



**City Council Meeting
Regular Session
June 10, 2025**



City Administrator Memo



To **Mayor and City Council**
From **Ryan Heiar, City Administrator**
Date **June 6, 2025**
Re **City Council Agenda June 10, 2025**

Consent Agenda

The following items are on the consent agenda and included in the packet:

- City Council Minutes (05/27/25)
- Pay Application #3, North Liberty Road Trail, Metro Pavers, Inc., \$92,295.66
- Change Order #1, North Liberty Road Trail, Metro Pavers, Inc., \$11,977.20
- Claims

Meetings & Events

Tuesday, June 10 at 6:00p.m.
City Council

Monday, June 16 at 7:00p.m.
Library Board

Tuesday, June 24 at 6:00p.m.
City Council

Local Option Sales Tax Discussion

Please see enclosed memo and exhibits.

Greater Iowa City Small Business Support

In December of 2024, the City Council approved an agreement with Greater IC to administer an ARPA funded, \$100k small business assistance program. The scope of services in that agreement was intentionally vague, allowing GIC and City staff to further define the parameters of the program. Greater IC and North Liberty staff will walk through the enhanced scope with the City Council, which is included in the packet.

Hyper Energy Bar Site Plan

This site plan – northeast corner of Ranshaw Way and Sara Court – is for a 1,000 square foot commercial building with two drive throughs and related infrastructure on approximately .73 acres. The site contains a pedestrian seating area, and the building contains a high amount of masonry contributing to an important corridor in North Liberty. The reconstruction of Ranshaw Way Phase 6 is planned for 2027 so some coordination regarding infrastructure (such as sidewalk) will be necessary. The Planning Commission unanimously recommended approval at its June 3 meeting. Staff recommends approval as well.

Fireworks Ordinance

The State Legislature has enacted certain changes which limit the ability of cities to regulate the use of consumer fireworks. This means that the City will have no ability to

prohibit the use of consumer fireworks on private property during certain dates and times, including certain times on July 3 and July 4. The proposed ordinance amendment preserves the existing code scheme to the maximum extent permitted under the new state law. Staff recommends approval. The notice for the public hearing was published in the Cedar Rapids Gazette on June 4, 2025.

Zoning Ordinance

The State Legislature will require cities to allow Accessory Dwelling Units (ADUs) on the same lot as a single-unit residence as of July 1. Due to ambiguity of some of the adopted legislation, it was unclear if the City could restrict the size of a detached ADU if it were combined with another structure, such as a detached garage. As a result, staff is proposing a conservative approach of requiring detached ADUs to be standalone structure. Additionally, the Ordinance would prohibit a detached garage greater than 200 square feet if a detached ADU is proposed. Also proposed is reducing the minimum number of days prior to the Planning Commission meeting for the required good neighbor meeting for rezonings/subdivision plats from 14 to 12 days. The Planning Commission unanimously recommended approval at its June 3 meeting. Staff also recommends approval. The notice for the public hearing was published in the Cedar Rapids Gazette on June 4, 2025.

2025A & B Bond Sales

The 2025A and B bond sales are scheduled for Tuesday morning, June 10. The 2025A sale will be in an amount not-to-exceed \$22 million for the economic development incentive (plus capitalized interest and borrowing fees) with the Urban Central District development. The notice for the public hearing was published in the Cedar Rapids Gazette on May 31, 2025.

The 2025B sale is in the amount not-to-exceed \$8.75 million for the projects described below plus capitalized interest and borrowing fees.

Date	Source	Amount		Project
2nd Qrt - 2025	GO/TIF Bond	\$725,000	\$3,625,000	Centennial Park, Phase 1
		\$1,000,000		Kansas Ave, FGR to St. Andrews Dr (reimburse RISE grant)
		\$1,900,000		Forevergreen Road Signals
	GO Bond	\$450,000	\$4,850,000	W. Penn Street
		\$4,400,000		City Hall
Total		\$8,475,000		

The resolutions on the agenda approve loan agreements with the prospective low bidder. These resolutions will be updated after the sale to include the true interest costs and lender. Tionna Pooler, the City's financial advisor, will be at Tuesday's meeting to present the bond sale bids and offer a recommendation.

Tobacco Violation Civil Penalty

The City, as part of its obligations for issuance of tobacco permits, periodically performs compliance checks for permittees to verify their adherence to the law, including the prohibition against the sale of tobacco products to persons under the legal age. When an employee of a business holding a tobacco permit is found guilty of such a violation, the business itself is also subject to a civil penalty as defined by state law. The business has the right to a hearing in front of the City Council to contest their liability for the violation, or they can elect to waive the hearing and admit the violation. M & Q LLC, which does business as Green Leaf Tobacco & Vape, has chosen to waive their right to a hearing and admit that a violation was committed by one of their employees. They have submitted a written waiver and the payment required by state law. Staff recommends approval.

South Fiber Project

Last week, the City received seven bids for the South Fiber Project, which consists of installing conduit, handholes, and fiber along several main corridors including Forevergreen Road, Ranshaw Way, Kansas Avenue, St. Andrews Drive, and also provides fiber connections to the Centennial Park Events Center. Project bids ranged from \$217,812.00 to \$583,986.54, with the lowest bid submitted by Midwest Underground Contractors from Walford, Iowa. The engineer's estimate for the project was \$302,320. Shive Hattery has reviewed the bids and, along with staff, recommend award of the contract to Midwest Underground Contractors.

Murray Elite Urban Renewal Plan Amendment

The agenda includes a resolution setting a public hearing for July 8, 2025 to amend the Urban Renewal Plan and expand the Urban Renewal Area for the purpose of providing financial support to the Murray Elite Project.

This project consists of a 50,000 square foot facility and includes four basketball courts, physical therapy and specialized training space, fitness area, concessions, and multi-purpose space. Murray Elite intends to provide services to student athletes in grades 6-11. Examples of the services and events include basketball tournaments, recruiting events, basketball training programs, leadership development workshops, personal coaching sessions, and seasonal basketball camps.

The project team is requesting an 8-year, 100% TIF rebate, not to exceed \$1.3 million. The estimated maximum rebate considers an initial assessed value of the facility in the amount of \$6 million. This incentive request is consistent with other incentives the City has offered in terms of recreation and entertainment opportunities for the community.

As the Urban Renewal process moves forward, staff will be working with Bond Counsel on an economic development agreement for this project. It is anticipated that a final agreement will be ready for Council consideration in late July or early August.

UCD Holdings Rezoning

This rezoning – east side of North Highway 965/Ranshaw Way approximately 275 south of West Cherry Street and the south side of West Cherry Street approximately 600 feet east of North Highway 965/Ranshaw Way – would facilitate redevelopment of the property with primarily commercial uses, although residential uses would be permitted on 10.04 acres. Notably, the CU C-3 Urban Central Higher-Intensity Commercial District is being proposed as a Zoning Code amendment and final approval is anticipated at the June 10 City Council meeting. The proposed Preliminary Subdivision Plat is planned to be considered at the final reading of the rezoning (June 24). A virtual good neighbor meeting was held on April 24 with a total of six people attending the meeting outside of City staff and the applicant. Those that attended had general questions and appeared to be supportive of the request. The Planning Commission unanimously recommended approval of the request at its May 6 meeting. Staff also recommends approval. The notice for this public meeting was published in the Cedar Rapids Gazette on May 18, 2025.

Water & Wastewater Rate Ordinances

In April, the City Council heard from Steve Troyer and Jenny Ruddy, environmental engineers from Strand and Associates, regarding the City's future water and wastewater capital needs. As part of the facility plans that were presented that evening, financial models were developed identifying a need for rate increases in each utility fund to help pay for those future improvements. The executive summary and financial models for both the Water and Wastewater Facility Plans are included in the packet. On the agenda for Tuesday are two ordinances proposing rate increases within each utility to ensure the enterprise funds are able to pay for these future projects. Staff, in consultation with the City's financial advisor, are recommending a 6% rate increase for each utility. Figures 1 and 2 (above) offer a snapshot of how this proposed rate increase will impact users based on consumption. For reference, the last water rate increase occurred in 2021 and wastewater rate increase in 2019.

UCD Holdings Rezoning

This rezoning – east side of North Highway 965/Ranshaw Way approximately 275 south of West Cherry Street and the south side of West Cherry Street approximately 600 feet east of North Highway 965/Ranshaw Way – would facilitate redevelopment of the

property with primarily commercial uses, although residential uses would be permitted on 10.04 acres. Notably, the CU C-3 Urban Central Higher-Intensity Commercial District is being proposed as a Zoning Code amendment and final approval is anticipated at the June 10 City Council meeting. The proposed Preliminary Subdivision Plat is planned to be considered at the final reading of the rezoning (June 24). A virtual good neighbor meeting was held on April 24 with a total of six people attending the meeting outside of City staff and the applicant. Those that attended had general questions and appeared to be supportive of the request. The Planning Commission unanimously recommended approval of the request at its May 6 meeting. Staff also recommends approval. The notice for this public meeting was published in the Cedar Rapids Gazette on May 18, 2025.

Watts Rezoning

Update: Included in the background material is the traffic impact study (TIS) commissioned by the applicant. The TIS demonstrates that the proposed development will not cause deficiencies to the roadway network, although intersections improvements are recommended. Staff has forwarded the TIS to the Metropolitan Planning Organization of Johnson County (MPOJC) who is performing an independent review. Staff anticipates that MPOJC will provide comments prior to the June 10 meeting.

Watts Group Development, Inc. is requesting a rezoning – east and west side of South Dubuque Street approximately 375 feet south of Juniper Street – to various residential districts to support a variety of housing types and related infrastructure on approximately 162 acres. The rezoning was divided into two applications at the request of staff – east and west of South Dubuque Street and west of South Dubuque Street – due to the street bifurcating the property. Understandably, some residents were concerned with the east part, but not the west part and vice versa. This would be a significant development in an area with existing utilities and would create important street connections, most notably, East Tartan Street. For context, The Preserve Subdivision (also a Watts Development) west of Centennial Park began developing in 2019 and is nearing completion. The proposed development is twice that size, so it's expected that full buildout will take 10-15 years. Due to the significant size the requests, two good neighbor meetings were held: March 12, 2025 (in person) and March 26, 2025 (virtual). Both meetings were very well attended with approximately 40 people at each meeting. There were some objections and concerns related to specific items, such as zoning compatibility/intensity, stormwater drainage, traffic impacts (impact on the transportation system, number of access points on Dubuque Street, traffic calming, school related traffic, construction traffic, etc.) and parks/open space. The applicant has undertaken a traffic impact study at the request of staff. Preliminary results indicate that

the proposed development will not cause a deficiency to South Dubuque Street, although specific intersection improvements (turn lanes, roundabouts, etc.) may be necessary. Considering that some of the impacts would be caused by traffic outside the proposed development, staff has been discussing appropriate sharing of costs related to potential South Dubuque Street improvements. Notably, the RM-14 Multi-Unit Residence District is being proposed as a Zoning Code amendment and final approval is anticipated at the June 10 City Council meeting. The notices for these public hearings were published in the Cedar Rapids Gazette on May 18, 2025.

East

This rezoning on approximately 58.32 acres proposes RS-6 Single-Unit Residence District (15.21 acres), RS-9 Single-Unit Residence District (11.30 acres), RD-10 Two-Unit Residence District (16.59 acres), RM-12 (7.17 acres) and RM-14 Multi-Unit Residence District (8.05 acres). The applicant made some changes to the request after feedback from good neighbor meetings including replacing RM-21 Multi-Unit Residence District with RM-14 Multi-Unit Residence District along the South Dubuque Street frontage and RD-10 Two-Unit Residence District with RS-6 Single-Unit Residence District along Ogden Lane.

West

This rezoning on 103.75 acres proposes RS-6 Single-Unit Residence District (26.29 acres), RS-9 Single-Unit Residence District (34.81 acres), RD-10 (26.93 acres), RM-12 (7.65 acres), and RM-14 Multi-Unit Residence District (8.07 acres). The applicant made a change to the request after feedback from good neighbor meetings including replacing RM-21 Multi-Unit Residence District with RM-14 Multi-Unit Residence District along the South Dubuque Street frontage.

The Planning Commission unanimously recommended approval of both requests at its May 6 meeting. Staff recommends approval as well.



Agenda



CITY COUNCIL

Tuesday, June 10, 2025

6:00 p.m.

Regular Session

Council Chambers

360 N. Main Street

1. Call to order
2. Roll call
3. Approval of the Agenda
4. Consent Agenda
 - A. City Council Minutes, Regular Session, May 27, 2025
 - B. North Liberty Road Trail Project, Pay Application Number 3, Metro Pavers, Inc., \$92,295.66
 - C. North Liberty Road Trail Project, Change Order Number 1, Metro Pavers, Inc., \$11,977.20
 - D. Claims
5. Public Comment
6. Engineer Report
7. City Administrator Report
8. Mayor Report
9. Council Reports
10. Local Option Sales Tax
 - A. Council Discussion
11. Greater Iowa City ARPA Small Business Assistance Program
 - A. Report from Greater Iowa City staff
12. Hyper Energy Bar Site Plan
 - A. Staff and Commission Recommendations
 - B. Applicant Presentation
 - C. Resolution Number 2025-62, A Resolution approving the Preliminary Site Plan for Hyper Energy Bar, 1695 Jordan Street, North Liberty, Iowa

13. Fireworks Ordinance
 - A. Public Hearing regarding proposed update to the Fireworks Ordinance
 - B. First consideration of Ordinance Number 2025-14, An Ordinance amending Chapter 41.10 of the North Liberty Code of Ordinances governing the Use and Sale of Fireworks
14. Zoning Ordinance Amendment
 - A. Public Hearing regarding proposed amendments to the Zoning Code including allowance of Accessory Dwelling Units and timeline for Good Neighbor meetings
 - B. First consideration of Ordinance Number 2025-15, An Ordinance amending the North Liberty Code of Ordinances Chapter 165 governing Zoning Map Amendments, Chapter 168 governing the Use Matrix Table and Uses Defined and Use Standards and Chapter 169 governing Accessory Structures and Uses
15. 2025A Bond Sale
 - A. Resolution Number 2025-63, A Resolution authorizing and approving a Loan Agreement, providing for the sale and issuance of \$21,455,000 Taxable General Obligation Urban Renewal Bonds, Series 2025A, and providing for the levy of taxes to pay the same
16. 2025B Bond Sale
 - A. Resolution Number 2025-64, A Resolution authorizing and approving a Loan Agreement, providing for the sale and issuance of \$8,750,000 General Obligation Corporate Purpose Bonds, Series 2025B, and providing for the levy of taxes to pay the same
17. Tobacco Citation Acceptance of Payment
 - A. Resolution Number 2025-65, A Resolution accepting payment of \$300.00 Civil Penalty from M & Q, LLC
18. South Fiber Project
 - A. Resolution Number 2025-66, A Resolution accepting the bid and authorizing execution of the Contract for the South Fiber Project, North Liberty, Iowa
19. Urban Renewal Area Expansion & Plan Update
 - A. Resolution Number 2025-67, A Resolution setting date for Public Hearing on Designation of the Expanded North Liberty Urban Renewal Area and on Urban Renewal Plan Amendment

20. Water Rate Ordinance Amendment

- A. Third consideration and adoption of Ordinance Number 2025-08, An Ordinance amending Chapter 92.02, entitled "Rates for Service," of the Municipal Code of North Liberty by adopting a new Section 92.02 to increase the charges for water used

21. Sewer Rate Ordinance Amendment

- A. Third consideration and adoption of Ordinance Number 2025-09, An Ordinance amending Chapter 99.02 entitled "Rate," of the Municipal Code of North Liberty by adopting a new Section 99.02 to increase the charges for Sanitary Sewer Services

22. Zoning Ordinance Amendments

- A. Third consideration and adoption of Ordinance Number 2025-10, An Ordinance amending Chapter 168 of the North Liberty Code of Ordinances governing Residential, Commercial, and Industrial Districts defined and dimensional standards and the Use Matrix Table and Chapter 173 of the North Liberty Code of Ordinances governing Business and Public Use Signs

23. UCD Holdings, LLC Rezoning

- A. Second consideration of Ordinance Number 2025-11, An Ordinance amending the Zoning Map District designation for certain property located in North Liberty, Iowa from C-1-B General Commercial District and C-3 High Intensity Commercial District to CU C-3 Urban Central Higher-Intensity Commercial District

24. Watts Group Development, Inc. Rezoning (East Side)

- A. Second consideration of Ordinance Number 2025-12, An Ordinance amending the Zoning Map District designation for certain property located in North Liberty, Iowa from ID Interim Development District to RS-6 Single-Unit Residence District, RS-9 Single-Unit Residence District, RD-10 Two-Unit Residence District, RM-12 Multi-Unit Residence District and RM-14 Multi-Unit Residence District

25. Watts Group Development, Inc. Rezoning (West Side)

- A. Second consideration of Ordinance Number 2025-13, An Ordinance amending the Zoning Map District designation for certain property located in North Liberty, Iowa from ID Interim Development District to RS-6 Single-Unit Residence District, RS-9 Single-Unit Residence District, RD-10 Two-Unit Residence District, RM-12 Multi-Unit Residence District and RM-14 Multi-Unit Residence District

26. Old Business

27. New Business

28. Adjournment



Consent Agenda



City Council
May 27, 2025
Regular Session

Call to order

Mayor Hoffman called the Tuesday, May 27, 2025, Regular Session of the North Liberty City Council to order at 6:02 p.m. in Council Chambers at 360 N. Main Street. Councilors present: Brian Leibold, Paul Park, Erek Sittig, Brent Smith, and Brian Wayson.

Others present: Ryan Heiar, Tracey Mulcahey, Josiah Bilskemper, Grant Lientz, Ryan Rusnak, Kelly Pelzel, Laurie Durian, Scott Finlayson, Rachel Zimmerman – Smith, Sheriff Brad Kunkel, Randy Lang, Jon Marner, Kevin Digmann, and other interested parties.

Approval of the Agenda

Park moved; Wayson seconded to approve the agenda. The vote was all ayes. Agenda approved.

Consent Agenda

Smith moved, Wayson seconded to approve the Consent Agenda including the City Council Minutes from the Regular Session on May 13, 2025; North Liberty Road Trail, Pay Application Number 2, Metro Pavers, Inc., \$120,020.88; North Liberty City Hall Project, Change Order Number 8, City Construction, \$10,615.00; Centennial Park Event Complex, Change Order Number 5, Larson Construction Co., \$33,425.56; Centennial Park Event Complex, Pay Application Number 9, Larson Construction Co., \$750,142.08; and the attached list of Claims. The vote was all ayes. Consent Agenda approved.

Public Comment

A member of the audience asked about the change order relating to the Centennial Project. Heiar provided information on the change order. Kelly Pelzel, 440 Juniper Street, presented concerns about speeding on Juniper Street and offered suggestions for improvement of the speeding issue.

