



**North Liberty Planning Commission
Tuesday, June 3, 2025 6:30 PM
North Liberty City Council Chambers
360 N Main St, North Liberty, Iowa 52317**

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Call to Order

- 1. Roll Call**
- 2. Approval of the Agenda**
- 3. Public Comment** on any topic not on the agenda.
- 4. Preliminary Site Plan:** Request of Hyper Energy Bar LLC to approve a Preliminary Site Plan for a 1,000 square foot commercial building with drive throughs and related infrastructure on approximately .73 acres. The property is located at the northeast corner of Ranshaw Way and Sara Court (1695 Jordan Street).
 - a. Staff Presentation
 - b. Applicant Presentation
 - c. Public Comments
 - d. Questions and Comments
 - e. Recommendation to the City Council
- 5. Zoning Code Ordinance:** Request of the City of North Liberty for an Ordinance amending the North Liberty Code of Ordinances Chapter 165 governing zoning map amendments, Chapter 168 governing the use matrix table and uses defined and use standards and Chapter 169 governing accessory structures and uses.
 - a. Staff Presentation
 - b. Public Comments
 - c. Questions and Comments
 - d. Recommendation to the City Council
- 6. Approval of Previous Minutes**
- 7. Planning Updates**
- 8. Adjournment**



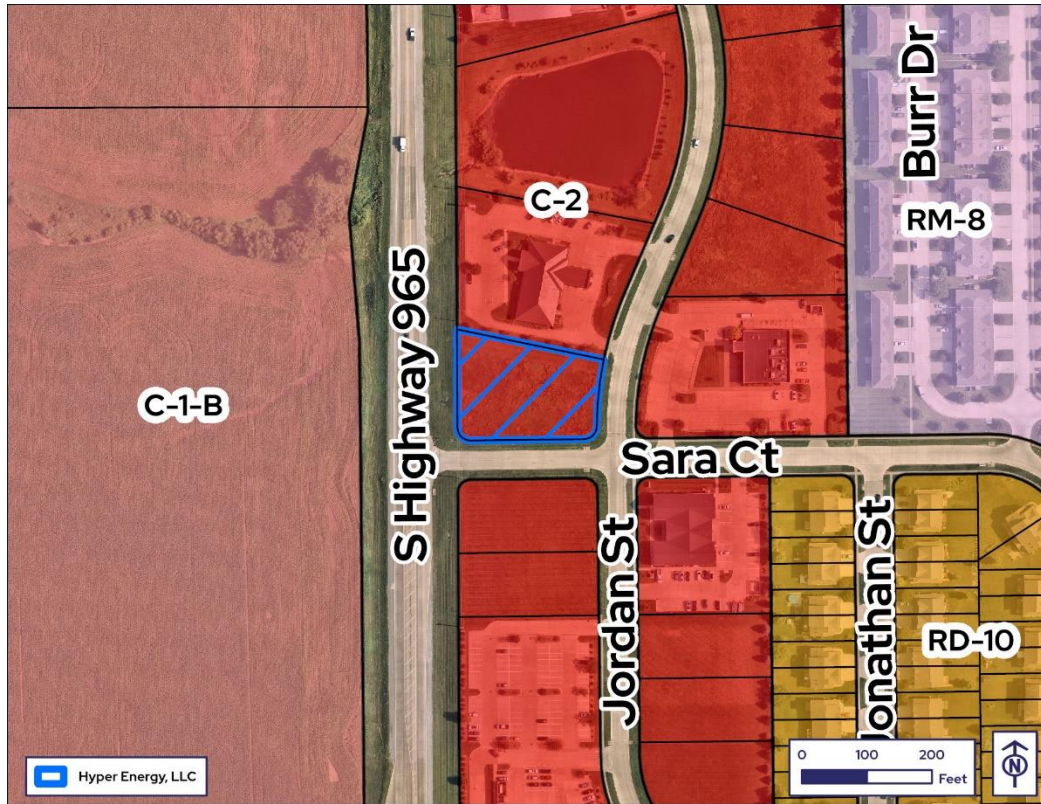
To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **May 30, 2025**
Re **Request of Hyper Energy Bar LLC to approve a Preliminary Site Plan for a 1,000 square foot commercial building with drive throughs and related infrastructure on approximately .73 acres. The property is located at the northeast corner of Ranshaw Way and Sara Court.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo.

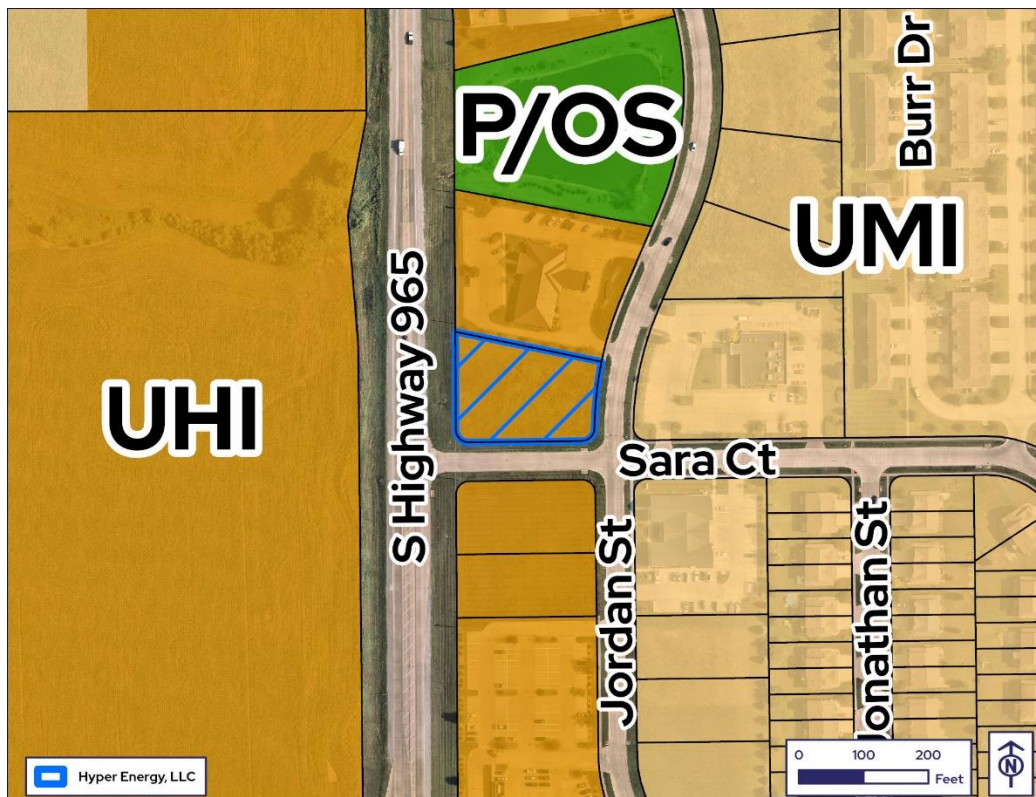
- 1. Request Summary:** The site plan proposes a one-story, 1,000 square foot commercial building with two drive throughs and related infrastructure on approximately .73 acres. The property is located at the northeast corner of Ranshaw Way and Sara Court (1695 Jordan Street).



2. **Current Zoning:** C-2 Highway Commercial District.



3. **Comprehensive Plan Future Land Use Map Designation:** Urban High Intensity.



4. Site Plan Approval Standards:

Section 165.05(2)(E) of the North Liberty Code of Ordinances sets forth the approval standards (ordinance language in *italics* and staff analysis in **bold**).

E. *Approval Standards. The Planning Commission's recommendation to the City Council and the City Council's decision to approve or disapprove a preliminary site plan shall be informed by the preliminary site plan's adherence to the following standards:*

(1) *The consistency of the preliminary site plan with all adopted ordinances and regulations.*

See analysis below.

(2) *The consistency of the proposed land use with the Comprehensive Plan and any adopted land use policies. The submission of a preliminary site plan which proposes one or more uses inconsistent with the City's Future Land Use Map creates a rebuttable presumption that said use or uses are inharmonious with surrounding properties and incompatible with orderly development and redevelopment.*

The C-2 District is consistent with the UHI Land Use Map designation.

Analysis of adopted ordinances and regulations.

Section 168.07 of the North Liberty Code of Ordinances defines uses and use standards for particular uses of the property.

Specialty Food Service.

- A. Defined. Specialty food service means an establishment that specializes in the sale of certain food products, such as a delicatessen, bakery, candy maker, meat market, catering business, cheesemonger, coffee roaster, or fishmonger, and may offer areas for ancillary retail sales or restaurants that serve the products processed on-site. Specialty food service also includes preparation, processing, canning, or packaging of food products where all processing is completely enclosed and there are no outside impacts.
- B. Use Standards. None.

