



**North Liberty Planning Commission
Tuesday, November 5, 2024, 6:30 PM
North Liberty City Council Chambers
360 N Main St, North Liberty, Iowa 52317**

This meeting may be accessed live by the public in person or on the internet at northlibertyiowa.org/live, on Facebook at facebook.com/northliberty or on YouTube at youtube.com/northliberty. Meetings are rebroadcast on cable and available on-demand on northlibertyiowa.org.

Call to Order

1. Roll Call

2. Approval of the Agenda

3. Preliminary Site Plan: Request of Grand Rail Construction & Development to approve a Preliminary Site Plan for a horizontal mixed-use development on 2.84 acres. The property is located at the northwest corner of North Madison Ave and Penn Court.

- a. Staff Presentation
- b. Applicant Presentation
- c. Public Comments
- d. Questions and Comments
- e. Recommendation to the City Council

4. Public Hearing on Zoning Map Amendment and Preliminary Site Plan:

Request of Grand Rail Construction & Development for a zoning map amendment (rezoning) from C-1-B General Commercial District to C-2 Highway Commercial District and to approve a Preliminary Site Plan for 36-unit multi-dwelling housing building and related infrastructure on approximately 1.68 acres. The property is located on the south side of North Madison Ave approximately 350 feet east of Penn Court.

- a. Staff Presentation
- b. Applicant Presentation
- c. Public Comments
- d. Questions and Comments
- e. Recommendation to the City Council

- 5. Public Hearing on Zoning Map Amendment:** Request of Watts Development Group, Inc. for a zoning map amendment (rezoning) from RS-6 Single-Unit Residence District to RS-9 Single-Unit Residence District on approximately 1.73 acres. The property is located on the south side of Denison Avenue approximately 300 feet west of South Alexander Way.

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council

- 6. Public Hearing on Zoning Map Amendment:** Request of City of North Liberty for a zoning map amendment (rezoning) from RS-6 Single-Unit Residence District to RS-6 PAD Single-Unit Residence District Planned Area Development on approximately .18 acres. The property is located at 1470 Antler Drive.

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council

- 7. Public Hearing on Zoning Map Amendment:** Request of City of North Liberty for a zoning map amendment (rezoning) from ID Interim Development District to P Public District on approximately 3.0 acres. The property is located on the north side of Saint Andrews Boulevard approximately 400 feet west of South Alexander Way.

 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council

- 8. Approval of Previous Minutes**

- 9. Old Business**

- 10. New Business**

- 11. Adjournment**



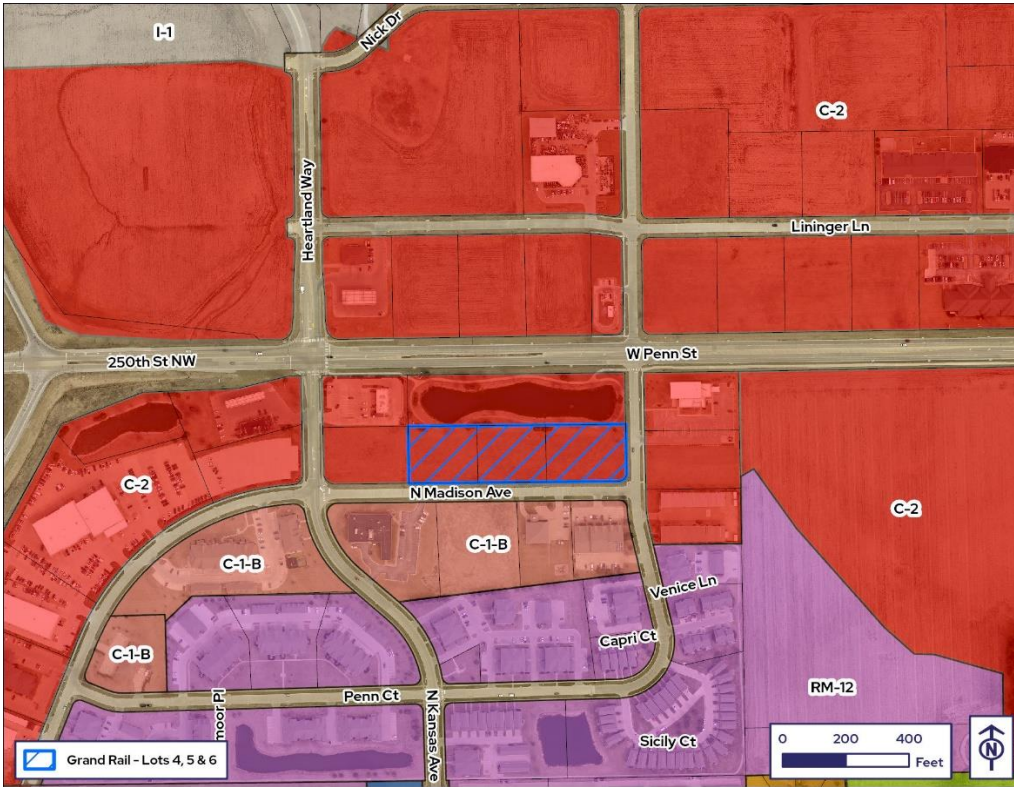
To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **October 30, 2024**
 Re **Request of Grand Rail Construction & Development to approve a Preliminary Site Plan for a horizontal mixed-use development on 2.84 acres. The property is located at the northwest corner of North Madison Ave and Penn Court.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo.

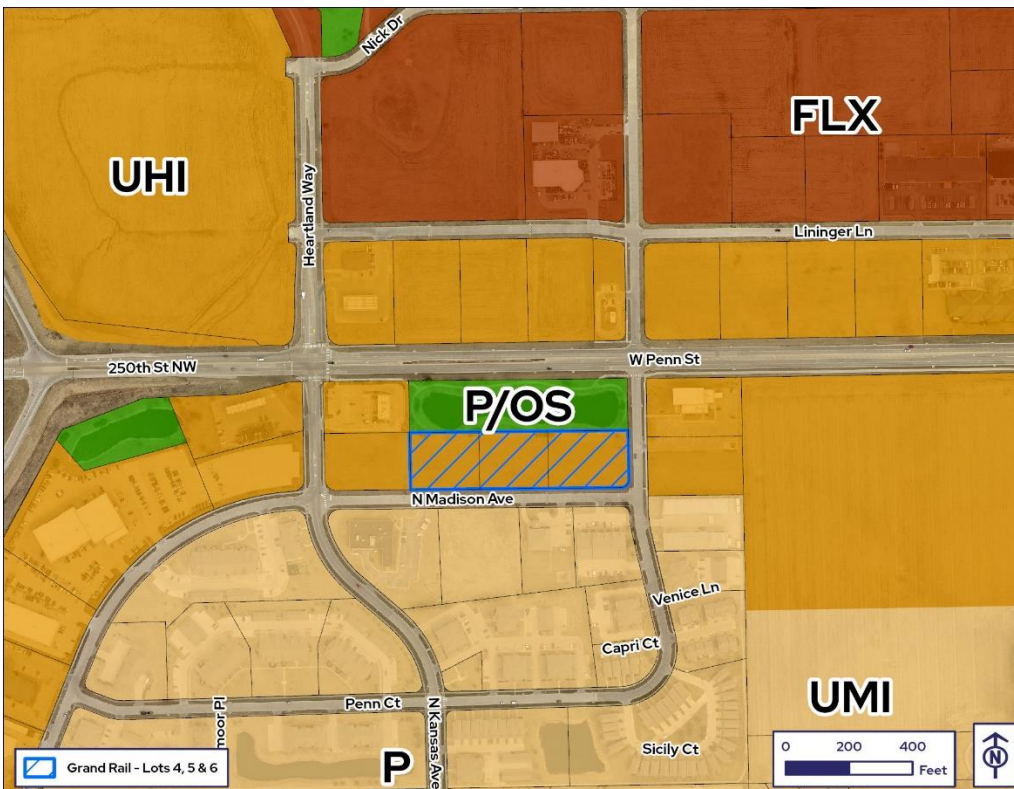
- Request Summary:** The site plan proposes two, three-story multi-unit buildings, a single-story multi-tenant commercial building and related infrastructure on approximately 2.84 acres.



2. Current Zoning: C-2 Highway Commercial District.



3. Comprehensive Plan Future Land Use Map Designation: Urban High Intensity.



4. Site Plan Approval Standards:

Section 165.05(2)(E) of the North Liberty Code of Ordinances sets forth the approval standards (ordinance language in *italics* and staff analysis in **bold**).

E. Approval Standards. The Planning Commission's recommendation to the City Council and the City Council's decision to approve or disapprove a preliminary site plan shall be informed by the preliminary site plan's adherence to the following standards:

(1) The consistency of the preliminary site plan with all adopted ordinances and regulations.

See analysis below.

(2) The consistency of the proposed land use with the Comprehensive Plan and any adopted land use policies. The submission of a preliminary site plan which proposes one or more uses inconsistent with the City's Future Land Use Map creates a rebuttable presumption that said use or uses are inharmonious with surrounding properties and incompatible with orderly development and redevelopment.

The C-2 District is consistent with the UHI Land Use Map designation.

Analysis of adopted ordinances and regulations.

Section 168.07 of the North Liberty Code of Ordinances for some potential uses of the property.

Dwelling – Multiple–Unit.

- A. Defined. Multiple–Unit Dwelling means a structure containing three or more attached dwelling units used for residential occupancy. A multiple–unit dwelling does not include a townhouse dwelling.
- B. Use Standards.
- (1) Buildings must be designed with consistent materials and treatments that wrap around all building elevations. There must be a unifying architectural theme for the entire multi-unit development, utilizing a common vocabulary of architectural forms, elements, materials, or colors in the entire structure.
 - (2) Building facades must include windows, projected or recessed entrances, overhangs, and other architectural features. Three–dimensional elements, such as balconies and bay windows, are encouraged to provide dimensional elements on a facade.
 - (3) Minimum required masonry on front and corner side yard building elevations in residential districts is 25%.
 - (4) To the maximum extent permitted by Iowa Code § 414.1(1)(h), minimum required masonry on front and corner side yard building elevations in residential districts is 25%.
 - (5) Buildings shall be oriented to the best extent possible so that attached garages doors do not face the public right–of–way.

- (6) Additional Commercial district design standards.
 - (a) Roofs shall be designed to be generally flat and shall be concealed from view by use of parapet walls or other architectural methods. Portions of roofs that are curved or pitched may be allowed as architectural accents but shall not be used as the primary roof design.

The single-story multi-tenant commercial building may be one or more allowable uses in the C-2 District.

Section 165.05(2)(D) of the North Liberty Code of Ordinances entitled, "Preliminary Site Review" sets forth the submission requirements (ordinance language in *italics* and staff analysis in **bold**).

- *Date, north arrow and graphic scale.* **Provided.**
- *The property owner's name and description of proposed development.* **Provided.**
- *A vicinity sketch showing the location of the property and other properties within 1,000 feet of it.* **Provided.**
- *Property boundary lines, dimensions, and total area.* **Provided.**
- *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the site plan.* **Provided.**
- *The location of existing streets, sidewalks, easements, utilities, drainage courses.* **Provided.**
- *The total square feet of building floor area, both individually and collectively.* **Provided.**
- *All structures and major features shall be fully dimensioned including distance between structures, distance between driveways, parking areas, property lines and building height.* **Provided.**
- *Off-street parking areas, ingress and egress to the property, number of parking spaces proposed, number of parking spaces required by this code and type of surfacing.* **Provided.**
- *Pedestrian walkways with special consideration given to pedestrian safety.* **Provided.**
- *Trash and refuse enclosures.* **Provided.**
- *The general drainage pattern and location of storm water detention features.* **Provided.**
- *The general location, type and size of landscaping and ground cover illustrated in color perspective.* **Provided.**
- *A rendering, elevation or photo of the proposed development.* **Provided.**

North Liberty Code of Ordinances Section 169.10 entitled, "Design Standards" sets forth certain design standards.

Requirements for All Districts (ordinance language in *italics* and staff analysis in **bold**).

- *Building design shall be visually harmonious and compatible with the neighborhood character.*
- *Buildings located on property with double frontages shall have similar wall design facing both streets.*
- *Except for RS RD, R-MH and ID districts, color schemes shall be primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited.*
- *Except in the R-MH district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs and there shall be a minimum roof overhang at the eaves of 12 inches. This does not apply to portions of a roof that are separate from the structure's primary roof. Metal roofs shall not be corrugated or similar appearance. The color of the roof shall be visually harmonious and compatible with the building color scheme.*

It is staff's opinion that the site plan achieves consistency with the aforementioned design standards.

Requirements for Development in Commercial Districts (ordinance language in *italics*).

- *Design. To achieve appealing aesthetic design through high quality architecture and construction, with attention to placement, relationship, and orientation of structures and amenities to provide both internal cohesiveness and compatibility with surrounding uses.*
- *Walkability. To achieve overall development patterns that encourage walking and reduce dependence on the automobile to travel from one business to another, and so reduces the dominance of the automobile within the development.*
- *Human-scale Activity. To achieve a sense of place by emphasizing pedestrian interaction with commercial uses rather than sprawling automobile-dominated designs, both in building architecture and public or private outdoor areas.*
- *Compatible Uses. To achieve the right blend of uses, compact and well-designed, that complement each other and provide cohesive overall developments.*
- *Materials. Minimum required masonry on all building elevations is 60%. Exterior walls not composed of masonry products shall not be covered with ribbed.*

It is staff's opinion that the site plan achieves consistency with the aforementioned design standards.

5. Additional information:

This site plan is a direct result of recent changes to the Zoning Ordinance allowing multi-unit residential buildings as permitted in the C-2 District. Previously, a similar horizontal mixed-use development would have necessitated a rezoning in the form of a Planned Area Development.

There are a couple of details that will need to be addressed during the review of the construction site plan, including:

1. City-owned warning siren on the property.
2. Pond trail extending onto the property.
3. Pond trail as the City sidewalk adjacent to the Penn Court.

6. Staff Recommendation:

Finding:

1. The preliminary site plan would achieve consistency with the approval standards enumerated in Section 165.05(2)(E) of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request to approve a preliminary site plan for a horizontal mixed-use development on 2.84 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the preliminary site plan to the City Council with a recommendation for approval.



**CVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS**
1917 S. GILBERT ST.
IOWA CITY, IOWA 52242
(319) 351-4222
www.mmsconsultants.net

Date: 10/25/24 Revision: PER CITY COMMENTS - RAN/PH

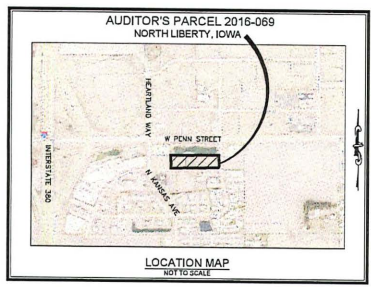
**PRELIMINARY
SITE PLAN**

**AUDITOR'S PARCEL
2016-069**

**NORTH LIBERTY JOHNSON COUNTY
IOWA**

MMS CONSULTANTS, INC.
Date: 10/01/2024
Project No: 9925-023
Sheet No: 1

**PRELIMINARY SITE PLAN
AUDITOR'S PARCEL 2016-069
NORTH LIBERTY, IOWA**



LANDSCAPE REQUIREMENTS

PARKING LOT LANDSCAPE:
TREES SHALL BE PLANTED TO FORM A CONTINUOUS URBAN EDGE OF LANDSCAPE.
1. 1" SHADY TREES FOR 2' PER 50 SF OF PROPOSED LANDSCAPE VARD (3,641.74 SQ FT) @ 1/30" = 9 TREES REQUIRED
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CONCEPT PLANT SCHEDULE

	SHADE TREE 15"	15
	STREET TREE 12"	13
	DECIDUOUS SHRUB 18"	72
	EVERGREEN SHRUB 18"	25
	ORNAMENTAL GRASS 18"	50

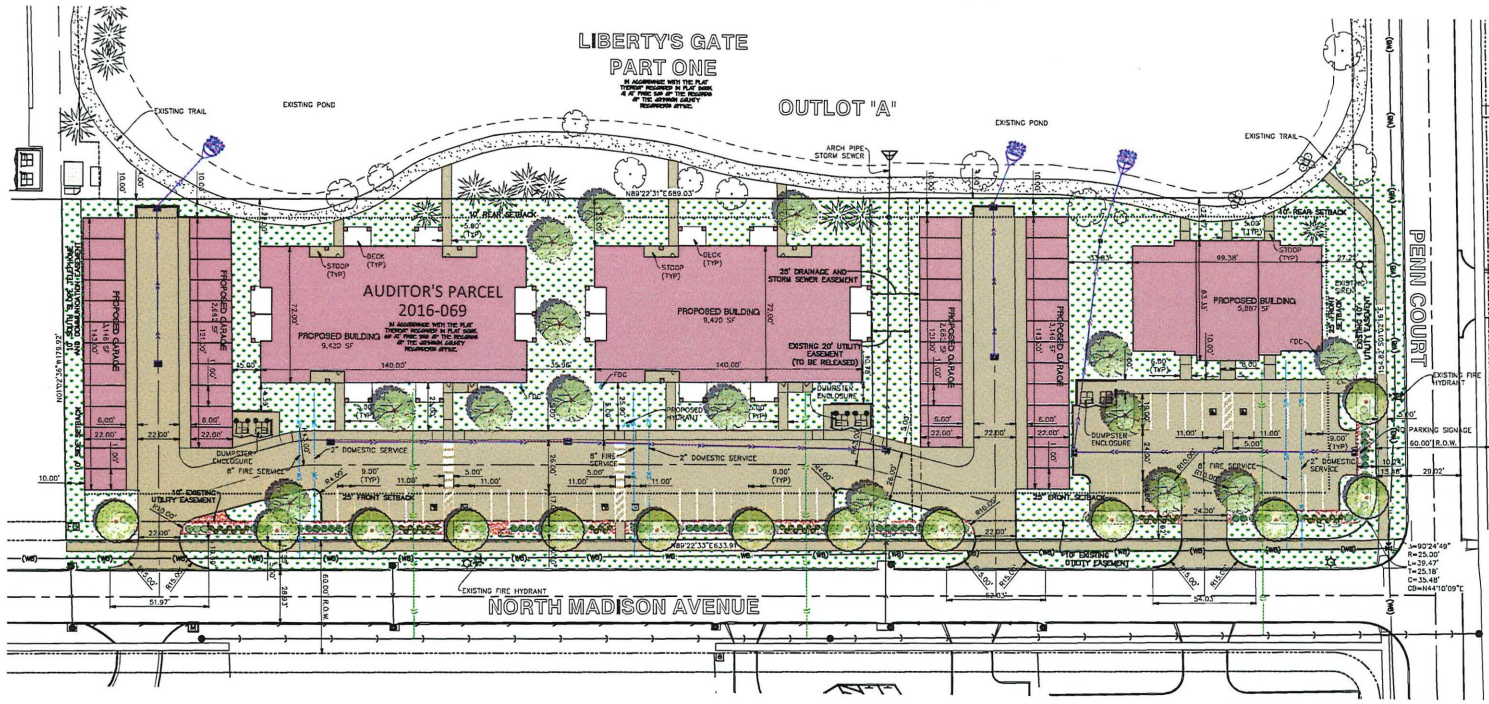
LANDSCAPE LEGEND

SURF GRASS
 PLANTING BED

STANDARD LEGEND AND NOTES

1. THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.

	PROPERTY BOUNDARY LINES
	CONSPICUOUS SECTION LINES
	RIGHT-OF-WAY LINES
	EXISTING RIGHT-OF-WAY LINES
	CENTER LINES
	EXISTING CENTER LINES
	LOT LINES
	LOT LINES PLOTTED BY SEED
	PROPOSED CASeload LINES
	EXISTING CASeload LINES
	BENCHMARK
	RECORDED DIMENSIONS
	CURVE SEGMENT NUMBER
	ELEVATION
	SPOT ELEVATION
	POWER POLE W/SDWP
	POWER POLE W/MSWP
	POWER POLE W/MSWP
	SPOT POLE
	LIGHT POLE
	SANITARY MANHOLE
	FIRE HYDRANT
	WATER VALVE
	DRAINAGE MANHOLE
	STORM VALVE
	FENCE LINE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	WATER LINES
	ELECTRIC LINES
	GAS LINES
	FIRE LINE
	OVERHEAD ELECTRIC
	CONDUIT LINES (1" INTERVAL)
	PROPOSED GROUND
	EXISTING TREE LINE
	EXISTING EVERGREEN TREE & SHRUB



PLAT PLAN PREPARED BY: MMS CONSULTANTS, INC.
DATE: 10/25/24
PROJECT: AUDITOR'S PARCEL 2016-069, NORTH LIBERTY, IOWA

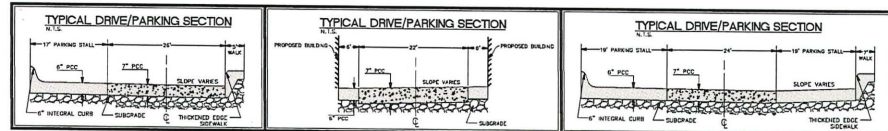
LOCAL JURISDICTIONS: NORTH LIBERTY, IOWA

REVISIONS:

NO.	DATE	DESCRIPTION
1	10/25/24	ISSUE FOR PERMITS

GENERAL NOTES:

- ALL GROUND MOUNTED MECHANICAL UNITS SHALL BE SERVICED WITH LANDSCAPING.
- ALL PROPOSED LIGHTING SHALL BE WALL MOUNTED AND ADHERE TO CITY OF NORTH LIBERTY LIGHTING REQUIREMENTS.
- ALL PROPOSED UTILITIES SHALL BE PRIVATE.



IOWA ONE CALL

UTILITIES:
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800-252-8888 NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OR DISCOVERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL ATTEMPT ACCESS TO THESE FACILITIES FROM EXISTING UTILITIES OR SERVICE UNDERGROUND FACILITIES. STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE. ONLY IF IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN IS THE CONTRACTOR'S RESPONSIBILITY TO RESEARCH, IDENTIFY, LOCATE, AND EXACT ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

DESIGNED BY: RAN
DRAWN BY: HEH
CHECKED BY: RAN
PROJECT NO.: 9925-023

DATE: 10/01/2024
SCALE: 1"=30'
SHEET NO.: 1

PRELIMINARY GRADING PLAN
 AUDITOR'S PARCEL 2016-069
 NORTH LIBERTY, IOWA

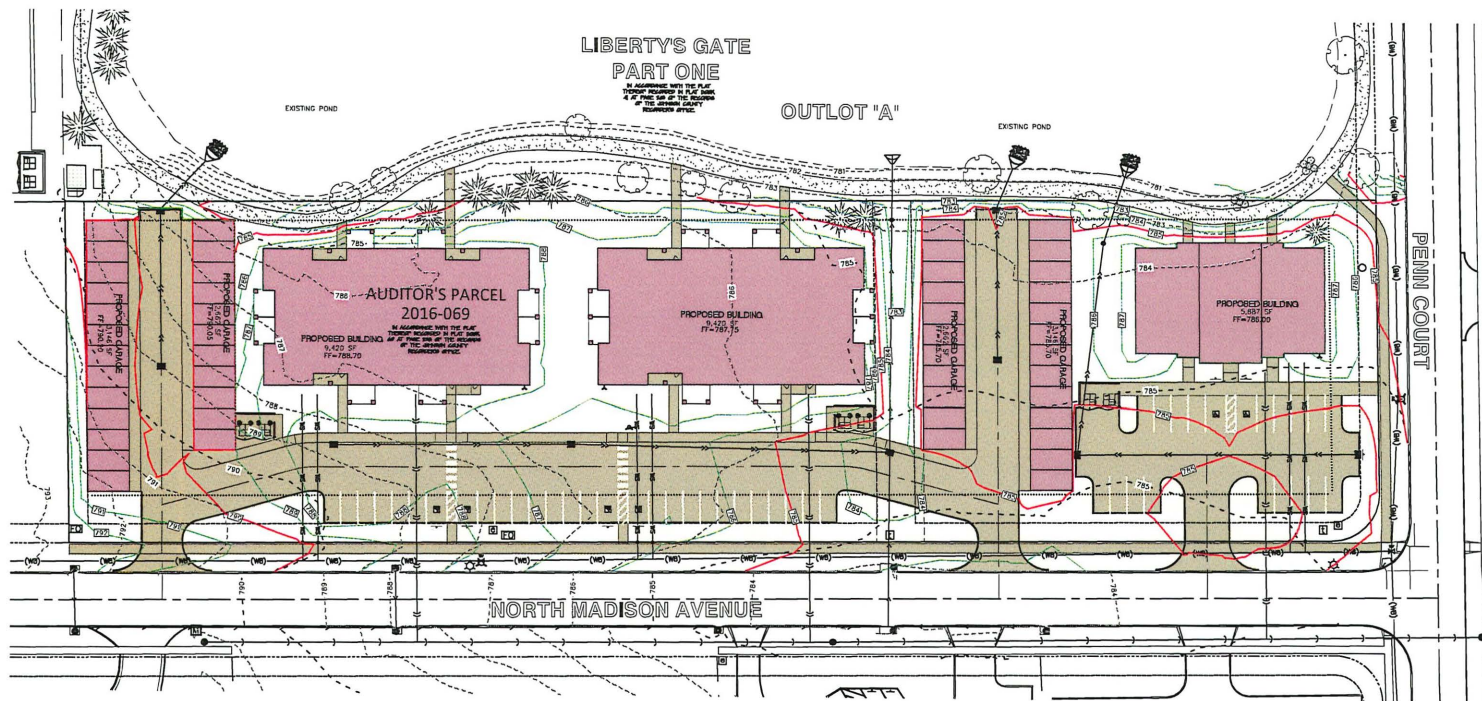
2.84 AC



CIVIL ENGINEERS
 LAND PLANNERS
 LAND SURVEYORS
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 ENVIRONMENTAL SPECIALISTS
 817 S. GILBERT ST.
 IOWA CITY, IOWA 52240
 (319) 351-6232
 www.mmsconsultants.net

STANDARD LEGEND AND NOTES	
---	PROPERTY &/or BOUNDARY LINES
---	CONVEYANCING SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	CENTER LINES
---	EXISTING CENTER LINES
---	LOT LINES, INTERIOR
---	LOT LINES PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	BENCHMARK
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	PROF.
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---	POWER POLE W/TRANS
---	POWER POLE W/RIGHT
---	QUIP POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DEWATER MANHOLE
---	CURB LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	WATER LINES
---	ELECTRICAL LINES
---	TELEPHONIC LINES
---	CABLE LINES
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---	CONTOUR LINES (1' INTERVAL)
---	PROPOSED GROUND
---	EXISTING TREE LINE
---	EXISTING DECIDUOUS TREE & SHRUB
---	EXISTING EVERGREEN TREES & SHRUBS

THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



Date	Revision
10/01/2024	PER CITY COMMENTS - REVISED

PRELIMINARY GRADING PLAN

AUDITOR'S PARCEL 2016-069

NORTH LIBERTY JOHNSON COUNTY IOWA

UTILITIES
 THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL AT 811 OR 800-485-5844 NO LESS THAN 48 HRS IN ADVANCE OF ANY DIGGING OR EXCAVATION.

IOWA ONE CALL

WHERE PUBLIC UTILITY FACILITIES ARE SHOWN AS EXISTING ON THE PLANS OF ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AVOID ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERMINING FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IF POSSIBLE, THE CONTRACTOR SHALL VERIFY THE EXISTENCE OF UTILITIES BY EXCAVATION OR SHOWN. IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THEREIN, NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

MMS CONSULTANTS, INC.