City Engineer Report

City Engineer Bilskemper reported on the South Fiber Project, the Penn Street/I 380 Project, Freedom Park Trail Improvements Project, and the Centennial Event Complex project. Council discussed the report with Bilskemper and Heiar.

City Administrator Report

City Administrator Heiar reported on conversations with Greater Iowa City on the potential of LOSST. The discussion on the potential will be on the June 10 agenda. He reported on Urban Central District acquisitions. The City's bond rating was affirmed by Moody's at Aa3.

Mayor Report

Mayor Hoffman proclaimed Gun Violence Awareness Day. Laurie Durian offered information on the proclamation. Mayor Hoffman thanked Mayor Pro Tem Wayson for covering the last meeting. He expressed gratitude to city staff for their work on the UCD Project and the Developer's Agreement.

Council Reports

Councilor Wayson attended the EMA meeting, the MPOJC meeting and the Memorial Day service at Ridgeway Cemetery. Councilor Sittig attended the MPOJC meeting, the Greater Iowa City Lunch, Emory Ribbon cutting, and the Johnson County Affordable Housing Coalition meeting. Councilor Smith attended the monthly Think Iowa City meeting and the Solon Fire Department Pancake breakfast. Councilor Park attended the strategic investment neighborhood open house and design charette. He thought that the Playground Crawl looked great. He attended the American Legion Memorial Day Service at Ridgeway Cemetery. Councilor Leibold thanked Kelly and Laurie for their comments. He attended the State of the City in Cedar Rapids. He toured ChildServe. He offered congratulations to all graduates.

Johnson County Elected Officials Update

Johnson County Treasurer, Scott Finlayson, offered information on what his office is doing and requested feedback on regular visits. Rachel Zimmerman – Smith, Johnson County Attorney, spoke regarding her office's work with City Attorney Lientz and presented statistics on cases in Johnson County and North Liberty. She presented an update on the Civil Mental Health Court that helps those with severe mental health issues stay out of the justice system. Sheriff Brad Kunkel offered thanks to those who brought the proclamation. He provided updates from the Sheriff's office including the proposed bond referendum for new jail. A Joint Law Enforcement Facility is being considered. Council discussed the updates with County elected officials.

FY 2025-2026 Budget

At 6:41 p.m., Mayor Hoffman opened the Public Hearing regarding proposed FY 2025 -2026 Budget. No oral or written comments were received. The public hearing was closed at 6:42 p.m.

Park moved, Wayson seconded to approve Resolution Number 2025-60, A Resolution adopting the Annual Budget and Capital Improvements Plan for the Fiscal Year ending June 30, 2026 for the City of North Liberty, Iowa. The vote was: ayes – Leibold, Smith, Wayson, Sittig, Park; nays – none. Motion carried.

FY 2024-2025 Budget Amendment

At 6:43 p.m., Mayor Hoffman opened the Public Hearing regarding proposed FY 2024-2025 Budget Amendment. No oral or written comments were received. The public hearing was closed at 6:43 p.m.

Smith moved, Sittig seconded to approve Resolution Number 2025-61, A Resolution amending the Current Budget for the Fiscal Year ending June 30, 2025. The vote was: ayes – Wayson, Park, Leibold, Smith, Sittig; nays – none. Motion carried.

UCD Holdings, LLC Rezoning

At 6:45 p.m., Mayor Hoffman opened the Public Hearing regarding proposed rezoning. No oral or written comments were received. The public hearing was closed at 6:45 p.m.

Rusnak reported that the Planning Commission and staff recommended approval of the rezoning. Council discussed the application with staff.

Jon Marner, MMS Consultants, was present on behalf of the applicant and offered to answer questions.

Park moved, Wayson seconded to approve the first consideration of Ordinance Number 2025-11, An Ordinance amending the Zoning Map District designation for certain property located in North Liberty, Iowa from C-1-B General Commercial District and C-3 High Intensity Commercial District to CU C-3 Urban Central Higher-Intensity Commercial District. The vote was: ayes – Wayson, Leibold, Park, Smith; nays – none; abstain – Sittig. Motion carried.

Watts Group Development, Inc. Rezoning (East Side)

At 6:49 p.m., Mayor Hoffman opened the Public Hearing regarding proposed rezoning. No oral or written comments were received. The public hearing was closed at 6:50 p.m.

Rusnak presented the application and reported that the Planning Commission and staff recommended approval of the rezoning.

Randy Lang, Watts Group Development, and Jon Marner, MMS Consultants, were present on behalf of the applicant and offered additional information on Watts Group Development, Inc. and the proposed development. Council discussed the proposed rezoning with Lang and Marner.

Park moved, Sittig seconded to approve the first consideration of Ordinance Number 2025-12, An Ordinance amending the Zoning Map District designation for certain property located in North Liberty, Iowa from ID Interim Development District to RS-6 Single-Unit Residence District, RS-9 Single-Unit Residence District, RD-10 Two-Unit Residence District, RM-12 Multi-Unit Residence District and RM-14 Multi-Unit Residence District. After discussion, the vote was: ayes – Leibold, Wayson, Sittig, Smith, Park; nays – none. Motion carried.

Watts Group Development, Inc. Rezoning (West Side)

At 7:26 p.m., Mayor Hoffman opened the Public Hearing regarding proposed rezoning. No oral or written comments were received. The public hearing was closed at 7:26 p.m.

Rusnak reported the Planning Commission and staff recommended approval of the rezoning application. Council discussed the application with staff.

Jon Marner, MMS Consultants, and Randy Lang, Watts Development Group were present on behalf of the applicant and offered to answer questions. Council discussed the application with Marner and Lang.

Sittig moved, Leibold seconded to approve the first consideration of Ordinance Number 2025-13, An Ordinance amending the Zoning Map District designation for certain property located in North Liberty, Iowa from ID Interim Development District to RS-6 Single-Unit Residence District, RS-9 Single-Unit Residence District, RD-10 Two-Unit Residence District, RM-12 Multi-Unit Residence District and RM-14 Multi-Unit Residence District. After discussion, the vote was: ayes – Smith, Leibold, Park, Sittig, Wayson; nays – none. Motion carried.

2025A and 2025B Bond Sales

Wayson moved, Smith seconded to approve Resolution Number 2025-62, A Resolution setting the date for the sale of Taxable General Obligation Urban Renewal Bonds, Series 2025A and authorizing the use of a preliminary official statement in connection therewith. After discussion, the vote was: ayes – Leibold, Smith, Park, Wayson; nays – none; abstain – Sittig. Motion carried.

Sittig moved, Wayson seconded to approve Resolution Number 2025-63, A Resolution setting the date for sale of General Obligation Corporate Purpose Bonds, Series 2025B and authorizing the use of a preliminary official statement in connection therewith. The vote was: ayes – Sittig, Smith, Leibold, Wayson, Park; nays – none. Motion carried.

GRD Burleson, LLC Annexation

Sittig moved, Park seconded to approve Resolution Number 2025-64, A Resolution approving Annexation of certain real property to the City of North Liberty, Iowa. The vote was: ayes – Wayson, Leibold, Sittig, Park, Smith; nays – none. Motion carried.

Greenbelt Trail Parts 5 & 6

Park moved, Wayson seconded to approve Resolution Number 2025-65, A Resolution approving the Developer's Agreement for the Greenbelt Trail Part 5 Subdivision, North Liberty, Iowa. The vote was: ayes – Smith, Sittig, Leibold, Wayson, Park; nays – none. Motion carried.

Smith moved, Park seconded to approve Resolution Number 2025-66, A Resolution approving the Developer's Agreement for the Greenbelt Trail Part 6 Subdivision, North Liberty, Iowa. The vote was: ayes – Sittig, Smith, Park, Leibold, Wayson; nays – none. Motion carried.

Hodge Workforce Housing Tax Credit

Park moved, Leibold seconded to approve Resolution Number 2025-67, A Resolution supporting the application of Jordan Street Developers, LLC, for funding via the Workforce Housing Tax Credit Program and pledging City monies for the same. Kevin Digmann, Hodge Construction, presented information on the project. After discussion, the vote was: ayes – Smith, Leibold, Wayson, Park, Sittig; nays – none. Motion carried.

MLDC, Inc. Rezoning

Sittig moved, Leibold seconded to approve the third consideration and adoption of Ordinance Number 2025-07, An Ordinance amending the Zoning Map District designation for certain property located in North Liberty, Iowa from RS-7 PAD Single-Unit Residence District Planned

Area Development and ID Interim Development District to RS-4 Single-Unit Residence District on approximately 4.10 acres, RS-6 Single-Unit Residence District on approximately 1.74 acres, RS-9 Single-Unit Residence District on approximately 0.42 acres and RD-10 Two-Unit Residence District on approximately 10.34 acres. After discussion, the vote was: ayes – Sittig, Leibold, Park, Smith; nays – Wayson. Motion carried.

Water Rate Ordinance Amendment

Sittig moved, Wayson seconded to approve the second consideration of Ordinance Number 2025-08, An Ordinance amending Chapter 92.02, entitled “Rates for Service,” of the Municipal Code of North Liberty by adopting a new Section 92.02 to increase the charges for water used. The vote was: ayes – Leibold, Wayson, Sittig, Park, Smith; nays – none. Motion carried.

Sewer Rate Ordinance Amendment

Park moved, Wayson seconded to approve the second consideration of Ordinance Number 2025-09, An Ordinance amending Chapter 99.02 entitled “Rate,” of the Municipal Code of North Liberty by adopting a new Section 99.02 to increase the charges for Sanitary Sewer Services. The vote was: ayes – Wayson, Smith, Sittig, Leibold, Park; nays – none. Motion carried.

Zoning Ordinance Amendments

Sittig moved, Park seconded to approve the second consideration of Ordinance Number 2025-10, An Ordinance amending Chapter 168 of the North Liberty Code of Ordinances governing Residential, Commercial, and Industrial Districts defined and dimensional standards and the Use Matrix Table and Chapter 173 of the North Liberty Code of Ordinances governing Business and Public Use Signs. The vote was: ayes – Park, Sittig, Leibold, Smith, Wayson; nays – none. Motion carried.

Old Business

No old business was presented.

New Business

Councilor Smith asked about the school zone speed on Juniper Street relating to Heritage School. Councilor Park offered a shoutout to staff for the Council packet.

Adjournment

Leibold moved; Smith seconded to adjourn at 8:08 p.m. The vote was all ayes. Meeting adjourned.

CITY OF NORTH LIBERTY

By: _____
Chris Hoffman, Mayor

Attest: _____
Tracey Mulcahey, City Clerk

APPLICATION AND CERTIFICATE FOR PAYMENT

TO OWNER: City of North Liberty
3 Quail Creek Circle
P.O. Box 77
North Liberty, Iowa 52317

PROJECT: North Liberty Road Trail
TAP-U-5557(623)--8I-52

FROM
CONTRACTOR: Metro Pavers, Inc.
101 Southgate Ave #4338
Iowa City, IA 52240

VIA ENGINEER: Shive-Hattery, Inc.
2839 Northgate Drive
Iowa City, Iowa 52245

APPLICATION NO: 3
PERIOD TO: 5/24/25
PROJECT NO.: TAP-U-5557(623)--8I-52
CONTRACT ID: 52-5557-623
LETTING DATE: 2/18/25

Distribution to:

<input type="checkbox"/>	OWNER
<input type="checkbox"/>	ARCHITECT
<input type="checkbox"/>	CONTRACTOR
<input type="checkbox"/>	ENGINEER

CONTRACT FOR: North Liberty Road Trail

CONTRACTOR'S APPLICATION FOR PAYMENT

Application is made for payment, as shown below, in connection with the Contract.
Continuation Sheet is attached.

1. ORIGINAL CONTRACT SUM	\$	1,082,258.81
2. Net Change by Change Orders	\$	-
3. CONTRACT SUM TO DATE	\$	1,082,258.81
4. TOTAL COMPLETED & STORED TO DATE	\$	224,783.03
5. RETAINAGE 3 % of Completed Work & Stored Material	\$	6,743.49
6. TOTAL EARNED LESS RETAINAGE	\$	218,039.54
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT	\$	125,743.88
8. CURRENT PAYMENT DUE	\$	92,295.66
9. BALANCE TO FINISH, INCLUDING RETAINAGE (This amount will decrease, as Change Orders do not yet reflect items deleted or decreased in quantity - see summary sheet for est. final totals)	\$	864,219.27

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner	\$ -	\$ -
Total approved this Month	\$ -	\$ -
TOTALS	\$ -	\$ -
NET CHANGES by Change Order	\$ -	\$ -

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief, the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: Metro Pavers, Inc.

By: _____ Date: _____

State of:
County of:
Subscribed and sworn to before
me this _____ day of _____.

Notary Public:

My Commission expires:

ENGINEER'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observation and the data comprising this application, the Engineer certifies to the Owner that to the best of the Engineer's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED

(Attach explanation if amount certified differs from the the amount applied for. Initial all figures on this Application and on the Continuation Sheet that are changed to conform with the amount certified.)

ENGINEER:

By: _____ Date: 6/3/2025

This Certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

\$ 92,295.66



City of North Liberty, IA

Change Order Details

52-5557-623 (North Liberty Road Trail)

Description	TAP-U-5557(623)--8I-52, Letting Date- February 18, 2025
Prime Contractor	METRO PAVERS, INC.
Change Order	1
Status	Approved
Date Created	05/07/2025
Type	Non-Significant - Federal-aid Participating
Summary	CO 01 (ITC-01, ITC-02)
Change Order Description	<p>0060 - 2115-0100000 - INCREASE bid item quantity for "MODIFIED SUBBASE" (Quantity shall increase by 11.70 CY for a total of 403.40 CY).</p> <p>0120 - 2435-0250800 - DECREASE bid item quantity for "INTAKE, SW-508" (Quantity shall decrease by 1.00 EACH for a total of 1.00 EACH).</p> <p>0140 - 2435-0251218 - DECREASE bid item quantity for "INTAKE, SW-512, 18 IN." (Quantity shall decrease by 1.00 EACH for a total of 0.00 EACH).</p> <p>0150 - 2435-0251218 - INCREASE bid item quantity for "INTAKE, SW-512, 24 IN." (Quantity shall increase by 1.00 EACH for a total of 2.00 EACH).</p> <p>0190 - 2502-8221303 - INCREASE bid item quantity for "SUBDRAIN OUTLET, DR-303." (Quantity shall increase by 1.00 EACH for a total of 2.00 EACH).</p> <p>0210 - 2503-0114218 - DECREASE bid item quantity for "STORM SEWER GRAVITY MAIN, TRENCHED, REINFORCED CONCRETE PIPE (RCP), 2000D (CLASS III), 18 IN." (Quantity shall decrease by 106.00 LF for a total of 296.00 LF).</p> <p>0270 - 2511-0310100 - DECREASE bid item quantity for "SPECIAL COMPACTION OF SUBGRADE FOR RECREATIONAL TRAIL" (Quantity shall decrease by 0.70 STA for a total of 67.10 STA).</p> <p>8010 - 2435-0250700 - ADD bid item for "INTAKE, SW-507" (Quantity shall be 1.00 EACH).</p> <p>8020 - 2102-2710080 - ADD bid item for "EXCAVATION, CLASS 10, UNSUITABLE OR UNSTABLE MATERIAL" (Quantity shall be</p>

62.22CY).

8030 - 2210-0475290 - ADD bid item for "MACADAM STONE BASE" (Quantity shall be 110.00 TONS).

8040 - 2502-8221006 - ADD bid item for "SUBDRAIN RISER, 6 IN., AS PER PLAN" (Quantity shall be 1.00 EACH).

8050 - 2599-9999010 - Add bid item for "(LUMP SUM' ITEM) Modifications to Existing Storm Structure at Sta.70+79LT" (Quantity shall be 1.0 LS). Construction, materials and equipment used shall meet the requirements of Iowa DOT Standard Specifications 2435. Method of Measurement - Will not be measured separately for payment. Basis of Payment - Lump Sum. Payment shall be full compensation for furnishing all materials, equipment and labor to connect a 6" subdrain to the existing structure at Sta. 70+79LT.

8060 - 2502-8212036 - ADD bid item quantity for "SUBDRAIN, LONGITUDINAL, (SHOULDER) 6 IN. DIA." (Quantity shall be 635.00LF).

Awarded Project Amount \$1,082,258.81

Authorized Project Amount \$1,082,258.81

Change Order Amount \$11,977.20

Revised Project Amount \$1,094,236.01

B - Reason for change:

0060 - 2115-0100000 - "MODIFIED SUBBASE" - ITC-02 details the changes to a section of trail from Sta. 64+50 to Sta. 70+79 to address approximately 70 linear feet of poor soil conditions observed under the trail caused by runoff from the adjacent hillside. The trail in the area will be raised approximately 0.15' to create a ditch on the west side to capture and channel runoff from the hillside and send it south. The special compaction for recreational trail in 70 linear foot of unsuitable soil location will be replaced with a 6.00IN lift of modified subbase material that meets the requirements of Iowa DOT Section 2115.

0120 - 2435-0250800 - "INTAKE, SW-508" - ITC-01 details storm sewer modifications for the culvert piping under the driveway and sidewalk to the dog park. The curb intake was changed to a smaller box size, the area intake size and type were adjusted, and the storm sewer pipe extended to allow the light pole to be placed outside the bottom of the ditch on the north side. On the south side, constraints limited the extension of the culvert and therefore note has been added to adjust grading around the light pole location.

0140 - 2435-0251218 - "INTAKE, SW-512, 18 IN." - ITC-01 details storm sewer modifications for the culvert piping under the driveway and sidewalk to the dog park. The curb intake was changed to a smaller box size, the area intake size and type were adjusted, and the storm sewer pipe extended to allow the light pole to be placed outside the bottom of the ditch on the north side. On the south side, constraints limited the extension of the culvert and therefore note has been added to adjust grading around the light pole location.

0150 - 2435-0251218 - "INTAKE, SW-512, 24 IN." - ITC-01 details storm sewer modifications for the culvert piping under the driveway and sidewalk to the dog park. The curb intake was changed to a smaller box size, the area intake size and type were adjusted, and the storm sewer pipe extended to allow the light pole to be placed outside the bottom of the ditch on the north side. On the south side, constraints limited the extension of the culvert and therefore note has been added to adjust grading around the light pole location.

0190 - 2502-8221303 - "SUBDRAIN OUTLET, DR-303." - ITC-02 details the changes to a section of trail from Sta. 64+50 to Sta. 70+79 to address approximately 70 linear feet of poor soil conditions observed under the trail caused by runoff from the adjacent hillside. The trail in the area will be raised approximately 0.15' to create a ditch on the west side to capture and channel runoff from the hillside and send it south. A 6.00IN. subdrain cleanout riser will be installed per detail 1 on the U.01 sheet at Sta. 64+50RT and 635LF of 6.00IN. subdrain to be installed on along the west side of the trail to improve drainage of the hillside. Subdrain to outlet with a DR-303 in the existing structure at Sta. 70+79LT.

