



**North Liberty Planning Commission
Tuesday, February 6, 2024, 6:30 PM
North Liberty City Council Chambers
1 Quail Creek Circle, North Liberty, Iowa 52317**

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Call to Order

- 1. Roll Call**
- 2. Approval of the Agenda**
- 3. Preliminary Site Plan:** Senne Property Investments IA, LLC to approve a Preliminary Site Plan for a 11,600 square foot multi-tenant commercial building with a drive through facility on 1.48 acres. The property is located at the southeast corner of Liberty Way and North Jones Boulevard.
 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council
- 4. Approval of Previous Minutes**
- 5. Old Business**
- 6. New Business**
- 7. Adjournment**



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **February 2, 2024**
 Re **Request of Senne Property Investments IA, LLC to approve a Preliminary Site Plan for a 11,600 square foot multi-tenant commercial building with a drive through facility on 1.48 acres. The property is located at the southeast corner of Liberty Way and North Jones Boulevard.**

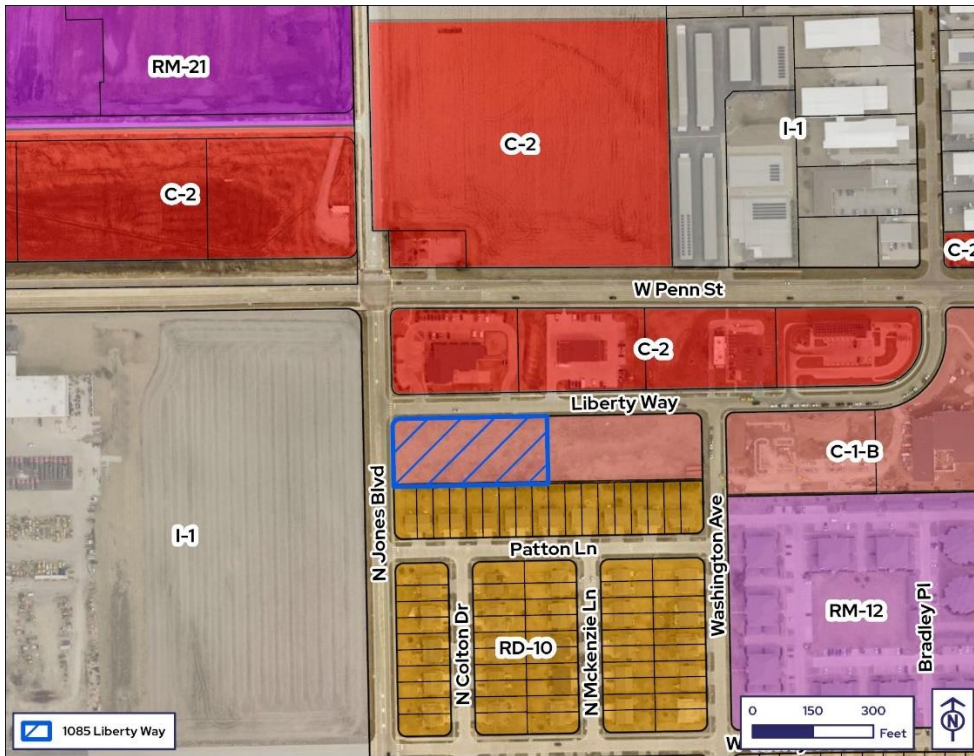
North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo. The staff review team includes the following personnel:

- Ryan Heiar, City Administrator
- Tracey Mulcahey, Assistant City Administrator
- Grant Lientz, City Attorney
- Tom Palmer, City Building Official
- Josiah Biskemper, City Engineer
- Ryan Rusnak, Planning Director

1. **Request Summary:** The site plan proposes a single-story multi-tenant commercial building with drive through facility and related infrastructure on approximately 1.48 acres.

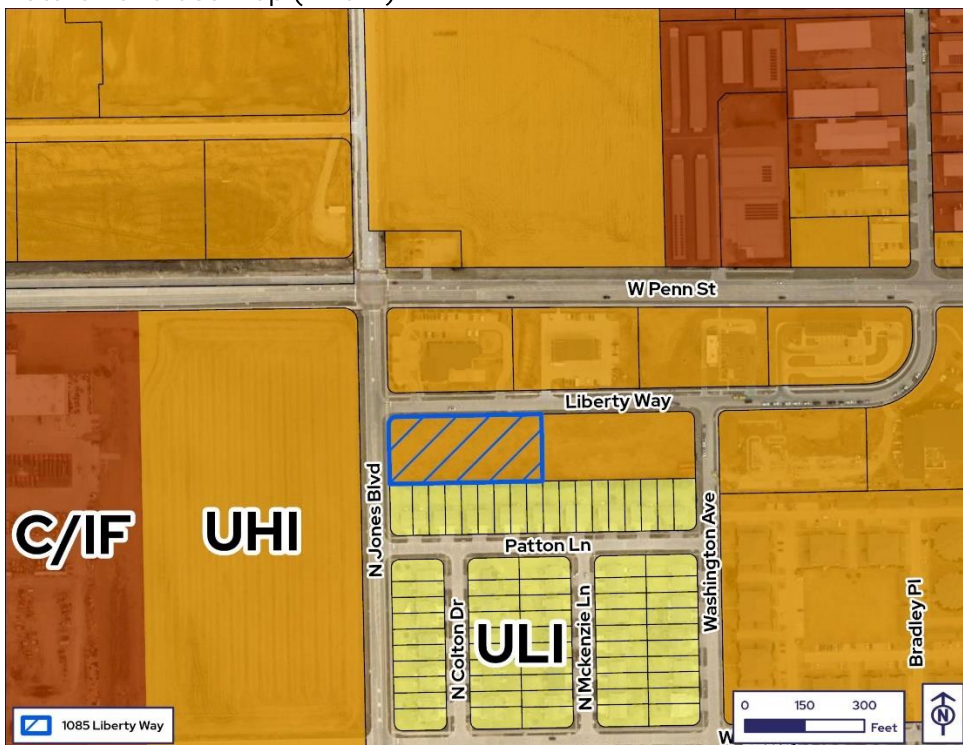


2. **Current Zoning:** C-1-B General Commercial District.



3. **Comprehensive Plan Future Land Use Map Designation:** Urban High Intensity.