Date: 10/01/2024

Designed by: RAN File Book No:

Drawn by: HEH Scale: 1"=50'

Checked by: RAN Sheet No: 2

Project No: 9925-023 of 2



AA ENLARGED ELEVATION (PROPOSED)

SCALE: 1/4" = 1'-0"



B SIDE ELEVATION (PROPOSED)

SCALE: 1/8" = 1'-0"

PRELIMINARY DRAWING
NOT TO BE USED FOR CONSTRUCTION PURPOSES



A FRONT ELEVATION (PROPOSED)

SCALE: 1/8" = 1'-0"



MADISON
NORTH LIBERTY, IOWA
(24 UNITS)
9-22-2024

406 14TH AVE SW
CEDAR RAPIDS, IA 52404
319-365-1150

2435 KIMBERLY RD.
SUITE 2407
BETTENDORF, IA 52722
563-359-3117

SELECT
STRUCTURAL
SELECT-STRUC.PALL.CO

NO.	DATE	BY	DESCRIPTION

GRAND RAIL
COMMUNITY DEVELOPMENT

MADISON 94-PLEX
MADISON AVE
NORTH LIBERTY, IOWA
GRAND RAIL DEVELOPMENT

SHEET TITLE
EXTERIOR ELEVATIONS (PROPOSED)

DRAWN BY: _____
APPROVED BY: _____
JOB DATE: _____
JOB NO.: _____

DATE: _____
SCALE: _____
SHEET: _____

FIGURE NO. A-200

15:00:00 10/11/2024 11:20:00 AM

PLAN VIEW DIMENSIONS ONLY. THESE DIMENSIONS DO NOT INCLUDE CURBSIDE PARKING.



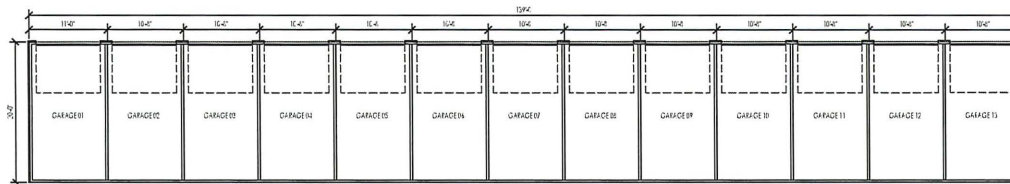
22 GARAGE FRONT ELEVATION (ALT.)
Scale: 1/8" = 1'-0"

23 SIDE ELEVATION (ALT.)
Scale: 1/8" = 1'-0"



20 GARAGE FRONT ELEVATION
Scale: 1/8" = 1'-0"

21 SIDE ELEVATION
Scale: 1/8" = 1'-0"



10 GARAGE FLOOR PLAN
SEE SITE PLAN FOR SPECIFIC CONFIGURATION & LOCATION
Scale: 1/8" = 1'-0"

606 14TH AVE SW
CEDAR RAPIDS, IA 52404
319-365-1150

2435 KIMBERLY RD.
SUITE 2405
BETTENDORF, IA 52722
563-359-3117

SELECT STRUCTURAL
SELECT-STRUCTURAL.COM

#	DATE	BY	REVISIONS	DESCRIPTION

DESIGN AND CONSTRUCTION OF THIS PROJECT IS THE SOLE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

GRAND RAIL
MADISON 24-PLEX
MADISON AVE
NORTH LIBERTY, IOWA
GRAND RAIL DEVELOPMENT

SHEET TITLE: GROUND FLOOR PLAN

DATE: / /

DESIGNER:

CHECKED BY:

APPROVED BY:

JOB NO.

DATE / /

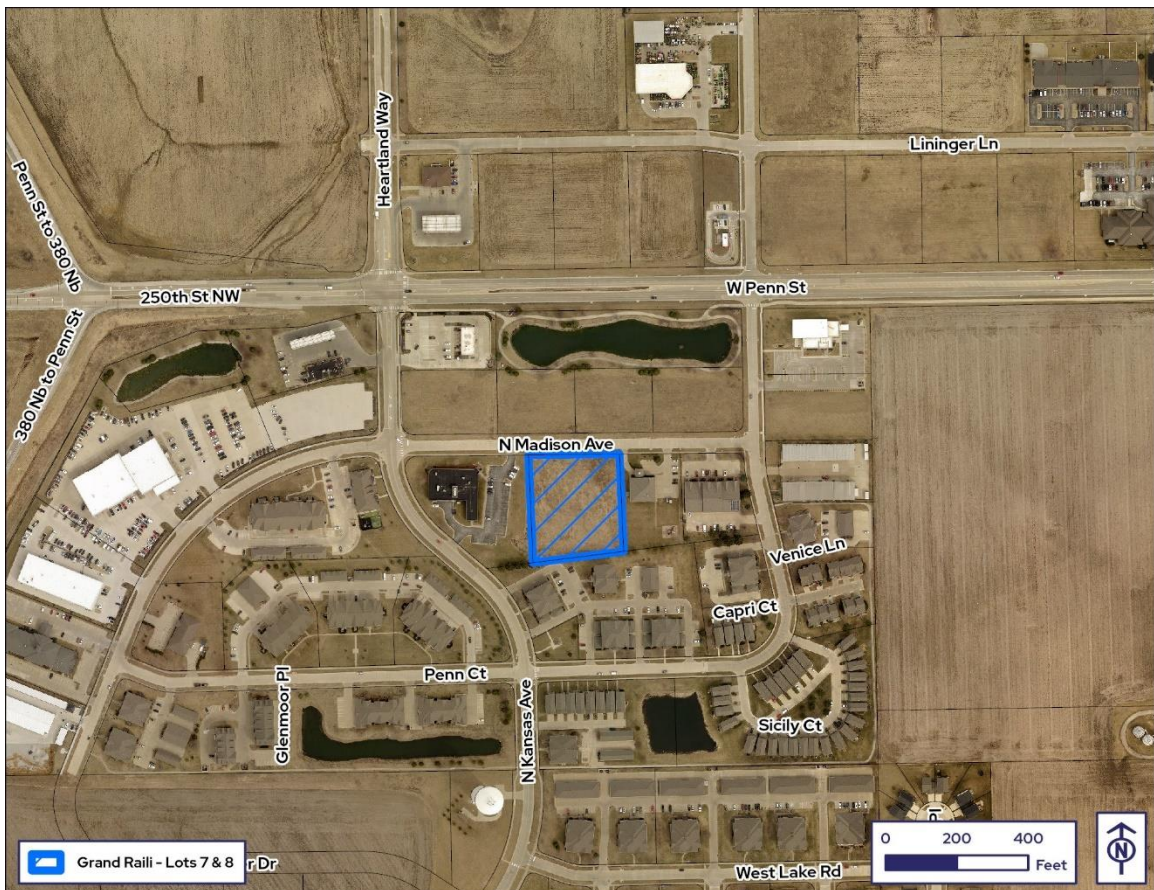
PHASE NO. A-100



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **October 30, 2024**
 Re **Request of Grand Rail Construction & Development for a zoning map amendment (rezoning) from C-1-B General Commercial District to C-2 Highway Commercial District and to approve a Preliminary Site Plan for 36-unit multi-dwelling housing building and related infrastructure on approximately 1.68 acres. The property is located on the south side of North Madison Ave approximately 350 feet east of Penn Court.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo.

- 1. Request Summary:** The request is to facilitate the development of a 36-unit multi-dwelling housing building and related infrastructure on approximately 1.68 acres



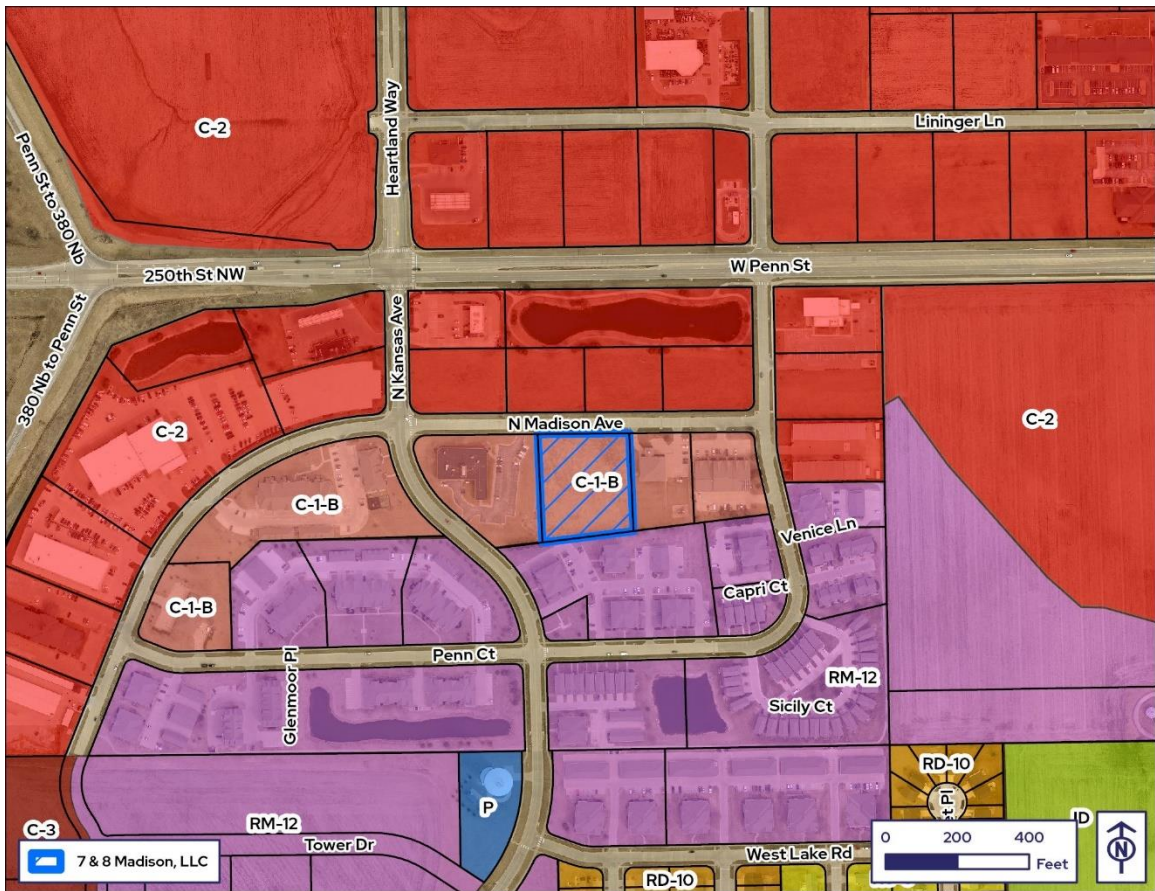
2. Current Zoning:

Current Zoning

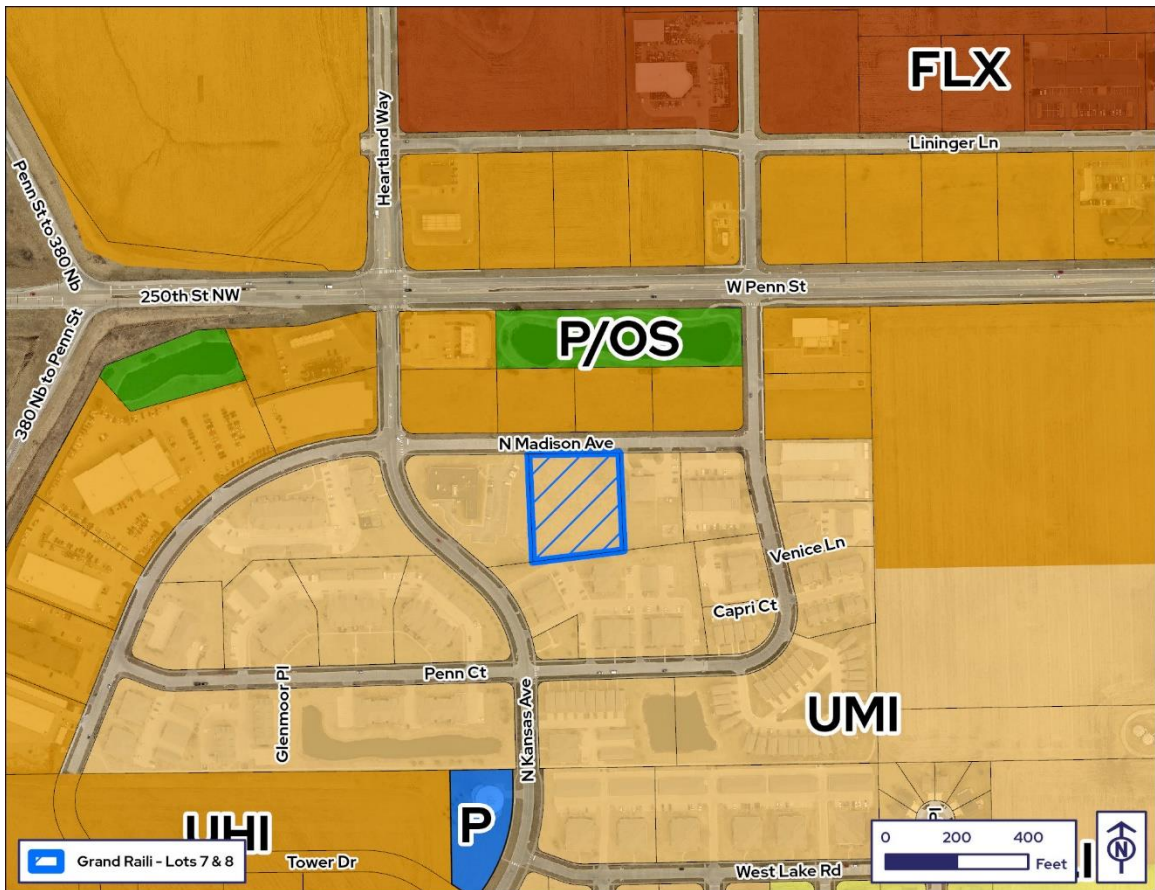
C-1-B General Commercial District. The C-1-B District is intended to provide for the uses established under the C-1-A Central Commercial District and other commercial uses which due to space requirements and the nature of operations are not suitable for location within a compact central commercial center. Setback and yard requirements are greater than under the C-1-A Central Commercial District.

Proposed Zoning

C-2 Highway Commercial District. The C-2 District is intended to provide for those commercial uses which may take particular advantage of a highway location and/or due to size or other nuisance constraints may be incompatible with the predominantly retail uses permitted in the C-1-A and C-1-B Commercial Districts, and whose service area is not confined to any one neighborhood or community.



