building trades and services include electrical, plumbing, heating, and air conditioning contractors, painting, masons, stone and tile setters, glass and glazing services.
 - B. Use Standards.
 - (1) Building area shall be limited to 7,500 square feet in the C-2-~~A, C-2-B~~ and C-3 Districts.
 - (2) Vehicles such as cars, vans and pickup trucks shall be permitted in designated parking spaces in any location. Box trucks, and other similar vehicles, along with trailers which may be pulled by permitted vehicles, shall also be permitted in designated parking

spaces, but shall not be located within a front or corner side yard. Smaller equipment such as skid loaders, forklifts, etc. may be permitted, provided they are stored indoors or inside enclosed trailers. Heavy vehicles and equipment such as tractor trailers, semi-trucks, construction equipment, and other large specialty vehicles as determined by Code Official shall be prohibited.

- (3) Outdoor storage shall only be permitted in the I-1 District.
 - (a) Outdoor storage or display areas shall be screened with landscaping consisting of shade trees and evergreen trees and shrubs. Such landscaped area shall be of sufficient width and density to provide an effective and aesthetically pleasing screen with trees and shrubs not less than five feet in height when planted. In lieu of planting strips, a six-foot tall solid vertical fence or masonry, heavy wood construction, or other similar material approved by the Code Official may be used as a screen.
 - (b) Outdoor storage or display shall be allowed only on hard-surface areas paved to parking lot specifications with asphalt or concrete.

27. Dwelling – Multiple–Unit.

- A. Defined. Multiple–Unit Dwelling means a structure containing three or more attached dwelling units used for residential occupancy. A multiple–unit dwelling does not include a townhouse dwelling.
- B. Use Standards.
 - (1) Buildings must be designed with consistent materials and treatments that wrap around all building elevations. There must be a unifying architectural theme for the entire multi-unit development, utilizing a common vocabulary of architectural forms, elements, materials, or colors in the entire structure.
 - (2) Building facades must include windows, projected or recessed entrances, overhangs, and other architectural features. Three-dimensional elements, such as balconies and bay windows, are encouraged to provide dimensional elements on a facade.
 - (3) Minimum required masonry on front and corner side yard building elevations in residential districts is 25%.
 - (4) A 15% minimum transparency requirement applies to any facade facing a street and is calculated on the basis of the entire area of the facade.
 - (5) Buildings shall be oriented to the best extent possible so that attached garages doors do not face the public right-of-way.
 - (6) Additional Commercial district design standards.
 - (a) Roofs shall be designed to be generally flat and shall be concealed from view by use of parapet walls or other architectural methods. Portions of roofs that are curved or

pitched may be allowed as architectural accents but shall not be used as the primary roof design.

9. Dwelling – Single-Unit Zero Lot Line.

- A. Defined. A Single-Unit Zero Lot Line Dwelling means a structure containing two dwelling units, the interior of which is configured in a manner such that the dwelling units are separated by a party wall and are on separate lots. A single-unit zero lot line dwelling is typically designed so that each unit has a separate exterior entrance and yard areas.
- B. Use Standards.
- (1) The interior side yard is not applicable to the side of the unit located on the lot line (shared wall attachment to another unit).
 - (2) Each unit must have an approved one-hour fire-resistive wall between them that is built in such a manner as to allow no connections other than the wall itself between the units
 - (3) The front entry must be an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front facade.
 - (4) Minimum required masonry on front and corner side yard building elevations is 25%, with the following exceptions:
 - (i) Two, two-inch caliper trees planted in the corner side yard. Existing trees of adequate size in the corner side yard may satisfy this requirement.
 - (ii) Architectural relief on the façade facing the corner side yard, such that the wall contains more than two offsets, which may consist of wall corners, bay or bowed windows, or other means approved by the Code Official.
 - (5) A 5% minimum transparency requirement applies to the front facade and is calculated on the basis of the area of the facade below the roofline.

30. Dwelling – Townhouse.

- A. Defined. Townhouse Dwelling means structure consisting of three or more dwelling units, the interior of which is configured in a manner such that the dwelling units are separated by a party wall and may or may not be on separate lots. A townhouse is typically designed so that each unit has a separate exterior entrance and yard areas. A townhouse dwelling does not include a multi-family dwelling. To provide for design flexibility, a townhouse dwelling development may include single-unit dwellings.
- B. Use Standards.
- (1) The interior side yard is not applicable to the side of the unit located on the lot line (shared wall attachment to another unit).

- (2) Each unit must have an approved one-hour fire-resistive wall between them that is built in such a manner as to allow no connections other than the wall itself between the units
- (3) The front entry must be an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front facade.
- (4) Minimum required masonry on front and corner side yard building elevations in residential districts is 25%.
- (5) A 5% minimum transparency requirement applies to the front facade and is calculated on the basis of the area of the facade below the roofline.
- ~~(6) Additional commercial district design standards.~~
 - ~~(a) Buildings shall be oriented to the best extent possible so that attached garages doors do not face the public right-of-way.~~
 - ~~(b) Roofs shall be designed to be generally flat and shall be concealed from view by use of parapet walls or other architectural methods. Portions of roofs that are curved or pitched may be allowed as architectural accents but shall not be used as the primary roof design.~~
 - ~~(c) A 15% minimum transparency requirement applies to any facade facing a street and is calculated on the basis of the entire area of the facade.~~

31. Dwelling - Two-Unit.

- A. Defined. A Two-Unit Dwelling means a structure containing two dwelling units, arranged side-by-side with each unit having an exterior entrance, on a single lot. To provide for design flexibility, a two-unit dwelling development may include single-unit dwellings.
- B. Use Standards.
 - (1) The front entry must be an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front facade.
 - (2) Minimum required masonry on front and corner side yard building elevations is 25%.
 - (3) A 5% minimum transparency requirement applies to the front facade and is calculated on the basis of the area of the facade below the roofline.

39. Fueling Station.
- A. Defined. Fueling Station means an establishment where fuel for vehicles is dispersed from fixed equipment into the fuel tanks or battery cells of said vehicles. A fueling station may also include ancillary car wash bays.
 - B. Use Standards. ~~None.~~
 - (1) Canopy support structures shall be wrapped in masonry materials consistent with the principal building.
72. Self-Storage Facility: Outdoor.
- A. Defined. Outdoor self-storage facility means an establishment for the storage of personal property where individual renters control and access individual storage spaces and where each storage unit has individual access from the outdoors. Ancillary retail sales of related items, such as moving supplies, and facility offices may also be included. Rental of vehicles and other equipment for moving is a separate use from self-storage facility. The heavy retail, rental, and service use must be allowed within the district and requires separate approval.
 - B. Use Standards.
 - (1) Storage units cannot be used for residential occupancy or business.
 - (2) No plumbing connections are permitted in self-storage units.
 - (3) Outdoor self-storage facilities shall be oriented to the best extent possible so that storage unit access doors do not face the public right-of-way, or residential districts as set forth in Section 168.02.
 - (4) Exterior facades not facing the exterior of the property are not subject to the masonry requirements set forth in Section 169.10.
 - (5) Commercial district design standards.
 - (a) Exterior facades that face a right-of-way or adjoining residential district shall include the following:
 - (i) Color, texture and building material changes.
 - (ii) Wall articulation change of no less than two feet in depth or projection every 50 feet.
 - (iii) Wall articulation change no less than two feet in vertical elevation every 50 feet in building width. The change in elevation shall extend a minimum of 20 feet in building width.
 - (iv) Exterior facades that face a right-of-way or adjoining residential district shall include windows or faux windows.

76. Utility (Sub)Station

A. Defined. Utility (sub)station means a structure or facility used by a public or quasi-public utility agency to store and/or distribute public utilities. Utility (sub)stations does not include outdoor storage or maintenance facilities.

B. Use Standards.

- (1) Utility (sub)stations, shall to the greatest degree possible, be located so as to minimize impacts on surrounding properties and public infrastructure.
- (2) No setbacks are required, however, utility (sub)stations shall not block visibility or create traffic hazards.
- (3) Minimum required masonry on all building elevations is 60%,
- (3) Utility (sub)stations shall be screened with landscaping consisting of shade trees and evergreen trees and shrubs. Such landscaped area shall be of sufficient width and density to provide an effective and aesthetically pleasing screen with trees and shrubs not less than five feet in height when planted. In lieu of a landscape area, a masonry wall may be used as a screen.

(4) Decorative fences within the front yard may exceed the maximum height specified in section 169.04 subject to the following:

- (a) Fence material shall be wrought iron or ornamental metal and shall have masonry columns spaced a maximum of 50 feet.
- (b) Maximum height is 10 feet.
- (c) Shall not be located within the corner visual clearance area.