Future Land Use Map (FLUM)



4. Approval Standards:

Section 165.05(2)(E) of the North Liberty Code of Ordinances sets forth the approval standards (ordinance language in *italics* and staff analysis in **bold**).

E. Approval Standards. The Planning Commission's recommendation to the City Council and the City Council's decision to approve or disapprove a preliminary site plan shall be informed by the preliminary site plan's adherence to the following standards:

(1) The consistency of the preliminary site plan with all adopted ordinances and regulations.

See analysis below.

(2) The consistency of the proposed land use with the Comprehensive Plan and any adopted land use policies. The submission of a preliminary site plan which proposes one or more uses inconsistent with the City's Future Land Use Map creates a rebuttable presumption that said use or uses are inharmonious with surrounding properties and incompatible with orderly development and redevelopment.

The C-1-B District is consistent with the UHI Land Use Map designation.

Analysis of adopted ordinances and regulations.

Section 168.07 of the North Liberty Code of Ordinances for some potential uses of the property.

Personal Services Establishment

- A. Defined. Personal service establishment means an establishment that provides frequent or recurrent needed services of a personal nature. Typical uses include, but are not limited to, beauty shops, barbershops, tanning salons, electronics repair shops, bicycle repair shops, nail salons, laundromats, health clubs, dry cleaners, and tailors. Personal service establishment does not include a private recreational facility.
- B. Use Standards. None.

Restaurant.

- A. Defined. Restaurant means an establishment where food and drinks, including alcoholic beverages, are provided to the public for on-premises consumption by seated patrons and/or for carry-out service.
- B. Use Standards.

Retail Goods Establishment.

- A. Defined. Means an establishment that provides physical goods, products, or merchandise directly to the consumer, where such goods are available for immediate purchase and removal from the premises by the purchaser. Retail goods establishment does not include micro fulfillment center.
- B. Use Standards. None.

Drive-Through Facility.

- A. Defined. Drive-Through Facility means that portion of a business where business is transacted directly with customers via a service window that allows customers to remain in their vehicle. A drive through facility must be approved separately as a principal use when in conjunction with another principal uses such as restaurants and financial institutions. A standalone ATM is considered a drive-through facility for the purposes of this definition.
- B. Use Standards.
- (1) All drive-through facilities must provide a minimum of four stacking spaces per lane or bay, unless additional stacking spaces are specifically required by this Ordinance. Stacking spaces provided for drive-through uses must:
 - (i) Be a minimum of nine feet in width, as measured from the outermost point of any service window or bay entrance, to the edge of the driveway, and 18 feet in length. In the case of a recessed service window, the measurement is taken from the building wall.
 - (ii) Begin behind the vehicle parked at a final point of service exiting the drive through aisle, such as a service window or car wash bay (this does not include a menu board). Spaces must be placed in a single line behind each lane or bay.
 - (2) All drive-through lanes must be located and designed to ensure that they do not adversely affect traffic circulation on adjoining streets.

Section 165.05(2)(D) of the North Liberty Code of Ordinances entitled, "Preliminary Site Review" sets forth the submission requirements (ordinance language in *italics* and staff analysis in **bold**).

- *Date, north arrow and graphic scale.* **Provided.**
- *The property owner's name and description of proposed development.* **Provided.**
- *A vicinity sketch showing the location of the property and other properties within 1,000 feet of it.* **Provided.**
- *Property boundary lines, dimensions, and total area.* **Provided.**
- *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the site plan.* **Provided.**
- *The location of existing streets, sidewalks, easements, utilities, drainage courses.* **Provided.**
- *The total square feet of building floor area, both individually and collectively.* **Provided.**
- *All structures and major features shall be fully dimensioned including distance between structures, distance between driveways, parking areas, property lines and building height.* **Provided.**
- *Off-street parking areas, ingress and egress to the property, number of parking spaces proposed, number of parking spaces required by this code and type of surfacing.* **Provided.**
- *Pedestrian walkways with special consideration given to pedestrian safety.* **Provided.**
- *Trash and refuse enclosures.* **Provided.**

- *The general drainage pattern and location of storm water detention features. **Provided.***
- *The general location, type and size of landscaping and ground cover illustrated in color perspective. **Provided.***
- *A rendering, elevation or photo of the proposed development. **Provided.***

North Liberty Code of Ordinances Section 169.10 entitled, "Design Standards" sets forth certain design standards.

Requirements for All Districts (ordinance language in *italics* and staff analysis in **bold**).

- *Building design shall be visually harmonious and compatible with the neighborhood character.*
- *Buildings located on property with double frontages shall have similar wall design facing both streets.*
- *Except for RS RD, R-MH and ID districts, color schemes shall be primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited.*
- *Except in the R-MH district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs and there shall be a minimum roof overhang at the eaves of 12 inches. This does not apply to portions of a roof that are separate from the structure's primary roof. Metal roofs shall not be corrugated or similar appearance. The color of the roof shall be visually harmonious and compatible with the building color scheme.*

It is staff's opinion that the site plan achieves consistency with the aforementioned design standards.

Requirements for Development in Commercial Districts (ordinance language in *italics*).

- *Design. To achieve appealing aesthetic design through high quality architecture and construction, with attention to placement, relationship, and orientation of structures and amenities to provide both internal cohesiveness and compatibility with surrounding uses.*
- *Walkability. To achieve overall development patterns that encourage walking and reduce dependence on the automobile to travel from one business to another, and so reduces the dominance of the automobile within the development.*
- *Human-scale Activity. To achieve a sense of place by emphasizing pedestrian interaction with commercial uses rather than sprawling automobile-dominated designs, both in building architecture and public or private outdoor areas.*
- *Compatible Uses. To achieve the right blend of uses, compact and well-designed, that complement each other and provide cohesive overall developments.*
- *Materials. Minimum required masonry on all building elevations is 60%. Exterior walls not composed of masonry products shall not be covered with ribbed.*