3. Comprehensive Plan Future Land Use Map Designation: Urban Medium Intensity.



Urban Medium Intensity Description

More variety in housing arrangements and more allowance for activity areas that draw people from outside the immediate area for services or recreation. Increased intensity (compared to ULI) improves opportunities for economic activity and social interaction. Medium intensity areas include mostly a horizontal mix of residential and non-residential uses at compatible moderate densities and scale, although there may be opportunities for vertical mixed-use.

Residential

Uses include a variety of housing types that may be on smaller lots. Housing mix can include single-family detached homes, duplexes, townhomes, and multifamily buildings to create integrated neighborhoods.

Form and Features

- » General aggregate development density of 7 to 14 dwelling units per acre. Innovative designs should allow more public spaces than ULI.
- » Attached housing developments maintain the identity of the individual housing units.
- » High connectivity with multiple access points into neighborhoods. As compared to ULI, UMI encourages closer proximity between transportation, housing, and commercial services.

4. Public Input:

A virtual good neighbor meeting was held on October 21, 2024. A representative from the Chinese Church of Iowa City (abutting property to the east) and some general questions, which were appreciated. There are no objections to the request.

Staff also received correspondence from the multi-unit residential development to the south regarding the preservation of the existing landscape buffer on their property.

5. Zoning Map Amendment Approval Standards

Section 165.09(4)(D)(1) of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (ordinance language in italics and staff analysis in bold).

Map Amendments.

- (a) *The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.*

Figure 3.4 within *Connected to Tomorrow* was utilized to determine which zoning district would be compatible with the Future Land Use Map.

Figure 3.4: Land Use Compatibility

TRADITIONAL LAND USES	AGRICULTURE (AG)	URBAN RESERVE (UR)	URBAN LOW INTENSITY (ULI)	URBAN MEDIUM INTENSITY (UMI)	URBAN HIGH INTENSITY (UHI)	COMMERCIAL/ INDUSTRIAL FLEX (FLX)	PUBLIC AND SEMI PUBLIC (PUB)	PARK AND OPEN SPACE (P, OS)
Agriculture	●	●						○
Rural residential		●						
Low-density residential			●	○				
Medium-density residential			●	●	○			
High-density residential				●	●	○		
Rural commercial		●						
Neighborhood commercial			○	●	●	●		
Community commercial				○	●	●		
Regional commercial					○	●		
Low/medium intensity office			○	●	●	●		
High-intensity office				○	●	●		
Limited industrial		○				●		
Heavy industrial						○		
Parks and civic uses	●	●	●	●	●	○	●	●
Major public/civic facilities					○	○	●	○
Residential density range (du/A*)	≤40	≤40	3-8	7-14	14+	14+	NA	NA

● Permitted ○ Permitted with special review
*Dwelling Units per Acre

The property would be developed at a density of 21.42 units/acre. Notably, the adopted Comprehensive Plan articulates the following (page 45) about Land Use boundaries: Generalized land use locations and transitions: The boundaries between land uses on the map are “fuzzy” lines and are meant to show approximate areas for transition, rather than rigid boundaries.

The adjacent property to the north is designated Urban High Density Land Use designation to the north, so a higher density development is not out of character with this area.

(b) *The compatibility with the zoning of nearby property.*

The property is located adjacent to commercial development so higher density/intensity is not out of character with the area. RM-12 zoned and developed property is located to the south. Since the property would remain commercially zoned, a more intense landscape buffer is required adjacent to this development. It is staff's opinion that the proposed zoning would be compatible with nearby property.

(c) *The compatibility with established neighborhood character.*

It is staff's opinion that the proposed zoning would be compatible with established neighborhood character.

(d) *The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.*

It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.

(e) *The extent to which the proposed amendment creates nonconformities.*

It is staff's opinion that the proposed zoning would not create any nonconformities.

6. Site Plan Approval Standards:

Section 165.05(2)(E) of the North Liberty Code of Ordinances sets forth the approval standards (ordinance language in *italics* and staff analysis in **bold**).

E. Approval Standards. The Planning Commission's recommendation to the City Council and the City Council's decision to approve or disapprove a preliminary site plan shall be informed by the preliminary site plan's adherence to the following standards:

(1) *The consistency of the preliminary site plan with all adopted ordinances and regulations.*

See analysis below.

(2) *The consistency of the proposed land use with the Comprehensive Plan and any adopted land use policies. The submission of a preliminary site plan which proposes one or more uses inconsistent with the City's Future Land Use Map creates a rebuttable presumption that said use or uses are inharmonious with surrounding properties and incompatible with orderly development and redevelopment.*

The C-2 District is consistent with the UHM Land Use Map designation.

Analysis of adopted ordinances and regulations.

Section 168.07 of the North Liberty Code of Ordinances for some potential uses of the property.

Dwelling – Multiple–Unit.

- A. Defined. Multiple–Unit Dwelling means a structure containing three or more attached dwelling units used for residential occupancy. A multiple–unit dwelling does not include a townhouse dwelling.
- B. Use Standards.
- (1) Buildings must be designed with consistent materials and treatments that wrap around all building elevations. There must be a unifying architectural theme for the entire multi-unit development, utilizing a common vocabulary of architectural forms, elements, materials, or colors in the entire structure.
 - (2) Building facades must include windows, projected or recessed entrances, overhangs, and other architectural features. Three–dimensional elements, such as balconies and bay windows, are encouraged to provide dimensional elements on a facade.
 - (3) Minimum required masonry on front and corner side yard building elevations in residential districts is 25%.
 - (4) To the maximum extent permitted by Iowa Code § 414.1(1)(h), minimum required masonry on front and corner side yard building elevations in residential districts is 25%.
 - (5) Buildings shall be oriented to the best extent possible so that attached garages doors do not face the public right-of-way.
 - (6) Additional Commercial district design standards.
 - (a) Roofs shall be designed to be generally flat and shall be concealed from view by use of parapet walls or other architectural methods. Portions of roofs that are curved or pitched may be allowed as architectural accents but shall not be used as the primary roof design.

Section 165.05(2)(D) of the North Liberty Code of Ordinances entitled, "Preliminary Site Review" sets forth the submission requirements (ordinance language in *italics* and staff analysis in **bold**).

- *Date, north arrow and graphic scale.* **Provided.**
- *The property owner's name and description of proposed development.* **Provided.**
- *A vicinity sketch showing the location of the property and other properties within 1,000 feet of it.* **Provided.**
- *Property boundary lines, dimensions, and total area.* **Provided.**
- *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the site plan.* **Provided.**
- *The location of existing streets, sidewalks, easements, utilities, drainage courses.* **Provided.**
- *The total square feet of building floor area, both individually and collectively.* **Provided.**

- *All structures and major features shall be fully dimensioned including distance between structures, distance between driveways, parking areas, property lines and building height. **Provided.***
- *Off-street parking areas, ingress and egress to the property, number of parking spaces proposed, number of parking spaces required by this code and type of surfacing. **Provided.***
- *Pedestrian walkways with special consideration given to pedestrian safety. **Provided.***
- *Trash and refuse enclosures. **Provided.***
- *The general drainage pattern and location of storm water detention features. **Provided.***
- *The general location, type and size of landscaping and ground cover illustrated in color perspective. **Provided.***
- *A rendering, elevation or photo of the proposed development. **Provided.***

North Liberty Code of Ordinances Section 169.10 entitled, "Design Standards" sets forth certain design standards.

Requirements for All Districts (ordinance language in *italics* and staff analysis in **bold**).

- *Building design shall be visually harmonious and compatible with the neighborhood character.*
- *Buildings located on property with double frontages shall have similar wall design facing both streets.*
- *Except for RS RD, R-MH and ID districts, color schemes shall be primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited.*
- *Except in the R-MH district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs and there shall be a minimum roof overhang at the eaves of 12 inches. This does not apply to portions of a roof that are separate from the structure's primary roof. Metal roofs shall not be corrugated or similar appearance. The color of the roof shall be visually harmonious and compatible with the building color scheme.*

It is staff's opinion that the site plan achieves consistency with the aforementioned design standards.

Requirements for Development in Commercial Districts (ordinance language in *italics*).

- *Design. To achieve appealing aesthetic design through high quality architecture and construction, with attention to placement, relationship, and orientation of structures and amenities to provide both internal cohesiveness and compatibility with surrounding uses.*
- *Walkability. To achieve overall development patterns that encourage walking and reduce dependence on the automobile to travel from one business to another, and so reduces the dominance of the automobile within the development.*

- *Human-scale Activity. To achieve a sense of place by emphasizing pedestrian interaction with commercial uses rather than sprawling automobile-dominated designs, both in building architecture and public or private outdoor areas.*
- *Compatible Uses. To achieve the right blend of uses, compact and well-designed, that complement each other and provide cohesive overall developments.*
- *Materials. Minimum required masonry on all building elevations is 60%. Exterior walls not composed of masonry products shall not be covered with ribbed.*

It is staff's opinion that the site plan achieves consistency with the aforementioned design standards.

6. Additional information:

None.

7. Staff Recommendation:

Findings:

1. The rezoning request from C-1-B General Commercial District to C-2 Highway Commercial District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.
2. The preliminary site plan would achieve consistency with the approval standards enumerated in Section 165.05(2)(E) of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed findings and forward the request for a zoning map amendment (rezoning) from C-1-B General Commercial District to C-2 Highway Commercial District and to approve a Preliminary Site Plan for 36-unit multi-dwelling housing building and related infrastructure on approximately 1.68 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed findings and forward the zoning map amendment (rezoning) and preliminary site plan to the City Council with a recommendation for approval.



CIVIL ENGINEERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS

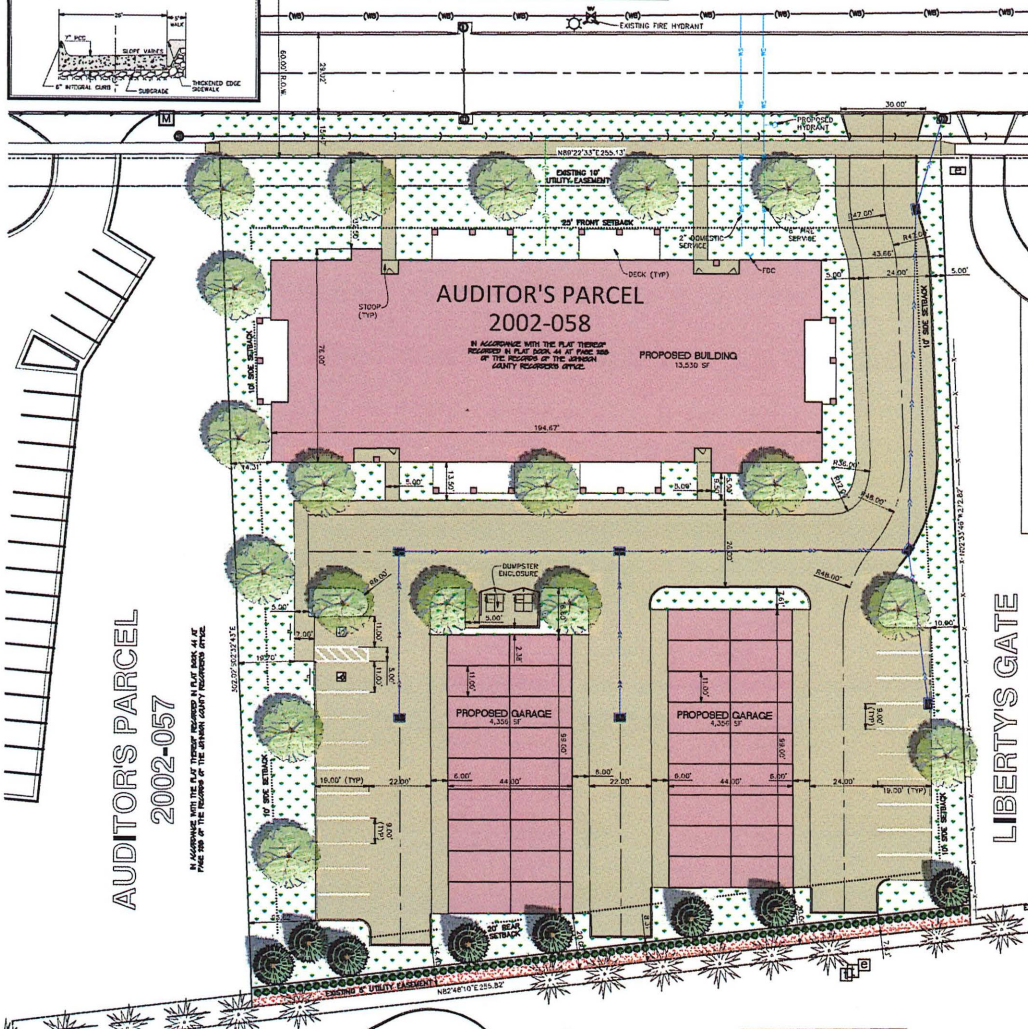
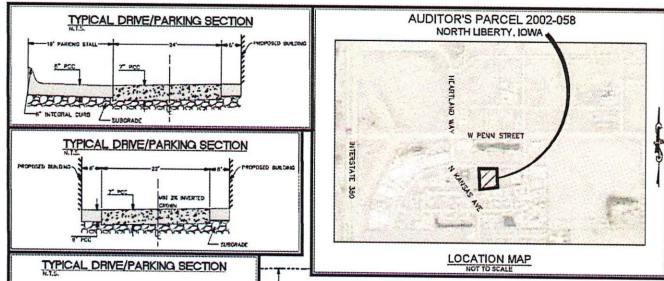
3817 G. GILBERT ST.
IOWA CITY, IOWA 52204
(319) 251-4282
WWW.MMSCONSULTANTS.COM

Date: Revision:
MMSCONSULTANTS.COM CITY COMMENTS SHEET

PRELIMINARY SITE PLAN AUDITOR'S PARCEL 2002-058 NORTH LIBERTY, IOWA



GRAPHIC SCALE: 1"=20'
1"=20'



PLAT/PLAN INFORMATION:
MMS CONSULTANTS INC.
1911 S. GILBERT STREET
NORTH LIBERTY, IA 52240

OWNER:
VALTUNE ONE
2801 TOWNE CT. SUITE 3
NORTH LIBERTY, IA 52237

OFFICIAL:
GRAND BAY
2801 TOWNE CT. SUITE 3
NORTH LIBERTY, IA 52237

LEGAL DESCRIPTION:
AUDITOR'S PARCEL 2002-058, NORTH LIBERTY, IOWA, ACCORDING TO THE SURVEY RECORDED IN BOOK 442, PAGE 298, PLAT OF RECORDS OF JOHNSON COUNTY, IOWA, CONTAINING LOTS, ACRES, AND SUBJECT TO EASEMENTS AND RESTRICTIONS IF ANY.