0210 - 2503-0114218 - "STORM SEWER GRAVITY MAIN, TRENCHED, REINFORCED CONCRETE PIPE (RCP), 2000D (CLASS III), 18 IN." - ITC-01 details storm sewer modifications for the culvert piping under the driveway and sidewalk to the dog park. The curb intake was changed to a smaller box size, the area intake size and type were adjusted, and the storm sewer pipe extended to allow the light pole to be placed outside the bottom of the ditch on the north side. On the south side, constraints limited the extension of the culvert and therefore note has been added to adjust grading around the light pole location.

0270 - 2511-0310100 - "SPECIAL COMPACTION OF SUBGRADE FOR RECREATIONAL TRAIL" - ITC-02 details the changes to a section of trail from Sta. 64+50 to Sta. 70+79 to address approximately 70 linear feet of poor soil conditions observed under the trail caused by runoff from the adjacent hillside. The trail in the area will be raised approximately 0.15' to create a ditch on the west side to capture and channel runoff from the hillside and send it south. The special compaction for recreational trail in 70 linear foot of unsuitable soil location will be replaced with a 6.00IN lift of modified subbase material that meets the requirements of Iowa DOT Section 2115.

8010 - 2435-0250700 - "INTAKE, SW-507" - ITC-01 details storm sewer modifications for the culvert piping under the driveway and sidewalk to the dog park. The curb intake was changed to a smaller box size, the area intake size and type were adjusted, and the storm sewer pipe extended to allow the light pole to be placed outside the bottom of the ditch on the north side. On the south side, constraints limited the extension of the culvert and therefore note has been added to adjust grading around the light pole location.

8020 - 2102-2710080 - "EXCAVATION, CLASS 10, UNSUITABLE OR UNSTABLE MATERIAL" - ITC-02 details the changes to a section of trail from Sta. 64+50 to Sta. 70+79 to address approximately 70 linear feet of poor soil conditions observed under the trail caused by runoff from the adjacent hillside. The trail in the area will be raised approximately 0.15' to create a ditch on the west side to capture and channel runoff from the hillside and send it south. Class 10 below grade excavation/waste limits will be identified by the onsite inspection team. Unsuitable soils are to be cored out, hauled off the jobsite and replaced with crushed stone base material that meets the requirements of Iowa DOT Section 2210/4122 to an elevation of -6.00IN. from the bottom of trail pavement.

8030 - 2210-0475290 - "MACADAM STONE BASE" - ITC-02 details the changes to a section of trail from Sta. 64+50 to Sta. 70+79 to address approximately 70 linear feet of poor soil conditions observed under the trail caused by runoff from the adjacent hillside. The trail in the area will be raised approximately 0.15' to create a ditch on the west side to capture and channel runoff from the hillside and send it south. Class 10 below grade excavation/waste limits will be identified by the onsite inspection team. Unsuitable soils are to be cored out, hauled off the jobsite and replaced with crushed stone base material that meets the requirements of Iowa DOT Section 2210/4122 to an elevation of -6.00IN. from the bottom of trail pavement.

8040 - 2502-8221006 - "SUBDRAIN RISER, 6 IN., AS PER PLAN" - ITC-02 details the changes to a section of trail from Sta. 64+50 to Sta. 70+79 to address approximately 70 linear feet of poor soil conditions observed under the trail caused by runoff from the adjacent hillside. The trail in the area will be raised approximately 0.15' to create a ditch on the west side to capture and channel runoff from the hillside and send it south. A 6.00IN. subdrain cleanout riser will be installed per detail 1 on the U.01 sheet at Sta. 64+50RT and

635LF of 6.00IN. subdrain to be installed on along the west side of the trail to improve drainage of the hillside. Subdrain to outlet with a DR-303 in the existing structure at Sta. 70+79LT.

8050 - 2599-9999010 - "(LUMP SUM' ITEM) Modifications to Existing Storm Structure at Sta.70+79LT" - ITC-02 details the changes to a section of trail from Sta. 64+50 to Sta. 70+79 to address approximately 70 linear feet of poor soil conditions observed under the trail caused by runoff from the adjacent hillside. The trail in the area will be raised approximately 0.15' to create a ditch on the west side to capture and channel runoff from the hillside and send it south. A 6.00IN. subdrain cleanout riser will be installed per detail 1 on the U.01 sheet at Sta. 64+50RT and 635LF of 6.00IN. subdrain to be installed on along the west side of the trail to improve drainage of the hillside. Subdrain to outlet with a DR-303 in the existing structure at Sta. 70+79LT. This structure will need to be cored, grouted, and backfilled to allow the installation of the DR-303.

8060 - 2502-8212036 - "SUBDRAIN, LONGITUDINAL, (SHOULDER) 6 IN. DIA." - ITC-02 details the changes to a section of trail from Sta. 64+50 to Sta. 70+79 to address approximately 70 linear feet of poor soil conditions observed under the trail caused by runoff from the adjacent hillside. The trail in the area will be raised approximately 0.15' to create a ditch on the west side to capture and channel runoff from the hillside and send it south. A 6.00IN. subdrain cleanout riser will be installed per detail 1 on the U.01 sheet at Sta. 64+50RT and 635LF of 6.00IN. subdrain to be installed on along the west side of the trail to improve drainage of the hillside. Subdrain to outlet with a DR-303 in the existing structure at Sta. 70+79LT.

C - Settlement for cost(s) of change as follows with items addressed in Sections F and/or G:

0060, 0120, 0140, 0150, 0190, 0210, 0270 - Contract Unit Prices

8010, 8020, 8030, 8040, 8060 - Agreed Unit Price

8050 - Agreed Lump Sum Price

D - Justification for cost(s) (See I.M. 6.000 Attachment D, Chapter 2.36, for acceptable justification):

0060, 0120, 0140, 0150, 0190, 0210, 0270 - Quantity changes at contract unit pricing.

8010 - An agreed upon unit price of \$5,475.00/EACH was established. The cost is below the average (\$7,090.11/EACH) bid prices noted on the Summary of Awarded Contract Unit Prices May 2024 to April 2025 for Item '2435-0250700' Justification for cost is considered reasonable due to the small project quantity, the materials, and the labor necessary to complete this work.

8020 - A specified unit price of \$15.00/CY was established. Justification for cost is per Standard General Specifications 2102.05.A.1.c.2 dated 10/15/2024.

8030 - An agreed unit price of \$45.00TON was established. This estimate is within 10% of the average (\$42.75/TON) listed for the low bidders on the May 2024 to April 2025 BidEx Bid Tab Analysis for 2210-0475290 for quantities between 100.00 TONS and 150.00 TONS. Justification for cost is considered reasonable based on the materials, labor

necessary to complete this work, and the Bid Tab Analysis on Bid Express. Contractor's estimate was based on an email dated 05/29/2023 plus the 10% prime mark-up totaling \$49.50/TON.

8040 - An agreed unit price of \$700/EACH was established. This estimate is within 1% of the average (\$693.89/EACH) low bids listed on the May 2024 to April 2025 BidEx Bid Tab Analysis for 2502-8221006. Justification for cost is considered reasonable based on the added scope to the project, small quantities, materials, labor necessary to complete this work, and the Bid Tab Analysis on Bid Express. Contractor's estimate was based on an email dated 05/29/2023 plus the 10% prime mark-up totaling \$770.00/EACH.

8050 - An agreed upon lump sum price of \$300.00 was established. The Due to the minimal bid history and small quantity on this project the justification of cost is considered reasonable based on the labor, materials, and equipment needed to complete the work. Contractor's estimate was based on an email dated 05/29/2023 plus the 10% prime mark-up totaling in a LUMP SUM of \$330.00.

8060 - An agreed unit price of \$20.00/LF was established. Due to the change in scope, the small quantity on this project, and Bid Item 0180's Unit Pricing the justification of cost is considered reasonable based on the labor, materials, and equipment needed to complete the work. Contractor's estimate was based on an email dated 05/29/2023 plus the 10% prime mark-up totaling \$22.00/LF.

E - Contract time adjustment:

New completion date of 08/20/2025. The changes/additions identified in ITC-02 will require 5.0 additional calendar days to the completion date of 08/15/2025.

Increases/Decreases

Line Number	Item ID	Unit	Unit Price	Current		Change		Revised	
				Quantity	Amount	Quantity	Amount	Quantity	Amount
Section: 0001 - TAP-U-5557(623)--8I-52, TRAIL ITEMS									
0060	2115-0100000	CY	\$55.500	391.700	\$21,739.35	11.700	\$649.35	403.400	\$22,388.70
MODIFIED SUBBASE									
			Funding Details						
		52-5557-623-CAT-1 PARTICIPATING		391.700	\$21,739.35	11.700	\$649.35	403.400	\$22,388.70

Line Number	Item ID	Unit	Unit Price	Current		Change		Revised	
				Quantity	Amount	Quantity	Amount	Quantity	Amount
			52-5557-623-CAT-2 NON-PARTICIPATING	0.000	\$0.00	0.000	\$0.00	0.000	\$0.00
0120	2435-0250800	EACH	\$5,475.000	2.000	\$10,950.00	-1.000	-\$5,475.00	1.000	\$5,475.00
INTAKE, SW-508									
			Funding Details						
			52-5557-623-CAT-1 PARTICIPATING	2.000	\$10,950.00	-1.000	-\$5,475.00	1.000	\$5,475.00
			52-5557-623-CAT-2 NON-PARTICIPATING	0.000	\$0.00	0.000	\$0.00	0.000	\$0.00
0140	2435-0251218	EACH	\$3,700.000	1.000	\$3,700.00	-1.000	-\$3,700.00	0.000	\$0.00
INTAKE, SW-512, 18 IN.									
			Funding Details						
			52-5557-623-CAT-1 PARTICIPATING	1.000	\$3,700.00	-1.000	-\$3,700.00	0.000	\$0.00
			52-5557-623-CAT-2 NON-PARTICIPATING	0.000	\$0.00	0.000	\$0.00	0.000	\$0.00
0150	2435-0251224	EACH	\$2,475.000	1.000	\$2,475.00	1.000	\$2,475.00	2.000	\$4,950.00
INTAKE, SW-512, 24 IN.									
			Funding Details						
			52-5557-623-CAT-1 PARTICIPATING	1.000	\$2,475.00	1.000	\$2,475.00	2.000	\$4,950.00
			52-5557-623-CAT-2 NON-PARTICIPATING	0.000	\$0.00	0.000	\$0.00	0.000	\$0.00
0190	2502-8221303	EACH	\$300.000	1.000	\$300.00	1.000	\$300.00	2.000	\$600.00
SUBDRAIN OUTLET, DR-303									
			Funding Details						
			52-5557-623-CAT-1 PARTICIPATING	1.000	\$300.00	1.000	\$300.00	2.000	\$600.00
			52-5557-623-CAT-2 NON-PARTICIPATING	0.000	\$0.00	0.000	\$0.00	0.000	\$0.00

Line Number	Item ID	Unit	Unit Price	Current		Change		Revised	
				Quantity	Amount	Quantity	Amount	Quantity	Amount
0210	2503-0114218	LF	\$86.000	402.000	\$34,572.00	-106.000	-\$9,116.00	296.000	\$25,456.00
STORM SEWER GRAVITY MAIN, TRENCHED, REINFORCED CONCRETE PIPE (RCP), 2000D (CLASS III), 18 IN.									
				Funding Details					
52-5557-623-CAT-1 PARTICIPATING				402.000	\$34,572.00	-106.000	-\$9,116.00	296.000	\$25,456.00
52-5557-623-CAT-2 NON-PARTICIPATING				0.000	\$0.00	0.000	\$0.00	0.000	\$0.00
0270	2511-0310100	STA	\$113.500	67.800	\$7,695.30	-0.700	-\$79.45	67.100	\$7,615.85
SPECIAL COMPACTION OF SUBGRADE FOR RECREATIONAL TRAIL									
				Funding Details					
52-5557-623-CAT-1 PARTICIPATING				67.800	\$7,695.30	-0.700	-\$79.45	67.100	\$7,615.85
52-5557-623-CAT-2 NON-PARTICIPATING				0.000	\$0.00	0.000	\$0.00	0.000	\$0.00
7 items			Totals		\$81,431.65		-\$14,946.10		\$66,485.55

New Items

Line Number	Item ID	Unit	Quantity	Unit Price	Extension
Section: 0001 - TAP-U-5557(623)--8I-52, TRAIL ITEMS					
8010	2435-0250700	EACH	1.000	\$5,475.000	\$5,475.00
INTAKE, SW-507		Funding Details			
52-5557-623-CAT-1 PARTICIPATING			1.000	\$5,475.000	\$5,475.00
8020	2102-2710080	CY	62.220	\$15.000	\$933.30

Line Number	Item ID	Unit	Quantity	Unit Price	Extension
EXCAVATION, CLASS 10, UNSUITABLE OR UNSTABLE MATERIAL					
		Funding Details			
		52-5557-623-CAT-1 PARTICIPATING	62.220	\$15.000	\$933.30
8030	2210-0475290	TON	110.000	\$49.500	\$5,445.00
MACADAM STONE BASE					
		Funding Details			
		52-5557-623-CAT-1 PARTICIPATING	110.000	\$49.500	\$5,445.00
8040	2502-8221006	EACH	1.000	\$770.000	\$770.00
SUBDRAIN RISER, 6 IN., AS PER PLAN					
		Funding Details			
		52-5557-623-CAT-1 PARTICIPATING	1.000	\$770.000	\$770.00
8050	2599-9999010	LS	330.000	\$1.000	\$330.00
('LUMP SUM' ITEM): Modifications to Existing Storm Structure at Sta.70+79LT					
		Funding Details			
		52-5557-623-CAT-1 PARTICIPATING	330.000	\$1.000	\$330.00
8060	2502-8212036	LF	635.000	\$22.000	\$13,970.00
SUBDRAIN, LONGITUDINAL, (SHOULDER) 6 IN. DIA.					
		Funding Details			
		52-5557-623-CAT-1 PARTICIPATING	635.000	\$22.000	\$13,970.00
6 items					Total: \$26,923.30

Funding Summary

Fund Package	Original Amount	Authorized Amount	Authorized Change	Revised Amount
52-5557-623-CAT-1 PARTICIPATING	\$1,082,258.81	\$1,082,258.81	\$11,977.20	\$1,094,236.01
52-5557-623-CAT-2 NON-PARTICIPATING	\$0.00	\$0.00	\$0.00	\$0.00
2 fund packages	\$1,082,258.81	\$1,082,258.81	\$11,977.20	\$1,094,236.01

Time Limit Changes

Type	Original Deadline	Current Deadline	Authorized Extension	Authorized Deadline
Completion Date	08/15/2025	08/15/2025	5.0 Days	08/20/2025
Completion Date, Liquidated Damage Rate - 1,000				
1 time limit				

Project: TAP-U-5557(623)--8I-52 Letting: 02/18/2025

Contractor:

Metro Pavers, Inc.

Signature: _____

Title: _____

Date: _____

Owner:

City of North Liberty, Iowa

Signature: _____

Title: _____

Date: _____

Doc Express® Document Signing History

Contract: 52-5557-623 Document: CO 01

This document is in the process of being signed by all required signatories using the Doc Express® service. Following are the signatures that have occurred so far.

Date	Signed By
05/30/2025	Natasha Thomson METRO PAVERS INC Electronic Signature (Approved by Contractor)
05/30/2025	Josiah Bilskemper Shive-Hattery, Inc Electronic Signature (Recommended by Engineer / Approved)
	(Approved by PIRC (when applicable))
	(Approved by Administering Bureau or designee)
	(Approved by FHWA (when applicable))



Local Option Sales Tax



To **North Liberty Mayor & City Council**
From **City Administrator Ryan Heiar**
Date **June 3, 2025**
Re **Local Option Sales Tax**

Background

In recent months, the Greater Iowa City (GIC) leadership team has had conversations with their board, membership, and the City Councils and staff at Iowa City, Coralville and North Liberty about the idea of implementing a local option sales tax (LOST). Understanding the financial pressure being placed on the local governments as a result of state-imposed revenue restrictions, higher costs for labor and commodities and additional requests from the social service sector as federal grants evaporate, GIC is willing to support cities in a LOST referendum, should the respective City Councils desire to proceed. In an effort to gain support for a sales tax referendum and encourage regional collaboration, GIC is suggesting that 20% of the revenues collected be allocated to housing initiatives throughout the county. As proposed by GIC, the ballot language would read: *20% of such revenues shall be used for programs and initiatives that increase housing supply and access, including, but not limited to, affordable housing funding, workforce housing gap support, neighborhood reinvestment programs, shelter supports, home improvement/renovation grants, rental rehabilitation, and other housing projects designated by City Council.*

History

North Liberty has previously asked residents to consider a LOST, once in 2009 and the other in 2014. In both instances, the measure failed. Interestingly, with identical margins.

Year	Ballot Language	Yes		No	
		Votes	%	Votes	%
2009	0% for Property Tax Relief; and 100% for the construction and improvement of City streets, including but not limited to Highway 965.	290	39%	451	61%
2014	0% for Property Tax Relief; and 50% to Street Projects, 40% to Water and Wastewater Utilities, and 10% to Parks.	2156	39%	3361	61%

Revenue Projections

The local option sales tax formula is complicated to say the least. It uses data points from the 1980's as well as the most recent census data and divides the revenues throughout the county to municipalities who have enacted the tax. In other words, it is not as simple

as a city collecting what it generates in revenues. The attached documents further explain the distribution formula and offer four scenarios projecting revenues based on which cities approve the tax.

Scenario One: North Liberty; annual revenue = **\$1.71 million**

Scenario Two: North Liberty and Iowa City; annual revenue = **\$1.97 million**

Scenario Three: North Liberty and Coralville; annual revenue = **\$3.89 million**

Scenario Four: North Liberty, Iowa City and Coralville; annual revenue = **\$2.81 million**

LOST Allocation

Since the last LOST election in North Liberty (2014), Iowa Code Section 423B – *Local Option Taxes* – has been amended to limit a municipality's options for allocating these tax dollars. Specifically, cities are now required to allocate 50% of the sales tax generated for property tax relief. Cities across the state have accomplished this in various ways, including buying down tax levies so that residents see an immediate impact or by avoiding future tax increases by using money to fund capital projects that might otherwise require borrowing.

If the City Council is amenable to the idea of a local option sales tax, staff believe the best use of these funds would be for capital projects and/or other one-time expenses. The most recently approved 5-year Capital Improvements Plan (CIP) has a total budget of nearly \$78 million, with \$46 million proposed to be borrowed.