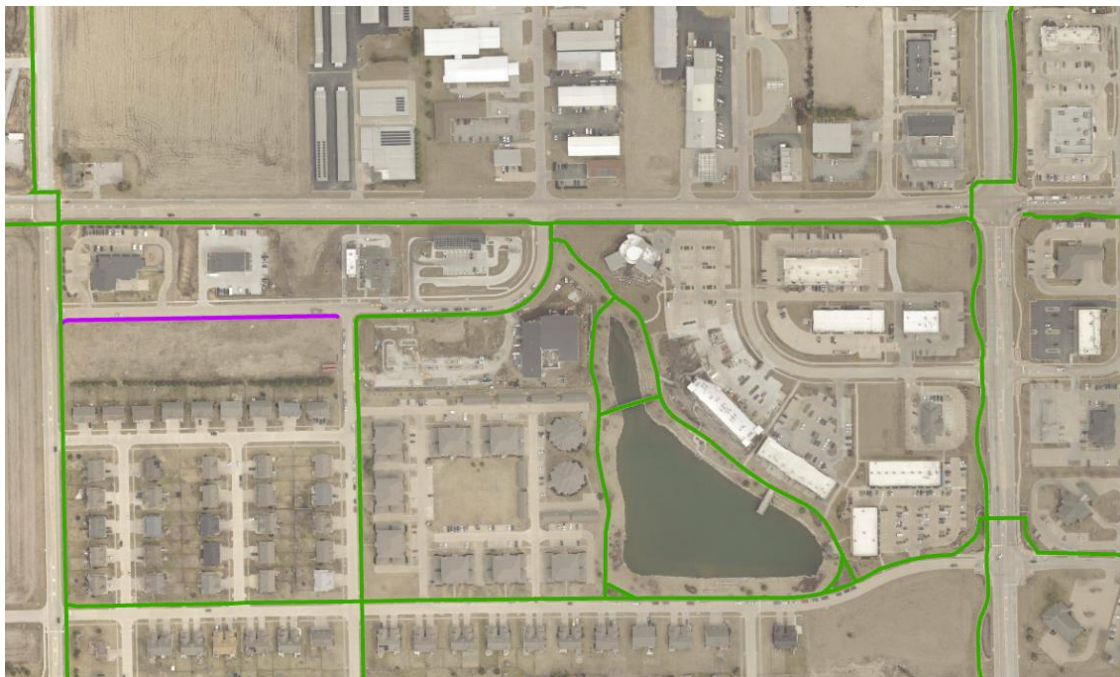
It is staff's opinion that the site plan achieves consistency with the aforementioned design standards.

5. Additional information:

There is an existing vegetation buffer along the south property boundary. It appears that this landscaping was installed in conjunction with the residential development to the south. Although, some of the landscaping is installed on the subject property. This landscaping would be preserved.



The development would include an 8' wide trail along the south side of Liberty Way. The subject and adjacent property to the east would integrate into the City's trail network system.



6. Staff Recommendation:

Finding:

1. The preliminary site plan would achieve consistency with the approval standards enumerated in Section 165.05(2)(E) of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request to approve a preliminary site plan for a 11,600 square foot multi-tenant commercial building with a drive through facility on 1.48 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the preliminary site plan to the City Council with a recommendation for approval.

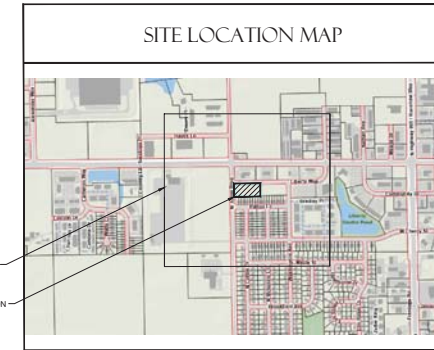
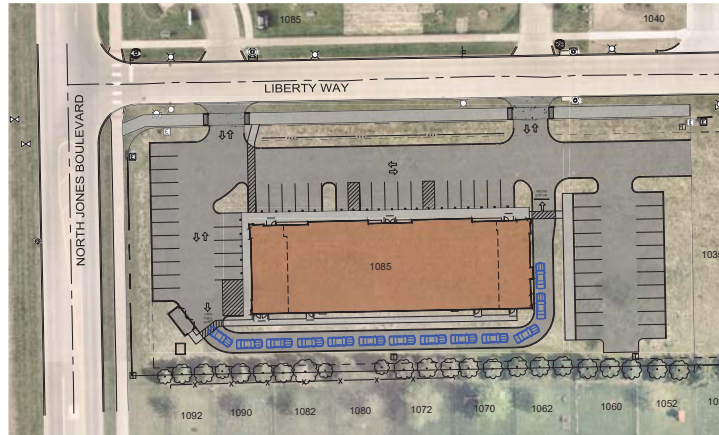
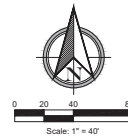
INDEX OF DRAWINGS

INDEX, LEGEND & OVERALL LAYOUT	Sheet No.'s
INDEX, LEGEND & OVERALL LAYOUT	C-0
EXISTING AND DEMO PLAN	C-1
SITE PLAN	C-2
GRADING PLAN	C-3
UTILITY PLAN	C-4
UTILITY PROFILES	C-5
EROSION CONTROL PLAN	C-6
SITE PLAN DETAILS	C-7
SAN AND WATER UTILITY DETAILS	C-8
STORM UTILITY DETAILS	C-9

LEGEND

PROPOSED	EXISTING	
		STORM MANHOLE
		STORM INLET
		FLARED END SECTION
		SANITARY MANHOLE
		SANITARY/STORM CLEANOUT
		WATER VALVE
		HYDRANT
		POWER POLE
		POWER POLE W/ LIGHT
		GUY WIRE
		ELECTRIC PEDESTAL/TRANSFORMER
		TELEPHONE PEDESTAL
		GAS METER
		LIGHT POLE
		TRAFFIC SIGNAL
		SIGNS
		BUSH/SHRUB
		CONTROL POINT
		LOT LINE
		EASEMENT LINE
		R.O.W. LINE
		SETBACK LINE
		SANITARY SEWER
		STORM SEWER
		WATER LINE
		OVERHEAD ELECTRIC
		UNDERGROUND ELECTRIC
		GAS LINE
		TELEVISION LINE
		TELEPHONE LINE
		FIBER OPTIC CABLE
		UTILITY LINE
		CONTOUR

BID PLANS FOR:
SALONS & STUDIOS
1085 LIBERTY WAY
NORTH LIBERTY, IA



GENERAL NOTES:

- ALL IMPROVEMENTS SHOWN SHALL COMPLY WITH THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL, CURRENT EDITION, THE CITY OF NORTH LIBERTY SPECIFICATIONS, AND THE IOWA ACCESSIBILITY CODE.
- LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED AS APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT EACH UTILITY COMPANY OR IOWA ONE CALL FOR LOCATION OF EXISTING LINES IN OR NEAR THE CONSTRUCTION AREA.
- CONTRACTOR SHALL PROTECT ALL ABOVE AND BELOW GRADE EXISTING UTILITIES, PAVED STREETS AND OTHER ITEMS TO REMAIN, INCLUDING ANY NOT SHOWN IN THE PLANS. CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY MAJOR CONFLICTS BETWEEN THE DRAWING AND THE EXISTING FEATURES. DAMAGE TO EXISTING UTILITIES, PAVING OR OTHER ITEMS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
- IMMEDIATELY NOTIFY ENGINEER OF UNEXPECTED SUB-SURFACE CONDITIONS. DISCONTINUE WORK IN AREA UNTIL NOTIFIED BY ENGINEER TO RESUME WORK.
- NOTIFY ENGINEER OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH WORK.
- TOPOGRAPHIC SURVEY FOR THE SITE WAS PROVIDED BY ABBITT SURVEY & DEVELOPMENT, PLLC. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING CONSTRUCTION LAYOUT FOR ALL GRADES.
- CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING CONSTRUCTION LAYOUT FOR ALL GRADES.
- OWNER WILL PROVIDE AND PAY FOR A QUALITY CONTROL AND TESTING FIRM IF DEEMED NECESSARY TO CONFIRM FIELD COMPLIANCE WITH SPECIFICATIONS.
- THE CONTRACTOR IS REQUIRED TO OBTAIN AND MAINTAIN WHATEVER LICENSE, BONDING AND PERMITTING AS REQUIRE BY THE CITY OF NORTH LIBERTY.

CONSTRUCTION STAKING AND LAYOUT NOTES:

- CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING CONSTRUCTION LAYOUT FOR ALL CONSTRUCTION.
- STAKING ELEVATIONS SHALL BE OBTAINED FROM THE PRINTED PLANS. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PRINTED PLANS AND THE ELECTRONIC FILES BEFORE PROCEEDING WITH WORK.
- ELECTRONIC AUTODESK CIVIL3D FILES WILL BE PROVIDED TO AID CONSTRUCTION LAYOUT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LAYOUT THE LOCATIONS AND GRADES BASED ON THE PRINTED PLANS, USING THE PROVIDED ELECTRONIC FILES FOR ASSISTANCE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PRINTED PLANS AND THE ELECTRONIC FILES BEFORE PROCEEDING WITH WORK.
- VERIFY ALL COORDINATES PRIOR TO CONSTRUCTION. CHECK HORIZONTAL AND VERTICAL INFORMATION INCLUDING BUT NOT LIMITED TO ALIGNMENTS, LOCATIONS, ELEVATIONS, AND DIMENSIONS, THAT EITHER THE PLANS SHOW OR THE ENGINEER PROVIDES, FOR COMPATIBILITY WITH EXISTING FIELD CONDITIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES OR CONFLICTS FOR REVIEW PRIOR TO STAKING.
- IMMEDIATELY NOTIFY ENGINEER OF UNEXPECTED SUB-SURFACE CONDITIONS. DISCONTINUE WORK IN AREA UNTIL NOTIFIED BY ENGINEER TO RESUME WORK.
- NOTIFY ENGINEER OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH WORK.
- PAVING DIMENSIONS SHOWN ARE TO BACK OF CURB AND EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
- RADI ARE TO EDGE OF PAVEMENT OR TO BACK OF CURB LINE LOCATION UNLESS NOTED OTHERWISE.

PRELIMINARY - NOT FOR CONSTRUCTION

HORIZONTAL CONTROL - NAD 83			
POINT #	NORTHING	EASTING	DESCRIPTION
2	643561.3450	2154989.8770	CPI NAIL
1000	645727.2160	2151136.6250	CP CHK

OWNER	
SALON AND STUDIOS NORTH LIBERTY LLC	
ARCHITECT	
JOSEPH ARCHITECTURAL GROUP 4519 42ND AVE. ROCK ISLAND, IL 61201	

UTILITY NOTE

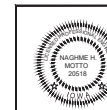
ALL UTILITIES, MAINS, SERVICE CONNECTIONS, AND STRUCTURES ARE APPROXIMATE ONLY AND WERE OBTAINED FROM RECORDS MADE AVAILABLE TO THE ENGINEER. THERE MAY BE OTHER EXISTING UTILITIES, MAINS, SERVICE CONNECTIONS, AND STRUCTURES NOT KNOWN AND NOT SHOWN ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION, DEPTH, AND SIZE OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CALL IOWA ONE CALL FOR UTILITY LOCATES A MINIMUM OF 48-HOURS PRIOR TO DIGGING. REVIEW EXISTING UTILITY RECORDS SUPPLIED BY THE ENGINEER AND PERFORM EXPLORATORY DIGGING AS NECESSARY TO VERIFY UTILITIES PRIOR TO ORDERING MATERIALS AND CONSTRUCTION OF IMPROVEMENTS.

SPECIFICATIONS AND STANDARDS

THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF NORTH LIBERTY CODE OF ORDINANCES AND DETAILED DRAWINGS, CURRENT EDITION OF IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) MANUAL AND THE IOWA ACCESSIBILITY CODE.



Know what's below.
Call before you dig.



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signature: _____ Date: _____
Naghme H. Motto, P.E. License No. 20518
My license renewal date is December 31, 2024
Pages or sheets covered by this seal: _____



5137 utica ridge road
davenport, ia 52807

www.rtmec.com

no.	date	revision
1	11/29/23	ADDITIONAL 1

SALONS & STUDIOS
1085 Liberty Way
North Liberty, IA

rtm project no. 23 011238.SAS
designed by: mhm
drawn by: bsv
checked by: mhm
date: 01.22.2024

COVER SHEET

C-0

REVISION

CLRB

NO.