Section 165.05(2)(D) of the North Liberty Code of Ordinances entitled, "Preliminary Site Review" sets forth the submission requirements (ordinance language in *italics* and staff analysis in **bold**).

- *Date, north arrow and graphic scale. **Provided.***
- *The property owner's name and description of proposed development. **Provided.***
- *A vicinity sketch showing the location of the property and other properties within 1,000 feet of it. **Provided.***
- *Property boundary lines, dimensions, and total area. **Provided.***

- *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the site plan.*
Provided.
- *The location of existing streets, sidewalks, easements, utilities, drainage courses.*
Provided.
- *The total square feet of building floor area, both individually and collectively.* **Provided.**
- *All structures and major features shall be fully dimensioned including distance between structures, distance between driveways, parking areas, property lines and building height.* **Provided.**
- *Off-street parking areas, ingress and egress to the property, number of parking spaces proposed, number of parking spaces required by this code and type of surfacing.*
Provided.
- *Pedestrian walkways with special consideration given to pedestrian safety.* **Provided.**
- *Trash and refuse enclosures.* **Provided.**
- *The general drainage pattern and location of storm water detention features.*
Provided.
- *The general location, type and size of landscaping and ground cover illustrated in color perspective.* **Provided.**
- *A rendering, elevation or photo of the proposed development.* **Provided.**

North Liberty Code of Ordinances Section 169.10 entitled, "Design Standards" sets forth certain design standards.

Requirements for All Districts (ordinance language in *italics* and staff analysis in **bold**).

- *Building design shall be visually harmonious and compatible with the neighborhood character.*
- *Buildings located on property with double frontages shall have similar wall design facing both streets.*
- *Except for RS RD, R-MH and ID districts, color schemes shall be primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited.*
- *Except in the R-MH district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs and there shall be a minimum roof overhang at the eaves of 12 inches. This does not apply to portions of a roof that are separate from the structure's primary roof. Metal roofs shall not be corrugated or similar appearance. The color of the roof shall be visually harmonious and compatible with the building color scheme.*

It is staff's opinion that the site plan achieves consistency with the aforementioned design standards.

Requirements for Development in Commercial Districts (ordinance language in *italics*).

- *Design. To achieve appealing aesthetic design through high quality architecture and construction, with attention to placement, relationship, and orientation of structures and amenities to provide both internal cohesiveness and compatibility with surrounding uses.*
- *Walkability. To achieve overall development patterns that encourage walking and reduce dependence on the automobile to travel from one business to another, and so reduces the dominance of the automobile within the development.*
- *Human-scale Activity. To achieve a sense of place by emphasizing pedestrian interaction with commercial uses rather than sprawling automobile-dominated designs, both in building architecture and public or private outdoor areas.*
- *Compatible Uses. To achieve the right blend of uses, compact and well-designed, that complement each other and provide cohesive overall developments.*
- *Materials. Minimum required masonry on all building elevations is 60%. Exterior walls not composed of masonry products shall not be covered with ribbed.*

It is staff's opinion that the site plan achieves consistency with the aforementioned design standards.

5. Additional information:

Reconstruction of Ranshaw Way Phase 6 is planned for next year so some coordination regarding infrastructure will be necessary.

6. Staff Recommendation:

Finding:

1. The preliminary site plan would achieve consistency with the approval standards enumerated in Section 165.05(2)(E) of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request to approve a Preliminary Site Plan for a 1,000 square foot commercial building with drive throughs and related infrastructure on approximately .73 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the Preliminary Site Plan to the City Council with a recommendation for approval.

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1	CITY REVIEW SUBMITTAL #1 2025 - 05 - 19	KRB	5/19/25
NO.	REVISION DESCRIPTION	APPROVED	DATE

CLIENT: HEART OF AMERICA GROUP
1501 RIVER DRIVE
MOLINE, IL 61265
PHONE: 963-343-2999



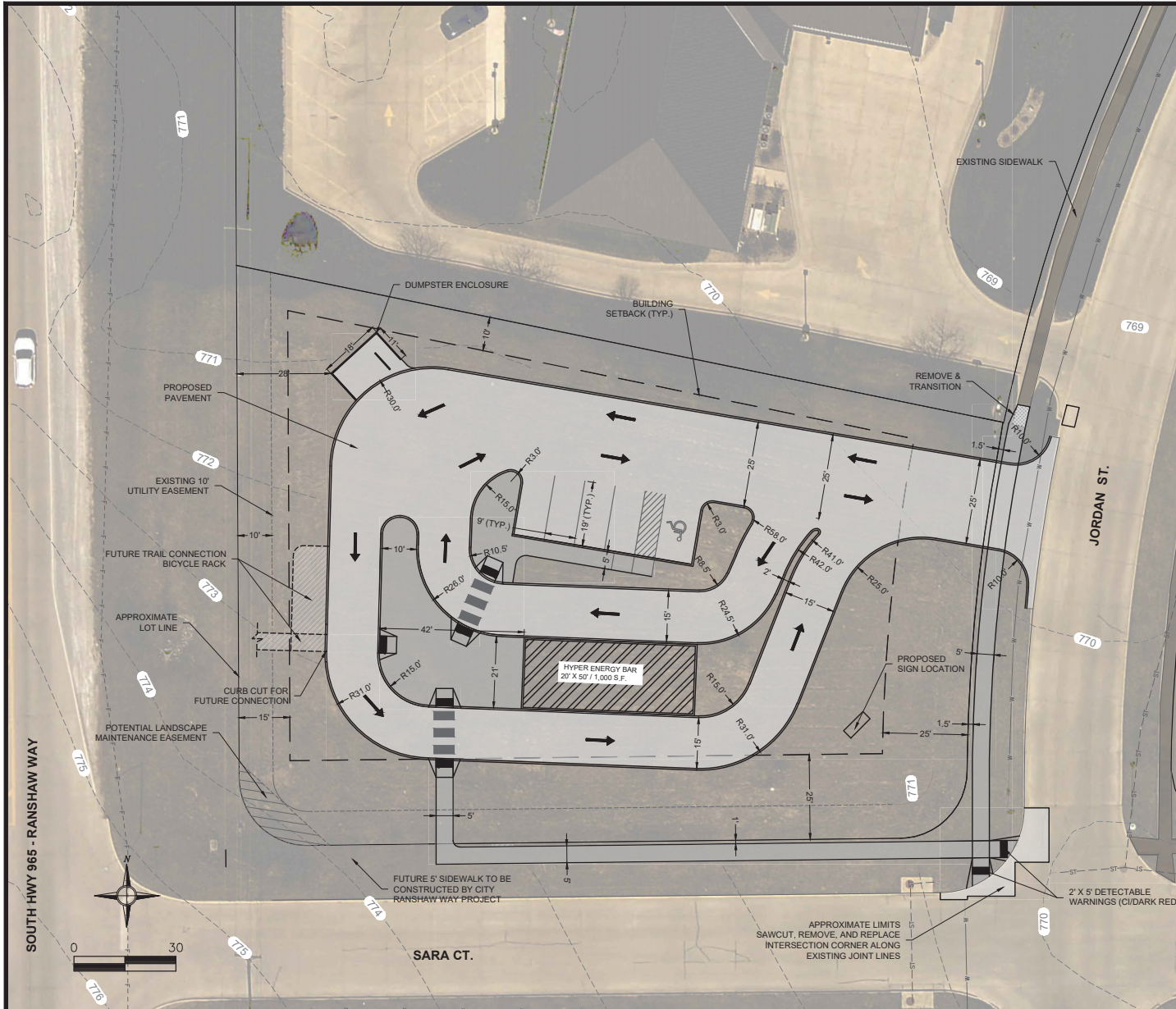
PROJECT NO. 225025 DATE: 4/30/2025

HYPER ENERGY BAR
1695 S. JORDAN ST.
NORTH LIBERTY, IA 52317

VICINITY MAP

SHEET NO.
1

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GENERAL SITE DEVELOPMENT NOTES

Zoning District: C-2-A – Commercial Highway
Approximate Lot Area: 31,900 S.F.
Approximate Usable Area: 18,830 S.F.
Concept Summary:
- Pavement (5" PCC) Area: 15,000 S.F.
- Total Building Footprint: 1 @ ~1,000 S.F.
- Open Space Area: 16,900 S.F.