Fiscal Year	Community Center	Fire	Parks	Police	Storm Water	Streets	Wastewater	Water	Total
26	\$951,000	\$15,030,000	\$3,924,000	\$135,000	\$25,000	\$10,075,000	\$869,500	\$305,000	\$31,314,500
27	\$1,100,800	\$90,000	\$1,262,500	\$287,500	\$25,000	\$19,040,000	\$3,040,000	\$3,330,000	\$28,175,800
28	\$973,000	\$1,000,000	\$1,101,230	\$155,000	\$322,400	\$3,928,000	\$408,000	\$305,000	\$8,192,630
29	\$575,000	\$100,000	\$1,011,450	\$328,000	\$150,000	\$1,900,000	\$740,000	\$256,000	\$5,060,450
30	\$175,000	\$1,000,000	\$897,200	\$135,000	\$-	\$2,320,000	\$420,000	\$290,000	\$5,237,200
	\$3,774,800	\$17,220,000	\$8,196,380	\$1,040,500	\$522,400	\$37,263,000	\$5,477,500	\$4,486,000	\$77,980,580

Projects in the CIP include a new fire station, multiple large fire trucks, upgrades to an aging community center, street network improvements, trail enhancements, future phases of Centennial Park Next Stage and more.

Allocating 80% of the most conservative revenue projection (\$1.71 million x 80% = \$1.368 million), which assumes 20% of the revenues being directed towards regional housing efforts, would significantly reduce the City's debt service levy resulting in savings for property owners. The chart below shows a 10-year forecast of the debt service levy rates with and without a LOST subsidy.

Fiscal Year	Tax Valuation	Anticipated Debt Service Payments	Potential LOST Revenue	Tax Rate w/o LOST	Tax Rate w/ LOST	Debt Service Avoidance	Residential Tax Relief*
2027	\$ 1,423,361,656	\$ 2,231,205	\$1,368,000	\$ 1.57	\$ 0.61	\$ 0.96	\$ 136.76
2028	\$ 1,466,062,506	\$ 2,329,881	\$1,395,360	\$ 1.59	\$ 0.64	\$ 0.95	\$ 135.43
2029	\$ 1,510,044,382	\$ 3,121,980	\$1,423,267	\$ 2.07	\$ 1.12	\$ 0.94	\$ 134.11
2030	\$ 1,555,345,713	\$ 3,852,707	\$1,451,733	\$ 2.48	\$ 1.54	\$ 0.93	\$ 132.81
2031	\$ 1,602,006,084	\$ 4,043,568	\$1,480,767	\$ 2.52	\$ 1.60	\$ 0.92	\$ 131.52
2032	\$ 1,650,066,267	\$ 4,109,647	\$1,510,383	\$ 2.49	\$ 1.58	\$ 0.92	\$ 130.24
2033	\$ 1,699,568,255	\$ 3,636,515	\$1,540,590	\$ 2.14	\$ 1.23	\$ 0.91	\$ 128.98
2034	\$ 1,750,555,303	\$ 3,635,051	\$1,571,402	\$ 2.08	\$ 1.18	\$ 0.90	\$ 127.73
2035	\$ 1,803,071,962	\$ 3,642,862	\$1,602,830	\$ 2.02	\$ 1.13	\$ 0.89	\$ 126.49
2036	\$ 1,857,164,120	\$ 3,631,208	\$1,634,887	\$ 1.96	\$ 1.07	\$ 0.88	\$ 125.26

*Annual property tax reduction for the median home value of \$300,000 in North Liberty

Next Steps

GIC is requesting the City Councils of North Liberty, Iowa City and Coralville consider proceeding with a local option sales tax at the November 2025 election. If this City Council would like to proceed, the following questions need to be answered:

1. Is the City Council interested in participating in funding housing initiatives at a regional level by allocating 20% of LOST revenue to the cause?
2. How would the City Council like to assign the remaining 30% of the funds, after 50% is designated for property tax relief? And how should the 50% of property tax relief funds be allocated?

From a timing perspective, the City would need to give notice to the County Auditor of its intention to hold a referendum not later than September 19. GIC is seeking direction much sooner so that they can assist to inform the community on these public measures.

This memo is not meant to be an all-encompassing reference document on the local option sales tax. There is a great deal of information about the local option sale tax available on the Department of Revenue website. More specifically, the DOR has a helpful Q&A [link](#) that provides expansive information.

If you have any questions or need additional information, please do not hesitate to contact me.

Scenario One: City of North Liberty

Name	Certified 2020 Census	TOTAL LEVIES	Effective	3-Year Property Tax Levies	Percent Of Levy	Certified 2020 Census Population	Percent Of Population	Distribution Percentage	Total Taxable Sales Rounded (2024)	1% Sales for Jurisdictions w/ LOST	Potential LOST Income
Iowa City	74,828	28,777,766	No		0.00%		0.00%	0.00%	\$ 1,013,419,618	\$ -	\$ -
Coralville	22,318	4,482,525	No		0.00%		0.00%	0.00%	\$ 949,175,087	\$ -	\$ -
Lone Tree	1,357	327,132	Yes	327,132	13.74%	1,357	4.18%	6.57%	\$ 4,672,108	\$ 46,721	\$ 201,400
Oxford	722	198,658	No		0.00%		0.00%	0.00%	\$ 11,589,511	\$ -	\$ -
Solon	3,018	365,128	Yes	365,128	15.33%	3,018	9.29%	10.80%	\$ 51,177,449	\$ 511,774	\$ 331,300
University Heights	1,228	319,167	Yes	319,167	13.40%	1,228	3.78%	6.19%	\$ -	\$ -	\$ 189,700
Hills	863	215,103	Yes	215,103	9.03%	863	2.66%	4.25%	\$ 6,189,246	\$ 61,892	\$ 130,400
North Liberty	20,479	810,739	Yes	810,739	34.04%	20,479	63.07%	55.81%	\$ 188,218,939	\$ 1,882,189	\$ 1,711,600
Swisher	914	206,407	Yes	206,407	8.67%	914	2.81%	4.28%	\$ 15,523,203	\$ 155,232	\$ 131,200
Tiffin	4,512	137,914	Yes	137,914	5.79%	4,512	13.90%	11.87%	\$ 40,897,677	\$ 408,977	\$ 364,000
Shueyville	731	56,809	No		0.00%		0.00%	0.00%	\$ -	\$ -	\$ -
West Branch (Johnson County)	100	0	Yes	0	0.00%	100	0.31%	0.23%	\$ -	\$ -	\$ 7,100
Unincorporated	21,784	29,250,370	No		0.00%		0.00%	0.00%	\$ 25,344,070	\$ -	\$ -
Total Johnson Co.	152,854	65,147,718		2,381,590	100.00%	32,471	100.00%	100.00%			
									\$ 2,306,206,909	\$ 3,066,786	\$ 3,066,700

(from Quarterly Retail Sales Data - note Coralville is an estimate as it's missing data)
https://data.iowa.gov/Taxes-Tax-Credits/Quarterly-Retail-Sales-Tax-Data-by-County-and-City/55fz-vque/data_preview

The table above outlines projected revenue from a 1% Local Option Sales Tax (LOST) if enacted solely in the City of North Liberty. Based on available 2024 taxable sales data, the City of North Liberty would generate an estimated \$1,711,600 in LOST revenue annually. This estimate assumes North Liberty adopts LOST independently of other jurisdictions in Johnson County. North Liberty comprises 63.07% of the population within the distribution area and accounts for 55.81% of the distribution percentage under the current allocation formula, which is based 75% on population and 25% on property tax levies. These projections are based on available sales data.

The Potential LOST Income amount that is highlighted Green in the last column, is calculated by taking the highlighted amount of \$3,066,786 and multiplying it by the highlighted 55.81%.

Highlighted Green Cells:

Distribution Percentage (55.81%) – This represents North Liberty’s share of the overall LOST distribution formula, calculated based on 75% population and 25% property tax levies within Johnson County.

\$3,066,786 – This is the estimated number of taxable sales within all jurisdictions that currently have implemented LOST, including North Liberty in this example.

\$1,711,600 – This is the projected annual LOST revenue North Liberty would receive based on its distribution percentage and 1% of its own taxable sales, assuming it is the only additional jurisdiction implementing LOST.

Scenario Two: City of North Liberty and City of Iowa City

Name	Certified 2020 Census	TOTAL LEVIES	Effective	3-Year Property Tax Levies	Percent Of Levy	Certified 2020 Census Population	Percent Of Population	Distribution Percentage	Total Taxable Sales Rounded (2024)	1% Sales for Jurisdictions w/ LOST	Potential LOST Income
Iowa City	74,828	28,777,766	Yes	28,777,766	92.36%	74,828	69.74%	75.39%	\$ 1,013,419,618	\$ 10,134,196	\$ 9,952,600
Coralville	22,318	4,482,525	No		0.00%		0.00%	0.00%	\$ 949,175,087	\$ -	\$ -
Lone Tree	1,357	327,132	Yes	327,132	1.05%	1,357	1.26%	1.21%	\$ 4,672,108	\$ 46,721	\$ 159,900
Oxford	722	198,658	No		0.00%		0.00%	0.00%	\$ 11,589,511	\$ -	\$ -
Solon	3,018	365,128	Yes	365,128	1.17%	3,018	2.81%	2.40%	\$ 51,177,449	\$ 511,774	\$ 317,200
University Heights	1,228	319,167	Yes	319,167	1.02%	1,228	1.14%	1.11%	\$ -	\$ -	\$ 147,100
Hills	863	215,103	Yes	215,103	0.69%	863	0.80%	0.78%	\$ 6,189,246	\$ 61,892	\$ 102,400
North Liberty	20,479	810,739	Yes	810,739	2.60%	20,479	19.09%	14.96%	\$ 188,218,939	\$ 1,882,189	\$ 1,975,500
Swisher	914	206,407	Yes	206,407	0.66%	914	0.85%	0.80%	\$ 15,523,203	\$ 155,232	\$ 106,200
Tiffin	4,512	137,914	Yes	137,914	0.44%	4,512	4.21%	3.26%	\$ 40,897,677	\$ 408,977	\$ 430,900
Shueyville	731	56,809	No		0.00%		0.00%	0.00%	\$ -	\$ -	\$ -
West Branch (Johnson County)	100	0	Yes	0	0.00%	100	0.09%	0.07%	\$ -	\$ -	\$ 9,200
Unincorporated	21,784	29,250,370	No		0.00%		0.00%	0.00%	\$ 25,344,070	\$ -	\$ -
Total Johnson Co.	152,854	65,147,718		31,159,356	100.00%	107,299	100.00%	100.00%			
									\$ 2,306,206,909	\$ 13,200,982	\$ 13,201,000

(from Quarterly Retail Sales Data - note Coralville is an estimate as it's missing data)
https://data.iowa.gov/Taxes-Tax-Credits/Quarterly-Retail-Sales-Tax-Data-by-County-and-City/55fz-vque/data_preview

The table above outlines projected revenue from a 1% Local Option Sales Tax (LOST) if enacted in the City of North Liberty and the City of Iowa City. Based on available 2024 taxable sales data, the City of North Liberty would generate an estimated \$1,975,500 in LOST revenue annually. North Liberty comprises 19.09% of the population within the distribution area and accounts for 14.96% of the distribution percentage under the current allocation formula, which is based 75% on population and 25% on property tax levies. These projections are based on available sales data.

The Potential LOST Income amount that is highlighted Green in the last column, is calculated by taking the highlighted amount of \$13,200,982 and multiplying it by the highlighted 14.96%. While the distribution percentage for the city is significantly lower, the total amount of sales dollars generated by jurisdictions with LOST is significantly greater.

Highlighted Green Cells:

Distribution Percentage (14.96%) – This represents North Liberty’s share of the overall LOST distribution formula, calculated based on 75% population and 25% property tax levies within Johnson County.

\$13,200,982 – This is the estimated number of taxable sales within all jurisdictions that currently have implemented LOST, including North Liberty and Iowa City in this example.

\$1,975,500 – This is the projected annual LOST revenue North Liberty would receive based on its distribution percentage and 1% of its own taxable sales, assuming North Liberty and Iowa City both implement it.

Scenario Three: City of North Liberty and City of Coralville

Name	Certified 2020 Census	TOTAL LEVIES	Effective	3-Year Property Tax Levies	Percent Of Levy	Certified 2020 Census Population	Percent Of Population	Distribution Percentage	Total Taxable Sales Rounded (2024)	1% Sales for Jurisdictions w/ LOST	Potential LOST Income
Iowa City	74,828	28,777,766	No		0.00%		0.00%	0.00%	\$ 1,013,419,618	\$ -	\$ -
Coralville	22,318	4,482,525	Yes	4,482,525	65.30%	22,318	40.73%	46.88%	\$ 949,175,087	\$ 9,491,751	\$ 5,887,000
Lone Tree	1,357	327,132	Yes	327,132	4.77%	1,357	2.48%	3.05%	\$ 4,672,108	\$ 46,721	\$ 382,900
Oxford	722	198,658	No		0.00%		0.00%	0.00%	\$ 11,589,511	\$ -	\$ -
Solon	3,018	365,128	Yes	365,128	5.32%	3,018	5.51%	5.46%	\$ 51,177,449	\$ 511,774	\$ 685,800
University Heights	1,228	319,167	Yes	319,167	4.65%	1,228	2.24%	2.84%	\$ -	\$ -	\$ 357,100
Hills	863	215,103	Yes	215,103	3.13%	863	1.58%	1.96%	\$ 6,189,246	\$ 61,892	\$ 246,700
North Liberty	20,479	810,739	Yes	810,739	11.81%	20,479	37.38%	30.99%	\$ 188,218,939	\$ 1,882,189	\$ 3,891,400
Swisher	914	206,407	Yes	206,407	3.01%	914	1.67%	2.00%	\$ 15,523,203	\$ 155,232	\$ 251,500
Tiffin	4,512	137,914	Yes	137,914	2.01%	4,512	8.24%	6.68%	\$ 40,897,677	\$ 408,977	\$ 838,700
Shueyville	731	56,809	No		0.00%		0.00%	0.00%	\$ -	\$ -	\$ -
West Branch (Johnson County)	100	0	Yes	0	0.00%	100	0.18%	0.14%	\$ -	\$ -	\$ 17,200
Unincorporated	21,784	29,250,370	No		0.00%		0.00%	0.00%	\$ 25,344,070	\$ -	\$ -
Total Johnson Co.	152,854	65,147,718		6,864,115	100.00%	54,789	100.00%	100.00%			
									\$ 2,306,206,909	\$ 12,558,537	\$ 12,558,300

(from Quarterly Retail Sales Data - note Coralville is an estimate as it's missing data)
https://data.iowa.gov/Taxes-Tax-Credits/Quarterly-Retail-Sales-Tax-Data-by-County-and-City/55fz-vque/data_preview

The table above outlines projected revenue from a 1% Local Option Sales Tax (LOST) if enacted in the City of North Liberty and the City of Coralville. Based on available 2024 taxable sales data, the City of North Liberty would generate an estimated \$3,891,400 in LOST revenue annually. North Liberty comprises 37.38% of the population within the distribution area and accounts for 30.99% of the distribution percentage under the current allocation formula, which is based 75% on population and 25% on property tax levies. These projections are based on available sales data.

The Potential LOST Income amount that is highlighted Green in the last column, is calculated by taking the highlighted amount of \$12,558,537 and multiplying it by the highlighted 30.99%. In this scenario, the large increase in potential LOST income for the City of North Liberty is because while Coralville generates a great amount of the total taxable sales within the county, its population is considerably lower than the City of Iowa City. This gives the City of North Liberty the ability to maintain a larger percentage of the distribution.

Highlighted Green Cells:

Distribution Percentage (30.99%) – This represents North Liberty’s share of the overall LOST distribution formula, calculated based on 75% population and 25% property tax levies within Johnson County.

\$12,558,537 – This is the estimated number of taxable sales within all jurisdictions that currently have implemented LOST, including North Liberty and Coralville in this example.

\$3,891,400 – This is the projected annual LOST revenue North Liberty would receive based on its distribution percentage and 1% of its own taxable sales, assuming North Liberty and Coralville both implement it.

Scenario Four: City of North Liberty/City of Iowa City/City of Coralville

Name	Certified 2020 Census	TOTAL LEVIES	Effective	3-Year Property Tax Levies	Percent Of Levy	Certified 2020 Census Population	Percent Of Population	Distribution Percentage	Total Taxable Sales Rounded (2024)	1% Sales for Jurisdictions w/ LOST	Potential LOST Income
Iowa City	74,828	28,777,766	Yes	28,777,766	80.74%	74,828	57.73%	63.48%	\$ 1,013,419,618	\$ 10,134,196	\$ 14,406,000
Coralville	22,318	4,482,525	Yes	4,482,525	12.58%	22,318	17.22%	16.06%	\$ 949,175,087	\$ 9,491,751	\$ 3,644,000
Lone Tree	1,357	327,132	Yes	327,132	0.92%	1,357	1.05%	1.01%	\$ 4,672,108	\$ 46,721	\$ 230,300
Oxford	722	198,658	No		0.00%		0.00%	0.00%	\$ 11,589,511	\$ -	\$ -
Solon	3,018	365,128	Yes	365,128	1.02%	3,018	2.33%	2.00%	\$ 51,177,449	\$ 511,774	\$ 454,400
University Heights	1,228	319,167	Yes	319,167	0.90%	1,228	0.95%	0.93%	\$ -	\$ -	\$ 212,000
Hills	863	215,103	Yes	215,103	0.60%	863	0.67%	0.65%	\$ 6,189,246	\$ 61,892	\$ 147,600
North Liberty	20,479	810,739	Yes	810,739	2.27%	20,479	15.80%	12.42%	\$ 188,218,939	\$ 1,882,189	\$ 2,818,100
Swisher	914	206,407	Yes	206,407	0.58%	914	0.71%	0.67%	\$ 15,523,203	\$ 155,232	\$ 152,900
Tiffin	4,512	137,914	Yes	137,914	0.39%	4,512	3.48%	2.71%	\$ 40,897,677	\$ 408,977	\$ 614,400
Shueyville	731	56,809	No		0.00%		0.00%	0.00%	\$ -	\$ -	\$ -
West Branch (Johnson County)	100	0	Yes	0	0.00%	100	0.08%	0.06%	\$ -	\$ -	\$ 13,100
Unincorporated	21,784	29,250,370	No		0.00%		0.00%	0.00%	\$ 25,344,070	\$ -	\$ -
Total Johnson Co.	152,854	65,147,718		35,641,881	100.00%	129,617	100.00%	100.00%			
									\$ 2,306,206,909	\$ 22,692,733	\$ 22,692,800

(from Quarterly Retail Sales Data - note Coralville is an estimate as it's missing data)
https://data.iowa.gov/Taxes-Tax-Credits/Quarterly-Retail-Sales-Tax-Data-by-County-and-City/55fz-vque/data_preview

The table above outlines projected revenue from a 1% Local Option Sales Tax (LOST) if enacted in the City of North Liberty, the City of Iowa City and the City of Coralville. Based on available 2024 taxable sales data, the City of North Liberty would generate an estimated \$2,818,100 in LOST revenue annually. North Liberty comprises 15.80% of the population within the distribution area and accounts for 12.42% of the distribution percentage under the current allocation formula, which is based 75% on population and 25% on property tax levies. These projections are based on available sales data.