0 10 20 40
Scale: 1" = 20'

SALONS & STUDIOS
1085 Liberty Way
North Liberty, IA

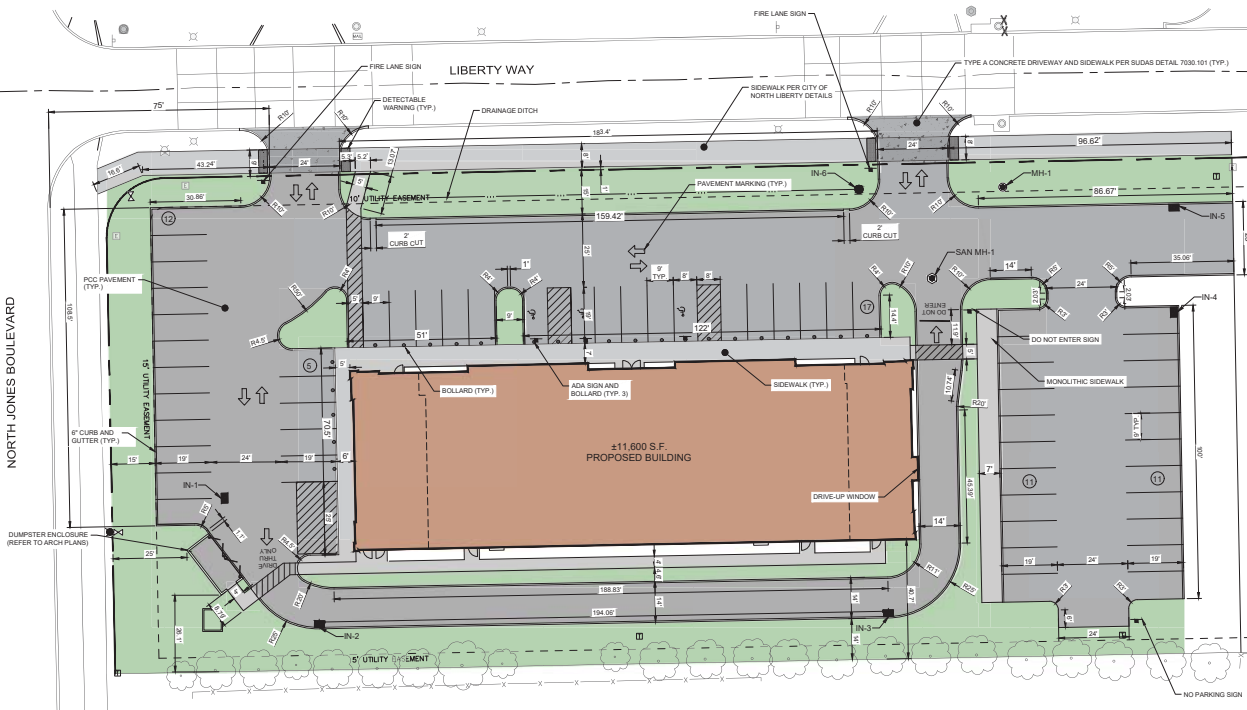
rtm project no. 23.1123_SAS
designed by: cam
drawn by: tsv
checked by: rmm
date: 01.22.2024

SITE PLAN

C-2

PCC PAVING NOTES.