SECTION 11. AMENDMENT OF ZONING ORDINANCE. Paragraphs 2(F&G) of Chapter 169.01 of the North Liberty Code of Ordinances is amended as follows:

169.01 OFF-STREET PARKING AND LOADING.

- F. Setbacks. Off-street parking spaces and drive aisles within a parking lot or structure must be designed in accordance with the minimum dimensions in Table 169.01-B Off-Street Parking and Loading Setbacks.

District	Right-Of-Way/Front/Corner Lot Line	Side Lot Line	Rear Lot Line
ID, RS, RD	25 feet ¹	3 feet ²	3 feet
R-MH	10 feet ³	5 feet	5 feet
RM, C, I, P	10 feet	5 feet	5 feet
O/RP	25 feet	10 feet	10 feet

- For residential uses Off-street parking areas may be within the front or corner side yard, but shall not occupy greater than 50 percent of the required front yard and shall not provide greater than one parking space in addition to that provided in the travel portion of the driveway. Notwithstanding the foregoing, the two required parking spaces for single and two-unit dwellings may be located within either the required front or corner side yard single if no garage exists and there is inadequate area to locate one of the parking spaces in the side or rear yard subject to the condition that driveway be a maximum 20 feet in width.
- No setback required on an interior side lot line for two-unit dwelling buildings.
- Off-street parking areas may be within the front yard.
- In any district where off-street joint access is provided, the required setback on an interior side lot line may be reduced if a joint access easement agreement is recorded between the two lots.

- G. Single-Unit, Two-Unit Zero Lot Line, Duplex and Townhouse Dwellings.
- All required off-street parking spaces must have vehicular access from a driveway that connects to a street, alley or private drive isle. The width of the driveway shall be a minimum of 10 feet.
 - Townhouse developments are generally prohibited from constructing ~~curb cuts~~ individual driveway accesses to along a public street. Exceptions may be granted to lower-volume local streets and/or in areas where property boundaries make access from a private street impractical.
 - Required off-street parking spaces may be designed so that the driver may back out into the street or alley.
 - All off-street parking areas must be improved with a hard surfaced, all-weather dustless material; pervious and non-pervious pavers may be used. Sealcoating and roto milling (the process of removing at least part of the surface of a paved area) and gravel is prohibited. Thickness of surfacing must comply with the regulations of the Iowa Statewide Urban Design and Specifications, as amended.

SECTION 12. AMENDMENT OF ZONING ORDINANCE. Paragraph 6 of Chapter 169.04 and table 169.05 of the North Liberty Code of Ordinances are amended as follows:

6. Height.

The height of all fences and/or retaining walls located within a front, corner side yard, side, or rear yard shall not exceed those found in Table ~~169.05~~169.04.

District	Front Yard	Corner Side Yard	Side Yard	Rear Yard
Residential Districts	4'	4'	8'	8'
All Other Districts	4'	4'	16'	16'

1. Fences shall not be located within the corner visual clearance.
2. Chain ~~link~~ fences shall not be located within the required front or required corner side yard (see exception within number 4 below).
3. Fences shall not exceed 8' in height if the property abuts a residential district.
4. With the exception of a reverse corner lot~~On a corner lot, a 6-foot high privacy fence up to 6' high~~ may be erected on that portion of the corner lot at the rear of the house provided the fence is erected a minimum of 15 feet from any sidewalk, driveway, or right-of-way line. Said fence shall comply in all other respects with the fence requirements.

SECTION 13. AMENDMENT OF ZONING ORDINANCE. Paragraphs 1, 2 and 3 of Chapter 169.05 of the North Liberty Code of Ordinances are amended as follows:

169.05 ACCESSORY STRUCTURES AND USES.

Accessory structures and uses shall occupy the same lot as the main use or building. No lot shall have an accessory structure or use without the principal use. No accessory structure shall be used as a dwelling unit. Accessory structures shall be constructed out of material intended for long-term exposure to the elements. Prohibited materials include, but are not limited to cloth, fabric, canvas, plastic sheets and tarps. Exceptions to the materials prohibition includes plastic for greenhouses and fabric and/or canvas for shade structures. Shipping containers are prohibited as an accessory structure.

1. Yard Encroachment.

No accessory building or use shall be located within any yard unless authorized by this Section and/or Section 169.08.

2. Freestanding ~~Private~~ Garages, Storage Buildings, Greenhouses, Gazebos, Pergolas, and other Similar Structures greater than 200 Square Feet Gross Floor Area.

A. RS, RD and ID districts shall be subject to the following:

(1) A maximum of one freestanding garage, garage, storage building, greenhouse, gazebo, pergola, or other similar structure greater than 200 square feet gross floor area.

(2) Freestanding garages. A maximum gross floor area of 850 square feet. RS district exception: on properties exceeding .5 acres but less than .75 acres, the maximum gross floor area shall be 1,000 square feet. On properties

exceeding .75 acres but less than one acre, the maximum gross floor area shall be 1,200 square feet. On properties exceeding one acre, the maximum gross floor area shall be 1,400 square feet. Notwithstanding the foregoing, the gross floor area shall not exceed the total footprint of the residence.

~~(3)~~ All other structures besides freestanding garages. A maximum gross floor area of 600 square feet.

~~(3)(4)~~ May be located within the rear yard subject to a five foot side and rear setback.

~~(4)(5)~~ May be located within a side yard subject to meeting the required side and rear yard setbacks for the main building.

~~(5)(6)~~ Must be situated Aa minimum 20 feet from a public or private right-of-way or improved home-.

~~(6)(7)~~ May Not not be located within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.

~~(7)(8)~~ A maximum height of 15 feet.

B. RM district.

(1) No maximum number ~~of freestanding garages accessory structures,~~ however, the aggregate floor area shall not exceed the aggregate footprint of the main buildings.

(2) May be located within the rear yard subject to a 10-foot side and rear setback.

(3) A minimum 20 feet from a public or private right-of-way or improved alley.

(4) Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.

(5) A maximum height of 15 feet.

3. Storage Buildings, ~~and~~ Greenhouses, Gazebos, Pergolas and other Similar Structures 200 Square Feet Gross Floor Area or Less.

A. ~~RS, and~~ RD and ID districts shall be subject to the following:

(1) A maximum two storage buildings, greenhouses, gazebos, pergolas, or structures designed for other similar use, or any combination thereof, may be located within the rear yard.

~~(2)~~ Maximum 200 square feet gross floor area per structure.

~~(3)(2)~~ A minimum of five feet from the side and rear property line.

~~(4)(3)~~ A minimum of 10 feet from a public or private right-of-way alley.

~~(5)(4)~~ Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.

~~(6)(5)~~ Maximum building height of 10 feet.

SECTION 14. AMENDMENT OF ZONING ORDINANCE. Paragraph 8(B) of Chapter 169.08 and table 169.08 of the North Liberty Code of Ordinances are amended as follows:

- B. In districts where a maximum height is imposed, such height limitations shall not apply to certain appurtenances and structures and are indicated in Table 169-08: Permitted Encroachments into Required Yards and Exceeding Maximum Building Height.

Table 169-08: Permitted Encroachments Into Required Yards and Exceeding Maximum Building Height Y= Permitted // N= Prohibited Max. = Maximum // Min. = Minimum				
	Required Front/Corner Side Yard	Required Side Yard	Required Rear Yard	Exceed Max. Building Height
Accessibility Ramp	Y	Y	Y	N
Air Conditioner Window Unit Max. projection of 18" from building wall	Y	Y	Y	N
Arbor or Trellis	Y	Y	Y	N
Awning or Sunshade Max. of 2' Does not include awnings used as a sign (See Chapter 173)	Y	Y	Y	N
Bay Window Max. of 2' Min. of 24" above ground	Y	Y	Y	N
Canopy Max. of 2' Does not include canopies used as a sign (See Chapter 17.12)	Y	Y	Y	N
Chimney Max. of 18" into required yard	Y	Y	Y	Y
Elevator and Stairway Bulkheads	N	N	N	Y
Emergency sirens and similar devices.	N	N	N	Y
Deck (uncovered) Min 5' from side lot line Min 10' from rear lot line	N	Y	Y	N
Dog House Min. of 4' from any lot line.	N	N	Y	N
Eaves, Gutters and Downspouts Max. of 4' into required yard	Y	Y	Y	N
Fire Escape Max. of 3' into required yard	N	Y	Y	Y
Fire Training Tower	N	N	N	Y
Gazebo or Pergola Min. of 5' from any lot line.	N	Y	Y	N
Grain Elevator (and necessary mechanical appurtenances)	N	N	N	Y
Landscaping	Y	Y	Y	N
Patio (uncovered) Min. 5' from any lot line	N	Y	Y	N