Setback Summary (per Ordinance 168.03):

- Front Setback: 25 feet
- Rear Setback: 15 feet
- Corner/Side Setback: 25 feet
- Interior Setback: 10 feet

Parking Requirements (per Ordinance 169.01):

- Required Off-Street Parking: 1 space per 500 S.F. of gross floor area
 $1,000 \text{ S.F.} \div 500 = 2 \text{ spaces required}$

Parking Provided:

- Total Off-Street Parking Spaces: 4 (includes 1 ADA-compliant space)

Stormwater Management:

- Stormwater runoff is expected to be minimal and will be directed to nearest intake allowing for discharge and storage in the regional detention approximately 400 feet to the North

Utilities:

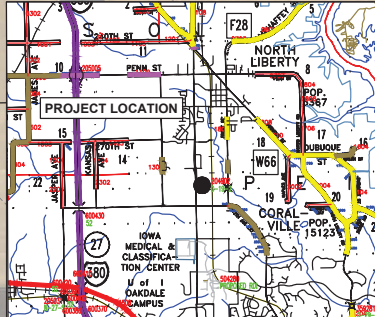
- All utilities to be verified by One-Call and field-verified during construction.

Design Vehicle:

- F-150 SuperCrew 6.5' Box
- Total Length = 20.31'
- Verify trash services design vehicle during final design

Additional Notes:

- Property boundaries are to be verified prior to final design.
- Topography shown is based on the most recent LIDAR data available; final topography will be verified prior to final design.



NO.	REVISION DESCRIPTION	APPROVED	DATE
1	CITY REVIEW SUBMITTAL #1 2025 - 05 - 19	KRB	5/19/25

CLIENT: HEART OF AMERICA GROUP
1501 RIVER DRIVE
MOLINE, IL 61265
PHONE: 963-343-2999

ANDERSON BOGERT

PROJECT NO. 225025

DATE: 4/30/2025

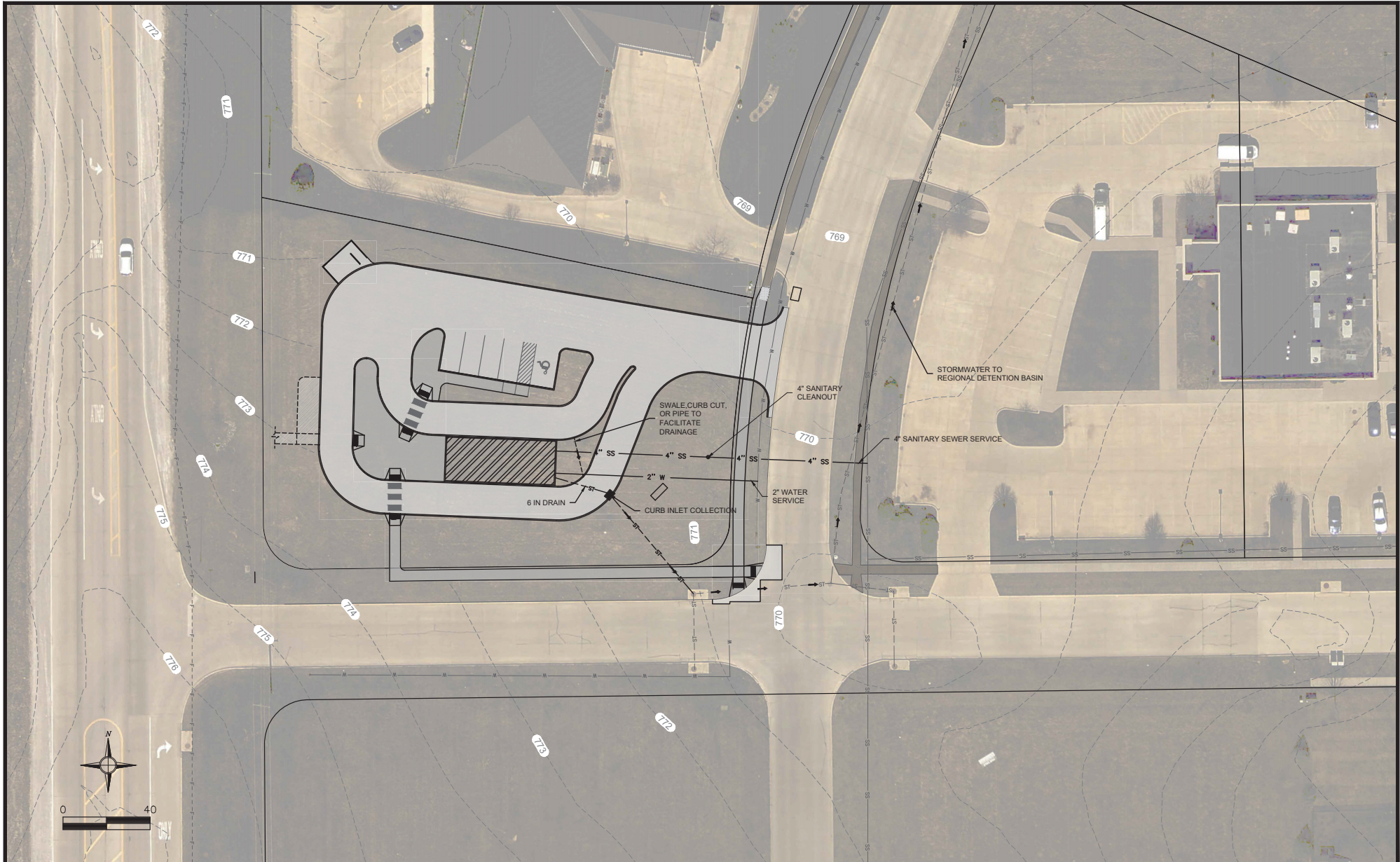
HYPER ENERGY BAR
1695 S. JORDAN ST.
NORTH LIBERTY, IA 52317

PRELIMINARY
SITE LAYOUT

SHEET NO.

2

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1		CITY REVIEW SUBMITTAL #1 2025 - 05 - 19	KRB	5/19/25
NO.	REVISION DESCRIPTION	APPROVED	DATE	

CLIENT: HEART OF AMERICA GROUP
1501 RIVER DRIVE
MOLINE, IL 61265
PHONE: 963-343-2999



PROJECT NO. 225025 DATE: 4/30/2025

HYPER ENERGY BAR
1695 S. JORDAN ST.
NORTH LIBERTY, IA 52317

PRELIMINARY PROPOSED
UTILITIES

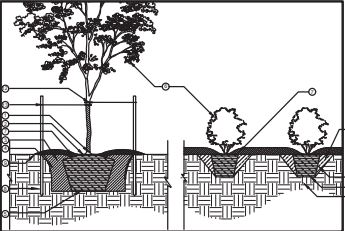
SHEET NO.
3

GENERAL LANDSCAPE PLANTING NOTES

- A. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO EXCAVATION. BEFORE COMMENCEMENT OF ANY WORK, CONTACT IOWA ONE CALL (1-800-292-6989) AT LEAST 48 HOURS PRIOR TO DIGGING. REPAIR DAMAGE TO UTILITIES AND STRUCTURES IMMEDIATELY.
- B. ALL PLANT MATERIALS SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- C. NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE OWNER'S REPRESENTATIVE.
- D. PRIOR TO MULCHING ALL PLANTING BED AREAS, APPLY COMMERCIAL GRADE PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL), PER MANUFACTURE DIRECTIONS.
- E. PROVIDE 2" MINIMUM DEPTH OF 1.5" GREY SLATE ROCK AND FABRIC IN ALL SHRUB/PERENNIAL/ORNAMENTAL GRASS BEDS. FABRIC MUST BE SRW SB3 FABRIC OR COMPARABLE FABRIC. ALL TREES TO BE MULCHED WITH A MIN. OF A 4FT WIDE DOUBLE PROCESSED HARDWOOD MULCH TREE RING DYED BLACK.
- F. ALL EDGING BETWEEN TURF AREAS AND MULCH AREAS TO BE CONCRETE BULLET EDGING AT A SIZE OF 4"X 4"W X 12'L.
- G. PROVIDE AND MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION AND INSTALLATION. WHEN FINISH-GRADING DO NOT DETER POSITIVE DRAINAGE OR TO CREATE AREA OF LOCALIZED PONDING.
- H. CONTAINER GROWN STOCK SHALL HAVE THE CONTAINER REMOVED AND THE ROOT BALL CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
- I. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER STOCK WILL BE ACCEPTED IF ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
- J. AS NEEDED, STAKE ALL NEWLY PLANTED TREES RELATIVE TO WIND EXPOSURE. ALL PLANTS SHALL BE SET PLUMB TO GROUND AND FACED FOR BEST APPEARANCE. AS NECESSARY, PRUNE DEAD BRANCHES OR THOSE THAT COMPROMISE APPEARANCE AND STRUCTURE TO A MAX OF 3 THE PLANT.
- K. CONTRACTORS SHALL MAINTAIN ALL PLANTS & MULCH BEDS FOR 60-DAYS COMPLETION INCLUDING WEEDING.
- L. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN THE VIGOROUS GROWING CONDITIONS FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE. ALL PLANT MATERIALS THAT ARE DEAD OR IN AN UNHEALTHY OR UNSIGHTLY STATE ARE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER FOR UP TO ONE YEAR OF INITIAL ACCEPTANCE.
- M. TREE STAKES AND ROPES TO BE REMOVED FROM TREES AFTER ONE YEAR BY OWNER'S REPRESENTATIVE.
- N. PLANTING DATES ARE TO BE PRIOR TO MAY 31ST OF THE GROWING SEASON OR BETWEEN AUGUST 15TH - NOVEMBER 1ST OF THE GROWING SEASON.