- DO NOT BEGIN WORK IF LOCAL CONDITIONS INDICATE THAT RAIN IS IMMINENT.
- SUBMITTALS AND TESTING:
 - SUBMIT PRODUCT DATA, MATERIAL CERTIFICATES, AND MIX DESIGN FROM CERTIFIED PLANT.
 - OWNER WILL ORDER AND PAY FOR A QUALITY CONTROL AND TESTING FIRM IF DEEMED NECESSARY FOR THE PROJECT TO DETERMINE SLUMP, AIR ENTRAINMENT, AND OBTAIN AND TEST CYLINDERS FOR COMPRESSION STRENGTH.
- PORTLAND CEMENT CONCRETE (PCC) PAVEMENT MATERIALS
 - CLASS C CONCRETE PER THE RESPECTIVE SECTIONS OF IOWA DOT DIVISION 41.
 - PROVIDE FROM AN IOWA DOT CERTIFIED SOURCE, PCC MEETING ALL OF THE FOLLOWING CHARACTERISTICS:
COMPRESSIVE STRENGTH AT 28 DAYS: 4,000 PSI
SLUMP: 2 1/2" MAXIMUM FOR MACHINE FINISH; 4" MAXIMUM FOR HAND FINISH
AIR ENTRAINMENT: 5 - 8 PERCENT.
 - PREFORMED EXPANSION JOINT FILLERS AND SEALERS: USE A RESILIENT FILLER THAT COMPLIES WITH IOWA DOT SECTION 4136.03. SEALANT SHALL BE SELF-LEVELING COMPLYING WITH ASTM C820.
 - LIQUID CURING COMPOUND TO COMPLY WITH IOWA DOT SECTION 4105.
 - PROTECTIVE ANTI-SPLALLING AGENT TO COMPLY WITH IOWA DOT SECTION 4139. SEALANT SHALL BE A NON "GLOSSY" TYPE THAT DOES NOT AFFECT SURFACE TEXTURE.
- REINFORCING MATERIALS
 - DOWEL BARS: EPOXY COATED COMPLYING WITH IOWA DOT SECTION 4151.
 - REINFORCEMENT BARS: NON-COATED OR EPOXY COATED COMPLYING WITH IOWA DOT SECTION 4151.
- PAVEMENT REMOVAL
 - CURB GRIND PERIMETER OF REMOVAL AREA FULL DEPTH.
 - SAW CUT AND REMOVE SIDEWALK TO THE NEAREST JOINT BEYOND REMOVAL LIMITS SHOWN IN THE DRAWINGS.
- SUBGRADE AND AGGREGATE SUBBASE
 - VERIFY THAT SUBGRADE AND SUBBASE ARE CLEAN, DRY, STABLE, SUITABLY COMPACTED, AND ABLE TO SUPPORT PAVING EQUIPMENT AND IMPOSED LOADS PRIOR TO PAVING.
 - SEE GRADING NOTES FOR SUBGRADE PREPARATION AND AGGREGATE SUBBASE REQUIREMENTS.
- FORMING
 - PLACE AND SECURE FORMS TO CORRECT LOCATION AND DIMENSIONS.
 - MATCH EXISTING JOINTS ACROSS PAVEMENT WHERE POSSIBLE.
 - PLACE EXPANSION JOINT FILLER BETWEEN PAVEMENT AND OTHER ACCESSORIES AND BUILDINGS.
- PLACING CONCRETE
 - PROCEED WITH CONCRETE PLACEMENT WHEN AIR TEMPERATURE IS AT LEAST 34° F AND RISING. DISCONTINUE CONCRETE PLACEMENT WHEN THE AIR TEMPERATURE IS 38° F AND FALLING, OR IF THE TEMPERATURE STOPS RISING AND DOES NOT RISE 38° F.
 - MIXING AND MANAGEMENT OF FRESH CONCRETE, INCLUDING TRANSPORTATION TIME, SHALL BE PER IOWA DOT SECTION 2301.
 - MIXING AND MANAGEMENT OF COLORED CONCRETE SHALL BE IN ACCORDANCE WITH VENDOR'S RECOMMENDATIONS AND INSTRUCTIONS.
 - ENSURE THAT THE TOP 1 INCH OF THE AGGREGATE SUBBASE IS UNIFORMLY MOIST PRIOR TO PAVING.
 - PLACE PCC ACCORDING TO IOWA DOT SECTIONS 2301.
 - DO NOT PLACE CONCRETE WHEN STORMY OR INCLEMENT WEATHER OR TEMPERATURE PREVENTS GOOD WORKMANSHIP.
 - DO NOT PLACE CONCRETE ON A FROZEN SUBGRADE OR SUBBASE.
 - AT THE TIME OF PLACEMENT, CONCRETE MUST HAVE A TEMPERATURE OF AT LEAST 40 DEGREES.
- FINISHING
 - PAVING SHALL BE FINISHED PER IOWA DOT SECTIONS 2301.
 - SIDEWALKS TO HAVE STRAIGHT BROOM FINISH, SMOOTH CORNERS, AND TROWELED JOINT EDGES.
 - ETCHING FOR COLORED CONCRETE SHALL BE IN ACCORDANCE WITH VENDOR'S RECOMMENDATIONS AND INSTRUCTIONS. REFERENCE ARCHITECTURAL SPECIFICATIONS.
 - CURBS AND GUTTERS AND PCC PATCHING SHALL HAVE ARTIFICIAL TURF FINISH MATCHING ADJACENT PAVEMENT.
- TOLERANCES
 - SURFACE SMOOTHNESS: MAXIMUM DEVIATION OF 1/2" IN 10 FEET MEASURED WITH A 10-FOOT STRAIGHTEDGE.
- JOINTS
 - MARK JOINT LOCATIONS WITH A STRING LINE BEFORE SAWING.
 - BEGIN ALL TRANSVERSE JOINT SAWING AS SOON AS THE CONCRETE HAS HARDENED SUFFICIENTLY TO ALLOW SAWING WITHOUT TRAVELING OR MOVING OF AGGREGATE. SAW JOINTS BEFORE UNCONTROLLED CRACKING TAKES PLACE.
 - SAW LONGITUDINAL JOINTS WITHIN 24 HOURS OF CONCRETE BEING PLACED.
 - PAVEMENT SHALL HAVE THE FOLLOWING MAXIMUM JOINT SPACING: MATCH EXISTING SPACING. 12' MAXIMUM FOR CURB AND GUTTER AND 5/8" PANELS MAX FOR SIDEWALKS.
 - CONTRACTION JOINTS SHALL BE SAWED TO ONE-FOURTH OF SLAB THICKNESS AND FILLED WITH HOT POURED JOINT COMPOUND ON NON-SIDEWALK PAVED SURFACES. MINIMUM AMBIENT TEMPERATURE IN THE SHADE FOR APPLICATION OF HOT-POURED JOINT SEALER IS 50° F AND RISING.
 - SIDEWALK JOINT SPACING WILL BE 5' OR EQUAL TO THE WIDTH OF THE WALK UNLESS OTHERWISE SPECIFIED ELSEWHERE.
- FORM REMOVAL
 - REMOVE FORMS AFTER THE INITIAL SET OF THE CONCRETE HAS TAKEN PLACE. TAKE CARE TO PREVENT CRACKING, SPALLING, OR OVER-STRESSING THE CONCRETE. IF DAMAGE OCCURS, REPAIRS WILL BE MADE AS REQUIRED BY THE OWNER OR OWNER'S REPRESENTATIVE.
 - IN AREAS ADJACENT TO CURB AND PAVEMENT EDGE, IMMEDIATELY PLACE BACKFILL AFTER THE FORMS ARE REMOVED. ENSURE NO SATURATION OR EROSION OF THE SUBGRADE UNDER OR NEAR THE PAVEMENT.
- CURING AND PROTECTION
 - APPLY WHITE PORTLAND CEMENT LIQUID CURING COMPOUND ON THE SURFACE AND VERTICAL EDGES OF NON COLORED CONCRETE.
APPLY AS SOON AS THE FREE WATER HAS APPRECIABLY DISAPPEARED, BUT NO LATER THAN 30 MINUTES AFTER FINISHING.
USE AN APPLICATION RATE AS RECOMMENDED BY MANUFACTURER.
 - PROTECT PAVEMENT FROM RAIN DAMAGE. FAILURE TO PROPERLY PROTECT CONCRETE FROM RAIN DAMAGE MAY BE CAUSE FOR REMOVAL AND REPLACEMENT.
 - IF FORECAST INDICATES OVERNIGHT TEMPERATURES OF 35 DEGREES OR LOWER, PROTECT CONCRETE LESS THAN 36 HOURS OLD FROM COLD WEATHER USING INSULATION BLANKETS.
 - PROTECT CONCRETE DURING HOT WEATHER CONDITIONS TO PREVENT PREMATURE LOSS OF MOISTURE.