The Potential LOST Income amount that is highlighted Green in the last column, is calculated by taking the highlighted amount of \$22,692,733 and multiplying it by the highlighted 12.42%.

Highlighted Green Cells:

Distribution Percentage (12.42%) – This represents North Liberty’s share of the overall LOST distribution formula, calculated based on 75% population and 25% property tax levies within Johnson County.

\$22,692,733 – This is the estimated number of taxable sales within all jurisdictions that currently have implemented LOST, including North Liberty, Iowa City and Coralville in this example.

\$2,818,100 – This is the projected annual LOST revenue North Liberty would receive based on its distribution percentage and 1% of its own taxable sales, assuming North Liberty, Iowa City and Coralville all implement it.



Greater Iowa City ARPA Small Business Assistance Program

Scope of Services
North Liberty Targeted Economic Development Program

Purpose

This program drives economic growth in North Liberty, by prioritizing locally-owned and operated small-business support. Through targeted financial assistance, streamlined processes, and strategic incentives, the program aims to attract businesses, enhance tenant spaces, and support workforce development. Funds may be used for any of the following:

Key Program Elements

1. Business Support:

- **Tenant Improvement Support:** Up to \$10,000 in matching grant assistance for façade and internal renovations and build-outs that prepare commercial spaces for new or expanding locally-owned and operated businesses, encouraging long-term tenancy. Grantees must match every \$1.00 granted with \$0.50 expended for a 50% cash match. These grants will support one-time costs related to improvements such as affixed fixtures, façade renovations (including affixed signs), and related professional services.
- **Home-based Business Upgrade Support:** Rent, up to \$10,000 through Dec. 31, 2026, to grow and relocate a home-based business to the North Liberty Co-lab.
- **Business Mentoring and Support:** Businesses awarded funding through this program will participate in at least 10 hours of education and support provided by Greater Iowa City, Inc. at the Business Resource Center, including drop-in support at MERGE or another location, within 6 months of the award.

2. Annual Reporting and Accountability

- **Progress Updates:** Commit to meeting with the City of North Liberty as requested to present progress reports on program outcomes, including opportunities, challenges, new business growth, grant usage, and workforce impact. Provide written reports as requested by City staff.
- **Data Transparency:** Share key metrics, success stories, and areas for improvement to ensure the program remains effective and aligned with community needs.

Implementation Strategy

- **Greater Iowa City, Inc.** commits to completing this work collaboratively with city staff, local business representatives, and other community stakeholders to oversee program implementation and ensure alignment with city goals.

- **Outreach and Promotion:** Conduct targeted marketing to attract new businesses and support existing ones, emphasizing the financial benefits and incentives available.

Program Outcomes

- Increased business attraction and retention in North Liberty.
- Enhanced business readiness through improved tenant spaces.
- Expansion of home-grown small business through incentives to move outside of residential zones.
- Connection of small businesses to resources, support and mentorship.
- Responsible and successful growth for existing North Liberty businesses.
- Demonstrated accountability and community impact through regular progress reporting to the City .

This program reinforces North Liberty's commitment to fostering a dynamic business environment and supporting economic development for long-term success.



Hyper Energy Bar Site Plan



June 3, 2025

Chris Hoffman, Mayor
City of North Liberty
360 North Main Street
North Liberty IA 52317

Re: Request of Hyper Energy Bar LLC to approve a Preliminary Site Plan for a 1,000 square foot commercial building with drive throughs and related infrastructure on approximately .73 acres. The property is located at the northeast corner of Ranshaw Way and Sara Court.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its June 3, 2025 meeting. The Planning Commission took the following action:

Finding:

1. The preliminary site plan would achieve consistency with the approval standards enumerated in Section 165.05(2)(E) of the Zoning Code.

Recommendation:

The Planning Commission accepted the listed finding and forwards the request of 1,000 square foot commercial building with drive throughs and related infrastructure on approximately .73 acres to the City Council with a recommendation for approval.

The vote for approval was 6-0.

Amy Yotty, Chairperson
City of North Liberty Planning Commission



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **May 30, 2025**
Re **Request of Hyper Energy Bar LLC to approve a Preliminary Site Plan for a 1,000 square foot commercial building with drive throughs and related infrastructure on approximately .73 acres. The property is located at the northeast corner of Ranshaw Way and Sara Court.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo.

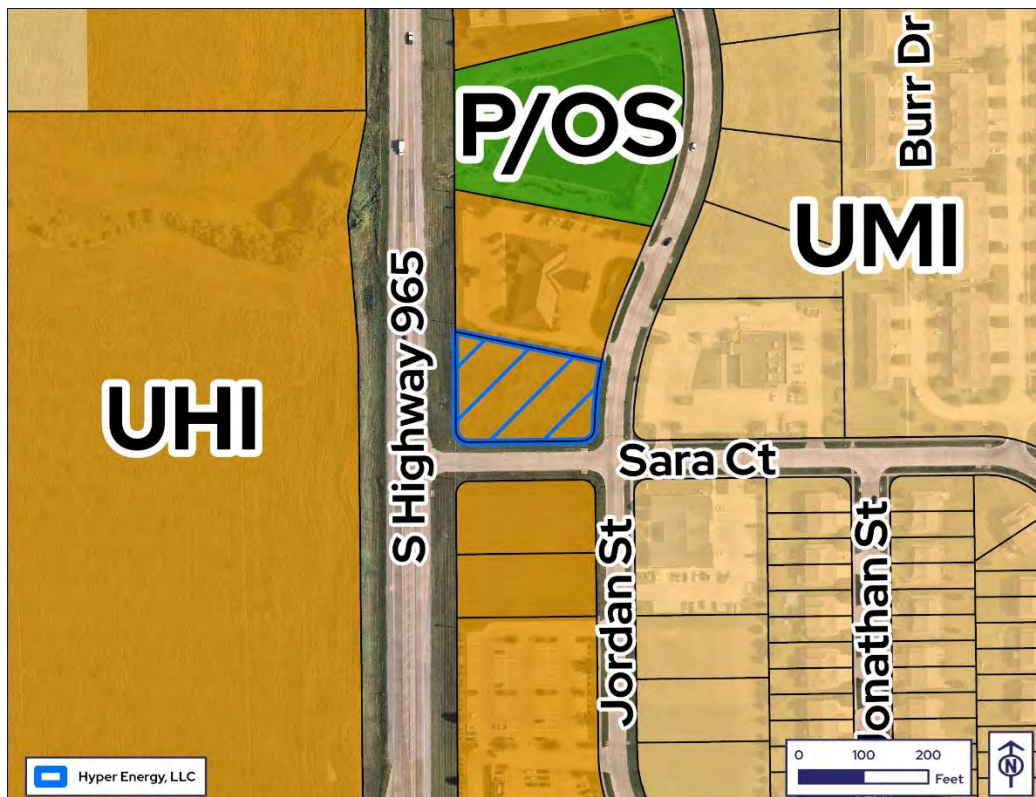
1. **Request Summary:** The site plan proposes a one-story, 1,000 square foot commercial building with two drive throughs and related infrastructure on approximately .73 acres. The property is located at the northeast corner of Ranshaw Way and Sara Court (1695 Jordan Street).



2. **Current Zoning:** C-2 Highway Commercial District.



3. **Comprehensive Plan Future Land Use Map Designation:** Urban High Intensity.



4. Site Plan Approval Standards:

Section 165.05(2)(E) of the North Liberty Code of Ordinances sets forth the approval standards (ordinance language in *italics* and staff analysis in **bold**).

E. *Approval Standards. The Planning Commission's recommendation to the City Council and the City Council's decision to approve or disapprove a preliminary site plan shall be informed by the preliminary site plan's adherence to the following standards:*

(1) *The consistency of the preliminary site plan with all adopted ordinances and regulations.*

See analysis below.

(2) *The consistency of the proposed land use with the Comprehensive Plan and any adopted land use policies. The submission of a preliminary site plan which proposes one or more uses inconsistent with the City's Future Land Use Map creates a rebuttable presumption that said use or uses are inharmonious with surrounding properties and incompatible with orderly development and redevelopment.*

The C-2 District is consistent with the UHI Land Use Map designation.

Analysis of adopted ordinances and regulations.

Section 168.07 of the North Liberty Code of Ordinances defines uses and use standards for particular uses of the property.

Specialty Food Service.

- A. Defined. Specialty food service means an establishment that specializes in the sale of certain food products, such as a delicatessen, bakery, candy maker, meat market, catering business, cheesemonger, coffee roaster, or fishmonger, and may offer areas for ancillary retail sales or restaurants that serve the products processed on-site. Specialty food service also includes preparation, processing, canning, or packaging of food products where all processing is completely enclosed and there are no outside impacts.
- B. Use Standards. None.

Section 165.05(2)(D) of the North Liberty Code of Ordinances entitled, "Preliminary Site Review" sets forth the submission requirements (ordinance language in *italics* and staff analysis in **bold**).

- *Date, north arrow and graphic scale.* **Provided.**
- *The property owner's name and description of proposed development.* **Provided.**
- *A vicinity sketch showing the location of the property and other properties within 1,000 feet of it.* **Provided.**
- *Property boundary lines, dimensions, and total area.* **Provided.**

- *Contour lines at intervals of not more than five feet, City datum. If substantial topographic change is proposed, the existing topography shall be illustrated on a separate map and the proposed finished topography shown on the site plan.*
Provided.
- *The location of existing streets, sidewalks, easements, utilities, drainage courses.*
Provided.
- *The total square feet of building floor area, both individually and collectively.* **Provided.**
- *All structures and major features shall be fully dimensioned including distance between structures, distance between driveways, parking areas, property lines and building height.* **Provided.**
- *Off-street parking areas, ingress and egress to the property, number of parking spaces proposed, number of parking spaces required by this code and type of surfacing.*
Provided.
- *Pedestrian walkways with special consideration given to pedestrian safety.* **Provided.**
- *Trash and refuse enclosures.* **Provided.**
- *The general drainage pattern and location of storm water detention features.*
Provided.
- *The general location, type and size of landscaping and ground cover illustrated in color perspective.* **Provided.**
- *A rendering, elevation or photo of the proposed development.* **Provided.**

North Liberty Code of Ordinances Section 169.10 entitled, "Design Standards" sets forth certain design standards.

Requirements for All Districts (ordinance language in *italics* and staff analysis in **bold**).

- *Building design shall be visually harmonious and compatible with the neighborhood character.*
- *Buildings located on property with double frontages shall have similar wall design facing both streets.*
- *Except for RS RD, R-MH and ID districts, color schemes shall be primarily based on earth tones. Earth tone colors include colors from the palette of browns, tans, greys, greens, and red. Earth tone colors shall be flat or muted. Building trim and accent areas may feature non-earth tone and brighter colors. In any district, the use of high intensity colors, neon or fluorescent color and neon tubing is prohibited.*
- *Except in the R-MH district, a minimum roof pitch of 5:12 shall apply to gable, hip, or shed roofs and there shall be a minimum roof overhang at the eaves of 12 inches. This does not apply to portions of a roof that are separate from the structure's primary roof. Metal roofs shall not be corrugated or similar appearance. The color of the roof shall be visually harmonious and compatible with the building color scheme.*

It is staff's opinion that the site plan achieves consistency with the aforementioned design standards.

Requirements for Development in Commercial Districts (ordinance language in *italics*).

- *Design. To achieve appealing aesthetic design through high quality architecture and construction, with attention to placement, relationship, and orientation of structures and amenities to provide both internal cohesiveness and compatibility with surrounding uses.*
- *Walkability. To achieve overall development patterns that encourage walking and reduce dependence on the automobile to travel from one business to another, and so reduces the dominance of the automobile within the development.*
- *Human-scale Activity. To achieve a sense of place by emphasizing pedestrian interaction with commercial uses rather than sprawling automobile-dominated designs, both in building architecture and public or private outdoor areas.*
- *Compatible Uses. To achieve the right blend of uses, compact and well-designed, that complement each other and provide cohesive overall developments.*
- *Materials. Minimum required masonry on all building elevations is 60%. Exterior walls not composed of masonry products shall not be covered with ribbed.*

It is staff's opinion that the site plan achieves consistency with the aforementioned design standards.

5. Additional information:

Reconstruction of Ranshaw Way Phase 6 is planned for 2027 so some coordination regarding infrastructure will be necessary.

6. Staff Recommendation:

Finding:

1. The preliminary site plan would achieve consistency with the approval standards enumerated in Section 165.05(2)(E) of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request to approve a Preliminary Site Plan for a 1,000 square foot commercial building with drive throughs and related infrastructure on approximately .73 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the Preliminary Site Plan to the City Council with a recommendation for approval.

KRB332: \\ACAD\\225025\\DWG\\M25-016_Heart of America Group_Concept_R2.dwg 5--20--25 11:39:52 AM



1	CITY REVIEW SUBMITTAL #1 2025 - 05 - 19	KRB	5/19/25
NO.	REVISION DESCRIPTION	APPROVED	DATE

CLIENT: HEART OF AMERICA GROUP
1501 RIVER DRIVE
MOLINE, IL 61265
PHONE: 963-343-2999



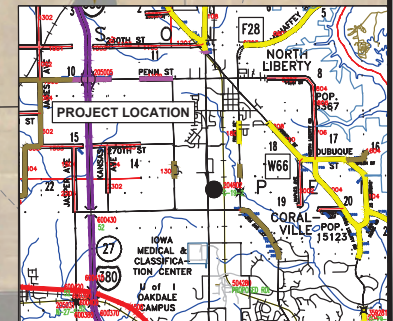
PROJECT NO. 225025 DATE: 4/30/2025

HYPER ENERGY BAR
1695 S. JORDAN ST.
NORTH LIBERTY, IA 52317

VICINITY MAP

SHEET NO.
1

- Property boundaries are to be verified prior to final design.
- Topography shown is based on the most recent LiDAR data available; final topography will be verified prior to final design.



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1	CITY REVIEW SUBMITTAL #1 2025 - 05 - 19	KRB	5/19/25
NO.	REVISION DESCRIPTION	APPROVED	DATE

ANDERSON BOGERT

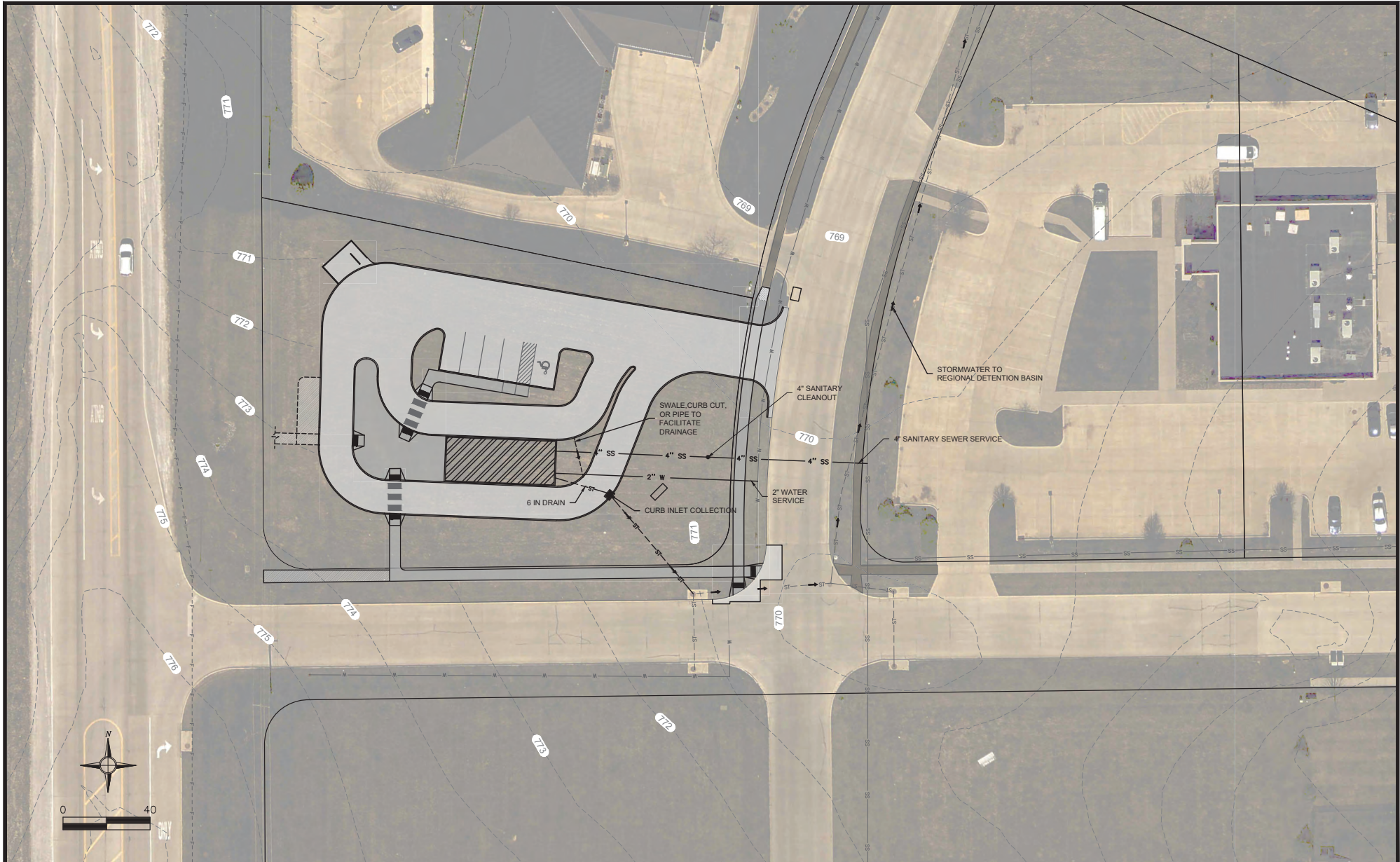
DATE: 4/30/2025

PRELIMINARY SITE LAYOUT

SHEET NO.