Table 169-08: Permitted Encroachments Into Required Yards and Exceeding Maximum Building Height Y= Permitted // N= Prohibited Max. = Maximum // Min. = Minimum				
	Required Front/Corner Side Yard	Required Side Yard	Required Rear Yard	Exceed Max. Building Height
<u>Pergola (attached)</u> <u>Min 5' from side lot line</u> <u>Min 10' from rear lot line</u>	N	Y	Y	N
Personal Recreation Game Court Min. of 5' from any lot line	N	N	Y	N
Playground Equipment Min. of 4' from any lot line	N	N	Y	N
Sidewalk Min. of 3' from any lot line except front lot line.	Y	Y	Y	N
Sills, Belt course, Cornices, and Ornamental features Max. of 2' into required yard	Y	Y	Y	N
Silos	N	N	N	Y
Smokestack	N	N	N	Y
Steeple, Spires and Belfries	N	N	N	Y
Steps (providing access to an entryway)	Y	Y	Y	Y
Stoop Max. of 4' into required yard	Y	Y	Y	N
Utility Equipment (Directly Connected to Structure being Served). Max. of ½ into Required Yard	N	Y	Y	Y
Water Towers and Cooling Towers	N	N	N	Y
<u>Window Wells</u>	Y	Y	Y	Y

SECTION 15. AMENDMENT OF ZONING ORDINANCE. Chapter 173.06 of the North Liberty Code of Ordinances is amended as follows:

173.06 SIGNS IN RESIDENTIAL ZONES.

1. Neighborhood or Development Signs. Residential developments or neighborhoods of four or more dwelling units shall be permitted one freestanding monument sign for each public street frontage or each entrance. Such signs may be placed in any location on private property provided the sign complies with the same height limitations specified for fences. Maximum sign area for each sign ~~shall be two square feet, plus one square foot for each dwelling unit or lot, but shall not exceed 50 square feet in area per sign face.~~
2. Non-residential Uses. Each non-residential principal use shall be permitted wall signs and one freestanding monument sign per public street frontage, subject to the following size requirements.

- A. Maximum Wall Sign Area. The total area of wall signage shall not exceed one square foot for each lineal foot of building wall when viewed in elevation, not to exceed 50 square feet.
- B. Maximum Freestanding Sign Area. One sign is permitted per public street access. The surface area for each sign shall not exceed 50 square feet and the height shall not exceed 5 feet.

SECTION 16. AMENDMENT OF ZONING ORDINANCE. Paragraph 2 of Chapter 173.07 of the North Liberty Code of Ordinances is amended as follows:

- 2. Business and Public Use Signs. Each enterprise, institution, or business shall be permitted wall signs, one canopy sign per street frontage, and one freestanding monument sign per public street frontage, subject to the following maximum size requirements. Multiple businesses in the same building shall apportion façade length, building wall, and street frontage such that any maximum size requirement is not exceeded for a particular property.
 - A. Maximum Wall Sign Area. The total area of wall signage shall not exceed the following requirements for each building wall to which the signage is attached.
 - (1) In the C-1-A and Public districts, one square foot for each lineal foot of building wall when viewed in elevation, not to exceed the following maximums:
 - (a) 40 square feet for building walls up to 50 feet in length.
 - (b) 80 square feet for building walls over 50 feet in length.
 - (2) In the C-1-B, C-2-A and C-3 zone districts, for buildings fewer than four-story in height, two square feet for each lineal foot of building wall when viewed in elevation, not to exceed 300 square feet. For buildings four-stories in height or greater, the total area of wall signage shall not exceed four square feet for each lineal foot of building wall the sign is attached to when viewed in elevation, not to exceed 400 square feet provided that the wall sign be mounted at or above the fourth-story.
 - B. Maximum Freestanding Sign Area.
 - (1) In the C-1-A and Public districts, one sign is permitted per public street access. The surface area for each sign shall not exceed 50 square feet, except for development complexes as specified in section 173.07(1), and the height shall not exceed 20 feet.
 - (2) In the C-1-B, C-2-A and C-3 zone districts, one sign is permitted per street frontage. The surface area for each sign shall not exceed 100 square feet, except for development complexes as specified in section 173.07(1), and the height shall not exceed 24 feet.

SECTION 17. AMENDMENT. The Official Zoning Map incorporated in Chapter 168.01(2) of the North Liberty Code of Ordinances is hereby amended such that each property currently designated as C-2-A Highway Commercial District is redesignated as C-2 Highway Commercial District. Each property currently designated as C-2-B Highway Commercial District is redesignated as C-2 Highway Commercial District. It is hereby authorized and directed that the Zoning Map of the City of North Liberty, Iowa, be changed to conform to this amendment upon final passage, approval and publication of this ordinance as provided by law.

SECTION 18. REPEALER. All Ordinances and parts of Ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 19. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the Ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 20. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 21. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____, 2023.

Second reading on _____, 2023.

Third and final reading on _____, 2023.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. _____ in the Cedar Rapids Gazette on the ____ day of _____, 2023.

TRACEY MULCAHEY, CITY CLERK

ORDINANCE NO. _____

REQUEST OF THE CITY OF NORTH LIBERTY FOR AN ORDINANCE AMENDING CHAPTERS 139, 165, 166, 167, 168, 169 AND 173 OF THE NORTH LIBERTY CODE OF ORDINANCES, AMENDING REGULATIONS FOR NAMING OF STREETS, CONDITIONS FOR CONSTRUCTION SITE PLAN APPROVAL, ZONING MAP AMENDMENTS, AND REQUIRED COMPREHENSIVE PLAN COMPONENTS, ADDING NEW AND UPDATING DEFINITIONS, AMENDING CERTAIN RESIDENTIAL DISTRICTS AND COMBINING THE C-2-A AND C-2-B ZONING DISTRICTS, AMENDING BULK REQUIREMENTS IN CERTAIN RESIDENTIAL AND COMMERCIAL DISTRICTS, ZONING USE MATRIX AND ZONING USE STANDARDS, OFF-STREET PARKING REGULATIONS, MAXIMUM FENCE HEIGHT IN RESIDENTIAL DISTRICTS, ACCESSORY STRUCTURE STANDARDS, AND PERMITTED ENCROACHMENTS IN REQUIRED YARDS.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT OF THE NAMING OF STREETS ORDINANCES. Chapter 139.01 of the North Liberty Code of Ordinances is amended to read as follows:

New streets shall be assigned names in accordance with the following:

1. Extension of Existing Street. Streets added to the City that are natural extensions of existing streets shall be assigned the name of the existing street.
2. Resolution. All streets shall be named by resolution. Streets names depicted on a final subdivision plat and/or preliminary site plan approved by resolution satisfy this requirement.
3. Planning and Zoning Commission. Proposed street names shall be referred to the Planning and Zoning Commission for review and recommendation.

SECTION 2. AMENDMENT OF ZONING ORDINANCE. Paragraph 3(D) of Chapter 165.05 of the North Liberty Code of Ordinances is amended to read as follows:

- D. Extension of public utilities and services, dedication of right-of-way.
 - (1) The petitioner may, as a condition of the construction site plan approval, be required to install public utilities, including (but not limited to) water lines, storm sewer, sanitary sewer, street paving, fire hydrants, and such other utilities as applicable to properly serve the proposed development, to provide easements for the ingress and egress of public utility and emergency vehicles, and to dedicate right-of-way to accommodate motorized and nonmotorized transportation, parking, and utility requirements. The City and petitioner may enter into a written site plan agreement

governing the installation and establishment of such utilities and accommodations necessary to satisfy public needs. Where required as a condition of a construction site plan approval, utilities shall be constructed in accordance with construction standards as established by resolution of the City Council for those portions within the public right-of-way and to be dedicated to the City, and may be required to be constructed to the same specifications for those undedicated portions where said utilities may have a direct effect on the future safety, proper functioning, and maintenance of those portions to be dedicated.

- (2) To allow orderly development, the water lines and sanitary sewer service installed in a proposed development pursuant to subparagraph 1 above shall extend to the boundary line of the subject property, and beyond as may be determined to be necessary by the City to provide for future service to adjacent properties. The City shall require the installation of water and sewer service of sufficient size and capacity to serve the full area capable of being served by each such type of improvement, so that the City will not be required to construct parallel or duplicate facilities. If such improvements are greater in size than needed to serve the subject property itself, the City, at its discretion, may share in the expense thereof. Such cost sharing shall be according to the terms of a site plan agreement. Any payment of excess costs by the City shall be pursuant to state law.

SECTION 3. AMENDMENT OF ZONING ORDINANCE. Paragraph 4(D) of Chapter 165.09 of the North Liberty Code of Ordinances is amended to read as follows:

- D. Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards.
 - (1) Map Amendments.
 - (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.
 - (b) The compatibility with the zoning of nearby property
 - (c) The compatibility with established neighborhood character.
 - (d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.
 - (e) The extent to which the proposed amendment creates nonconformities.