PROPOSED:
TWO-FAMILY RESIDENTIAL BUILDING AND ACCESSORY GARAGES

EQUIPMENT CHARACTERISTICS:
DIRECTOR ZONING: C-1-U
PROPOSED ZONING: C-2

UTILITIES:
SEWER: 18" DIA. (18" DIA.)
WATER: 1.5" DIA. (1.5" DIA.)
ELECTRIC: 4" DIA. (4" DIA.)
GAS: 6" DIA. (6" DIA.)

EXISTING UTILITIES:
SEWER: 18" DIA. (18" DIA.)
WATER: 1.5" DIA. (1.5" DIA.)
ELECTRIC: 4" DIA. (4" DIA.)
GAS: 6" DIA. (6" DIA.)

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ELECTRIC: 4" DIA. (4" DIA.)
GAS: 6" DIA. (6" DIA.)

STANDARD LEGEND AND NOTES

- PROPERTY &/or BOUNDARY LINES
- CONGRESSIONAL SECTION LINES
- RIGHT-OF-WAY LINES
- EXISTING OFF-ROAD LINES
- EXISTING CENTER LINES
- LOT LINES
- LOT LINES PLATTED OR BY FIELD
- PROPOSED SECTION LINES
- EXISTING EASEMENT LINES
- EXISTING EASEMENT NUMBER
- REDUCED GRAVING
- CURVE SEGMENT NUMBER
- POWER POLE
- POWER POLE W/SPAN
- POWER POLE W/TRANS
- POWER POLE W/POST
- OUR POLE
- SAINTARY MANHOLE
- FIRE HYDRANT
- WATER VALVE
- STORM MANHOLE
- CURB REL. LINE
- EXISTING
- PROPOSED SAINTARY SEWER
- PROPOSED SAINTARY SEWER
- PROPOSED STORM SEWER
- WALK LINES
- BEACH LINES
- TELEPHONE LINES
- RAIL LINES
- FIRE OPTIC
- OVERHEAD ELECTRIC
- CONTOUR LINES (1' INTERVAL)
- PROPOSED GRADING
- EXISTING TREE TRAC
- EXISTING DECIDUOUS TREE & SHRUBS
- EXISTING EVERGREEN TREES & SHRUBS

CONCEPT PLANT SCHEDULE

- EVERGREEN TREE 8"
- SHADE TREE 18"
- EVERGREEN SHRUB 18"

LANDSCAPE REQUIREMENTS

- 1. ALL OPEN MECHANICAL UNITS SHALL BE SCREENED WITH LANDSCAPING.
- 2. DRIVE WELLS SHALL BE DESIGNED TO SUPPORT THE APPROPRIATE MICHINE AT LEAST 2500 LBS.
- 3. ALL PROPOSED UTILITIES SHALL BE WELL MAINTAINED AND ADHERE TO CITY OF NORTH LIBERTY LANDSCAPE REQUIREMENTS.

LANDSCAPE LEGEND

- TURF GRASS
- PLANTING BED

IOWA ONE CALL

UTILITIES: THE CONTRACTOR SHALL NOTIFY ONE CALL AT 811 OR 800-852-4543 AT LEAST 48 HOURS BEFORE ANY EXCAVATION OR INSTALLATION OF ANY SERVICE OR UTILIZATION.

WHERE PUBLIC UTILITY FEATURES ARE SHOWN AS EXISTING ON THE PLANS OF DISCLOSED WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE CONTRACTOR TO VERIFY THE DEPTHS OF THESE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO THESE FACILITIES FOR NECESSARY MAINTENANCE OF SERVICES (TELEPHONE, FIBER, CABLE, ETC.) THROUGHOUT THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES FROM DAMAGE BY HIS OPERATIONS AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES FROM DAMAGE BY HIS OPERATIONS AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO THESE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES FROM DAMAGE BY HIS OPERATIONS AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO THESE UTILITIES.

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

RACHEL A. HANCOCK, P.E. (Iowa Lic. No. 28072)
DATE: 10/01/2024

Drawn by: RAN
Checked by: RAN
Project No: 9925-024

10/01/2024
17:00
1

PRELIMINARY SITE PLAN

AUDITOR'S PARCEL 2002-058

NORTH LIBERTY JOHNSON COUNTY IOWA

MMS CONSULTANTS, INC.

Date: 10/01/2024

Drawn by: RAN

Checked by: RAN

Project No: 9925-024

1

PRELIMINARY GRADING PLAN
 AUDITOR'S PARCEL 2002-058
 NORTH LIBERTY, IOWA

1.68 AC



MMS CONSULTANTS, INC.
 GRADING SCALE IN FEET
 1"=20'

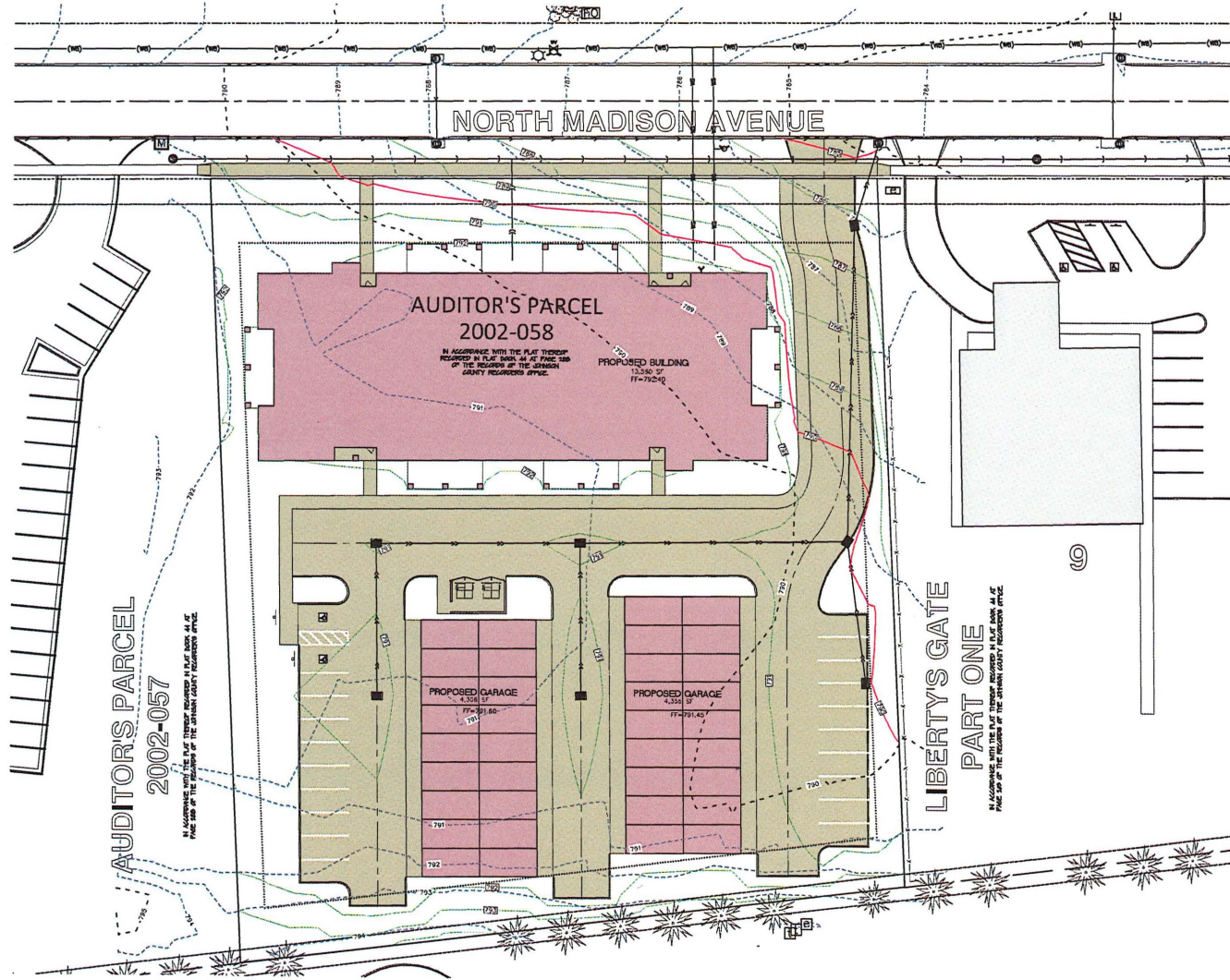


CIVIL ENGINEERS
 LAND PLANNERS
 LANDSCAPE ARCHITECTS
 ENVIRONMENTAL SPECIALISTS
 1811 E. GILBERT ST.
 IOWA CITY, IOWA 52240
 (319) 335-1422
www.mmsconsultants.com

STANDARD LEGEND AND NOTES

---	PROPERTY AND BOUNDARY LINES
---	CONCRETE/PAVEMENT SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	EXISTING DRIVE LINES
---	EXISTING CENTER LINES
---	LOT LINES INTERNAL
---	LOT LINES PLATTED OR BY FIELD
---	PROPOSED CURB/SEWER LINES
---	PROPOSED SANITARY LINES
---	PROPOSED WATER LINES
---	PROPOSED GAS LINES
---	PROPOSED TELEPHONE LINES
---	PROPOSED OVERHEAD ELECTRIC LINES
---	PROPOSED FENCE LINES
---	PROPOSED EXISTING TREE & SHRUB
---	PROPOSED EXISTING TREE & SHRUB
---	EXISTING OVERMATURE TREES & SHRUBS

NOTES:
 THE ACTUAL SIZE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



PRELIMINARY GRADING PLAN

AUDITOR'S PARCEL 2002-058
 NORTH LIBERTY JOHNSON COUNTY IOWA

UTILITIES
 THE CONTRACTOR SHALL NOTIFY AREA ONE CALL AT 811 OR 800/250-8889 48 HOURS BEFORE ANY EXCAVATION OF ANY DEPTH OR EXCAVATION.

IOWA ONE CALL

WHERE PUBLIC UTILITY FACILITIES ARE SHOWN AS EXISTING ON THE PLANS OR INDICATED BY THE CONTRACTOR, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ANY UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ANY UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ANY UTILITIES.

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MMS CONSULTANTS, INC.
 Date: 10/01/2024

Drawn by: RAN	Issue Date: 11/20
Checked by: MEB	Sheet No: 2
Project No: 9925-024	



AA ENLARGED ELEVATION (PROPOSED)
SCALE: 1/4" = 1'-0"



B SIDE ELEVATION (PROPOSED)
SCALE: 1/4" = 1'-0"



A FRONT ELEVATION (PROPOSED)
SCALE: 1/4" = 1'-0"

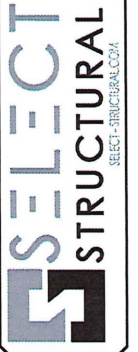
MADISON APARTMENTS

NORTH LIBERTY, IOWA
(32/36 UNITS)
9-19-2024



606 14TH AVE SW
CEDAR RAPIDS, IA 52404
319-365-1150

2435 KIMBERLY RD.
SUITE 2405
BETTENDORF, IA 52722
562-359-3117



NO.	DATE	BY	DESCRIPTION

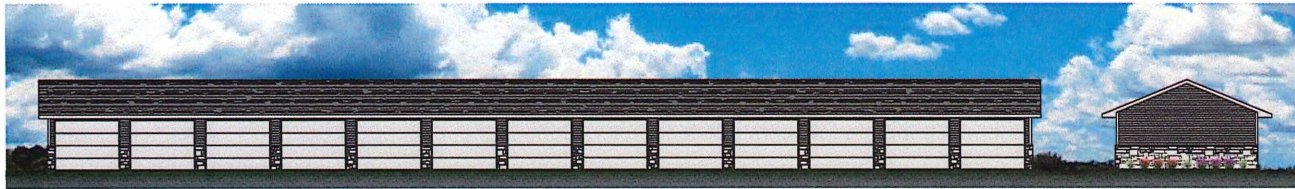


32/36-FLEX (MULTI-FAMILY)
MADISON AVE
NORTH LIBERTY, IOWA 52317
GRAND MAIL DEVELOPMENT

DRAWN BY: JES
APPROVED BY: JES
JOB DATE: 9-2024
JOB NO: 2306

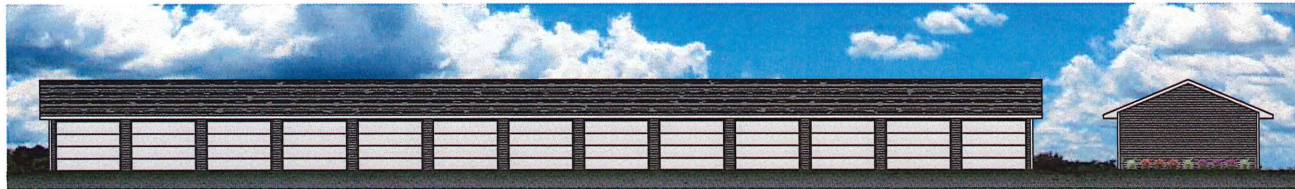
SHEET TITLE: EXTERIOR ELEVATIONS
PAGE NO.: A-101

ARCHITECTURAL RENDERING BY: GRAND MAIL DEVELOPMENT



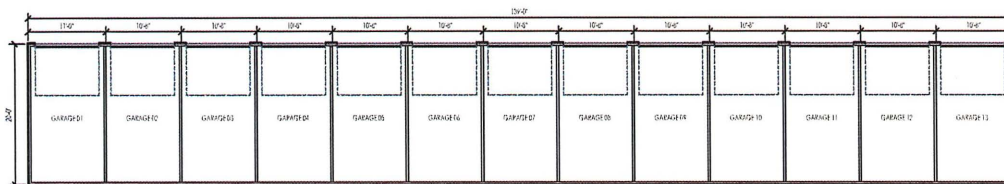
22 GARAGE FRONT ELEVATION (ALT.)
Scale: 1/8" = 1'-0"

23 SIDE ELEVATION (ALT.)
Scale: 1/8" = 1'-0"



20 GARAGE FRONT ELEVATION
Scale: 1/8" = 1'-0"

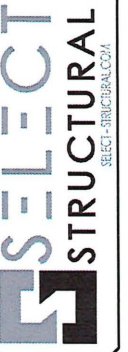
21 SIDE ELEVATION
Scale: 1/8" = 1'-0"



10 GARAGE FLOOR PLAN
SEE SITE PLAN FOR SPECIFIC CONFIGURATION & LOCATION
Scale: 1/8" = 1'-0"

606 14TH AVE SW
CEDAR RAPIDS, IA 52404
319-365-1150

2435 HAMBRELY RD.
SUITE 2405
BETTENDORF, IA 52722
563-359-3117



#	DATE	BY	REVISIONS	DESCRIPTION



32736-FLEX (MULTIFAMILY)
MADISON AVE
NORTH LIBERTY, IOWA 52317
GRAND RAIL DEVELOPMENT

SHEET TITLE
GROUND FLOOR PLAN

DRAWN BY: _____
CHECKED BY: _____
DATE: 08/2023
JOB NO: 3008

PAGE NO. A-100



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **October 30, 2024**
 Re **Request of Watts Development Group, Inc. for a zoning map amendment (rezoning) from RS-6 Single-Unit Residence District to RS-9 Single-Unit Residence District on approximately 1.73 acres. The property is located on the south side of Denison Avenue approximately 300 feet west of South Alexander Way.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo.