2

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				CLIENT: HEART OF AMERICA GROUP 1501 RIVER DRIVE MOLINE, IL 61265 PHONE: 963-343-2999		ANDERSONBOGERT		PROJECT NO. 225025	DATE: 4/30/2025	HYPER ENERGY BAR 1695 S. JORDAN ST. NORTH LIBERTY, IA 52317		PRELIMINARY PROPOSED UTILITIES		SHEET NO. 3
1	CITY REVIEW SUBMITTAL #1 2025 - 05 - 19	KRB	5/19/25											
NO.	REVISION DESCRIPTION	APPROVED	DATE											

GENERAL LANDSCAPE PLANTING NOTES

- A. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO EXCAVATION. BEFORE COMMENCEMENT OF ANY WORK, CONTACT IOWA ONE CALL (1-800-292-8889) AT LEAST 48 HOURS PRIOR TO DIGGING. REPAIR DAMAGE TO UTILITIES AND STRUCTURES IMMEDIATELY.
- B. ALL PLANT MATERIALS SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60-1 LATEST EDITION).
- C. NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE OWNER'S REPRESENTATIVE.
- D. PRIOR TO MULCHING ALL PLANTING BED AREAS, APPLY COMMERCIAL GRADE PRE-EMERGENT HERBICIDE (PRELEN OR APPROVED EQUAL), PER MANUFACTURE DIRECTIONS.
- E. PROVIDE 2" MINIMUM DEPTH OF 1" GREY SLATE ROCK AND FABRIC IN ALL SHRUB/PERENNIAL/ORNAMENTAL GRASS BEDS. FABRIC MUST BE SRW 553 FABRIC OR COMPARABLE FABRIC. ALL TREES TO BE MULCHED WITH A MIN. OF A 4"FT WIDE DOUBLE PROCESSED HARDWOOD MULCH TREE RING DYED BLACK.
- F. ALL EDGING BETWEEN TURF AREAS AND MULCH AREAS TO BE CONCRETE BULLET EDGING AT A SIZE OF 4"X 4"W X 12"L.
- G. PROVIDE AND MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION AND INSTALLATION. WHEN FINISH-GRADEING DO NOT DETRIMENT POSITIVE DRAINAGE OR TO CREATE AREA OF LOCALIZED PONDING.
- H. CONTAINER GROWN STOCK SHALL HAVE THE CONTAINER REMOVED AND THE ROOT BALL CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER STOCK WILL BE ACCEPTED IF ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
- I. AS NEEDED, STAKE ALL NEWLY PLANTED TREES RELATIVE TO WIND EXPOSURE. ALL PLANTS SHALL BE SET PLUMB TO GROUND AND FACED FOR BEST APPEARANCE. AS NECESSARY, PRUNE DEAD BRANCHES OR THOSE THAT COMPROMISE APPEARANCE AND STRUCTURE TO A MAX OF 1/3 THE PLANT.
- K. CONTRACTORS SHALL MAINTAIN ALL PLANTS & MULCH BEDS FOR 60-DAYS COMPLETION INCLUDING WEEDING.
- L. ALL PLANT MATERIAL SHALL BE GUARANTEED TO BE IN THE VIGOROUS GROWING CONDITIONS FOR A PERIOD OF ONE YEAR FROM DATE OF INITIAL ACCEPTANCE. ALL PLANT MATERIALS THAT ARE DEAD OR IN AN UNHEALTHY OR UNDESIRABLE STATE ARE REQUIRED TO BE REPLACED AT NO ADDITIONAL COST TO THE OWNER FOR UP TO ONE YEAR OF INITIAL ACCEPTANCE.
- M. TREE STAKES AND ROPES TO BE REMOVED FROM TREES AFTER ONE YEAR BY OWNER'S REPRESENTATIVE.
- N. PLANTING DATES ARE TO BE PRIOR TO MAY 31ST OF THE GROWING SEASON OR BETWEEN AUGUST 15TH - NOVEMBER 1ST OF THE GROWING SEASON.

TREE & SHRUB PLANTING NOTES

1. REMOVE WIRE BASKET AND BURLAP ONCE PLACED INTO PLANTING HOLE. REMOVE ALL SYNTHETIC TWINE.
2. TRUNK FLARE SHOULD BE EXPOSED BEFORE DETERMINING PLANTING HOLE DEPTH. PLANT TREE WITH TRUNK FLARE 1-2" MAXIMUM ABOVE ORIGINAL GRADE TO AVOID PLANTING TREE TOO DEEP.
3. PLANTING HOLE TO BE AT MINIMUM 3 TIMES THE WIDTH OF ROOTBALL AT SOIL SURFACE SLOPING TO THE WIDTH OF ROOT BALL AT BASE. PLANTING HOLE WIDTH NEAR SURFACE IS INCREASED TO 5 TIMES THE WIDTH OF ROOTBALL WHEN SOILS ARE HIGHLY COMPACTED OR HEAVY IN CLAY CONTENT.
4. SCARIFY PLANTING HOLE TO HELP ELIMINATE THE CREATION OF SOIL INTERFACE.
5. PLACE ROOTBALL ON COMPACTED AND LEVELED SUBGRADE.
6. ONLY LIGHTLY PRUNE AND REMOVE DAMAGED OR DEAD BRANCHES.
7. AVOID MOUNDING MULCH & MAKING CONTACT WITH TRUNK. FORM 2-3" SHREDDED HARDWOOD MULCH RING SAUCER TO HELP HOLD WATER DURING ESTABLISHMENT. DIAMETER OF MULCH AREA SHOULD BE KEPT CLEAR OF GRASS, WEEDS, ETC. TO REDUCE COMPETITION WITH TREE ROOTS.
8. UNDISTURBED SOILS.
9. SHADE EDGING TYP. UNLESS OTHERWISE NOTED ON PLAN.
10. REFER TO LANDSCAPE PLAN FOR PLANT SPACING LOCATIONS.
11. 6" MINIMUM WIDER HOLE THAN CONTAINER ON ALL SIDES.
12. STAKING NOTES:
13. STAKING WIRE THROUGH RUBBER HOSE SET LOOSE TO ALLOW FOR TRUNK TAPER AND DETRIMENTAL GROWTH. TREE SHOULD ALLOW LIMITED MOVEMENT.
14. PAINTED STEEL FENCE POST STAKE DRIVEN INSIDE MULCH RING DIAMETER. DRIVE STAKES 1" INTO UNDISTURBED SOIL. BELOW ROOT BALL.



1 TYP. TREE & SHRUB PLANTING DETAILS

SOUTH HWY 965

SARA CT.

JORDAN ST.

169.02 LANDSCAPING REQUIREMENTS.

- 169.02.5 PARKING LOT LANDSCAPE
A. CONTINUOUS ROW OF SHRUBS PROVIDED SCREENING ADJACENT STREETS.
B. 1 TREE PER 50 LF = 9 QTY

- 169.02.6 UNDER 15 PARKING SPACES (NOT REQUIRED)

- 169.02.7 ON-SITE TREES
C. 1,000 SF BUILDING/ 2000 = 0.5 (1 QTY) TREES REQUIRED

- 169.02.8 BUFFER YARDS (NOT REQUIRED)

PLANT SCHEDULE				
SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	SIZE
TREES				
	DE	2	DIABOLICA SPRING EDDY (FALLO A SPRING EDDY)	18-24"
DECIDUOUS TREES				
	DE	2	SALEBR HOBBS LOUST (OLESTIA THACANTHUS NORME DODGE)	2-3"
	DE	1	EMERALD HOBBS LOUST (OLESTIA THACANTHUS NORME DODGE)	2-3"
EVERGREEN TREES				
	DE	2	TECHY AMBROSIA (TECHY AMBROSIA B. TECHY)	2-3"
SHRUBS				
	DE	1	LABRADOR CLOUTER (LABRADOR CLOUTER B. LABRADOR)	1-2"
	DE	1	SPICE SARY (SPICE SARY B. SPICE SARY)	1-2"
	DE	1	SPICE SARY (SPICE SARY B. SPICE SARY)	1-2"
GRASSES				
	DE	1	FEATHER REED GRASS (FEATHER REED GRASS B. FEATHER REED GRASS)	1-2"



0 30'



HYPER ENERGY BAR
INTERSECTION OF JORDAN STREET AND SARA COURT
NORTH LIBERTY, IOWA

NO.	DESCRIPTION	DATE	BY
1	REVISION		
2	REVISION		
3	REVISION		
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NOTES:

PROJECT # 80259
SHEET SIZE: 11"x17"
SCALE: SEE GRAPHIC SCALE

DATE: 9/23/2025
DRAWN BY: MA
REVISIONS BY: MA

PLANTING PLAN

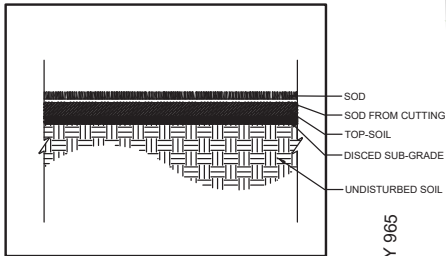
SHEET #
L.01
OF
L.02

GENERAL GROUND COVER AND MULCH NOTES

- A. PRIOR TO MULCHING ALL PLANTING BED AREAS, APPLY COMMERCIAL GRADE PRE-EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL), PER MANUFACTURE DIRECTIONS.
- B. PROVIDE 2" MINIMUM DEPTH OF 1.5" GREY SLATE ROCK AND FABRIC IN ALL SHRUB/PERENNIAL/ORNAMENTAL GRASS BEDS. FABRIC MUST BE SRW SB3 FABRIC OR COMPARABLE FABRIC. ALL TREES TO BE MULCHED WITH A MIN. OF 4 FT WIDE DOUBLE PROCESSED HARDWOOD MULCH TREE RING DYED BLACK. THIS INCLUDES TREES WITHIN ROCK BEDS.
- C. ALL EDGING BETWEEN TURF AREAS AND MULCH AREAS TO BE CONCRETE BULLET EDGING AT A SIZE OF 4"H X 4"W X 12"L.
- D. CONTRACTORS SHALL MAINTAIN ALL PLANTS & MULCH BEDS FOR 60-DAYS COMPLETION INCLUDING WEEDING.
- E. ALL SOD MUST BE FROM BLUEGRASS SOD FARM IN ALBURNETT, IOWA.
- F. LANDSCAPE CONTRACTOR RESPONSIBLE FOR GRADING NO MORE THAN THE TOP 2 INCHES OF SOIL. LANDSCAPE CONTRACTOR NOT RESPONSIBLE FOR IMPORTING SOIL FOR GRADING TURF AREAS.

GROUND COVER LEGEND

- FINISH-GRADE AND SOD
- FABRIC & 1.5" GREY SLATE ROCK MULCH



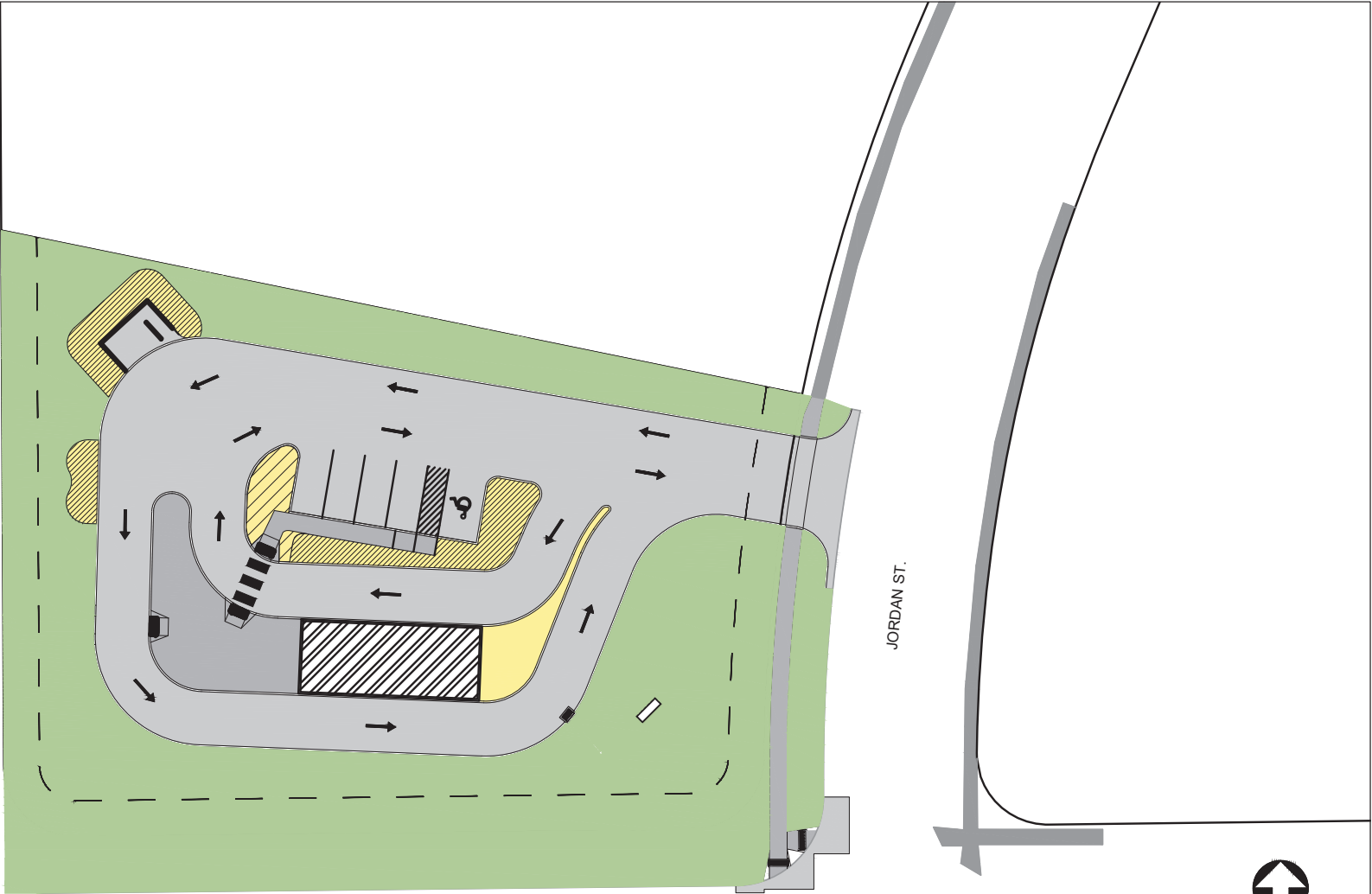
2 TYP. TURF PLANTING DETAIL

IRRIGATION NOTES:

- A. ALL LAWN AREAS (HATCHED IN GREEN) SHALL BE IRRIGATED AND HAVE 100% COVERAGE OF THE DESIGNATED AREA WHILE MINIMIZING WATER CONSUMPTION.
- B. ALL LANDSCAPE BEDS (HATCHED IN YELLOW) SHALL HAVE DRIP IRRIGATION AND HAVE 100% COVERAGE OF ALL NEW PLANT ROOTBALLS. DRIP IRRIGATION TO BE PLACED ABOVE FABRIC AND UNDER ROCK.
- C. IRRIGATION ZONE CONTROL SHALL BE AUTOMATIC OPERATION WITH CONTROLLER AND AUTOMATIC CONTROL VALVES.
- D. THE CONTROLLER SHALL BE A HUNTER OR RAIN BIRD MODULAR OR FIXED SYSTEM WITH THE CAPABILITIES OF LIGHT COMMERCIAL GRADE RATING.
- E. IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE WATER CONSUMPTION WHILE MAXIMIZING COVERAGE.
- F. SUBMIT IRRIGATION SYSTEM PLAN INCLUDING ZONES TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.

GROUND COVER LEGEND

- IRRIGATE TURF
- DRIP IRRIGATION FOR PLANT MATERIAL



NORTH

0 30'



HYPER ENERGY BAR

INTERSECTION OF JORDAN STREET AND SARA COURT
NORTH LIBERTY, IOWA

NO.	REVISIONS	APPROVED	DATE

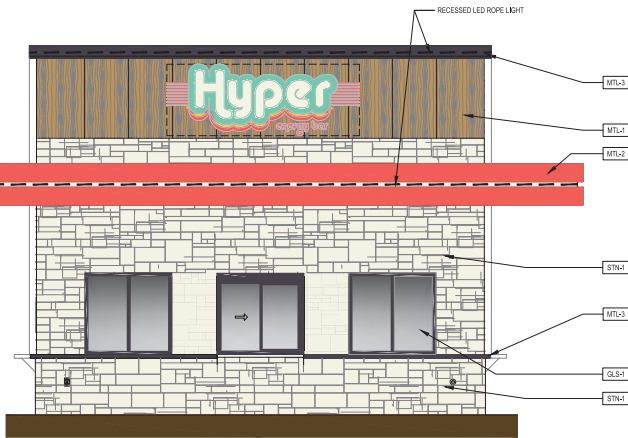
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PROJECT #: E0256
SHEET SIZE: 11"x17"
SCALE: SEE GRAPHIC SCALE

DATE: 5/22/2025
DRAWN BY: MA
REVISIONS BY:

TURF, MULCH, &
IRRIGATION PLAN

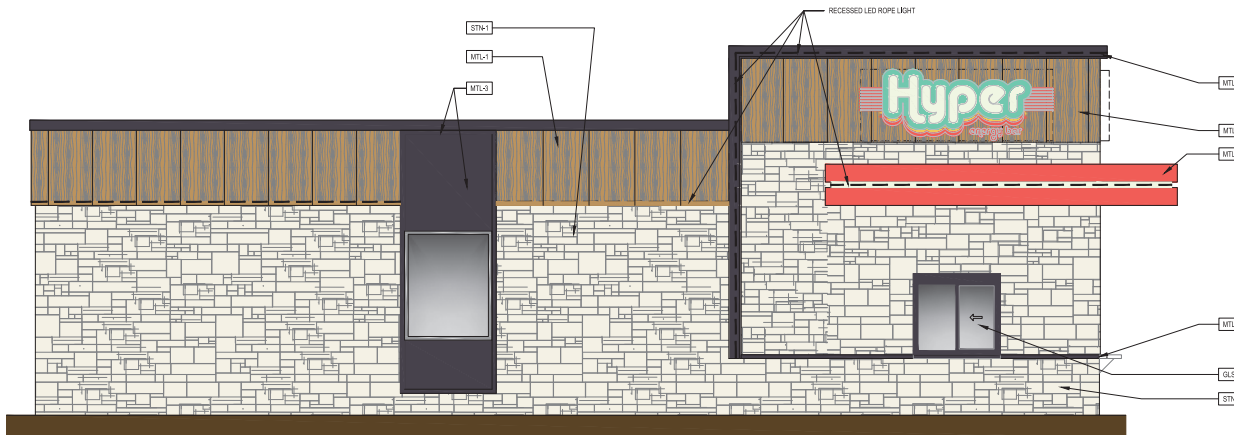
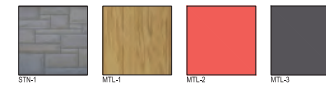
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L.02
L.02