SITE LAYOUT NOTES:

- ALL DIMENSIONS SHOWN ARE TO EDGE OF PAVEMENT OR BACK OF CURB UNLESS OTHERWISE NOTED.
- RADI ARE DIMENSIONED TO EDGE OF PAVEMENT OR BACK OF CURB UNLESS NOTED OTHERWISE.
- CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING CONSTRUCTION LAYOUT.
- IMMEDIATELY NOTIFY ENGINEER OF UNEXPECTED SUB-SURFACE CONDITIONS. DISCONTINUE WORK IN AREA UNTIL NOTIFIED BY ENGINEER TO RESUME WORK.
- NOTIFY ENGINEER OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH WORK.
- VERIFY JOINTING LAYOUTS WITH ENGINEER PRIOR TO CONSTRUCTION.
- VERIFY LOCATION OF CURB CUTS WITH ENGINEER PRIOR TO CONSTRUCTION.
- SIDEWALK CURB RAMPS SHALL BE BUILT IN ACCORDANCE WITH FEDERAL AND STATE ACCESSIBILITY STANDARDS.
- PAVEMENT (EXCLUDING PARKING SPACES) TO SUPPORT 75,000 LBS.

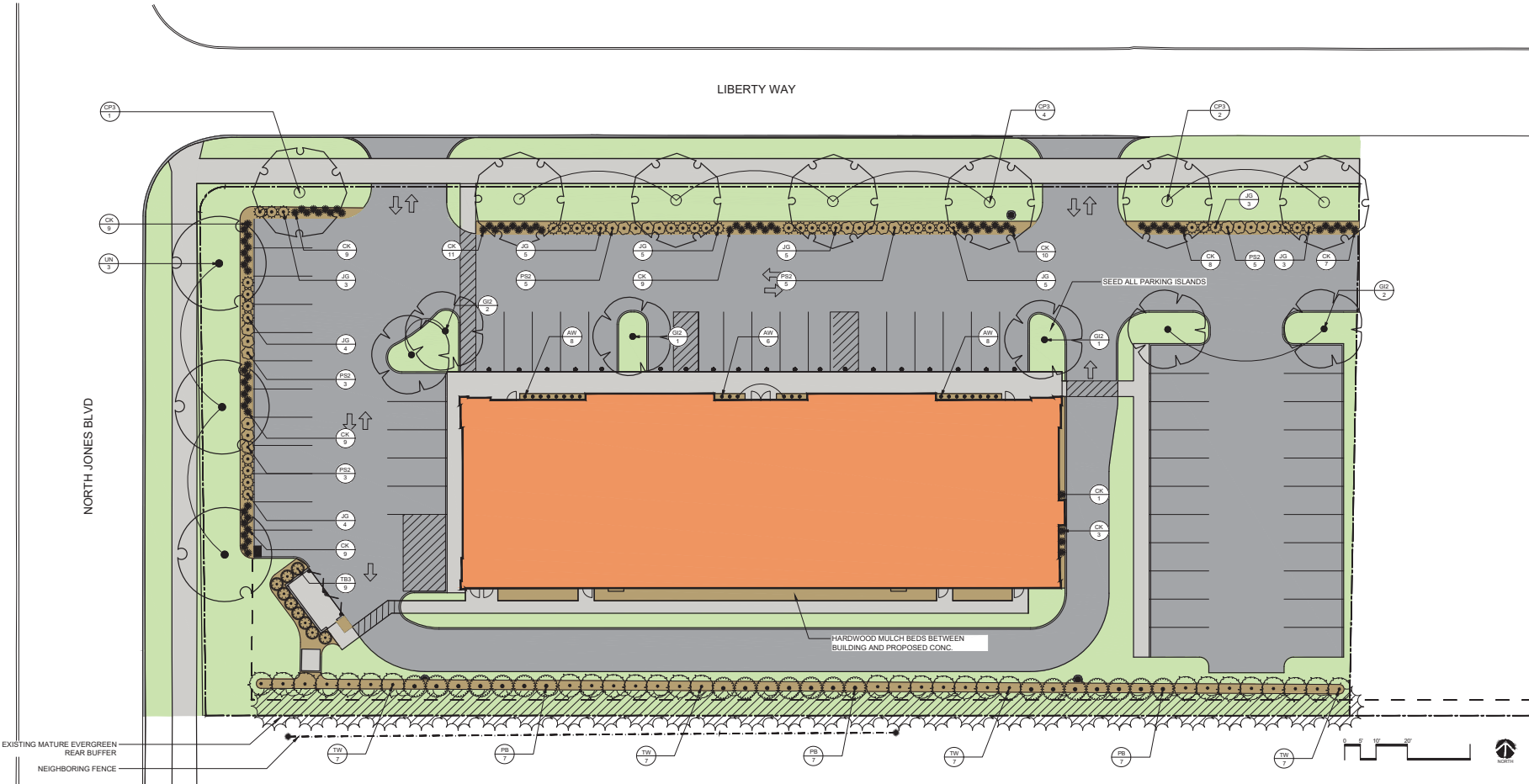
Zoning: C-1-B General Commercial District

Bulk Setbacks Required:

Front	25'
Side	25'
Rear	20' (30' RD-10)
Buffer Yard	10'
Lot Area	1.49 AC
Building Information:	
Building Area:	11,595 SF
Occupancy Type:	See Arch. Drawing

Parking : Retail	Required	Provided
1 per 350 s.f. GF	33	56
ADA Spaces	2	3
Stacking: 4 stacking spacs per drive through lane	4	12
Loading Spaces (25' min)	1	1

PLANT SCHEDULE REQUIRED PLANTINGS				
CODE	QTY	DETAIL	COMMON / BOTANICAL NAME	SIZE
DECIDUOUS TREES				
CP3	7		AMERICAN HACKBERRY / <i>CELTIS OCCIDENTALIS</i>	2" CAL.
GJ2	8		SKYLINE® HONEY LOCUST / <i>GLEDITSIA TRIACANTHOS 'NERMIS SKYCOLE'</i>	2" CAL.
UN	3		NEW HORIZON AMERICAN ELM / <i>ULMUS AMERICANA 'NEW HORIZON'</i>	2" CAL.
EVERGREEN TREES				
TB3	9		EMERALD GREEN ARBORVITAE / <i>THUJA OCCIDENTALIS 'EMERALD GREEN'</i>	10 GAL.
SHRUBS				
JG	37	18" MIN.	GOLD COAST JUNIPER / <i>JUNIPERUS X PFITZERIA 'GOLD COAST'</i>	3 GAL.
PS2	21	18" MIN.	TINY WINE NINEBARK / <i>PHYSOCARPUS OPULIFOLIUS 'TINY WINE'</i>	3 GAL.
PB	21	18" MIN.	DWARF MUGO PINE / <i>PINUS MUGO VAR. PUMILIO</i>	3 GAL.
TW	29	18" MIN.	WOODWARD ARBORVITAE / <i>THUJA OCCIDENTALIS 'WOODWARDII'</i>	3 GAL.
ANNUALS/PERENNIALS				
AW	22		CHINESE ASTILBE / <i>ASTILBE CHINENSIS 'VISIONS IN WHITE'</i>	1 GAL.
GRASSES				
CK	15		KARL FOERSTER GRASS / <i>CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'</i>	1 GAL.