1. Request Summary:

The purpose of the request is to facilitate development of smaller lot single-unit dwellings on the west side of the future block.



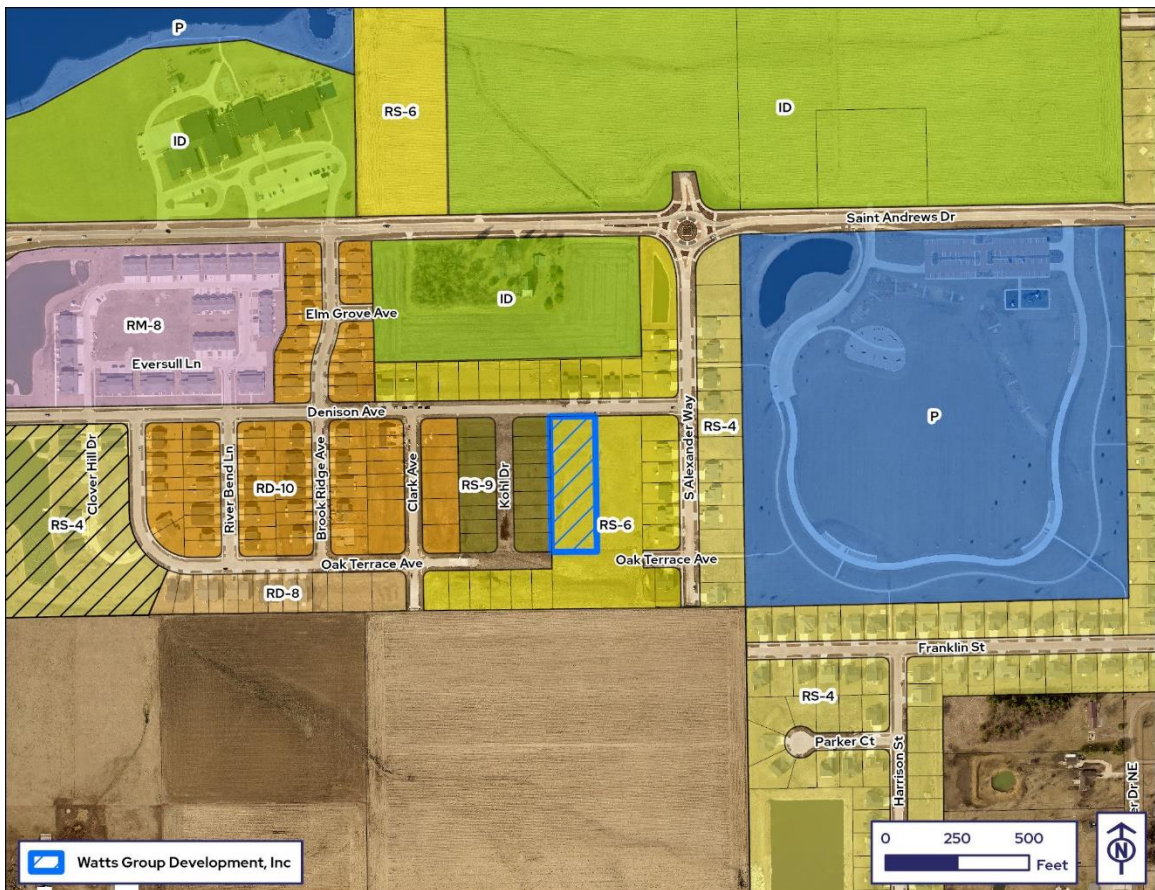
2. Current and Proposed Zoning:

Current Zoning

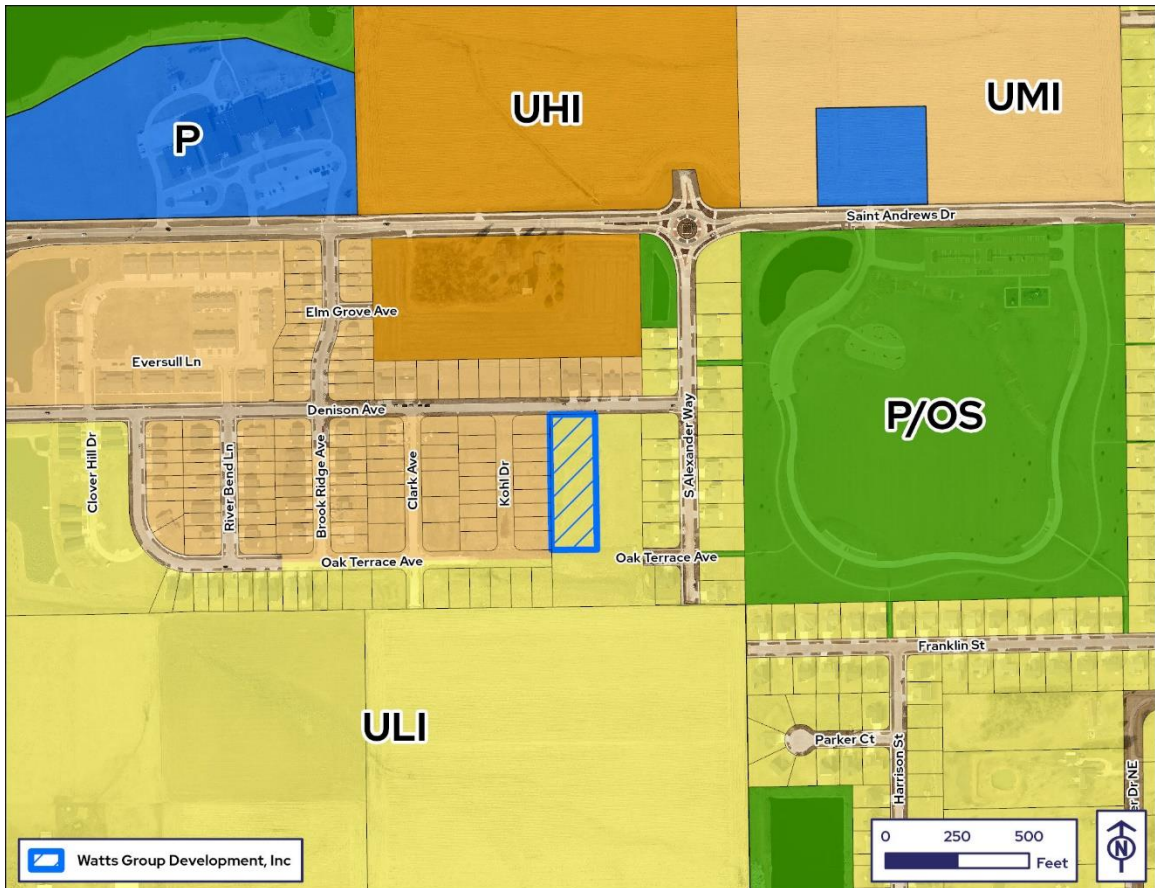
RS-6 Single-Unit Residence District. The RS-6 District is intended to provide for and maintain moderate density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-6 District.

Proposed Zoning

RS-9 Single-Unit Residence District. The RS-9 District is intended to provide for and maintain high-density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-9 District.



3. Consistency with Comprehensive Plan:
Land Use Plan designation: Urban Low Intensity.



Urban Low Intensity Description

An efficient, walkable pattern of lower-density development. Compared to denser areas, ULI has more space and separation of uses, with farther distances between destinations and fewer shared amenities. Low-intensity areas can include a horizontal mix of primarily residential and limited non-residential uses at compatible lower densities and scales.

Residential

Emphasis on single-family detached and attached residential developments. Attached housing projects may primarily be at transition areas between arterial or collector streets, small scale commercial uses, and higher intensity districts.

Form and Features

- » General aggregate development density of 3 to 8 units per acre. Lot sizes can vary within developments to provide different housing types.
- » A framework of streets and open space should create neighborhoods and multiple access points for all types of transportation.
- » Open spaces, streets, and trail connections integrate with the larger community.

4. Public Input:

A virtual good neighbor meeting was held on October 21, 2024. No one outside of City staff and the applicant attended the meeting. There are no objections to the request.

5. Zoning Map Amendment Approval Standards

Section 165.09(4)(D)(1) of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

Map Amendments.

- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

Figure 3.4 within Connected to Tomorrow was utilized to determine which zoning district would be compatible with the Future Land Use Map.

Figure 3.4: Land Use Compatibility

TRADITIONAL LAND USES	AGRICULTURE (AG)	URBAN RESERVE (UR)	URBAN LOW INTENSITY (ULI)	URBAN MEDIUM INTENSITY (UMI)	URBAN HIGH INTENSITY (UHI)	COMMERCIAL/ INDUSTRIAL FLEX (FLX)	PUBLIC AND SEMI PUBLIC (PUB)	PARK AND OPEN SPACE (P, OS)
Agriculture	●	●						○
Rural residential		●						
Low-density residential			●	○				
Medium-density residential			●	●	○			
High-density residential				●	●	○		
Rural commercial		●						
Neighborhood commercial			○	●	●	●		
Community commercial				○	●	●		
Regional commercial					○	●		
Low/medium intensity office			○	●	●	●		
High-intensity office				○	●	●		
Limited industrial		○				●		
Heavy industrial			●	●	●	○		
Parks and civic uses	●	●			●	○	●	●
Major public/civic facilities					○	○	●	○
Residential density range (du/A*)	≤40	≤40	3-8	7-14	14+	14+	NA	NA

● Permitted ○ Permitted with special review
*Dwelling Units per Acre

The RS-9 zoning allows a lot size of 4,500 square feet per dwelling unit (9.68 units/acre). Notably, the adopted Comprehensive Plan articulates the following (page 45) about Land Use boundaries:

Generalized land use locations and transitions: The boundaries between land uses on the map are “fuzzy” lines and are meant to show approximate areas for transition, rather than rigid boundaries.

- (b) The compatibility with the zoning of nearby property.
It is staff’s opinion that the proposed zoning would be compatible with nearby property.

(c) The compatibility with established neighborhood character.
It is staff's opinion that the proposed zoning would be compatible with established neighborhood character.

(d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.
It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.

(e) The extent to which the proposed amendment creates nonconformities.
It is staff's opinion that the proposed zoning would not create any nonconformities.

6. Additional Considerations:

There are none.

7. Staff Recommendation:

Finding:

1. The rezoning request from RS-6 Single-Unit Residence District to RS-9 Single-Unit Residence District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request for zoning map amendment (rezoning) from RS-6 Single-Unit Residence District to RS-9 Single-Unit Residence District on approximately 1.73 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the zoning map amendment to the City Council with a recommendation for approval.

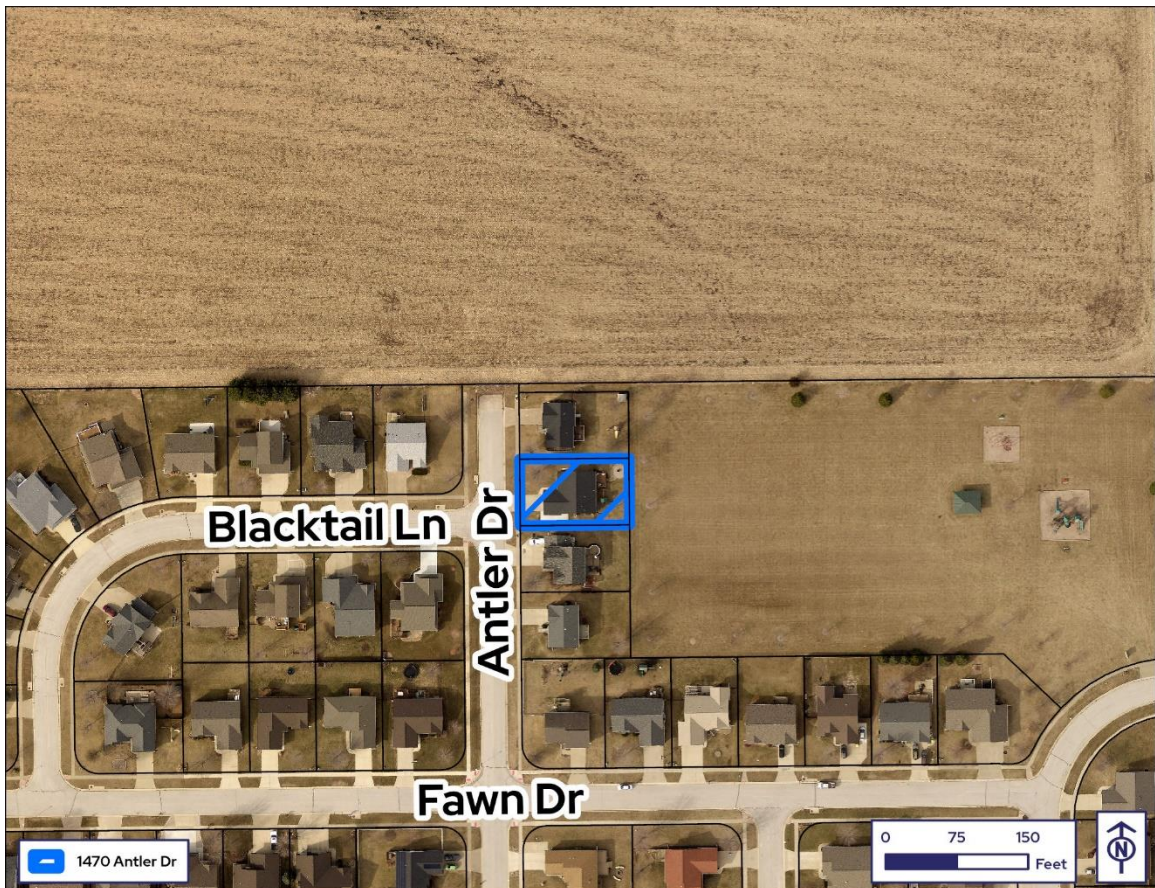


To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **October 30, 2024**
Re **Request of City of North Liberty for a zoning map amendment (rezoning) from RS-6 Single-Unit Residence District to RS-6 PAD Single-Unit Residence District Planned Area Development on approximately .18 acres. The property is located at 1470 Antler Drive.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo.