2 NORTH ELEVATION
SCALE: 3/8" = 1'-0"

MATERIAL	SQ. FT.	%
STN-1	171	48
MTL-1	74	21
MTL-2	48	14
MTL-3	15	4
GLS-1	0	0
GLS-1	45	13
GLS-1 + STN-1	216	61
TOTAL	353	

FINISH SCHEDULE & ENTIRE BUILDING PERCENTAGES				
TAG	MATERIAL	DESCRIPTION	TOTAL SQ. FT.	%
STN-1	STONE VENEER, NATURAL	FULL-VENEER MASONRY WALL SYSTEM	1,192	58%
MTL-1	ALUM. COMP. PANEL	HIGH-QUALITY INSULATED DECORATIVE METAL PANEL (ALPOLIC OPC HARVEST TRAIL BAMBOO)	457	22%
MTL-2	ALUM. COMP. PANEL	HIGH-QUALITY INSULATED DECORATIVE METAL PANEL (ALPOLIC CUSTOM COLOR "HYPER RED")	100	5%
MTL-3	ALUM. COMP. PANEL	HIGH-QUALITY INSULATED DECORATIVE METAL PANEL (ALPOLIC T08 BLACK) - TRIM PAINTED TO MATCH	209	10%
GLS-1	CLEAR GLASS	CLEAR GLASS WITH NO TINT	95	5%
		STN-1 + GLS-1	1,287	63%
		TOTAL	2,053	100



1 EAST ELEVATION
SCALE: 3/8" = 1'-0"

MATERIAL	SQ. FT.	%
STN-1	427	68
MTL-1	159	22
MTL-2	26	4
MTL-3	68	10
GLS-1	0	0
GLS-1	35	5
GLS-1 + STN-1	462	65
TOTAL	712	

Date: ...	
Designed by:	HOAD
Drawn by:	PFC
Checked by:	DEO

ISSUED FOR REVIEW:	
05-01-2025	
Revisions:	
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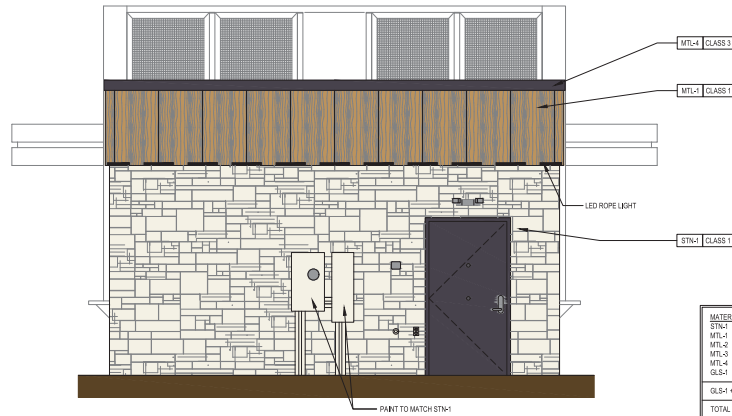
HYPER ENERGY BAR
1695 JORDAN STREET, NORTH LIBERTY, IA 50237

Heart of America

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Project No. 583
Sheet Content:
ELEVATIONS

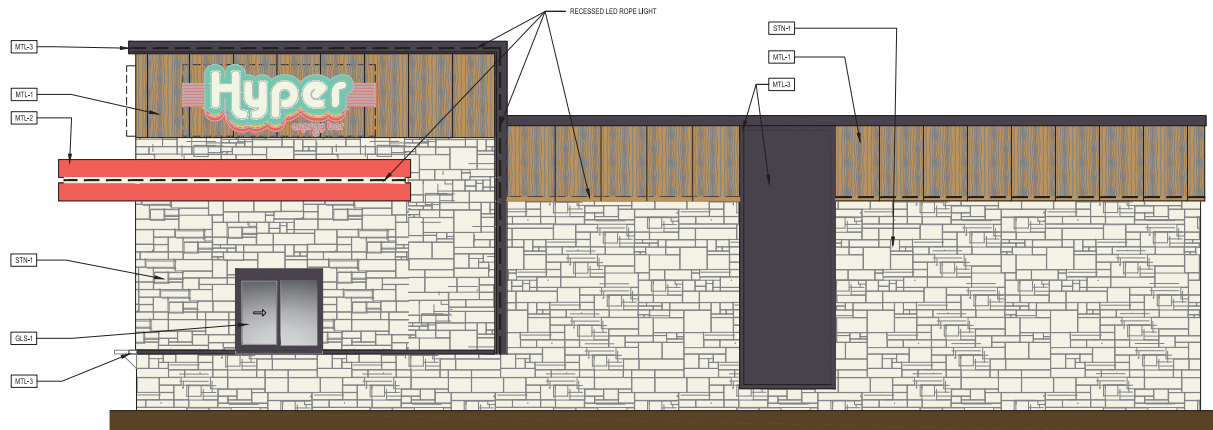
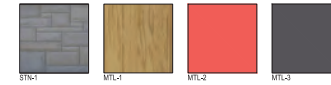
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A-2.1



2 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

MATERIAL	SQ. FT.	%
STN-1	167	61
MTL-1	71	26
MTL-2	0	0
MTL-3	38	15
MTL-4	0	0
GLS-1	0	0
GLS-1 + STN-1	167	61
TOTAL	276	

FINISH SCHEDULE & ENTIRE BUILDING PERCENTAGES				
TAG	MATERIAL	DESCRIPTION	TOTAL SQ. FT.	%
STN-1	STONE VENEER, NATURAL	FULL-VENEER MASONRY WALL SYSTEM	1,192	58%
MTL-1	ALUM. COMP. PANEL	HIGH-QUALITY INSULATED DECORATIVE METAL PANEL (ALPOLIC OPC HARVEST TRAIL BAMBOO)	457	22%
MTL-2	ALUM. COMP. PANEL	HIGH-QUALITY INSULATED DECORATIVE METAL PANEL (ALPOLIC CUSTOM COLOR "HYPER RED")	100	5%
MTL-3	ALUM. COMP. PANEL	HIGH-QUALITY INSULATED DECORATIVE METAL PANEL (ALPOLIC TSB BLACK + TRIM PAINTED TO MATCH)	209	10%
GLS-1	CLEAR GLASS	CLEAR GLASS WITH NO TINT	85	5%
STN-1 + GLS-1			1,287	63%
TOTAL			2,053	100



1 WEST ELEVATION
SCALE: 3/8" = 1'-0"

MATERIAL	SQ. FT.	%
STN-1	427	60
MTL-1	196	27
MTL-2	38	5
MTL-3	88	12
MTL-4	3	0
GLS-1	15	2
GLS-1 + STN-1	462	65
TOTAL	712	

Date: ...	
Designed by:	HOAD
Drawn by:	PFC
Checked by:	DEO

ISSUED FOR REVIEW:	
05-01-2025	
Revisions:	
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HYPER ENERGY BAR
1695 JORDAN STREET, NORTH LIBERTY, IA 50237

Heart of America

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Project No. 583
Sheet Content:
ELEVATIONS

Sheet No. A-2.2

Resolution No. 2025-62

**RESOLUTION APPROVING THE PRELIMINARY SITE PLAN
FOR HYPER ENERGY BAR, 1695 JORDAN STREET, NORTH
LIBERTY, IOWA**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

WHEREAS, the owner and applicant, Heart of America Group, has filed with the City Clerk a preliminary site plan;

WHEREAS, the property is located at 1695 Jordan Street; and

WHEREAS, said preliminary site plan has one finding:

1. The preliminary site plan would achieve consistency with the approval standards enumerated in Section 165.05(2)(E) of the Zoning Code.

WHEREAS, said preliminary site plan has been examined by the North Liberty Planning and Zoning Commission, which recommended that the preliminary site plan be approved with no conditions.

NOW, THEREFORE, BE IT RESOLVED that the City Council of North Liberty, Iowa, does hereby approve the preliminary site plan for Hyper Energy Bar, 1695 Jordan Street, North Liberty, Iowa.

APPROVED AND ADOPTED this 10th day of June, 2025.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK



Fireworks Ordinance

ORDINANCE NO. _____

**AN ORDINANCE AMENDING CHAPTER 41.10 OF THE NORTH LIBERTY CODE
OF ORDINANCES GOVERNING THE USE AND SALE OF FIREWORKS**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT OF CHAPTER 41.10. Chapter 41.10 of the North Liberty Code of Ordinances is amended to read as follows:

41.10 FIREWORKS.

The sale, use and exploding of fireworks within the City are subject to the following:

1. Definitions.

A. "Fireworks" shall mean any explosive composition, or combination of explosive substances, or articles prepared for the purpose of producing a visible or audible effect by combustion, explosion, deflagration or detonation, and specifically includes blank cartridges, firecrackers, torpedoes, skyrockets, roman candles, or other fireworks of like construction and any fireworks containing any explosive or flammable compound, or other device containing any explosive substance.

B. "Consumer fireworks" shall mean first-class consumer fireworks and second class consumer fireworks as those terms are defined by state law, NFPA 1124 and American Pyrotechnics Association (APA) standard 87-1, chapter 3.

C. "Display fireworks" shall mean any explosive composition, or combination of explosive substances or article prepared for the purpose of producing a visible or audible effect by combustion, explosion, deflagration, or detonation, and includes fireworks containing any explosives or flammable compound, or other devices containing any explosive substance.

D. "Novelty fireworks" shall mean novelties or novelty devices defined by American Pyrotechnics Association (APA) standard 87-1, chapter 3.

E. "Permanent" as applied to buildings or structures shall mean a building or structure affixed to a foundation on a site and having fixed utility connections that is intended to remain on the site for more than 180 consecutive calendar days.

F. "Temporary" as applied to buildings or structures shall mean a building or structure not meeting the definition for permanent structure.

2. Regulations.

A. Display Fireworks. The use of or explosion of display fireworks within the City of North Liberty is hereby prohibited without a valid permit as provided by paragraph 4 below.

B. Consumer Fireworks. The use of or explosion of consumer fireworks within the City is hereby prohibited, except as follows:

- i. Between the hours of 9:00 a.m. and 10:00 p.m. on July 3, when July 3 falls on a day other than Saturday or Sunday
- ii. Between the hours of 9:00 a.m. and 11:00 p.m., on July 3, when July 3 falls on a Saturday or Sunday
- iii. Between the hours of 9:00 a.m. and 11:00 p.m. on July 4
- iv. Between the hours of 9:00 a.m. on December 31 and 12:30 a.m. the following day.

Use or explosion of consumer fireworks during the times and dates permitted in subparagraphs i. through iv. above is permitted only on real property owned by the user, or on real property owned by a person who has consented to the use of consumer fireworks on that property.

3. Sale. The sale of consumer fireworks is permitted in accordance with state law and applicable provisions of the North Liberty Code of Ordinances, including but not limited to Chapters 122 (Peddlers, Solicitors, and Transient Merchants), 157 (Building Code), Chapter 158 (Fire Code); and Chapters 165-173 (Zoning Code). The sale of consumer fireworks shall be limited to the dates established by state law.

A. Each applicant shall provide a valid and current license issued by the State Fire Marshal.

B. The retailer or community group shall obtain all required permits to ensure compliance with city regulations. The insurance requirements for sales from a permanent structure or a temporary structure shall be the same as set in Paragraph 4 of this section.

C. The insurance requirements for sales from a permanent structure or a temporary structure shall be the same as set in Paragraph 4 of this section.

~~—D. Sales are allowed only in those zoning districts where consumer fireworks is a specifically permitted use.~~

ED. All permanent and temporary structures used for the sales of consumer fireworks shall meet all requirements set out in National Fire Protection Association (NFPA) Standard 1124 (2006 Edition) and all applicable provisions of the North Liberty Code of Ordinances, including but not limited to Chapter 122 ("Peddlers, Solicitors and Transient Merchants"); Chapter 157 ("Building Code"); Chapter 157 ("Fire Code"); and Section 171.03 ("Temporary Uses").

~~FE.~~ Approved signage shall be posted at the expense of the licensed retailer, in approved locations for all permanent and temporary structures used for the sale of consumer fireworks stating that the use of consumer fireworks is prohibited within the city as set forth in Paragraph 2(B) above.

~~GE.~~ Approved exit signs, emergency lighting, fire extinguishers and warning signage shall be installed in all permanent and temporary structures used for the sale of consumer fireworks.

~~HG.~~ Peddlers and solicitors, as defined in North Liberty Code Section 122.02, shall not sell consumer fireworks.

~~—I. The sale of consumer fireworks from temporary structures shall be considered a zoning temporary use, as set out in North Liberty Code Section 171.03(3), and regulated accordingly. The sale of consumer fireworks is not permissible as a minor temporary use or a special event under North Liberty Code Sections 171.03(1) and North Liberty Code Sections 171.03(2).~~

4. The City may, upon application in writing, grant a permit for the use of display fireworks by a City agency, fair associations, amusement parks and other organizations or groups of individuals approved by City authorities when such fireworks display will be handled by a qualified operator. No permit shall be granted hereunder unless the operator or sponsoring organization has filed with the City evidence of insurance in the following amounts:

- A. Bodily Injury: \$2,000,000 per person
- B. Property Damage \$2,000,000
- C. Total Liability Coverage: \$4,000,000

D. Additionally, applicants shall provide as part of the evidence of insurance a non-waiver of governmental immunities endorsement.

5. Exceptions. This section does not prohibit the sale of novelty fireworks; or the sale of any kind of fireworks if they are to be shipped out of State; or the sale or use of blank cartridges for a show or theatre, or for signal purposes in athletic sports or by railroads or trucks for signal purposes, or by a recognized military organization. This section does not apply to any substance or composition prepared and sold for medicinal or fumigation purposes.

SECTION 2. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 3. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 4. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 6. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____, 2025.

Second reading on _____, 2025.

Third and final reading on _____, 2025.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. _____ in the Cedar Rapids *Gazette* on the ____ day of _____, 2025.

TRACEY MULCAHEY, CITY CLERK

Ordinance No. 2025-14

**AN ORDINANCE AMENDING CHAPTER 41.10 OF THE NORTH
LIBERTY CODE OF ORDINANCES GOVERNING THE USE AND
SALE OF FIREWORKS**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT OF CHAPTER 41.10. Chapter 41.10 of the North Liberty Code of Ordinances is amended to read as follows:

41.10 FIREWORKS.

The sale, use and exploding of fireworks within the City are subject to the following:

1. Definitions.

A. "Fireworks" shall mean any explosive composition, or combination of explosive substances, or articles prepared for the purpose of producing a visible or audible effect by combustion, explosion, deflagration or detonation, and specifically includes blank cartridges, firecrackers, torpedoes, skyrockets, roman candles, or other fireworks of like construction and any fireworks containing any explosive or flammable compound, or other device containing any explosive substance.

B. "Consumer fireworks" shall mean first-class consumer fireworks and second class consumer fireworks as those terms are defined by state law, NFPA 1124 and American Pyrotechnics Association (APA) standard 87-1, chapter 3.

C. "Display fireworks" shall mean any explosive composition, or combination of explosive substances or article prepared for the purpose of producing a visible or audible effect by combustion, explosion, deflagration, or detonation, and includes fireworks containing any explosives or flammable compound, or other devices containing any explosive substance.

D. "Novelty fireworks" shall mean novelties or novelty devices defined by American Pyrotechnics Association (APA) standard 87-1, chapter 3.

E. "Permanent" as applied to buildings or structures shall mean a building or structure affixed to a foundation on a site and having fixed utility connections that is intended to remain on the site for more than 180 consecutive calendar days.

F. "Temporary" as applied to buildings or structures shall mean a building or structure not meeting the definition for permanent structure.

2. Regulations.

A. Display Fireworks. The use of or explosion of display fireworks within the City of North Liberty is hereby prohibited without a valid permit as provided by paragraph 4 below.

B. Consumer Fireworks. The use of or explosion of consumer fireworks within the City is hereby prohibited, except as follows:

- i. Between the hours of 9:00 a.m. and 10:00 p.m. on July 3, when July 3 falls on a day other than Saturday or Sunday
- ii. Between the hours of 9:00 a.m. and 11:00 p.m., on July 3, when July 3 falls on a Saturday or Sunday
- iii. Between the hours of 9:00 a.m. and 11:00 p.m. on July 4
- iv. Between the hours of 9:00 a.m. on December 31 and 12:30 a.m. the following day.

Use or explosion of consumer fireworks during the times and dates permitted in subparagraphs i. through iv. above is permitted only on real property owned by the user, or on real property owned by a person who has consented to the use of consumer fireworks on that property.

3. Sale. The sale of consumer fireworks is permitted in accordance with state law and applicable provisions of the North Liberty Code of Ordinances, including but not limited to Chapters 122 (Peddlers, Solicitors, and Transient Merchants), 157 (Building Code), Chapter 158 (Fire Code); and Chapters 165-173 (Zoning Code). The sale of consumer fireworks shall be limited to the dates established by state law.

A. Each applicant shall provide a valid and current license issued by the State Fire Marshal.

B. The retailer or community group shall obtain all required permits to ensure compliance with city regulations. The insurance requirements for sales from a permanent structure or a temporary structure shall be the same as set in Paragraph 4 of this section.

C. The insurance requirements for sales from a permanent structure or a temporary structure shall be the same as set in Paragraph 4 of this section.

D. All permanent and temporary structures used for the sales of consumer fireworks shall meet all requirements set out in National Fire Protection Association (NFPA) Standard 1124 (2006 Edition) and all applicable provisions of the North Liberty Code of Ordinances, including but not limited to Chapter 122 ("Peddlers, Solicitors and Transient Merchants"); Chapter 157 ("Building Code"); Chapter 158 ("Fire Code"); and Section 171.03 ("Temporary Uses").

E. Approved signage shall be posted, at the expense of the licensed retailer, in approved locations for all permanent and temporary structures used for the sale

of consumer fireworks stating that the use of consumer fireworks is prohibited within the city, as set forth in Paragraph 2(B) above.

F. Approved exit signs, emergency lighting, fire extinguishers and warning signage shall be installed in all permanent and temporary structures used for the sale of consumer fireworks.

G. Peddlers and solicitors, as defined in North Liberty Code Section 122.02, shall not sell consumer fireworks.

4. The City may, upon application in writing, grant a permit for the use of display fireworks by a City agency, fair associations, amusement parks and other organizations or groups of individuals approved by City authorities when such fireworks display will be handled by a qualified operator. No permit shall be granted hereunder unless the operator or sponsoring organization has filed with the City evidence of insurance in the following amounts:

A. Bodily Injury: \$2,000,000 per person

B. Property Damage \$2,000,000

C. Total Liability Coverage: \$4,000,000

D. Additionally, applicants shall provide as part of the evidence of insurance a non-waiver of governmental immunities endorsement.