TREE & SHRUB PLANTING NOTES

1. REMOVE WIRE BASKET AND BURLAP ONCE PLACED INTO PLANTING HOLE. REMOVE ALL SYNTHETIC TWINE.
2. TRUNK FLARE SHOULD BE EXPOSED BEFORE DETERMINING PLANTING HOLE DEPTH. PLANT TREE WITH TRUNK FLARE 1-2" MAXIMUM ABOVE ORIGINAL GRADE TO AVOID PLANTING TREE TOO DEEP.
3. PLANTING HOLE TO BE AT MINIMUM 3 TIMES THE WIDTH OF ROOTBALL AT SOIL SURFACE SLOPING TO THE WIDTH OF ROOT BALL AT BASE. PLANTING HOLE WIDTH NEAR SURFACE IS INCREASED TO 5 TIMES THE WIDTH OF ROOTBALL WHEN SOILS ARE HIGHLY COMPACTED OR HEAVY IN CLAY CONTENT.
4. SCARIFY PLANTING HOLE TO HELP ELIMINATE THE CREATION OF SOIL INTERFACE.
5. PLACE ROOTBALL ON COMPACTED AND LEVELED SUBGRADE.
6. ONLY LIGHTLY PRUNE AND REMOVE DAMAGED OR DEAD BRANCHES.
7. AVOID MOUNDING MULCH & MAKING CONTACT WITH TRUNK. FORM 2-3" SHREDDED HARDWOOD MULCH RING SAUCER TO HELP HOLD WATER DURING ESTABLISHMENT. DIAMETER OF MULCH AREA SHOULD BE KEPT CLEAR OF GRASS, WEEDS, ETC. TO REDUCE COMPETITION WITH TREE ROOTS.
8. UNDISTURBED SOILS.
9. SPADE EDGING TYP. UNLESS OTHERWISE NOTED ON PLAN.
10. REFER TO LANDSCAPE PLAN FOR PLANT SPACING LOCATIONS.
11. 6" MINIMUM WIDER HOLE THAN CONTAINER ON ALL SIDES.
12. STAKING NOTES:
13. STAKING WIRE THROUGH RUBBER HOSE SET LOOSE TO ALLOW FOR TRUNK TAPER AND DETRIMENTAL GROWTH. TREE SHOULD ALLOW LIMITED MOVEMENT.
14. PAINTED STEEL FENCE POST STAKE DRIVEN INSIDE MULCH RING DIAMETER. DRIVE STAKES 1' INTO UNDISTURBED SOIL. BELOW ROOT BALL.



1 TYP. TREE & SHRUB PLANTING DETAILS

SOUTH HWY 965

SARA CT.

JORDAN ST.

169.02 LANDSCAPING REQUIREMENTS.

169.02.5 PARKING LOT LANDSCAPE

- A. CONTINUOUS ROW OF SHRUBS PROVIDED SCREENING ADJACENT STREETS.
B. 1 TREE PER 50 LF = 9 QTY

169.02.6 UNDER 15 PARKING SPACES (NOT REQUIRED)

169.02.7 ON-SITE TREES
C. 1,000 SF BUILDING/ 2000 = 0.5 (1 QTY) TREES REQUIRED

169.02.8 BUFFER YARDS (NOT REQUIRED)

PLANT SCHEDULE				
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE
TREES				
	MS	2	CRABAPPLE 'SPRING SNOW' / MALUS X 'SPRING SNOW'	1.5" D.B.H.
DECIDUOUS TREES				
	GI2	3	SKYLINE HONEY LOCUST / GLIODISIA TRIACANTHOS NERIMS 'SKYCOLE'	2" D.B.H.
	TT	7	EMERALD CITY TULIP TREE / LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM	2" D.B.H.
EVERGREEN TREES				
	TA	9	TECHNY ARBORVITAE / THUJA OCCIDENTALIS 'TECHNY'	2" D.B.H.
SHRUBS				
	JO	9	LINEGLOW JUNIPER / JUNIPERUS HORIZONTALIS 'LINEGLOW'	3 GAL.
	SG	5	SPIREA / SPIREA JAPONICA 'GOLDMOUND'	3 GAL.
	VC	4	SPICE BABY KOREAN SPICE VIBURNUM / VIBURNUM CARLESS 'SPICE BABY'	3 GAL.
GRASSES				
	CX	23	FEATHER REED GRASS 'AVALANCHE' / CALAMAGROSTIS X ACUTIFLORA 'AVALANCHE'	1 GAL.



0 30'



HYPER ENERGY BAR

INTERSECTION OF JORDAN STREET AND SARA COURT
NORTH LIBERTY, IOWA

NO.	REVISIONS	APPROVED	DATE
1	MOVED TREES OUT OF PARCELS AND ADDED SHRUBS ON OTHER REQUIRED TREES		5/22/2025
2	ADDED WINTER SPECIFICATIONS		5/22/2025
3	ADDED TURF, MULCH, AND IRRIGATION PLAN		5/22/2025

NOTES:

PROJECT #: E0256

SHEET SIZE: 11"x17"

SCALE: SEE GRAPHIC SCALE

DATE: 5/22/2025

DRAWN BY: MA

REVISIONS BY: MA

PLANTING PLAN

SHEET #:

L.01

OF:

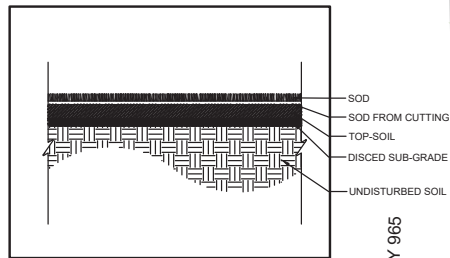
L.02

GENERAL GROUND COVER AND MULCH NOTES

- A. PRIOR TO MULCHING ALL PLANTING BED AREAS, APPLY COMMERCIAL GRADE PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL), PER MANUFACTURE DIRECTIONS.
- B. PROVIDE 2" MINIMUM DEPTH OF 1.5" GREY SLATE ROCK AND FABRIC IN ALL SHRUB/PERENNIAL/ORNAMENTAL GRASS BEDS. FABRIC MUST BE SRW SB3 FABRIC OR COMPARABLE FABRIC. ALL TREES TO BE MULCHED WITH A MIN. OF 4 FT WIDE DOUBLE PROCESSED HARDWOOD MULCH TREE RING DYED BLACK. THIS INCLUDES TREES WITHIN ROCK BEDS.
- C. ALL EDGING BETWEEN TURF AREAS AND MULCH AREAS TO BE CONCRETE BULLET EDGING AT A SIZE OF 4"H X 4"W X 12"L.
- D. CONTRACTORS SHALL MAINTAIN ALL PLANTS & MULCH BEDS FOR 60-DAYS COMPLETION INCLUDING WEEDING.
- E. ALL SOD MUST BE FROM BLUEGRASS SOD FARM IN ALBURNETT, IOWA.
- F. LANDSCAPE CONTRACTOR RESPONSIBLE FOR GRADING NO MORE THAN THE TOP 2 INCHES OF SOIL. LANDSCAPE CONTRACTOR NOT RESPONSIBLE FOR IMPORTING SOIL FOR GRADING TURF AREAS.