1. Request Summary:

The City issued a building permit (20240873) for a 16'x20' building addition to east side of the existing residence at 1470 Antler Drive. Subsequent to permit issuance and the building foundation being installed, it was determined that the addition did not meet the required 30' rear yard setback.



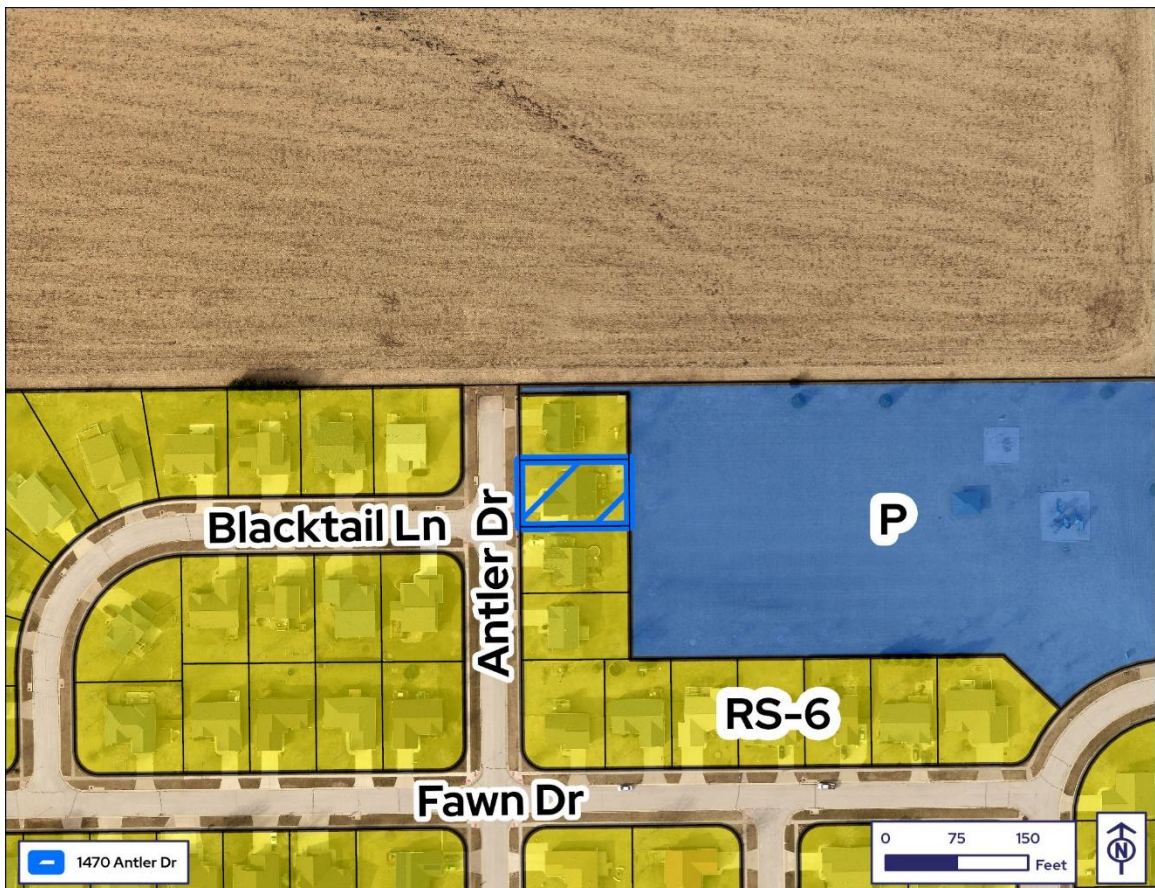
2. Current and Proposed Zoning:

Current Zoning

RS-6 Single-Unit Residence District. The RS-6 District is intended to provide for and maintain moderate density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-6 District.

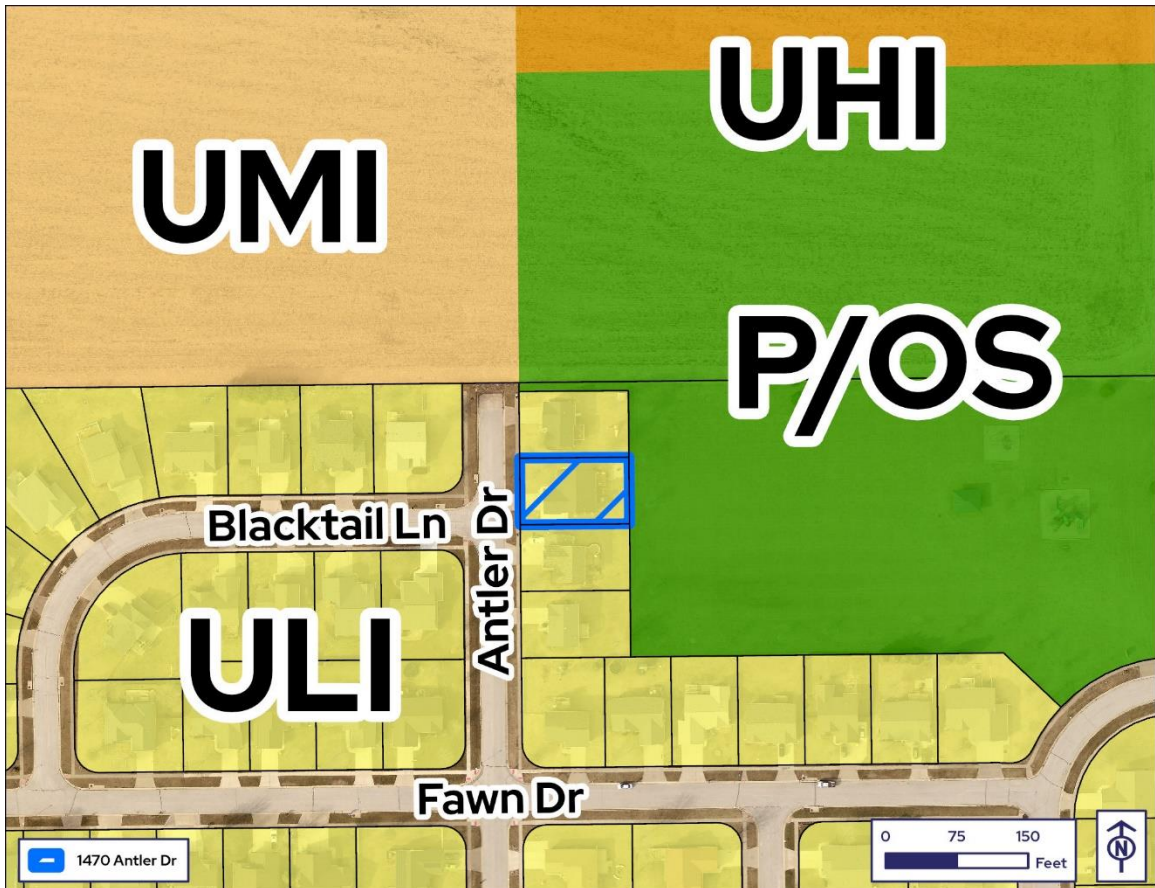
Proposed Zoning

RS-6 Single-Unit Residence District Planned Area Development. PAD Planned Area Development Overlay District. The PAD District is intended to encourage innovation and flexibility in planning the development of land so development is compatible with the site's physical and environmental characteristics. This district allows for flexibility in district requirements. The Planned Area Development District provides an opportunity for the development of a mixture of uses and housing types in a coordinated manner. The intent of the underlying district shall guide the development. It is incumbent upon the person proposing the PAD to justify the project, and any variations from the underlying zone district.



3. Consistency with Comprehensive Plan:

Land Use Plan designation: Urban Low Intensity.



Urban Low Intensity Description

An efficient, walkable pattern of lower-density development. Compared to denser areas, ULI has more space and separation of uses, with farther distances between destinations and fewer shared amenities. Low-intensity areas can include a horizontal mix of primarily residential and limited non-residential uses at compatible lower densities and scales.

Residential

Emphasis on single-family detached and attached residential developments. Attached housing projects may primarily be at transition areas between arterial or collector streets, small scale commercial uses, and higher intensity districts.

Form and Features

- » General aggregate development density of 3 to 8 units per acre. Lot sizes can vary within developments to provide different housing types.
- » A framework of streets and open space should create neighborhoods and multiple access points for all types of transportation.
- » Open spaces, streets, and trail connections integrate with the larger community.

4. Public Input:

Good neighbor meetings are not required for City-initiated rezonings. However, staff mailed letters to all property owners within 200' of the subject property notifying them of the request. Roger Ammon at 1495 Blacktail Lane called and expressed no objection. There are no formal objections to the request.

5. Zoning Map Amendment Approval Standards

Section 165.09(4)(D)(1) of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

Map Amendments.

- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

Figure 3.4 within Connected to Tomorrow was utilized to determine which zoning district would be compatible with the Future Land Use Map.

Figure 3.4: Land Use Compatibility

TRADITIONAL LAND USES	AGRICULTURE (AG)	URBAN RESERVE (UR)	URBAN LOW INTENSITY (ULI)	URBAN MEDIUM INTENSITY (UMI)	URBAN HIGH INTENSITY (UHI)	COMMERCIAL/ INDUSTRIAL FLEX (FLX)	PUBLIC AND SEMI PUBLIC (PUB)	PARK AND OPEN SPACE (P, OS)
Agriculture	●	●						○
Rural residential		●						
Low-density residential			●	○				
Medium-density residential			●	●	○			
High-density residential				●	●	○		
Rural commercial		●						
Neighborhood commercial			○	●	●	●		
Community commercial				○	●	●		
Regional commercial					○	●		
Low/medium intensity office			○	●	●	●		
High-intensity office				○	●	●		
Limited industrial						●		
Heavy industrial		○				○		
Parks and civic uses	●	●	●	●	●	○	●	●
Major public/civic facilities						○	●	○
Residential density range (du/A*)	≤40	≤40	3-8	7-14	14+	14+	NA	NA

● Permitted ○ Permitted with special review
*Dwelling Units per Acre

It is staff's opinion that the proposed zoning would be compatible with the Comprehensive Plan and adopted land use policies.

- (b) The compatibility with the zoning of nearby property.

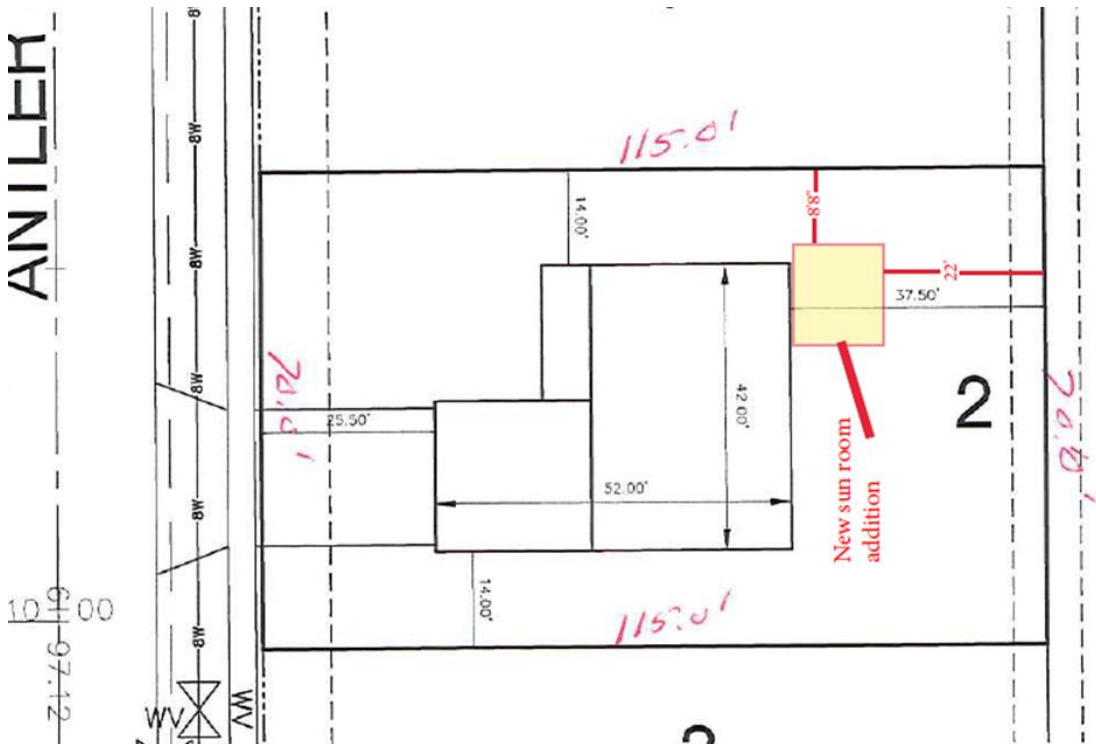
It is staff's opinion that the proposed zoning would be compatible with nearby property.