SECTION 4. AMENDMENT OF ZONING ORDINANCE. Paragraph 7(A) of Chapter 166.02 of the North Liberty Code of Ordinances is amended to read as follows:
Comprehensive Plan. It shall be the duty of the Commission, after holding public hearings, to create and recommend to the Council a comprehensive plan for the physical development of its jurisdiction, which may include areas outside of the City's boundaries which bear consideration to the planning of the jurisdiction. The Commission shall also recommend amendments to the comprehensive plan.

SECTION 5. AMENDMENT OF ZONING ORDINANCE. Chapter 167.01 of the North Liberty Code of Ordinances is amended as follows:

1. The existing defined term, "Accessory building," is amended to read as follows:

"Accessory structure" means a structure incidental to and located on the same lot as the principal building.

2. A new defined term, "Gazebo," as set forth below, is inserted between the definitions of "Garage, private" and "Grade":

"Gazebo" means a freestanding roofed structure with open sides.

3. Delete definitions, "Lot," Lot, corner," "Lot, flag," "Lot, interior".

4. New defined term, "Lot," as set forth below, is inserted between the definitions of "Livestock" and "Lot area":

"Lot" means the basic development unit for determination of lot area, depth, and other dimensional regulations. The following describes the types of lot configurations:

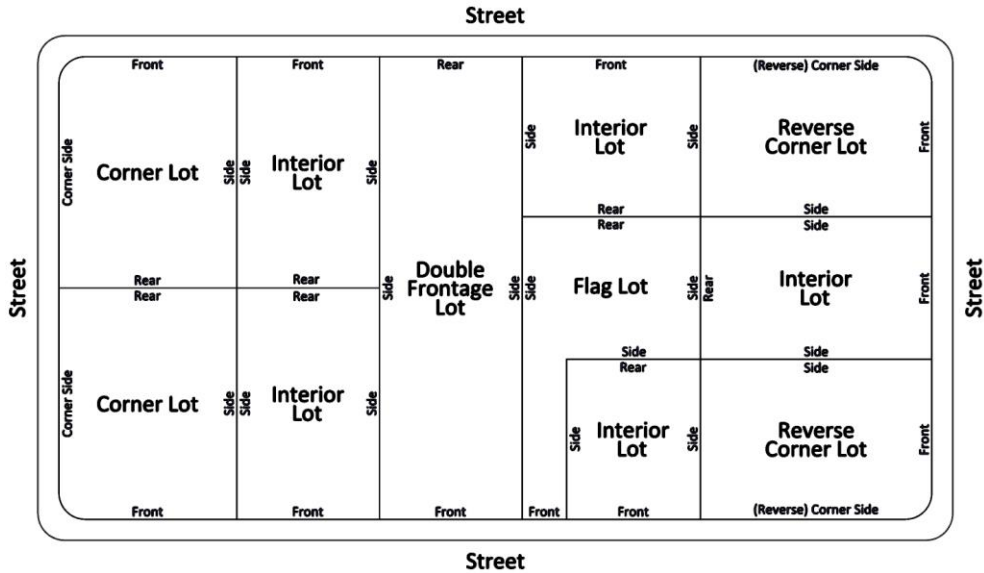
An "interior lot" means a lot other than a corner or through lot, bounded by two interior side lot lines.

A "corner lot" means a lot situated at the junction of, and abutting on, two or more intersecting streets.

A "double frontage lot" means a lot which fronts upon two streets, or which fronts upon two streets which do not intersect at the boundaries of the lot.

A "reverse corner lot" is a corner lot where the side lot line adjoining a street is substantially a continuation of the front lot line of the first lot to its rear.

A "flag lot" means a lot such that the main building site area (the "flag") is set back from the street on which it fronts and includes an access strip (the "pole") connecting the main building site with the street.



3. A new defined term, "Pergola," as set forth below, is inserted between the definitions of "Parking space" and "Person":

"Pergola" means an open structure, which may either be freestanding or attached to a structure, that forms a partially shaded pedestrian walkway, passageway, or seating area.

SECTION 6. AMENDMENT OF ZONING ORDINANCE. Paragraphs 1(A) and 1(B) of Chapter 168.01 of the North Liberty Code of Ordinances is amended as follows:

- A. Residential Districts
 - (1) RS-3 Single-Unit Residence District.
 - (2) RS-4 Single-Unit Residence District.
 - (3) RS-6 Single-Unit Residence District.
 - (4) RS-7 Single-Unit Residence District.
 - (5) RS-8 Single-Unit Residence District.
 - (6) RS-9 Single-Unit Residence District.
 - (7) RD-8 Two-Unit Residence District.
 - (8) RD-10 Two-Unit Residence District.
 - (9) RM-8 Multi-Unit Residence District.
 - (10) RM-12 Multi-Unit Residence District.
 - (11) RM-21 Multi-Unit Residence District.
 - (12) R-MH Residential Manufactured Home Park District.
- B. Commercial Districts
 - (1) C-1-A Central Commercial District.
 - (2) C-1-B General Commercial District.
 - (3) C-2 Highway Commercial District.
 - (4) C-3 Higher-Intensity Commercial District.
 - (5) O/RP Office and Research Park District

SECTION 7. AMENDMENT OF ZONING ORDINANCE. Paragraphs 1(A) and 5(B) of Chapter 168.02 of the North Liberty Code of Ordinances is amended as follows:

168.02 RESIDENTIAL DISTRICTS.

- A. RS-3 Single-Unit Residence District. The RS-3 District is intended to provide and maintain low-density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-3 District.
- B. RD and RM Districts.

Table 168.02-B Dimensional Standards SF = Square Feet, DU= Dwelling Unit, ' = Feet					
	RD-8	RD-10	RM-8	RM-12	RM-21
Bulk					
Minimum Lot Area	10,000 SF 5,000 SF/DU	9,000 SF 4,500 SF/DU	21,780 SF 5,000 SF/DU	21,780 SF 3,500 SF/DU	21,780 SF 2,000 SF/DU
Minimum Frontage	40'	35'	75'	50'	50'
Minimum Lot Width	100'	80'	100'	80'	80'
Maximum Building Height	35'	35'	40'	40'	65'*
Setbacks					
Minimum Required Front Yard	25'	25'	25'	25'	25'*
Minimum Required Corner Side Yard	25'	25'	25'	25'	25'*
Minimum Required Side Yard	8'	5'	15'	15'	10'*
Minimum Required Rear Yard	30'	30'	30'	30'	30'
*An additional foot of setback is required for every foot of building height over 45'					

SECTION 8. AMENDMENT OF ZONING ORDINANCE. Chapter 168.03 of the North Liberty Code of Ordinances is amended as follows:

168.03 COMMERCIAL DISTRICTS.

1. Defined.
 - A. C-1-A Central Commercial District. The C-1-A District is intended to provide a traditional central setting oriented toward pedestrians as well as automobiles. It is typified by high-density commercial development with minimal setback requirements.
 - B. C-1-B General Commercial District. The C-1-B District is intended to provide for the uses established under the C-1-A Central Commercial District and other commercial uses which due to space requirements and the nature of operations are not suitable for location within a compact central commercial center. Setback and yard requirements are greater than under the C-1-A Central Commercial District.
 - C. C-2 Highway Commercial District. The C-2 District is intended to provide for those commercial uses which may take particular advantage of a highway location and/or due to size or other nuisance constraints may be incompatible with the predominantly retail uses permitted in the C-1-A and C-1-B Commercial Districts, and whose service area is not confined to any one neighborhood or community.
 - D. C-3 Higher-Intensity Commercial District. The C-3 District is intended to accommodate higher-intensity commercial development that serves both local and regional markets. The C-3 District addresses medium and large-scale development that may generate considerable traffic and typically requires significant off-street parking. Higher density residential uses are also allowed to facilitate a mixed-use orientation where appropriate.
 - E. O/RP Office and Research Park District. The O/RP District is intended to accommodate office buildings, similar structures, and complementary uses in a mutually compatible environment. It is designed to provide landscaping and space requirements suitable for an office and research setting. Uses are limited to those compatible with an office setting and those which do not produce noise, air, or other environmental nuisances which might interfere with activities within the district and surrounding residential areas.

2. Dimensional Standards.

Table 168.03 Dimensional Standards SF = Square Feet, ' = Feet						
	C-1-A	C-1-B	C-2		C-3	O/RP
Bulk						
Minimum Lot Area	None	None	None		20,000 SF	1.5 acres
Minimum Frontage	35'	35'	35'		35	100'
Minimum Lot Width	35'	35'	35'		35'	150'
Maximum Building Height	45'	45'	45'		75*	75'
Setbacks						
Minimum Required Front Yard	0'	25'	25'		25'	50'
Minimum Required Corner Side Yard	0'	25'	25'		25'	50'
Minimum Required Side Yard	0'	10'	10'		10' unless abutting a residential district than 20'*	20'
Minimum Required Rear Yard	10'	10' unless abutting a residential district than 20'*	10' unless abutting a residential district than 20'*		10' unless abutting a residential district than 20'*	50'

* One foot of additional setback above the required side or rear yard setback as measured from a lot line of property within a residential district for every one-foot building height above 35 feet.