GROUND COVER LEGEND

- FINISH-GRADE AND SOD
- FABRIC & 1.5" GREY SLATE ROCK MULCH



2 TYP. TURF PLANTING DETAIL

IRRIGATION NOTES:

- A. ALL LAWN AREAS (HATCHED IN GREEN) SHALL BE IRRIGATED AND HAVE 100% COVERAGE OF THE DESIGNATED AREA WHILE MINIMIZING WATER CONSUMPTION.
- B. ALL LANDSCAPE BEDS (HATCHED IN YELLOW) SHALL HAVE DRIP IRRIGATION AND HAVE 100% COVERAGE OF ALL NEW PLANT ROOTBALLS. DRIP IRRIGATION TO BE PLACE ABOVE FABRIC AND UNDER ROCK.
- C. IRRIGATION ZONE CONTROL SHALL BE AUTOMATIC OPERATION WITH CONTROLLER AND AUTOMATIC CONTROL VALVES.
- D. THE CONTROLLER SHALL BE A HUNTER OR RAIN BIRD MODULAR OR FIXED SYSTEM WITH THE CAPABILITIES OF LIGHT COMMERCIAL GRADE RATING.
- E. IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE WATER CONSUMPTION WHILE MAXIMIZING COVERAGE.
- F. SUBMIT IRRIGATION SYSTEM PLAN INCLUDING ZONES TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.

GROUND COVER LEGEND

- IRRIGATE TURF
- DRIP IRRIGATION FOR PLANT MATERIAL

SOUTH HWY 965

SARA CT.

JORDAN ST.



NORTH

0 30'



HYPER ENERGY BAR

INTERSECTION OF JORDAN STREET AND SARA COURT
NORTH LIBERTY, IOWA

NO.	REVISIONS	APPROVED	DATE

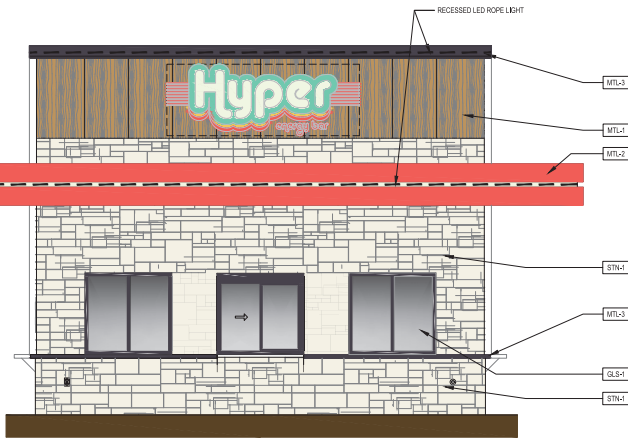
NOTES:

PROJECT #: E0256
SHEET SIZE: 11"x17"
SCALE: SEE GRAPHIC SCALE

DATE: 5/22/2025
DRAWN BY: MA
REVISIONS BY:

TURF, MULCH, &
IRRIGATION PLAN

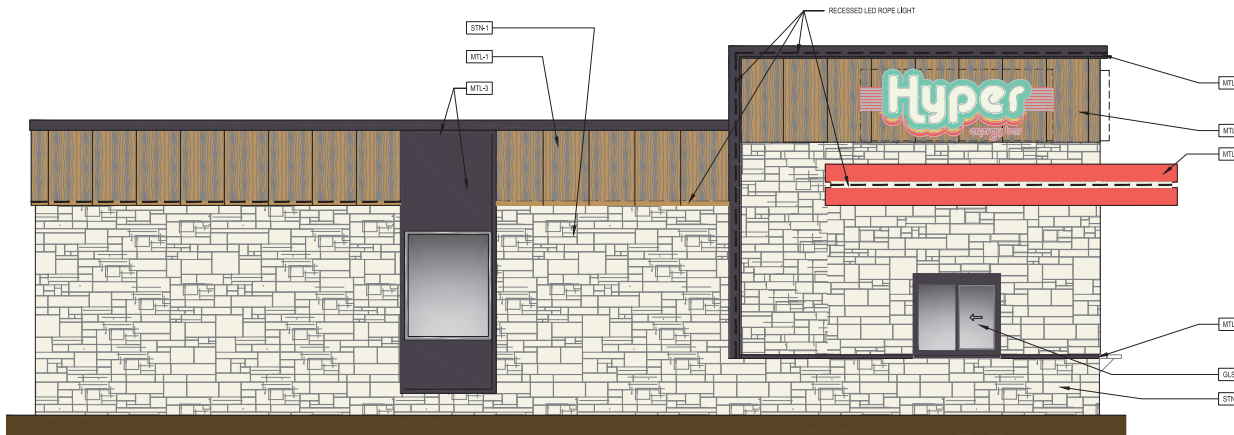
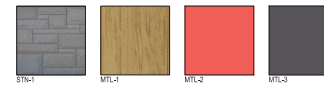
SHEET #:
OF:
L.02
L.02



2 NORTH ELEVATION
SCALE: 3/8" = 1'-0"

MATERIAL	SQ. FT.	%
STN-1	171	48
MTL-1	74	21
MTL-2	48	14
MTL-3	15	4
MTL-4	0	0
GLS-1	45	13
GLS-1 + STN-1	216	61
TOTAL	353	

FINISH SCHEDULE & ENTIRE BUILDING PERCENTAGES				
TAG	MATERIAL	DESCRIPTION	TOTAL SQ. FT.	%
STN-1	STONE VENEER, NATURAL	FULL-VENEER MASONRY WALL SYSTEM	1,192	58%
MTL-1	ALUM. COMP. PANEL	HIGH-QUALITY INSULATED DECORATIVE METAL PANEL (ALPOLIC OPC HARVEST TRAIL BAMBOO)	457	22%
MTL-2	ALUM. COMP. PANEL	HIGH-QUALITY INSULATED DECORATIVE METAL PANEL (ALPOLIC CUSTOM COLOR "HYPER RED")	100	5%
MTL-3	ALUM. COMP. PANEL	HIGH-QUALITY INSULATED DECORATIVE METAL PANEL (ALPOLIC T08 BLACK) - TRIM PAINTED TO MATCH	209	10%
GLS-1	CLEAR GLASS	CLEAR GLASS WITH NO TINT	95	5%
		STN-1 + GLS-1	1,287	63%
		TOTAL	2,053	100



1 EAST ELEVATION
SCALE: 3/8" = 1'-0"

MATERIAL	SQ. FT.	%
STN-1	427	68
MTL-1	159	22
MTL-2	26	4
MTL-3	88	10
MTL-4	0	0
GLS-1	35	5
GLS-1 + STN-1	462	65
TOTAL	712	

Date: ...	
Designed by:	HOAD
Drawn by:	PFC
Checked by:	DEO

ISSUED FOR REVIEW:	
05-01-2025	
Revisions:	
△	
△	
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HYPER ENERGY BAR

1695 JORDAN STREET, NORTH LIBERTY, IA 50237

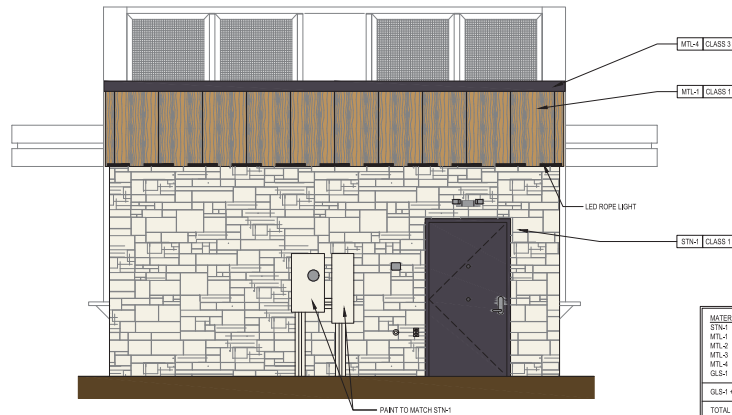
Heart of America

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Project No. 583
Sheet Content:
ELEVATIONS

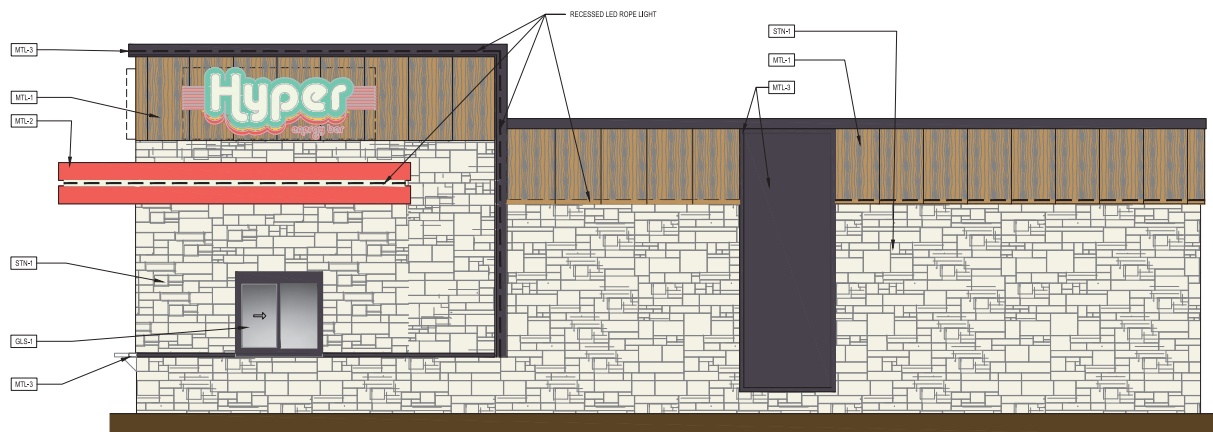
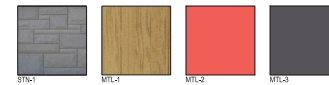
Sheet No.
A-2.1