- (c) The compatibility with established neighborhood character.
It is staff's opinion that the proposed zoning would be compatible with established neighborhood character.
- (d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.
It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.
- (e) The extent to which the proposed amendment creates nonconformities.
It is staff's opinion that the proposed zoning would not create any nonconformities.

6. Additional Considerations:

The City issued a building permit (20240873) for a 16'x20' building addition to east side of the existing residence at 1470 Antler Drive. Subsequent to permit issuance and the building foundation being installed, it was determined that the addition did not meet the required 30' rear yard setback. See diagram below (the addition is shown in yellow).

This diagram would serve as the required preliminary site plan, and therefore, would limit the setback reduction for the 16'x20' building addition



The law in Iowa, as in most of the country, is that a building permit which is issued contrary to a valid zoning law – like one concerning setbacks – is void, and subject to revocation. Such permits do not grant the property owner any vested rights. I have attached a copy of the relevant case law. Further, Iowa Code §670.4(j) states that cities and their employees are immune from liability arising from permits issued in error, as long as the permit was not issued with malice or in furtherance of a crime.

The PAD Planned Area Development is a zoning overlay district that would allow a setback reduction if approved by City Council. City staff believes this is the best approach to legitimize this setback reduction for the 16'x20' building addition. The setback reduction would only pertain to the 16'x20' building addition.

A setback variance was a discussed alternative. However, it was determined that the likelihood of achieving consistency with the approval standards was minimal.

Staff has taken steps to include a redundant zoning review for building permits, which include zoning setbacks.

7. Staff Recommendation:

Finding:

1. The rezoning request from RS-6 Single-Unit Residence District to RS-9 Single-Unit Residence District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request for zoning map amendment (rezoning) from RS-6 Single-Unit Residence District to RS-6 PAD Single-Unit Residence District Planned Area Development on approximately .18 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the zoning map amendment to the City Council with a recommendation for approval.



To **City of North Liberty Planning Commission**
 From **Ryan Rusnak, AICP**
 Date **October 30, 2024**
 Re **Request of City of North Liberty for a zoning map amendment (rezoning) from ID Interim Development District to P Public District on approximately 3.0 acres. The property is located on the north side of Saint Andrews Boulevard approximately 400 feet west of South Alexander Way.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo.

1. Request Summary:

The purpose of the request is to update the Zoning Map to reflect that the property is publicly owned.



2. Current and Proposed Zoning:

Current Zoning

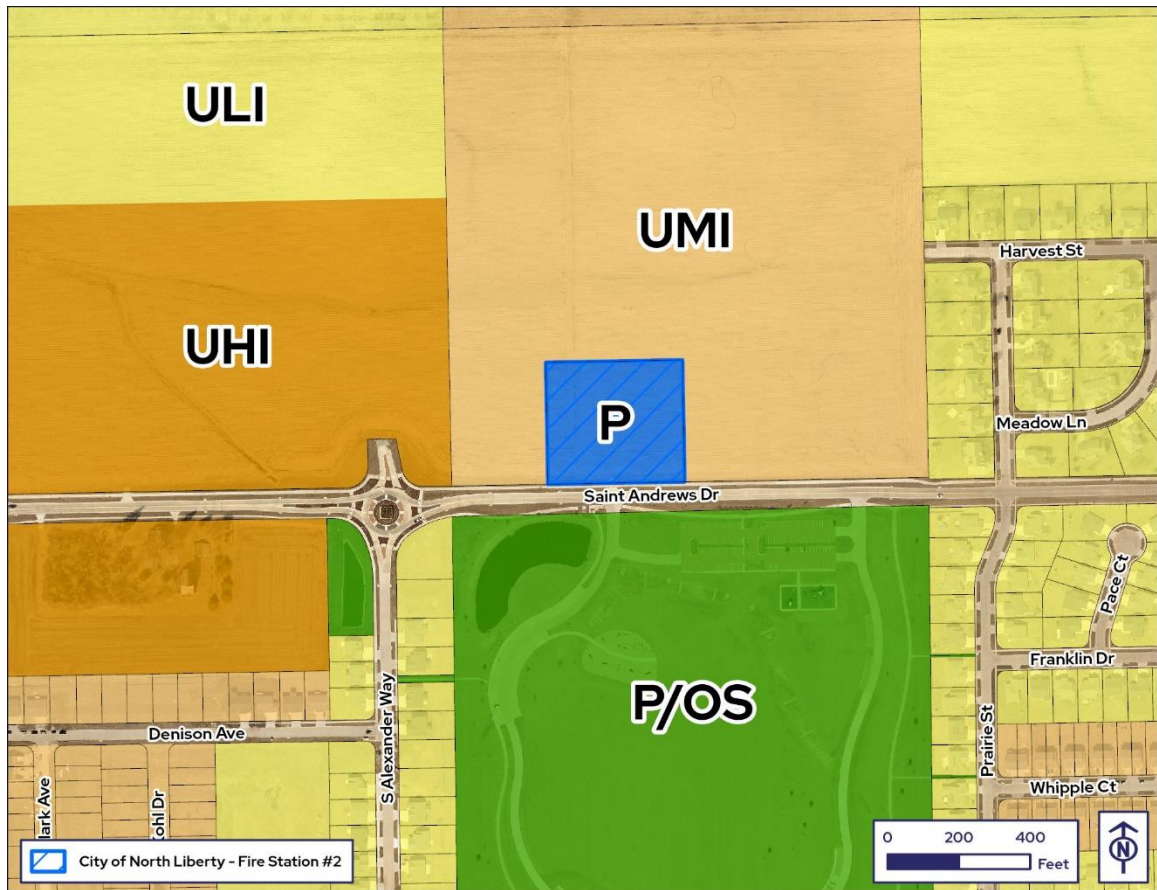
ID Interim Development District. The ID District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas.

Proposed Zoning

P Public Use District. The P District is intended to provide space for public safety, administration, recreational, and community facilities.



3. Consistency with Comprehensive Plan: Public and Semi-Public.



Public and Semi-Public Description

To provide space for educational, institutional, assembly, and other public or semi-public uses with large footprints and attract vehicle and pedestrian traffic, including hospitals, schools, airports, libraries, and city hall.

Form and Features

- » The land use plan identifies the largest public and semi-public uses but these uses can be incorporated into any area if at a similar intensity and form of that district.
- » Reliable pedestrian connectivity is required for high traffic uses such as parks, schools, and public spaces.

4. Public Input:

Good neighbor meetings are not required for City-initiated rezonings. There is only one property owner (who is aware of the City's intentions) outside the City of North Liberty within 200' of the property. Notably, this location was the result of substantial public input from surround property owners. There are no objections to the request.

5. Zoning Map Amendment Approval Standards

Section 165.09(4)(D)(1) of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

Map Amendments.

- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

Figure 3.4 within Connected to Tomorrow was utilized to determine which zoning district would be compatible with the Future Land Use Map.

Figure 3.4: Land Use Compatibility

TRADITIONAL LAND USES	AGRICULTURE (AG)	URBAN RESERVE (UR)	URBAN LOW INTENSITY (ULI)	URBAN MEDIUM INTENSITY (UMI)	URBAN HIGH INTENSITY (UHI)	COMMERCIAL/ INDUSTRIAL FLEX (FLX)	PUBLIC AND SEMI PUBLIC (PUB)	PARK AND OPEN SPACE (P, OS)
Agriculture	●	●						○
Rural residential		●						
Low-density residential			●	○				
Medium-density residential			●	●	○			
High-density residential				●	●	○		
Rural commercial		●						
Neighborhood commercial			○	●	●	●		
Community commercial				○	●	●		
Regional commercial					○	●		
Low/medium intensity office			○	●	●	●		
High-intensity office				○	●	●		
Limited industrial		○				●		
Heavy industrial						○		
Parks and civic uses	●	●	●	●	●	○	●	●
Major public/civic facilities					○	○	●	○
Residential density range (du/A*)	≤40	≤40	3-8	7-14	14+	14+	NA	NA

● Permitted ○ Permitted with special review
*Dwelling Units per Acre

It is staff's opinion that the proposed zoning would be compatible with the Comprehensive Plan and adopted land use policies.

- (b) The compatibility with the zoning of nearby property.

It is staff's opinion that the proposed zoning would be compatible with nearby property.

- (c) The compatibility with established neighborhood character.

It is staff's opinion that the proposed zoning would be compatible with established neighborhood character.

- (d) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.

It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.

(e) The extent to which the proposed amendment creates nonconformities.
It is staff's opinion that the proposed zoning would not create any nonconformities.

6. Additional Considerations:

There are none.

7. Staff Recommendation:

Finding:

1. The rezoning request from ID Interim Development District to P Public District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request for zoning map amendment (rezoning) from ID Interim Development District to P Public District on approximately 3.0 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the zoning map amendment to the City Council with a recommendation for approval.



Planning Commission

October 1, 2024

Council Chambers, 360 N. Main Street

Call to Order

Chair Amy Yotty called the October 1, 2024, Planning Commission to order at 6:30 p.m. in the Council Chambers at 360 N. Main Street. Commission members present: Sheila Geneser, Valerie Ward, Dave Willer, Amy Yotty; absent – Barry A’Hearn, Josey Bathke, Jason Heisler.

Others present: Ryan Rusnak, Ryan Heiar, Grant Lientz, Tracey Mulcahey, Randy Lang, John Marner, and other interested parties.

Approval of the Agenda

Willer moved, Geneser seconded to approve the agenda. The vote was all ayes. Agenda approved.

Buck Moon Villas Preliminary Site Plan

Staff Presentation

Rusnak presented the request of Buck Moon Villas, LLC to approve a Preliminary Site Plan for 11 townhouse units in three buildings on 1.6 acres. The property is located on the east side of North Dubuque Street approximately 300 feet southeast of Ranshaw Way. Staff recommends the Planning Commission accept the listed finding that the preliminary site plan would achieve consistency with the approval standards enumerated in Section 165.05(2)(E) of the Zoning Code and forward the request to approve a preliminary site plan for 11 townhouse units in three buildings on 1.6 acres to the City Council with a recommendation for approval.

Applicant Presentation

Brad Cummins of the ownership group was present and offered to answer questions.

Public Comments

No public comments were offered.

Questions and Comments of the Commission

The Commission had no questions or comments on the application.

Recommendation to the City Council

Geneser moved, Willer seconded that the Planning Commission accept the listed finding and forward the preliminary site plan to the City Council with a recommendation for approval. The vote was: ayes – Geneser, Ward, Yotty, Willer; nays – none; absent – A’Hearn, Bathke, Heisler. Motion carried.

North Jones, LLC Public Hearing on Zoning Map Amendment

Staff Presentation

Rusnak presented the request of North Jones, LLC for a zoning map amendment (rezoning) from RM-8 Multi-Unit Residence District to RM-12 Multi-Unit Residence District on approximately 3.53 acres. The property is located at 1605, 1655 and 1695 North Jones Boulevard. Staff recommends the Planning Commission accept the listed finding, the zoning request from RM-8 Multi-Unit

Residence District to RM-12 Multi-Unit Residence District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code, and forward the request for zoning map amendment (rezoning) from RM-8 Multi-Unit Residence District to RM-12 Multi-Unit Residence District on approximately 3.53 acres to the City Council with a recommendation for approval.

Applicant Presentation

Randy Lang, Watts Group, was present on behalf of the applicant and offered to answer questions.

Public Comments

No public comments were offered.

Questions and Comments of the Commission

The Commission discussed the application including the development of the park shown in the Comprehensive Plan.

Recommendation to the City Council

Geneser moved, Ward seconded that the Planning Commission accept the listed finding and forward the rezoning to the City Council with a recommendation for approval. The vote was: ayes – Yotty, Willer, Geneser, Ward; nays – none; absent – A’Hearn, Bathke, Heisler. Motion carried.

Hodge Construction Company Public Hearing on Zoning Map Amendment

Staff Presentation

Rusnak presented the request of for a zoning map amendment (rezoning) from RM-21 Multi-Unit Residence District to C-3 Higher-Intensity Commercial District on approximately 5.12 acres. The property is located at the northeast corner of West Forevergreen Road and Bernardy Drive. Staff recommends the Planning Commission accept the listed finding, the rezoning request from RM-21 Multi-Unit Residence District to C-3 Higher-Intensity Commercial District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code, and forward the request for zoning map amendment (rezoning) from RM-21 Multi-Unit Residence District to C-3 Higher-Intensity Commercial District on approximately 5.12 acres to the City Council with a recommendation for approval.

Applicant Presentation

Jon Marner, MMS Consultants, was present on behalf of the applicant and offered additional information regarding the proposed rezoning.

Public Comments

No public comments were offered.

Questions and Comments of the Commission

The Commission discussed the application including access to Forevergreen Road through driveways and roadways, traffic counts, and the impact of more students at the junior high on traffic on Forevergreen Road.

Recommendation to the City Council

Willer moved, Geneser seconded that the Planning Commission accept the listed finding and forward the zoning map amendment to the City Council with a recommendation for approval. The vote was: ayes – Willer, Ward, Yotty, Geneser; nays – none; absent – A’Hearn, Bathke, Heisler. Motion carried.

Approval of Previous Minutes

Geneser moved, Willer seconded to approve the minutes of the September 3, 2024, meeting. The vote was all ayes. Minutes approved.

Old and New Business

Rusnak updated the Commission on the proposed Accessory Dwelling Units (ADUs) addition to the code of ordinances. There was discussion on the process of ordinance consideration regarding ADUs with the City Attorney.

New Business

Rusnak reported that a couple of new applications were received this month for next month's meeting.

Adjournment

At 6:56 p.m., Willer moved, Ward seconded to adjourn. The vote was all ayes. Meeting adjourned.

Signed:

Tracey Mulcahey, City Clerk