SECTION 9. AMENDMENT OF ZONING ORDINANCE. Table 168.06: Use Matrix, in Chapter 168.06 of the North Liberty Code of Ordinances is amended as follows:

Table 168:06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2		C-3	OR/P	I-1	I-2	I-P	P
1. Adult Entertainment													C		
2. Agricultural Experience	C														
3. Agriculture	P														
4. Amusement Facility – Indoor						C	P	P		P					
5. Amusement Facility – Outdoor										C					
6. Animal Care Facility						P	P	P				P			
7. Animal Shelter												C			C
8. Art Gallery						P	P	P		P					
9. Arts and Fitness Studio						P	P	P		P					
10. Bar						P	P	P		P		P		P	
11. Bed and Breakfast Home		C													
12. Body Art Establishment								P							
13. Brewery-Micro						P	P	P		P				P	
14. Broadcasting Studio								P		P				P	P
15. Building Trades and Services								P		P		P		P	
16. Car Wash								P							
17. Child Care Center						P	P	P		P	P			P	P
18. Child Care Home		P			P										
19. Child Development Home		P													
20. Community Center						P	P	P		P				P	P
21. Community Pantry	C	C	C	C		C	P	P							
22. Cultural Facility						P	P	P		P					P
23. Distillery, Micro						P	P	P		P				P	
24. Drive-Through Facility						C	P	P		P	P			P	
25. Dwelling – Manufactured Home					P										
26. Dwelling – Mixed Use						P	P	P		P					
27. Dwelling – Multiple-Unit				P				P		P					

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2		C-3	OR/P	I-1	I-2	I-P	P
28. Dwelling – Single-Unit	P	P													
29. Dwelling – Single-Unit Zero Lot Line			P												
30. Dwelling – Townhouse				P				P							
31. Dwelling – Two Unit			P	P											
32. Educational Facility – Primary	P	P	P	P		P	P	P		P					P
33. Educational Facility – Secondary	P	P	P	P		P	P	P		P					P
34. Educational Facility – University or College											P			P	P
35. Educational Facility – Vocational						C	P	P		P		P		P	
36. Financial Institution						P	P	P		P				P	
37. Fireworks, Retail Sales of												P			
38. Food Bank												P			
39. Fueling Station							P	P		P		P		P	
40. Fulfillment Center, Micro								C		C		P			
41. Funeral Home								P							
42. Golf Course/Driving Range							P								P
43. Greenhouse/Nursery - Retail												P			
44. Group Home	P	P	P		P										
45. Healthcare Institution										P				P	P
46. Heavy Rental and Service Establishment												P			
47. Heavy Retail Establishment										P		P			
48. Hotel						C	P	P		P	P			P	
49. Industrial - General													P		
50. Industrial - Light												P	P	P	
51. Industrial Design							P	P		P		P		P	

Table 168:06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2		C-3	OR/P	I-1	I-2	I-P	P
52. Live Performance Venue						P	P	P		P				P	
53. Manufactured Home Park					P										
54. Medical/Dental Office						P	P	P		P					
55. Office						P	P	P		P	P	P		P	P
56. Outdoor Seating						P	P	P		P				P	P
57. Park, Private	P	P	P	P	P	P	P	P		P	P			P	
58. Park, Public															P
59. Parking Lot (Principal Use)						C	P	P		P		P		P	P
60. Parking Structure (Principal Use)						C	P	P		P		P		P	P
61. Personal Services Establishment						P	P	P		P					
62. Place of Worship	P	P	P	P		P	P	P		P					
63. Private Club						P	P	P		P					
64. Public Safety Facility															P
65. Public Works Facility															P
66. Research and Development								P		P	P	P		P	
67. Residential Care Facility				P			P	P		P					
68. Restaurant						P	P	P		P		P		P	P
69. Retail Good Establishment						P	P	P		P		P		P	
70. Salvage Yard													C		
71. Self-Storage – Enclosed								P		P		P			
72. Self-Storage - Outdoor								C		C		P			
73. Specialty Food Service						P	P	P		P		P		P	
74. Storage – Outdoor (Principal Use)												C	P		
75. Truck Stop												C	P		
76. Utility (Sub)Stations	P	P	P	P	P	P	P	P		P	P	P	P	P	P

Table 168:06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2		C-3	OR/P	I-1	I-2	I-P	P
77. <u>Vehicle Dealership, New and Used</u>								P		P					
78. <u>Vehicle Dealership, Used</u>								C							
79. <u>Vehicle Operations Facility</u>												P			P
80. <u>Vehicle Rental</u>												P			
81. <u>Vehicle Repair - Major</u>								C				P			
82. <u>Vehicle Repair - Minor</u>								P				P			
83. <u>Warehouse</u>												P			
84. <u>Wholesale Establishment</u>												P			
85. <u>Winery, Micro</u>						P	P	P		P				P	

SECTION 10. AMENDMENT OF ZONING ORDINANCE. Paragraphs 6, 15, 30, 29, 30, 31, 39, and 72 of Chapter 168.07 of the North Liberty Code of Ordinances are each respectively amended as follows:

6. Animal Care Facility.
 - A. Defined. Animal Care Facility means an establishment which provides care for domestic animals, including veterinary offices for the treatment of animals, pet grooming facilities and animal training centers and clubs. The boarding of animals is limited. Animal care facilities do not include animal breeders or animal shelters.
 - B. Use Standards.
 - (1) Animal care facilities must locate exterior exercise areas in the rear yard only. Exterior exercise areas must provide covered areas over a minimum of 30% of the exterior area to provide shelter against sun/heat and weather. A fence a minimum of six feet in height is required for all exterior exercise areas.
 - (2) Animal care facilities must locate all overnight boarding facilities indoors. Overnight boarding is not permitted in the C-1-B and C-2 Districts unless short-term boarding is incidental to the veterinary treatment of animals.
 - (3) All animal quarters and exterior exercise areas must be kept in a clean, dry, and sanitary condition.

15. Building Trades and Services
 - A. Defined. Building Trades and Services means an establishment that undertakes activities related to building construction projects, as well as those that provide repair and maintenance services to buildings, including building systems, home appliances, and the like. These specialized trade contractors may work on subcontract from a general contractor, performing only part of the work covered by the general contract, or they may work directly for the owner of the building or project. Building and Trade Services uses primarily perform their work at the site of the structure being constructed or serviced, although they also may have shops where they perform work incidental to the job site. Examples of building trades and services include electrical, plumbing, heating, and air conditioning contractors, painting, masons, stone and tile setters, glass and glazing services.
 - B. Use Standards.
 - (1) Building area shall be limited to 7,500 square feet in the C-2 and C-3 Districts.
 - (2) Vehicles such as cars, vans and pickup trucks shall be permitted in designated parking spaces in any location. Box trucks, and other similar vehicles, along with trailers which may be pulled by permitted vehicles, shall also be permitted in designated parking

spaces, but shall not be located within a front or corner side yard. Smaller equipment such as skid loaders, forklifts, etc. may be permitted, provided they are stored indoors or inside enclosed trailers. Heavy vehicles and equipment such as tractor trailers, semi-trucks, construction equipment, and other large specialty vehicles as determined by Code Official shall be prohibited.

- (3) Outdoor storage shall only be permitted in the I-1 District.
 - (a) Outdoor storage or display areas shall be screened with landscaping consisting of shade trees and evergreen trees and shrubs. Such landscaped area shall be of sufficient width and density to provide an effective and aesthetically pleasing screen with trees and shrubs not less than five feet in height when planted. In lieu of planting strips, a six-foot tall solid vertical fence or masonry, heavy wood construction, or other similar material approved by the Code Official may be used as a screen.
 - (b) Outdoor storage or display shall be allowed only on hard-surface areas paved to parking lot specifications with asphalt or concrete.

27. Dwelling – Multiple–Unit.

- A. Defined. Multiple–Unit Dwelling means a structure containing three or more attached dwelling units used for residential occupancy. A multiple–unit dwelling does not include a townhouse dwelling.
- B. Use Standards.
 - (1) Buildings must be designed with consistent materials and treatments that wrap around all building elevations. There must be a unifying architectural theme for the entire multi-unit development, utilizing a common vocabulary of architectural forms, elements, materials, or colors in the entire structure.
 - (2) Building facades must include windows, projected or recessed entrances, overhangs, and other architectural features. Three-dimensional elements, such as balconies and bay windows, are encouraged to provide dimensional elements on a facade.
 - (3) Minimum required masonry on front and corner side yard building elevations in residential districts is 25%.
 - (4) A 15% minimum transparency requirement applies to any facade facing a street and is calculated on the basis of the entire area of the facade.
 - (5) Buildings shall be oriented to the best extent possible so that attached garages doors do not face the public right-of-way.
 - (6) Additional Commercial district design standards.
 - (a) Roofs shall be designed to be generally flat and shall be concealed from view by use of parapet walls or other architectural methods. Portions of roofs that are curved or

pitched may be allowed as architectural accents but shall not be used as the primary roof design.