MATERIAL	SQ. FT.	%
STN-1	167	61
MTL-1	71	26
MTL-2	0	0
MTL-3	38	15
MTL-4	0	0
GLS-1	0	0
GLS-1 + STN-1	167	61
TOTAL	276	

2 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

FINISH SCHEDULE & ENTIRE BUILDING PERCENTAGES				
TAG	MATERIAL	DESCRIPTION	TOTAL SQ. FT.	%
STN-1	STONE VENEER, NATURAL	FULL-VENEER MASONRY WALL SYSTEM	1,192	58%
MTL-1	ALUM. COMP. PANEL	HIGH-QUALITY INSULATED DECORATIVE METAL PANEL (ALPOLIC OPC HARVEST TRAIL BAMBOO)	457	22%
MTL-2	ALUM. COMP. PANEL	HIGH-QUALITY INSULATED DECORATIVE METAL PANEL (ALPOLIC CUSTOM COLOR "HYPER RED")	100	5%
MTL-3	ALUM. COMP. PANEL	HIGH-QUALITY INSULATED DECORATIVE METAL PANEL (ALPOLIC TSB BLACK + TRIM PAINTED TO MATCH)	209	10%
GLS-1	CLEAR GLASS	CLEAR GLASS WITH NO TINT	85	5%
STN-1 + GLS-1			1,287	63%
TOTAL			2,053	100



MATERIAL	SQ. FT.	%
STN-1	427	60
MTL-1	196	27
MTL-2	36	5
MTL-3	88	12
MTL-4	3	0
GLS-1	15	2
GLS-1 + STN-1	462	65
TOTAL	712	

1 WEST ELEVATION
SCALE: 3/8" = 1'-0"

Date: ...	
Designed by:	HOAD
Drawn by:	PFC
Checked by:	DEO

ISSUED FOR REVIEW:	
05-01-2025	
Revisions:	
△	
△	
△	
△	
△	
△	
△	

HYPER ENERGY BAR
1695 JORDAN STREET, NORTH LIBERTY, IA 50237

Heart of America

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Project No. 583
Sheet Content:
ELEVATIONS

Sheet No. A-2.2



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **May 30, 2025**
Re **Request of the City of North Liberty for an Ordinance amending the North Liberty Code of Ordinances Chapter 165 governing zoning map amendments, Chapter 168 governing the use matrix table and uses defined and use standards and Chapter 169 governing accessory structures and uses.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo.

1. Request Summary:

- A. Revise the minimum number days for the required good neighbor meeting for (rezonings/subdivision plats) from 14 to 12 days.

This is a small change and would allow for more flexibility, particularly during staff conflicts.

- B. Introduction of Accessory Dwelling Units (ADUs) as a permitted use in the RS districts and expansion of permitted districts for firework sales to achieve consistency with Iowa State Code.
- C. Amending the section on accessory structures and uses to account for detached accessory dwelling units (ADUs).

2. Zoning Text Amendment Approval Standards

Section 165.09(4)(D)(2) of the Zoning Ordinance sets for the approval standards for zoning text amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

Text Amendments.

- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

It is staff's opinion that the proposed amendment is consistent with the Comprehensive Plan and adopted land use policies.

- (b) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.

It is staff's opinion that the proposed zonings would promote the public health, safety, and welfare of the City.

- (c) The consistency of the proposed amendment with the intent and general regulations of this Ordinance.

It is staff's opinion that the proposed amendment would be consistent with the intent and general regulations of this Ordinance.

- (d) Whether the proposed amendment corrects an error or omission, adds clarification to existing requirements, or reflects a change in policy or change in development trends or technology.

It is staff's opinion that the proposed amendment reflects a change in policy.

- (e) The extent to which the proposed amendment creates nonconformities.

It is staff's opinion that the proposed amendment does not create any nonconformities, which is always a staff priority.

3. Public Input:

There are no formal objections to the request.

4. Staff Recommendation:

Finding:

1. The proposed amendment would achieve consistency with Section 165.09 of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request for Ordinance amendment to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the Ordinance amendment to the City Council with a recommendation for approval.

ORDINANCE NO. _____

**AN ORDINANCE AMENDING THE NORTH LIBERTY CODE OF ORDINANCES
CHAPTER 165 GOVERNING ZONING MAP AMENDMENTS, CHAPTER 168
GOVERNING THE USE MATRIX TABLE AND USES DEFINED AND USE
STANDARDS AND CHAPTER 169 GOVERNING ACCESSORY STRUCTURES
AND USES**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT OF ORDINANCE. Subsection 4 of Section 165.09 of the North Liberty Code of Ordinances, is amended as follows:

4. Procedure. All applications must be filed with the Code Official. The Code Official will schedule the consideration of the completed by the Planning Commission. Amendments initiated by the City ~~Council~~ also require an application, but are exempt from fees.
 - A. Good Neighbor Meeting. Good neighbor meetings are intended to allow an applicant to share the details of the application, answer questions, and receive feedback prior to formal consideration by the Planning Commission.
 1. Requirement. Good Neighbor meetings are required to be held for all rezoning applications filed by private property owners. In the event that a proposed subdivision is dependent upon the property first being rezoned, the requirements of the good neighbor meeting in accordance with Chapter 180 shall be fulfilled as long as the notice and presentation include both requests.
 2. Meeting Notice and Conduct.
 - (a) The City shall mail notification of the meeting to all property owners within the 200 feet of the subject property. The City may expand the notification of the neighborhood meeting if it deems warranted. The City is not required to be notified by mail of the Good Neighbor Meeting.
 - (b) The City shall post notice of the meeting on the City's website.
 - (c) The meeting will be moderated by City staff.
 3. Meeting Notice Content.
 - (a) The notifications will include the time, date and location of the meeting, and a brief description of the proposed rezoning. Other information or material such as a map of the area may be included to clarify the notice.
 4. Timing.
 - (a) The Good Neighbor meeting shall be held a minimum of ~~14~~12 days prior to the Planning Commission's consideration of the application.
 - (b) Notifications shall be sent, delivered and/or posted no later than ten (10) days prior to the Good Neighbor meeting.

SECTION 2. AMENDMENT OF ORDINANCE. Table 168.06 of Section 168.06 of the North Liberty Code of Ordinances, is amended as follows:

Table 168.06: Use Matrix See Section 168.07 for Use Definitions and Use Standards														
Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CU C-3	O R/P	I-1	I-2	P
1. Accessory Dwelling Unit		P												
1.2. Adult Entertainment													C	
2.3. Agricultural Experience	C													
3.4. Agriculture	P													
4.5. Amusement Facility – Indoor						C	P	P	P	P				
5.6. Amusement Facility – Outdoor									C					
6.7. Animal Care Facility						P	P	P				P		
7.8. Animal Shelter												C		C
8.9. Art Gallery						P	P	P	P	P				
9.10. Arts and Fitness Studio						P	P	P	P	P		P		
10.11. Bar						P	P	P	P	P		P		
11.12. Bed and Breakfast Home		C												
12.13. Body Art Establishment								P						
13.14. Brewery-Micro						P	P	P	P	P				
14.15. Broadcasting Studio								P	P					P
15.16. Building Trades and Services								P	P			P		
16.17. Car Wash								P						
17.18. Child Care Center						P	P	P	P	P	P			P
18.19. Child Care Home		P			P									
19.20. Child Development Home		P												
20.21. Community Center						P	P	P	P	P				P