SALONS & STUDIOS
 N JONES BLVD & LIBERTY WAY
 NORTH LIBERTY, IA

DATE	REVISION

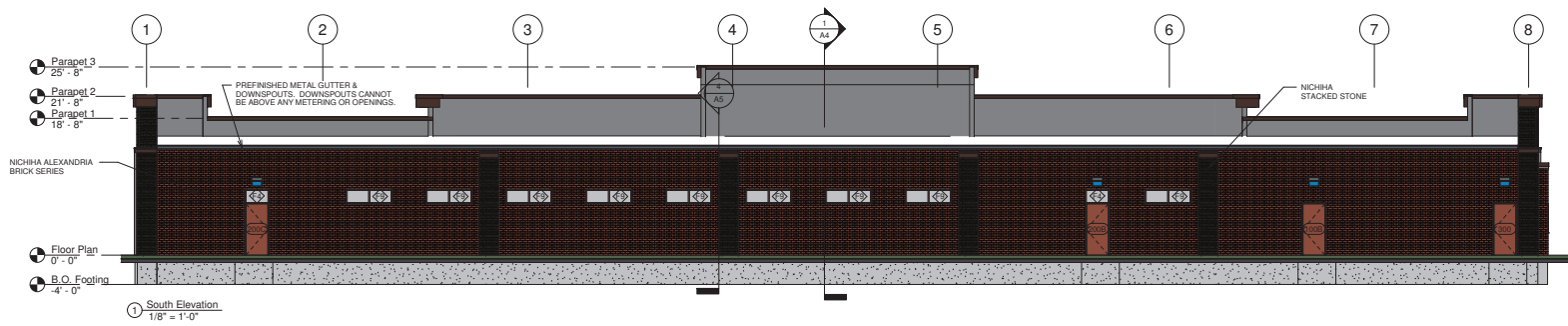
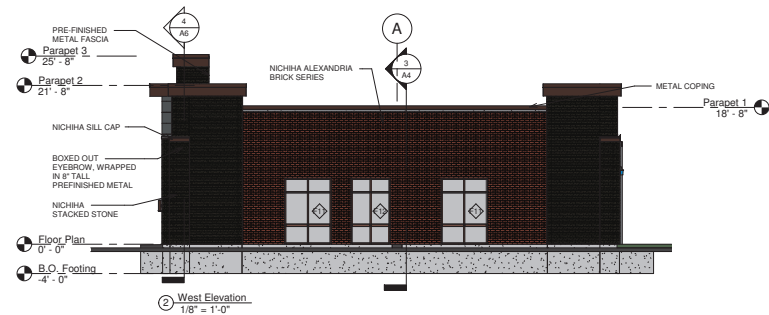
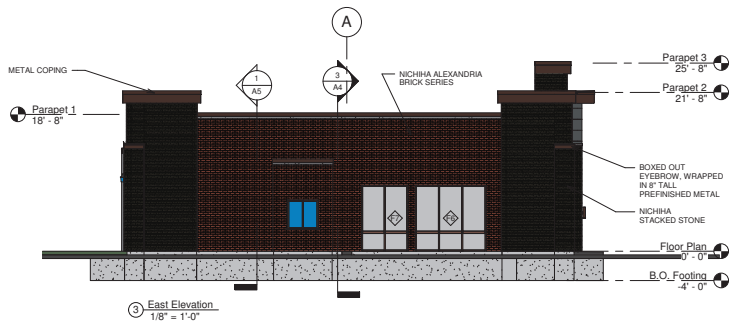
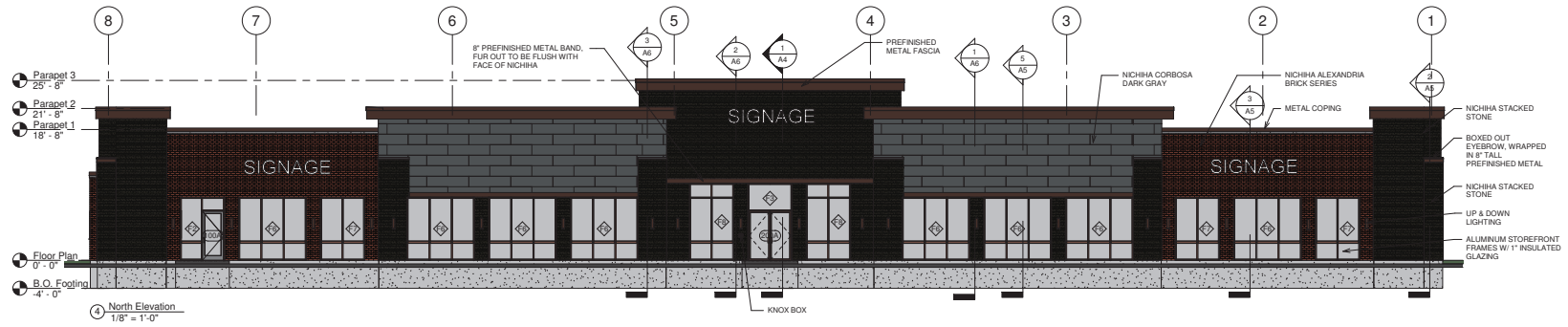
NOTES:

DATE: 1/12/2024
 DRAWN BY: MA
 REVISIONS BY:
 PROJECT #: E01240
 SHEET SIZE: 22"x34"
 SCALE: 1:200

PRELIMINARY
 LANDSCAPE
 PLAN

SHEET #:

L.01 of L.02



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REVISIONS
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Preliminary Drawings for:
North Liberty Retail #1
 1085 Liberty Way, North Liberty, Iowa

Elevations

DATE
 12 January 2024
A3
 PROJECT NO.
#04222