9. Dwelling – Single-Unit Zero Lot Line.
- A. Defined. A Single-Unit Zero Lot Line Dwelling means a structure containing two dwelling units, the interior of which is configured in a manner such that the dwelling units are separated by a party wall and are on separate lots. A single-unit zero lot line dwelling is typically designed so that each unit has a separate exterior entrance and yard areas.
- B. Use Standards.
- (1) The interior side yard is not applicable to the side of the unit located on the lot line (shared wall attachment to another unit).
 - (2) Each unit must have an approved one-hour fire-resistive wall between them that is built in such a manner as to allow no connections other than the wall itself between the units
 - (3) The front entry must be an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front facade.
 - (4) Minimum required masonry on front and corner side yard building elevations is 25%, with the following exceptions:
 - (i) Two, two-inch caliper trees planted in the corner side yard. Existing trees of adequate size in the corner side yard may satisfy this requirement.
 - (ii) Architectural relief on the façade facing the corner side yard, such that the wall contains more than two offsets, which may consist of wall corners, bay or bowed windows, or other means approved by the Code Official.
 - (5) A 5% minimum transparency requirement applies to the front facade and is calculated on the basis of the area of the facade below the roofline.
30. Dwelling – Townhouse.
- A. Defined. Townhouse Dwelling means structure consisting of three or more dwelling units, the interior of which is configured in a manner such that the dwelling units are separated by a party wall and may or may not be on separate lots. A townhouse is typically designed so that each unit has a separate exterior entrance and yard areas. A townhouse dwelling does not include a multi-family dwelling. To provide for design flexibility, a townhouse dwelling development may include single-unit dwellings.
- B. Use Standards.
- (1) The interior side yard is not applicable to the side of the unit located on the lot line (shared wall attachment to another unit).

- (2) Each unit must have an approved one-hour fire-resistive wall between them that is built in such a manner as to allow no connections other than the wall itself between the units
- (3) The front entry must be an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front facade.
- (4) Minimum required masonry on front and corner side yard building elevations in residential districts is 25%.
- (5) A 5% minimum transparency requirement applies to the front facade and is calculated on the basis of the area of the facade below the roofline.
- (6) Additional commercial district design standards.
 - (a) Buildings shall be oriented to the best extent possible so that attached garages doors do not face the public right-of-way.
 - (b) Roofs shall be designed to be generally flat and shall be concealed from view by use of parapet walls or other architectural methods. Portions of roofs that are curved or pitched may be allowed as architectural accents but shall not be used as the primary roof design.
 - (c) A 15% minimum transparency requirement applies to any facade facing a street and is calculated on the basis of the entire area of the facade.

31. Dwelling - Two-Unit.

- A. Defined. A Two-Unit Dwelling means a structure containing two dwelling units, arranged side-by-side with each unit having an exterior entrance, on a single lot. To provide for design flexibility, a two-unit dwelling development may include single-unit dwellings.
- B. Use Standards.
 - (1) The front entry must be an integral part of the structure, using features such as porches, raised steps and stoops with roof overhangs, or decorative railings to articulate the front facade.
 - (2) Minimum required masonry on front and corner side yard building elevations is 25%.
 - (3) A 5% minimum transparency requirement applies to the front facade and is calculated on the basis of the area of the facade below the roofline.

39. Fueling Station.
- A. Defined. Fueling Station means an establishment where fuel for vehicles is dispersed from fixed equipment into the fuel tanks or battery cells of said vehicles. A fueling station may also include ancillary car wash bays.
 - B. Use Standards.
 - (1) Canopy support structures shall be wrapped in masonry materials consistent with the principal building.
72. Self-Storage Facility: Outdoor.
- A. Defined. Outdoor self-storage facility means an establishment for the storage of personal property where individual renters control and access individual storage spaces and where each storage unit has individual access from the outdoors. Ancillary retail sales of related items, such as moving supplies, and facility offices may also be included. Rental of vehicles and other equipment for moving is a separate use from self-storage facility. The heavy retail, rental, and service use must be allowed within the district and requires separate approval.
 - B. Use Standards.
 - (1) Storage units cannot be used for residential occupancy or business.
 - (2) No plumbing connections are permitted in self-storage units.
 - (3) Outdoor self-storage facilities shall be oriented to the best extent possible so that storage unit access doors do not face the public right-of-way, or residential districts as set forth in Section 168.02.
 - (4) Exterior facades not facing the exterior of the property are not subject to the masonry requirements set forth in Section 169.10.
 - (5) Commercial district design standards.
 - (a) Exterior facades that face a right-of-way or adjoining residential district shall include the following:
 - (i) Color, texture and building material changes.
 - (ii) Wall articulation change of no less than two feet in depth or projection every 50 feet.
 - (iii) Wall articulation change no less than two feet in vertical elevation every 50 feet in building width. The change in elevation shall extend a minimum of 20 feet in building width.
 - (iv) Exterior facades that face a right-of-way or adjoining residential district shall include windows or faux windows.

76. Utility (Sub)Station

- A. Defined. Utility (sub)station means a structure or facility used by a public or quasi-public utility agency to store and/or distribute public utilities. Utility (sub)stations does not include outdoor storage or maintenance facilities.
- B. Use Standards.
 - (1) Utility (sub)stations, shall to the greatest degree possible, be located so as to minimize impacts on surrounding properties and public infrastructure.
 - (2) No setbacks are required, however, utility (sub)stations shall not block visibility or create traffic hazards.
 - (3) Minimum required masonry on all building elevations is 60%,
 - (3) Utility (sub)stations shall be screened with landscaping consisting of shade trees and evergreen trees and shrubs. Such landscaped area shall be of sufficient width and density to provide an effective and aesthetically pleasing screen with trees and shrubs not less than five feet in height when planted. In lieu of a landscape area, a masonry wall may be used as a screen.
 - (4) Decorative fences within the front yard may exceed the maximum height specified in section 169.04 subject to the following:
 - (a) Fence material shall be wrought iron or ornamental metal and shall have masonry columns spaced a maximum of 50 feet.
 - (b) Maximum height is 10 feet.
 - (c) Shall not be located within the corner visual clearance area.

SECTION 11. AMENDMENT OF ZONING ORDINANCE. Paragraphs 2(F&G) of Chapter 169.01 of the North Liberty Code of Ordinances is amended as follows:

169.01 OFF-STREET PARKING AND LOADING.

- F. Setbacks. Off-street parking spaces and drive aisles within a parking lot or structure must be designed in accordance with the minimum dimensions in Table 169.01-B Off-Street Parking and Loading Setbacks.

Table 169:01-B: Off-Street Parking and Loading Setbacks			
District	Front/Corner Lot Line	Side Lot Line	Rear Lot Line
ID, RS, RD	25 feet ¹	3 feet ²	3 feet
R-MH	10 feet ³	5 feet	5 feet
RM, C, I, P	10 feet	5 feet	5 feet
O/RP	25 feet	10 feet	10 feet

1. For residential uses off-street parking areas may be within the front or corner side yard, but shall not occupy greater than 50 percent of the required yard and shall not provide greater than one parking space in addition to that provided in the travel portion of the driveway. Notwithstanding the foregoing, the two required parking spaces for single and two-unit dwellings may be located within either the required front or corner side yard single if no garage exists and there is inadequate area to locate one of the parking spaces in the side or rear yard subject to the condition that driveway be a maximum 20 feet in width.
2. No setback required on an interior side lot line for two-unit dwelling buildings.
3. Off-street parking areas may be within the front yard.
4. In any district where off-street joint access is provided, the required setback on an interior side lot line may be reduced if a joint access easement agreement is recorded between the two lots.

- G. Single-Unit, Two-Unit Zero Lot Line, Duplex and Townhouse Dwellings.
- (1) All required off-street parking spaces must have vehicular access from a driveway that connects to a street, alley or private drive isle. The width of the driveway shall be a minimum of 10 feet.
 - (2) Townhouse developments are generally prohibited from constructing individual driveway accesses to a public street. Exceptions may be granted to lower-volume local streets and/or in areas where property boundaries make access from a private street impractical.
 - (3) Required off-street parking spaces may be designed so that the driver may back out into the street or alley.
 - (4) All off-street parking areas must be improved with a hard surfaced, all-weather dustless material; pervious and non-pervious pavers may be used. Sealcoating and roto milling (the process of removing at least part of the surface of a paved area) and gravel is prohibited. Thickness of surfacing must comply with the regulations of the Iowa Statewide Urban Design and Specifications, as amended.