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CUC-3	OR/P	I-1	I-2	P
21:22. Community Pantry	C	C	C	C		C	P	P						
22:23. Cultural Facility						P	P	P	P	P				P
23:24. Distillery, Micro						P	P	P	P	P				
24:25. Drive-Through Facility						C	P	P	P	P	P			
25:26. Dwelling – Manufactured Home					P									
26:27. Dwelling – Mixed Use						P	P	P	P	P				
27:28. Dwelling – Multiple- Unit				P				P	P	P				
28:29. Dwelling – Single-Unit	P	P												
29:30. Dwelling – Single-Unit Zero Lot Line			P											
30:31. Dwelling – Townhouse				P				P						
31:32. Dwelling – Two Unit			P	P										
32:33. Educational Facility – Primary	P	P	P	P		P	P	P	P	P				P
33:34. Educational Facility – Secondary	P	P	P	P		P	P	P	P	P				P
34:35. Educational Facility – University or College									P	P	P			P
35:36. Educational Facility – Vocational						C	P	P	P	P		P		
36:37. Financial Institution						P	P	P	P	P				
37:38. Fireworks, Retail Sales of						P	P	P	P	P	P	P	P	
38:39. Food Bank												P		
39:40. Fueling Station							P	P	P			P		
40:41. Fulfillment Center, Micro								C	C			P		
41:42. Funeral Home								P						

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CU C-3	OR/P	I-1	I-2	P
<u>42:43.</u> Golf Course/Driving Range							P							P
<u>43:44.</u> Greenhouse/ Nursery - Retail												P		
<u>44:45.</u> Group Home	P	P	P		P									
<u>45:46.</u> Healthcare Institution									P	P				P
<u>46:47.</u> Heavy Rental and Service Establishment												P		
<u>47:48.</u> Heavy Retail Establishment									P			P		
<u>48:49.</u> Hotel						C	P	P	P	P	P			
<u>49:50.</u> Industrial - General													P	
<u>50:51.</u> Industrial - Light												P	P	
<u>51:52.</u> Industrial Design							P	P	P			P		
<u>52:53.</u> Live Performance Venue						P	P	P	P	P				
<u>53:54.</u> Manufactured Home Park					P									
<u>54:55.</u> Medical/Dental Office						P	P	P	P	P				
<u>55:56.</u> Office						P	P	P	P	P	P	P		P
<u>56:57.</u> Outdoor Seating						P	P	P	P	P				P
<u>57:58.</u> Park, Private	P	P	P	P	P	P	P	P	P	P	P			
<u>58:59.</u> Park, Public														P
<u>59:60.</u> Parking Lot (Principal Use)						C	P	P	P	P		P		P
<u>60:61.</u> Parking Structure (Principal Use)						C	P	P	P	P		P		P

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

[illegible]

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CU C-3	O R/P	I-1	I-2	P
81.82. Vehicle Repair - Major								C				P		
82.83. Vehicle Repair - Minor								P				P		
83.84. _____ Warehouse												P		
84.85. Wholesale Establishment												P		
85.86. Winery, Micro						P	P	P	P	P				

SECTION 3. AMENDMENT OF ORDINANCE. Section 168.07 of the North Liberty Code of Ordinances, is amended by renumbering existing subparagraphs 1 through 85 to 2 through 86, respectively, inserting the following new subparagraph 1 immediately after the first unnumbered paragraph as follows:

1. Accessory Dwelling Unit (ADU).

A. Defined. Accessory Dwelling Unit (ADU) means a self-contained unit that provides living facilities on the same lot as a primary dwelling. ADUs can be attached, detached, or repurposed from existing space within the primary dwelling.

B. Use Standards.

- (1) A property shall be limited to one ADU not exceeding 1,000 square feet, or 50% of the total assessed living area of the residence in accordance with Johnson County Assessor's Office records, whichever is larger.
- (2) Each ADU must be located on a frost-protected perimeter foundation.
- (3) Each ADU is subject to the maximum height and setback requirements in the underlying zoning district.
- (4) No ADU shall be located within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
- (5) Detached ADUs shall be standalone structures and not be attached or in combination with any other structures.

SECTION 4. AMENDMENT OF ORDINANCE. Subsection 2, Subparagraph A of Section 165.09 of the North Liberty Code of Ordinances, is amended as follows:

2. Freestanding Garages, Storage Buildings, Greenhouses, Gazebos, Pergolas, and other Similar Structures greater than 200 Square Feet Gross Floor Area.

A. RS, RD and ID districts shall be subject to the following:

- (1) A maximum of one freestanding garage building, greenhouse, gazebo, pergola, or other similar structure greater than 200 square feet gross floor area. No other structure(s) greater than 200 square feet gross floor area are permitted if the property contains a detached Accessory Dwelling Unit (ADU) as defined in Section 168.07(1).
- (2) Freestanding garages or combination of structures, which include a freestanding garage: A maximum gross floor area of 850 square feet. RS district exception: on properties exceeding .5 acres but less than .75 acres, the maximum gross floor area shall be 1,000 square feet. On properties exceeding .75 acres but less than one acre, the maximum gross floor area shall be 1,200 square feet. On properties exceeding one acre, the maximum gross floor area shall be 1,400 square feet. Notwithstanding the foregoing, the gross floor area shall not exceed the total footprint of the residence.
- (3) All other structures or combinations of structures, which do not include a freestanding garage: A maximum gross floor area of 600 square feet.

- (4) Structures as described in subparagraphs (1) and (2) above may be located within the rear yard subject to a five-foot side and rear setback.
- (5) Structures as described in subparagraphs (1) and (2) above may be located within a side yard subject to meeting the required side and rear yard setbacks for the main building.
- (6) Structures as described in subparagraphs (1) and (2) above shall be situated a minimum 20 feet from a public or private right-of-way or improved alley.

SECTION 5. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 6. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 7. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 8. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First consideration on

Second consideration on

Third and final consideration on

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

**Planning Commission**

May 6, 2025

Council Chambers, 360 N. Main Street

Call to Order

Vice Chair Barry A'Hearn called this Tuesday, May 6, 2025, Planning Commission to order at 6:30 p.m. in the Council Chambers at 360 N. Main Street. Commission members present: Barry A'Hearn, Josey Bathke, Sheila Geneser, Jason Heisler, Dave Willer; absent: Valerie Ward and Amy Yotty.

Others present: Ryan Rusnak, Grant Lientz, Stacey House, Josiah Bilskemper, and other interested parties.

Approval of the Agenda

Willer moved, Heisler seconded to approve the agenda. The vote was all ayes. Agenda approved.

Public Comment

No public comments were offered.

Iowa City Area Christian School Association Preliminary Site Plan*Staff Presentation*

Rusnak presented the request of Iowa City Area Christian School Association for to approve a Preliminary Site Plan for two temporary classrooms and related infrastructure on approximately 22.09 acres. The property is located at the southeast corner of Hackberry Street and Juniper Court. Staff recommends the Planning Commission accept the listed finding, the preliminary site plan would achieve consistency with the approval standards enumerated in Section 165.05(2)E of the Zoning Code, and forward the request to approve a Preliminary Site Plan for two temporary classrooms and related infrastructure on approximately 22.09 acres to the City Council with a recommendation for approval subject to the following condition: 1. That the temporary classrooms be removed from the property and the area containing the temporary classrooms and related infrastructure be restored to a landscaped condition on or before July 31, 2028.

Applicant Presentation

Brian Goodbar was present on behalf of the applicant and offered to answer any questions.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application, including Willer asking how many students these would hold.

Goodbar responded that there would be four classrooms with a maximum of 20 students per classroom (80 students total).

Willer also asked about the timing of the permeant addition.

Good responded that have already contracted with FRK would designed Grant Elementary and already have preliminary drawings.

Recommendation to the City Council

Geneser moved, Heisler seconded that the Planning Commission accept the listed finding and forward the Preliminary Site Plan to the City Council with a recommendation for approval subject to the condition recommended by City Staff. The vote was: ayes – Ward, Yotty, Heisler, Willer, Geneser, A'Hearn, Bathke; nays – none. Absent; Ward, Yotty. Motion carried.

Bowman Property LLC Preliminary Subdivision Plat

Staff Presentation

Rusnak presented the request of Bowman Property LLC to approve a Preliminary Subdivision Plat for a 4-lot subdivision and related infrastructure on approximately 26.44 acres. The property is located at the northeast corner of West Forevergreen Road and South Kansas Avenue. Staff recommends the Planning Commission accept the two findings; 1. The Preliminary Subdivision Plat would facilitate development consistency with the Comprehensive Plan Future Land Use Map designations of Urban Medium and Urban High Intensity; and 2. The Preliminary Subdivision Plat would achieve consistency with Section 180.11(3)(A) and 180.12 of the North Liberty Code of Ordinances, which sets forth the preliminary subdivision plat submittal requirements and design standards, respectively; and forward the request to approve a Preliminary Subdivision Plat 4-lot subdivision and related infrastructure on approximately 26.44 acres to the City Council with a recommendation for approval.

Applicant Presentation

Christopher Thompson: MMS Consultants was present on behalf of the applicant and offered to answer any questions.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application.