SECTION 12. AMENDMENT OF ZONING ORDINANCE. Paragraph 6 of Chapter 169.04 and table 169.05 of the North Liberty Code of Ordinances are amended as follows:

6. Height.
The height of all fences and/or retaining walls located within a front, corner side yard, side, or rear yard shall not exceed those found in Table 169.04.

Table 169.04 Maximum Fence and Wall Height				
District	Front Yard	Corner Side Yard	Side Yard	Rear Yard
Residential Districts	4'	4'	6'	6'
All Other Districts	4'	4'	16'	16'
<ol style="list-style-type: none"> 1. Fences shall not be located within the corner visual clearance. 2. Chain link fences shall not be located within the required front or required corner side yard (see exception within number 4 below). 3. Fences shall not exceed 8' in height if the property abuts a residential district. 4. With the exception of a reverse corner lot, a fence up to 6' high may be erected on that portion of the corner lot at the rear of the house provided the fence is erected a minimum of 15 feet from any sidewalk, driveway, or right-of-way line. Said fence shall comply in all other respects with the fence requirements. 				

SECTION 13. AMENDMENT OF ZONING ORDINANCE. Paragraphs 1, 2 and 3 of Chapter 169.05 of the North Liberty Code of Ordinances are amended as follows:

169.05 ACCESSORY STRUCTURES AND USES.

Accessory structures and uses shall occupy the same lot as the main use or building. No lot shall have an accessory structure or use without the principal use. No accessory structure shall be used as a dwelling unit. Accessory structures shall be constructed out of material intended for long-term exposure to the elements. Prohibited materials include, but are not limited to cloth, fabric, canvas, plastic sheets and tarps. Exceptions to the materials prohibition includes plastic for greenhouses and fabric and/or canvas for shade structures. Shipping containers are prohibited as an accessory structure.

1. Yard Encroachment.
No accessory building or use shall be located within any yard unless authorized by this Section and/or Section 169.08.
2. Freestanding Garages, Storage Buildings, Greenhouses, Gazebos, Pergolas, and other Similar Structures greater than 200 Square Feet Gross Floor Area.
 - A. RS, RD and ID districts shall be subject to the following:
 - (1) A maximum of one garage, storage building, greenhouse, gazebo, pergola, or other similar structure greater than 200 square feet gross floor area.
 - (2) Freestanding garages. A maximum gross floor area of 850 square feet. RS district exception: on properties exceeding .5 acres but less than .75 acres, the maximum gross floor area shall be 1,000 square feet. On properties exceeding .75 acres but less than one acre, the maximum gross floor area

shall be 1,200 square feet. On properties exceeding one acre, the maximum gross floor area shall be 1,400 square feet. Notwithstanding the foregoing, the gross floor area shall not exceed the total footprint of the residence.

- (3) All other structures besides freestanding garages. A maximum gross floor area of 600 square feet.
- (4) May be located within the rear yard subject to a five foot side and rear setback.
- (5) May be located within a side yard subject to meeting the required side and rear yard setbacks for the main building.
- (6) Must be situated a minimum 20 feet from a public or private right-of-way or improved home.
- (7) May not be located within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
- (8) A maximum height of 15 feet.

B. RM district.

- (1) No maximum number accessory structures, however, the aggregate floor area shall not exceed the aggregate footprint of the main buildings.
- (2) May be located within the rear yard subject to a 10-foot side and rear setback.
- (3) A minimum 20 feet from a public or private right-of-way or improved alley.
- (4) Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
- (5) A maximum height of 15 feet.

3. Storage Buildings, Greenhouses, Gazebos, Pergolas and other Similar Structures 200 Square Feet Gross Floor Area or Less.

A. RS, RD and ID districts shall be subject to the following:

- (1) A maximum two storage buildings, greenhouses, gazebos, pergolas, or structures designed for other similar use, or any combination thereof, may be located within the rear yard.
- (2) A minimum of five feet from the side and rear property line.
- (3) A minimum of 10 feet from a public or private right-of-way alley.
- (4) Not within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
- (5) Maximum building height of 10 feet.

SECTION 14. AMENDMENT OF ZONING ORDINANCE. Paragraph 8(B) of Chapter 169.08 and table 169.08 of the North Liberty Code of Ordinances are amended as follows:

- B. In districts where a maximum height is imposed, such height limitations shall not apply to certain appurtenances and structures and are indicated in Table 169-08: Permitted Encroachments into Required Yards and Exceeding Maximum Building Height.

Table 169-08: Permitted Encroachments Into Required Yards and Exceeding Maximum Building Height Y= Permitted // N= Prohibited Max. = Maximum // Min. = Minimum				
	Required Front/Corner Side Yard	Required Side Yard	Required Rear Yard	Exceed Max. Building Height
Accessibility Ramp	Y	Y	Y	N
Air Conditioner Window Unit Max. projection of 18" from building wall	Y	Y	Y	N
Arbor or Trellis	Y	Y	Y	N
Awning or Sunshade Max. of 2' Does not include awnings used as a sign (See Chapter 173)	Y	Y	Y	N
Bay Window Max. of 2' Min. of 24" above ground	Y	Y	Y	N
Canopy Max. of 2' Does not include canopies used as a sign (See Chapter 17.12)	Y	Y	Y	N
Chimney Max. of 18" into required yard	Y	Y	Y	Y
Elevator and Stairway Bulkheads	N	N	N	Y
Emergency sirens and similar devices.	N	N	N	Y
Deck (uncovered) Min 5' from side lot line Min 10' from rear lot line	N	Y	Y	N
Dog House Min. of 4' from any lot line.	N	N	Y	N
Eaves, Gutters and Downspouts Max. of 4' into required yard	Y	Y	Y	N
Fire Escape Max. of 3' into required yard	N	Y	Y	Y
Fire Training Tower	N	N	N	Y
Grain Elevator (and necessary mechanical appurtenances)	N	N	N	Y
Landscaping	Y	Y	Y	N
Patio (uncovered) Min. 5' from any lot line	N	Y	Y	N
Pergola (attached)	N	Y	Y	N

Table 169-08: Permitted Encroachments Into Required Yards and Exceeding Maximum Building Height Y= Permitted // N= Prohibited Max. = Maximum // Min. = Minimum				
	Required Front/Corner Side Yard	Required Side Yard	Required Rear Yard	Exceed Max. Building Height
Min 5' from side lot line Min 10' from rear lot line				
Personal Recreation Game Court Min. of 5' from any lot line	N	N	Y	N
Playground Equipment Min. of 4' from any lot line	N	N	Y	N
Sidewalk Min. of 3' from any lot line except front lot line.	Y	Y	Y	N
Sills, Belt course, Cornices, and Ornamental features Max. of 2' into required yard	Y	Y	Y	N
Silos	N	N	N	Y
Smokestack	N	N	N	Y
Steeple, Spires and Belfries	N	N	N	Y
Steps (providing access to an entryway)	Y	Y	Y	Y
Stoop Max. of 4' into required yard	Y	Y	Y	N
Utility Equipment (Directly Connected to Structure being Served). Max. of ½ into Required Yard	N	Y	Y	Y
Water Towers and Cooling Towers	N	N	N	Y
Window Wells	Y	Y	Y	Y

SECTION 15. AMENDMENT OF ZONING ORDINANCE. Chapter 173.06 of the North Liberty Code of Ordinances is amended as follows:

173.06 SIGNS IN RESIDENTIAL ZONES.

1. Neighborhood or Development Signs. Residential developments or neighborhoods of four or more dwelling units shall be permitted one freestanding monument sign for each public street frontage or each entrance. Such signs may be placed in any location on private property provided the sign complies with the same height limitations specified for fences. Maximum sign area for each sign shall not exceed 50 square feet.
2. Non-residential Uses. Each non-residential principal use shall be permitted wall signs and one freestanding monument sign per public street frontage, subject to the following size requirements.
 - A. Maximum Wall Sign Area. The total area of wall signage shall not exceed one square foot for each lineal foot of building wall when viewed in elevation, not to exceed 50 square feet.

- B. Maximum Freestanding Sign Area. One sign is permitted per public street access. The surface area for each sign shall not exceed 50 square feet and the height shall not exceed 5 feet.

SECTION 16. AMENDMENT OF ZONING ORDINANCE. Paragraph 2 of Chapter 173.07 of the North Liberty Code of Ordinances is amended as follows:

- 2. Business and Public Use Signs. Each enterprise, institution, or business shall be permitted wall signs, one canopy sign per street frontage, and one freestanding monument sign per public street frontage, subject to the following maximum size requirements. Multiple businesses in the same building shall apportion façade length, building wall, and street frontage such that any maximum size requirement is not exceeded for a particular property.
 - A. Maximum Wall Sign Area. The total area of wall signage shall not exceed the following requirements for each building wall to which the signage is attached.
 - (1) In the C-1-A and Public districts, one square foot for each lineal foot of building wall when viewed in elevation, not to exceed the following maximums:
 - (a) 40 square feet for building walls up to 50 feet in length.
 - (b) 80 square feet for building walls over 50 feet in length.
 - (2) In the C-1-B, C-2 and C-3 zone districts, for buildings fewer than four-story in height, two square feet for each lineal foot of building wall when viewed in elevation, not to exceed 300 square feet. For buildings four-stories in height or greater, the total area of wall signage shall not exceed four square feet for each lineal foot of building wall the sign is attached to when viewed in elevation, not to exceed 400 square feet provided that the wall sign be mounted at or above the fourth-story.
 - B. Maximum Freestanding Sign Area.
 - (1) In the C-1-A and Public districts, one sign is permitted per public street access. The surface area for each sign shall not exceed 50 square feet, except for development complexes as specified in section 173.07(1), and the height shall not exceed 20 feet.
 - (2) In the C-1-B, C-2 and C-3 zone districts, one sign is permitted per street frontage. The surface area for each sign shall not exceed 100 square feet, except for development complexes as specified in section 173.07(1), and the height shall not exceed 24 feet.

SECTION 17. AMENDMENT. The Official Zoning Map incorporated in Chapter 168.01(2) of the North Liberty Code of Ordinances is hereby amended such that each property currently designated as C-2-A Highway Commercial District is redesignated as C-2 Highway Commercial District. Each property currently designated as C-2-B Highway Commercial District is redesignated as C-2 Highway Commercial District. It is hereby authorized and directed that the Zoning Map of the City of North Liberty, Iowa, be changed to conform to this amendment upon final passage, approval and publication of this ordinance as provided by law.

SECTION 18. REPEALER. All Ordinances and parts of Ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 19. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the Ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 20. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 21. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____, 2023.

Second reading on _____, 2023.

Third and final reading on _____, 2023.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. _____ in the Cedar Rapids Gazette on the ____ day of _____, 2023.

TRACEY MULCAHEY, CITY CLERK



Planning Commission
June 6, 2023
Council Chambers, 1 Quail Creek Circle

Call to Order

Chair Josey Bathke called the June 6, 2023 Planning Commission to order at 6:30 p.m. in the Council Chambers at 1 Quail Creek Circle. Commission members present: Barry A'Hearn, Josey Bathke, Sheila Geneser, Jason Heisler, and Dave Willer; absent: Patrick Staber and Brian Vincent.

Others present: Ryan Rusnak, Ryan Heiar, Grant Lientz, Josiah Bilskemper, Tracey Mulcahey, Ryan Vliek, Lacey Stutzman, Ryan Abraham, Carter Kurdire, and other interested parties.

Approval of the Agenda

Heisler moved, Willer seconded to approve the agenda. The vote was all ayes. Agenda approved.

Aldi Preliminary Site Plan

Staff Presentation

Rusnak presented the request of Aldi, Inc. to approve a Preliminary Site Plan for a 20,664 retail good establishment on 4.54 acres. The property is located on the west side of Ranshaw Way approximately 525 feet west of West Penn Street (725 North Ranshaw Way/North Highway 965). Staff recommends the Planning Commission accept the listed finding; the preliminary plat would achieve consistency with the approval standards enumerated in Section 165.05(2)(E) of the Zoning Code, and forward the request to approve a preliminary site plan for a 20,664 retail good establishment on 4.54 acres to the City Council with a recommendation for approval.

Applicant Presentation

Ryan Vliek, IngenAE, was present on behalf of the applicant and offered additional information on the project.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application including a size comparison to the Coralville store, the use of the land, and Ranshaw access.

Recommendation to the City Council

Willer moved, Geneser seconded that the Planning Commission accept the listed finding and forward the preliminary site plan to the City Council with a recommendation for approval. The vote was: ayes – Heisler, Geneser, Willer, A'Hearn, Bathke; nays – none; absent – Staber, Vincent. Motion carried.

Water Tower Place Preliminary Site Plan

Staff Presentation

Rusnak presented the request of Dahnovan Holdings to approve a Preliminary Site Plan for 15 two- and one-unit dwellings on approximately 1.81 acres. The property is located approximately 630'

west of North Kansas Avenue and 300' south of southern terminus of North Madison Avenue (Proposed Lot 2 of Water Tower Place Subdivision). Staff recommends the Planning Commission accept the listed finding, the preliminary site plan would achieve consistency with the approval standards enumerated in Section 165.05(2)(E) of the Zoning Code, and forward the request to approve a preliminary site plan for fifteen two- and one-unit dwellings on approximately 1.81 acres to the City Council with a recommendation for approval.

Applicant Presentation

Ryan Abraham, the applicant, was present, but had no presentation.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application including that this is a great creative use.

Recommendation to the City Council

A'Hearn moved, Willer seconded that the Planning Commission accept the listed finding and forward the preliminary site plan to the City Council with a recommendation for approval. The vote was: ayes – Willer, Geneser, Bathke, A'Hearn, Heisler; nays – none; absent – Staber, Vincent. Motion carried.

Warehouse Building Preliminary Site Plan

Staff Presentation

Rusnak presented the request of Diamond Ridge Construction to approve a Preliminary Site Plan for a 9,360 square foot warehouse building on approximately 5.01 acres. The property is located on the south side of Stoner Court approximately 250' east of Herky Street (2905 Stoner Court). Staff recommends the Planning Commission accept the listed finding and forward the request to approve a preliminary site plan for a 9,360 square foot warehouse building on approximately 5.01 acres to the City Council with a recommendation for approval.

Applicant Presentation

Lacey Stutzman, MMS Consultants, was present on behalf of the applicant and offered to answer questions.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application including that it is straightforward and consistent.

Recommendation to the City Council

Heisler moved, A'Hearn seconded that the Planning Commission accept the listed finding and forward the preliminary site plan to the City Council with a recommendation for approval. The vote was: ayes- Geneser, A'Hearn, Bathke, Willer, Heisler; nays – none; absent – Staber, Vincent. Motion carried.

Public Hearing on Zoning Map Amendment

Staff Presentation

Rusnak presented the request of the City of North Liberty for a zoning map amendment (rezoning) on approximately 3.53 acres, from RM-21 Multi-Residence District to RM-12 Multi-Residence District on property located on the west side of North Dubuque Street approximately

175' north of North Main Street (475 N Dubuque Street). Staff recommends the Planning Commission accept the finding, the rezoning request from RM-21 Multi-Unit Residence District to RM-12 Multi-Unit Residence District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code, and forward the request for zoning map amendment (rezoning) from RM-21 Multi-Unit Residence District to RM-12 Multi-Unit Residence District on 3.53 acres to the City Council with a recommendation for approval.

Public Comments

No public comments were received.

Questions and Comments

The Commission discussed the application including that it is straightforward.

Recommendation to the City Council

A'Hearn moved, Willer seconded that the Planning Commission accept the listed finding and forward the zoning map amendment to the City Council with a recommendation for approval. The vote was: ayes – Bathke, Willer, A'Hearn, Geneser, Heisler; nays – none; absent – Staber, Vincent. Motion carried.

Public Hearing on Zoning Map Amendment

Staff Presentation

Rusnak presented the request of the City of North Liberty for a zoning map amendment (rezoning) on approximately .33 acres, from RM-21 Multi-Residence District to RM-12 Multi-Residence District on property located on the west side of North Main Street approximately 300' north of West Cherry Street (355, 357, 359 N Main Street). Staff recommends the Planning Commission accept the listed finding, the rezoning request from RM-21 Multi-Unit Residence District to RM-12 Multi-Unit Residence District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code, and forward the request for zoning map amendment (rezoning) from RM-21 Multi-Unit Residence District to RM-12 Multi-Unit Residence District on .33 acres to the City Council with a recommendation for approval.

Public Comments

The owner of the property submitted an objection to the proposed rezoning.

Questions and Comments

The Commission discussed the application including how many additional units could be added if the zoning remained, the proximity of additional RM-21, size of the parcel and acknowledged the landowner input.

Recommendation to the City Council

A'Hearn moved, Heisler seconded that the Planning Commission accept the listed finding and forward the zoning map amendment to the City Council with a recommendation for approval. The vote was: ayes – Geneser, Heisler, Bathke, Willer, A'Hearn; nays – none; absent – Staber, Vincent. Motion carried.

Approval of Previous Minutes

Heisler moved, A'Hearn seconded to approve the minutes of the April 18, 2023 meeting. The vote was all ayes. Minutes approved.

Old Business

No old business was presented.

New Business

Rusnak reported that July's Planning Commission meeting would be on July 4. It will be rescheduled to July 18. Heiar shared an update on Centennial Next Stage.

Adjournment

At 6:53 p.m., A'Hearn moved, Willer seconded to adjourn. The vote was all ayes. Meeting adjourned.

Signed:

Tracey Mulcahey, City Clerk