Recommendation to the City Council

Bathke moved, Heisler seconded that the Planning Commission accept the two listed findings and forward the Preliminary Subdivision Plat to the City Council with a recommendation for approval. The vote was: ayes – Heisler, A'Hearn, Willer, Bathke, Geneser; nays – none. Absent; Ward, Yotty. Motion carried.

Dahnovan Land Development, LLC Preliminary Site Plan

Staff Presentation

Rusnak presented the request of Dahnovan Land Development, LLC. to approve a Preliminary Site Plan for 16 townhouse units in four buildings and related infrastructure on approximately 3.47 acres. The property is located at the southeast corner of Harlen Street and Julia Drive. Staff recommends the Planning Commission accept the listed finding, the preliminary site plan would achieve consistency with the approval standards enumerated in Section 165.05(2)E of the Zoning Code and forward the request to approve a Preliminary Site Plan for 16 townhouse units in four

buildings and related infrastructure on approximately 3.47 acres to the City Council with a recommendation for approval.

Applicant Presentation

Christopher Thompson: MMS Consultants was present on behalf of the applicant and offered to answer any questions.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application.

Recommendation to the City Council

Bathke moved, Willer seconded that the Planning Commission accept the listed finding and forward the Preliminary Site Plan to the City Council with a recommendation for approval. The vote was: ayes – Geneser, Bathke, Willer, A’Hearn, Heisler; nays – none. Absent; Ward, Yotty. Motion carried.

Zoning Map Amendment (Watts – West)

Staff Presentation

Rusnak presented the request of Watts Development Group, Inc. for a zoning map amendment (rezoning) from ID Interim Development District RS-6 Single-Unit Residence District on approximately 26.29 acres, RS-9 Single-Unit Residence District on approximately 34.81 acres, RD-10 on approximately 26.93 acres, RM-12 on 7.65 acres, and RM-14 on approximately 8.07 acres. The property contains approximately 103.75 acres and is located on the west side of South Dubuque Street approximately 300 feet south of Juniper Street. Staff recommends the Planning Commission accept the listed finding; the rezoning request from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 26.29 acres, RS-9 Single-Unit Residence District on approximately 34.81, RD-10 on approximately 26.93 acres, RM-12 on 7.65 acres, and RM-14 on approximately 8.17 acres and the property contains approximately 103.75 acres would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code; and forward the request for zoning map amendment (rezoning) from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 26.29 acres, RS-9 Single-Unit Residence District on approximately 34.81 acres, RM-12 on 7.65 acres, and RM-14 on approximately 8.07 acres. The property contains approximately 103.75 acres.

Applicant Presentation

Randy Laing, with Watts Group was present on behalf of the applicant. Adam Hahn with Watts Group was also present and answered questions.

Public Comments

Rob Hubler at (755 Yorkshire St) voiced concerns about the additional traffic that would be created through the adjacent residential areas, the proximity of the RM-12 and RM-14 to single-family homes to the north.

Sue Jensen (1200 Ogden Ln) voiced concerns over the potential construction traffic in their neighborhood and advocated for a construction entrance on Dubuque Street. She also expressed concern over the density of the proposed development.

John Shively (Odgen Ln) voiced support for the comments stated by the two previous speakers.

Questions and Comments

The Commission discussed the application.

Recommendation to the City Council

Keisler moved, Willer seconded that the Planning Commission accept the listing finding and forward the zoning map amendment to the City Council with a recommendation for approval. The vote was: ayes – Willer, Heisler, Bathke, Geneser, A'Hearn; nays – none. Absent; Ward, Yotty. Motion carried.

Zoning Map Amendment (Watts – East)

Staff Presentation

Rusnak presented the request of Watts Group Development, Inc. has submitted a Zoning Map Amendment (Rezoning) from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 15.21 acres, RS-9 Single-Unit Residence District on approximately 11.30 acres, RD-10 Two-Unit Residence District on approximately 16.69 acres, RM-12 Multi-Unit Residence District on approximately 7.17 acres and RM-14 Multi-Unit Residence District on approximately 8.05 acres. The property contains approximately 54.49 acres and is located on the east side of South Dubuque Street west of the west termini of Ogden Lane, Mary Lane, Kaiser Street and East Tartan Drive. Staff recommends the Planning Commission accept the listed finding; the rezoning request from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 15.21 acres, RS-9 Two-Unit Residence District on approximately 11.30 acres, RD-10 Two-Unit Residence District on approximately 16.69 acres, RM-12 Multi-Unit Residence District on approximately 7.17 acres, and RM-14 Multi-Unit Residence District on approximately 8.05 acres would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code; and forward the request for zoning map amendment (rezoning) from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 15.21, RS-9 Single-Unit Residence District on approximately 11.30 acres, RD-10 Two-Unit Residence District on approximately 7.17 acres, and RM-14 Multi-Unit Residence District on approximately 8.05 acres.

Applicant Presentation

Randy Laing, with Watts Group was present on behalf of the applicant. Adam Hahn with Watts Group was also present and answered questions.

Public Comments

The three speakers said they had the same comments as for the west side.

Questions and Comments

The Commission discussed the application.

Recommendation to the City Council

Willer moved, Geneser seconded that the Planning Commission accept the listed finding and forward the zoning map amendment to the City Council with a recommendation for approval. The vote was: ayes – Willer, Geneser, Bathke, A'Hearn, Heisler; nays – none. Absent; Ward, Yotty. Motion carried.

Zoning Code Ordinance

Staff Presentation

Rusnak presented the request of the City of North Liberty for Ordinance amending Chapter 168 of the North Liberty Code of Ordinances, governing commercial and industrial districts defined and dimensional standards and the use matrix table and Chapter 173 of the North Liberty Code of Ordinances, governing business and public use signs. Staff recommends the Planning Commission accept the listed finding; the proposed amendment would achieve consistency with Section 165.09 of the Zoning Code; and forward the request for Ordinance amendment to the City Council with a recommendation for approval.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application including Bathke questioning a "light" code for signs.

Recommendation to the City Council

Bathke moved, Willer seconded that the Planning Commission accept the listed finding and forward the ordinance amendment to the City Council with a recommendation for approval. The vote was: ayes – Heisler, Bathke, Willer, A'Hearn, Geneser; nays – none. Absent; Ward, Yotty. Motion carried.

UCD Holdings, LLC Zoning Map Amendment (Urban Central District)

Staff Presentation

Rusnak presented the request of UCD Holdings, LLC for a zoning map amendment (rezoning) from C-1-B General Commercial District and C-3 Higher Intensity Commercial District to CU C-3 District Central Urban Higher-Intensity Commercial District and a Preliminary Subdivision Plat for a 7-lot subdivision and related infrastructure on approximately 10.04 acres. The property is located on the east side of North Highway 965/Ranshaw Way approximately 275 south of West Cherry Street and the south side of West Cherry Street approximately 600 feet east of North Highway 965/Ranshaw Way. The purpose of the request is to facilitate redevelopment of the property with primarily commercial uses and related infrastructure. Staff recommends the Planning Commission accept the listed findings; 1. the rezoning request from C-1-B General Commercial District and C-3 Higher Intensity Commercial District to CU C-3 District Central Urban Higher-Intensity Commercial District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code, and 2. The preliminary subdivision plat would achieve consistency with Section 180.11(3)(A) and 180.12 of the North Liberty Code of Ordinances, which sets forth the preliminary subdivision plat submittal requirements and design standards respectively; and forward the request for a zoning map amendment (rezoning) from C-1-B General Commercial District and C-3 Higher Intensity Commercial District to CU C-3 District Urban Higher-Intensity Commercial District and a Preliminary Subdivision Plat for a 7-lot subdivision and related infrastructure on approximately 10.04 acres to the City Council with a recommendation for approval.

Applicant Presentation

Brandon Pratt was present on behalf of the applicant and offered to answer any questions.

Public Comments

No public comments were offered.

Questions and Comments

The Commission discussed the application.

Recommendation to the City Council

Heisler moved, Willer seconded that the Planning Commission accept the listed findings and forward the zoning map amendment (rezoning) and preliminary subdivision plat to the City Council with a recommendation for approval. The vote was: ayes – Willer, A'Hearn, Heisler, Bathke, Geneser; nays – none. Absent; Ward, Yotty. Motion carried.

Approval of Previous Minutes

Heisler moved, Bathke seconded to approve the minutes of the April 1, 2025, meeting. The vote was all ayes. Minutes approved.

Planning Updates

There were no updates.

Adjournment

At 7:44 p.m., Willer moved, Geneser seconded to adjourn. The vote was all ayes. Meeting adjourned.

Signed:

Stacey House, Deputy City Clerk/Utilities Supervisor