5. Exceptions. This section does not prohibit the sale of novelty fireworks; or the sale of any kind of fireworks if they are to be shipped out of State; or the sale or use of blank cartridges for a show or theatre, or for signal purposes in athletic sports or by railroads or trucks for signal purposes, or by a recognized military organization. This section does not apply to any substance or composition prepared and sold for medicinal or fumigation purposes.

SECTION 2. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 3. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 4. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 6. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on _____, 2025.

Second reading on _____, 2025.

Third and final reading on _____, 2025.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. _____ in the Cedar Rapids *Gazette* on the ____ day of _____, 2025.

TRACEY MULCAHEY, CITY CLERK



Zoning Ordinance Amendment



June 3, 2025

Chris Hoffman, Mayor
City of North Liberty
360 North Main Street
North Liberty IA 52317

Re: Request of the City of North Liberty for an Ordinance amending the North Liberty Code of Ordinances Chapter 165 governing zoning map amendments, Chapter 168 governing the use matrix table and uses defined and use standards and Chapter 169 governing accessory structures and uses.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its June 3, 2025 meeting. The Planning Commission took the following action:

Finding:

1. The proposed amendment would achieve consistency with Section 165.09 of the Zoning Code.

Recommendation:

1. The Planning Commission accepted the listed finding and forwards the request of the City of North Liberty for an Ordinance amending the North Liberty Code of Ordinances Chapter 165 governing zoning map amendments, Chapter 168 governing the use matrix table and uses defined and use standards and Chapter 169 governing accessory structures and uses to the City Council with a recommendation for approval.

The vote for approval was 6-0.

Amy Yotty, Chairperson
City of North Liberty Planning Commission



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **May 30, 2025**
Re **Request of the City of North Liberty for an Ordinance amending the North Liberty Code of Ordinances Chapter 165 governing zoning map amendments, Chapter 168 governing the use matrix table and uses defined and use standards and Chapter 169 governing accessory structures and uses.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo.

1. Request Summary:

- A. Revise the minimum number days prior to the Planning Commission meeting for the required good neighbor meeting for (rezonings/subdivision plats) from 14 to 12 days.

This is a small change and would allow for more flexibility, particularly during staff conflicts.

- B. Introduction of Accessory Dwelling Units (ADUs) as a permitted use in the RS districts and expansion of permitted districts for firework sales to achieve consistency with Iowa State Code.
- C. Amending the section on accessory structures and uses to account for detached accessory dwelling units (ADUs).

2. Zoning Text Amendment Approval Standards

Section 165.09(4)(D)(2) of the Zoning Ordinance sets for the approval standards for zoning text amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

Text Amendments.

- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

It is staff's opinion that the proposed amendment is consistent with the Comprehensive Plan and adopted land use policies.

- (b) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.

It is staff's opinion that the proposed zonings would promote the public health, safety, and welfare of the City.

- (c) The consistency of the proposed amendment with the intent and general regulations of this Ordinance.

It is staff's opinion that the proposed amendment would be consistent with the intent and general regulations of this Ordinance.

- (d) Whether the proposed amendment corrects an error or omission, adds clarification to existing requirements, or reflects a change in policy or change in development trends or technology.

It is staff's opinion that the proposed amendment reflects a change in policy.

- (e) The extent to which the proposed amendment creates nonconformities.

It is staff's opinion that the proposed amendment does not create any nonconformities, which is always a staff priority.

3. Public Input:

There are no formal objections to the request.

4. Staff Recommendation:

Finding:

1. The proposed amendment would achieve consistency with Section 165.09 of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request for Ordinance amendment to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the Ordinance amendment to the City Council with a recommendation for approval.

ORDINANCE NO. _____

**AN ORDINANCE AMENDING THE NORTH LIBERTY CODE OF ORDINANCES
CHAPTER 165 GOVERNING ZONING MAP AMENDMENTS, CHAPTER 168
GOVERNING THE USE MATRIX TABLE AND USES DEFINED AND USE
STANDARDS AND CHAPTER 169 GOVERNING ACCESSORY STRUCTURES
AND USES**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT OF ORDINANCE. Subsection 4 of Section 165.09 of the North Liberty Code of Ordinances, is amended as follows:

4. Procedure. All applications must be filed with the Code Official. The Code Official will schedule the consideration of the completed by the Planning Commission. Amendments initiated by the City ~~Council~~ also require an application, but are exempt from fees.
 - A. Good Neighbor Meeting. Good neighbor meetings are intended to allow an applicant to share the details of the application, answer questions, and receive feedback prior to formal consideration by the Planning Commission.
 1. Requirement. Good Neighbor meetings are required to be held for all rezoning applications filed by private property owners. In the event that a proposed subdivision is dependent upon the property first being rezoned, the requirements of the good neighbor meeting in accordance with Chapter 180 shall be fulfilled as long as the notice and presentation include both requests.
 2. Meeting Notice and Conduct.
 - (a) The City shall mail notification of the meeting to all property owners within the 200 feet of the subject property. The City may expand the notification of the neighborhood meeting if it deems warranted. The City is not required to be notified by mail of the Good Neighbor Meeting.
 - (b) The City shall post notice of the meeting on the City's website.
 - (c) The meeting will be moderated by City staff.
 3. Meeting Notice Content.
 - (a) The notifications will include the time, date and location of the meeting, and a brief description of the proposed rezoning. Other information or material such as a map of the area may be included to clarify the notice.
 4. Timing.
 - (a) The Good Neighbor meeting shall be held a minimum of ~~14~~12 days prior to the Planning Commission's consideration of the application.
 - (b) Notifications shall be sent, delivered and/or posted no later than ten (10) days prior to the Good Neighbor meeting.

SECTION 2. AMENDMENT OF ORDINANCE. Table 168.06 of Section 168.06 of the North Liberty Code of Ordinances, is amended as follows:

Table 168.06: Use Matrix See Section 168.07 for Use Definitions and Use Standards														
Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CU C-3	O R/P	I-1	I-2	P
1. Accessory Dwelling Unit		P												
1.2. Adult Entertainment													C	
2.3. Agricultural Experience	C													
3.4. Agriculture	P													
4.5. Amusement Facility – Indoor						C	P	P	P	P				
5.6. Amusement Facility – Outdoor									C					
6.7. Animal Care Facility						P	P	P				P		
7.8. Animal Shelter												C		C
8.9. Art Gallery						P	P	P	P	P				
9.10. Arts and Fitness Studio						P	P	P	P	P		P		
10.11. Bar						P	P	P	P	P		P		
11.12. Bed and Breakfast Home		C												
12.13. Body Art Establishment								P						
13.14. Brewery-Micro						P	P	P	P	P				
14.15. Broadcasting Studio								P	P					P
15.16. Building Trades and Services								P	P			P		
16.17. Car Wash								P						
17.18. Child Care Center						P	P	P	P	P	P			P
18.19. Child Care Home		P			P									
19.20. Child Development Home		P												
20.21. Community Center						P	P	P	P	P				P

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CU C-3	OR/P	I-1	I-2	P
21:22. Community Pantry	C	C	C	C		C	P	P						
22:23. Cultural Facility						P	P	P	P	P				P
23:24. Distillery, Micro						P	P	P	P	P				
24:25. Drive-Through Facility						C	P	P	P	P	P			
25:26. Dwelling – Manufactured Home					P									
26:27. Dwelling – Mixed Use						P	P	P	P	P				
27:28. Dwelling – Multiple- Unit				P				P	P	P				
28:29. Dwelling – Single-Unit	P	P												
29:30. Dwelling – Single-Unit Zero Lot Line			P											
30:31. Dwelling – Townhouse				P				P						
31:32. Dwelling – Two Unit			P	P										
32:33. Educational Facility – Primary	P	P	P	P		P	P	P	P	P				P
33:34. Educational Facility – Secondary	P	P	P	P		P	P	P	P	P				P
34:35. Educational Facility – University or College									P	P	P			P
35:36. Educational Facility – Vocational						C	P	P	P	P		P		
36:37. Financial Institution						P	P	P	P	P				
37:38. Fireworks, Retail Sales of						P	P	P	P	P	P	P	P	
38:39. Food Bank												P		
39:40. Fueling Station							P	P	P			P		
40:41. Fulfillment Center, Micro								C	C			P		
41:42. Funeral Home								P						

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CU C-3	OR/P	I-1	I-2	P
<u>42:43.</u> Golf Course/Driving Range							P							P
<u>43:44.</u> Greenhouse/ Nursery - Retail												P		
<u>44:45.</u> Group Home	P	P	P		P									
<u>45:46.</u> Healthcare Institution									P	P				P
<u>46:47.</u> Heavy Rental and Service Establishment												P		
<u>47:48.</u> Heavy Retail Establishment									P			P		
<u>48:49.</u> Hotel						C	P	P	P	P	P			
<u>49:50.</u> Industrial - General													P	
<u>50:51.</u> Industrial - Light												P	P	
<u>51:52.</u> Industrial Design							P	P	P			P		
<u>52:53.</u> Live Performance Venue						P	P	P	P	P				
<u>53:54.</u> Manufactured Home Park					P									
<u>54:55.</u> Medical/Dental Office						P	P	P	P	P				
<u>55:56.</u> Office						P	P	P	P	P	P	P		P
<u>56:57.</u> Outdoor Seating						P	P	P	P	P				P
<u>57:58.</u> Park, Private	P	P	P	P	P	P	P	P	P	P	P			
<u>58:59.</u> Park, Public														P
<u>59:60.</u> Parking Lot (Principal Use)						C	P	P	P	P		P		P
<u>60:61.</u> Parking Structure (Principal Use)						C	P	P	P	P		P		P

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

[illegible]

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CU C-3	O R/P	I-1	I-2	P
81.82. Vehicle Repair - Major								C				P		
82.83. Vehicle Repair - Minor								P				P		
83.84. _____ Warehouse												P		
84.85. Wholesale Establishment												P		
85.86. Winery, Micro						P	P	P	P	P				

SECTION 3. AMENDMENT OF ORDINANCE. Section 168.07 of the North Liberty Code of Ordinances, is amended by renumbering existing subparagraphs 1 through 85 to 2 through 86, respectively, inserting the following new subparagraph 1 immediately after the first unnumbered paragraph as follows:

1. Accessory Dwelling Unit (ADU).

A. Defined. Accessory Dwelling Unit (ADU) means a self-contained unit that provides living facilities on the same lot as a primary dwelling. ADUs can be attached, detached, or repurposed from existing space within the primary dwelling.

B. Use Standards.

- (1) A property shall be limited to one ADU not exceeding 1,000 square feet, or 50% of the total assessed living area of the residence in accordance with Johnson County Assessor's Office records, whichever is larger.
- (2) Each ADU must be located on a frost-protected perimeter foundation.
- (3) Each ADU is subject to the maximum height and setback requirements in the underlying zoning district.
- (4) No ADU shall be located within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
- (5) Detached ADUs shall be standalone structures and not be attached or in combination with any other structures.

SECTION 4. AMENDMENT OF ORDINANCE. Subsection 2, Subparagraph A of Section 165.09 of the North Liberty Code of Ordinances, is amended as follows:

2. Freestanding Garages, Storage Buildings, Greenhouses, Gazebos, Pergolas, and other Similar Structures greater than 200 Square Feet Gross Floor Area.

A. RS, RD and ID districts shall be subject to the following:

- (1) A maximum of one freestanding garage building, greenhouse, gazebo, pergola, or other similar structure greater than 200 square feet gross floor area. No other structure(s) greater than 200 square feet gross floor area are permitted if the property contains a detached Accessory Dwelling Unit (ADU) as defined in Section 168.07(1).
- (2) Freestanding garages or combination of structures, which include a freestanding garage: A maximum gross floor area of 850 square feet. RS district exception: on properties exceeding .5 acres but less than .75 acres, the maximum gross floor area shall be 1,000 square feet. On properties exceeding .75 acres but less than one acre, the maximum gross floor area shall be 1,200 square feet. On properties exceeding one acre, the maximum gross floor area shall be 1,400 square feet. Notwithstanding the foregoing, the gross floor area shall not exceed the total footprint of the residence.
- (3) All other structures or combinations of structures, which do not include a freestanding garage: A maximum gross floor area of 600 square feet.

- (4) Structures as described in subparagraphs (1) and (2) above may be located within the rear yard subject to a five-foot side and rear setback.
- (5) Structures as described in subparagraphs (1) and (2) above may be located within a side yard subject to meeting the required side and rear yard setbacks for the main building.
- (6) Structures as described in subparagraphs (1) and (2) above shall be situated a minimum 20 feet from a public or private right-of-way or improved alley.

SECTION 5. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 6. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 7. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 8. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First consideration on

Second consideration on

Third and final consideration on

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ORDINANCE NO. 2025-15

AN ORDINANCE AMENDING THE NORTH LIBERTY CODE OF ORDINANCES CHAPTER 165 GOVERNING ZONING MAP AMENDMENTS, CHAPTER 168 GOVERNING THE USE MATRIX TABLE AND USES DEFINED AND USE STANDARDS AND CHAPTER 169 GOVERNING ACCESSORY STRUCTURES AND USES

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT OF ORDINANCE. Subsection 4 of Section 165.09 of the North Liberty Code of Ordinances, is amended as follows:

4. Procedure. All applications must be filed with the Code Official. The Code Official will schedule the consideration of the completed by the Planning Commission. Amendments initiated by the City also require an application, but are exempt from fees.
 - A. Good Neighbor Meeting. Good neighbor meetings are intended to allow an applicant to share the details of the application, answer questions, and receive feedback prior to formal consideration by the Planning Commission.
 1. Requirement. Good Neighbor meetings are required to be held for all rezoning applications filed by private property owners. In the event that a proposed subdivision is dependent upon the property first being rezoned, the requirements of the good neighbor meeting in accordance with Chapter 180 shall be fulfilled as long as the notice and presentation include both requests.
 2. Meeting Notice and Conduct.
 - (a) The City shall mail notification of the meeting to all property owners within the 200 feet of the subject property. The City may expand the notification of the neighborhood meeting if it deems warranted. The City is not required to be notified by mail of the Good Neighbor Meeting.
 - (b) The City shall post notice of the meeting on the City's website.
 - (c) The meeting will be moderated by City staff.
 3. Meeting Notice Content.
 - (a) The notifications will include the time, date and location of the meeting, and a brief description of the proposed rezoning. Other information or material such as a map of the area may be included to clarify the notice.
 4. Timing.
 - (a) The Good Neighbor meeting shall be held a minimum of 12 days prior to the Planning Commission's consideration of the application.

- (b) Notifications shall be sent, delivered and/or posted no later than ten (10) days prior to the Good Neighbor meeting.

SECTION 2. AMENDMENT OF ORDINANCE. Table 168.06 of Section 168.06 of the North Liberty Code of Ordinances, is amended as follows:

Table 168.06: Use Matrix See Section 168.07 for Use Definitions and Use Standards														
Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CUC-3	O R/P	I-1	I-2	P
<u>1.</u> Accessory Dwelling Unit		P												
<u>2.</u> Adult Entertainment													C	
<u>3.</u> Agricultural Experience	C													
<u>4.</u> Agriculture	P													
<u>5.</u> Amusement Facility – Indoor						C	P	P	P	P				
<u>6.</u> Amusement Facility – Outdoor									C					
<u>7.</u> Animal Care Facility						P	P	P				P		
<u>8.</u> Animal Shelter												C		C
<u>9.</u> Art Gallery						P	P	P	P	P				
<u>10.</u> Arts and Fitness Studio						P	P	P	P	P		P		
<u>11.</u> Bar						P	P	P	P	P		P		
<u>12.</u> Bed and Breakfast Home		C												
<u>13.</u> Body Art Establishment								P						
<u>14.</u> Brewery-Micro						P	P	P	P	P				
<u>15.</u> Broadcasting Studio								P	P					P
<u>16.</u> Building Trades and Services								P	P			P		
<u>17.</u> Car Wash								P						
<u>18.</u> Child Care Center						P	P	P	P	P	P			P
<u>19.</u> Child Care Home		P			P									
<u>20.</u> Child Development Home		P												
<u>21.</u> Community Center						P	P	P	P	P				P
<u>22.</u> Community Pantry	C	C	C	C		C	P	P						
<u>23.</u> Cultural Facility						P	P	P	P	P				P

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CUC-3	OR/P	I-1	I-2	P
<u>24.</u> Distillery, Micro						P	P	P	P	P				
<u>25.</u> Drive-Through Facility						C	P	P	P	P	P			
<u>26.</u> Dwelling – Manufactured Home					P									
<u>27.</u> Dwelling – Mixed Use						P	P	P	P	P				
<u>28.</u> Dwelling – Multiple-Unit				P				P	P	P				
<u>29.</u> Dwelling – Single-Unit	P	P												
<u>30.</u> Dwelling – Single-Unit Zero Lot Line			P											
<u>31.</u> Dwelling – Townhouse				P				P						
<u>32.</u> Dwelling – Two Unit			P	P										
<u>33.</u> Educational Facility – Primary	P	P	P	P		P	P	P	P	P				P
<u>34.</u> Educational Facility – Secondary	P	P	P	P		P	P	P	P	P				P
<u>35.</u> Educational Facility – University or College									P	P	P			P
<u>36.</u> Educational Facility – Vocational						C	P	P	P	P		P		
<u>37.</u> Financial Institution						P	P	P	P	P				
<u>38.</u> Fireworks, Retail Sales of						P	P	P	P	P	P	P	P	
<u>39.</u> Food Bank												P		
<u>40.</u> Fueling Station							P	P	P			P		
<u>41.</u> Fulfillment Center, Micro								C	C			P		
<u>42.</u> Funeral Home								P						
<u>43.</u> Golf Course/Driving Range							P							P
<u>44.</u> Greenhouse/Nursery – Retail												P		
<u>45.</u> Group Home	P	P	P		P									

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CUC-3	OR/P	I-1	I-2	P
46. Healthcare Institution									P	P				P
47. Heavy Rental and Service Establishment												P		
48. Heavy Retail Establishment									P			P		
49. Hotel						C	P	P	P	P	P			
50. Industrial - General													P	
51. Industrial - Light												P	P	
52. Industrial Design							P	P	P			P		
53. Live Performance Venue						P	P	P	P	P				
54. Manufactured Home Park					P									
55. Medical/Dental Office						P	P	P	P	P				
56. Office						P	P	P	P	P	P	P		P
57. Outdoor Seating						P	P	P	P	P				P
58. Park, Private	P	P	P	P	P	P	P	P	P	P	P			
59. Park, Public														P
60. Parking Lot (Principal Use)						C	P	P	P	P		P		P
61. Parking Structure (Principal Use)						C	P	P	P	P		P		P
62. Personal Services Establishment						P	P	P	P	P				
63. Place of Worship	P	P	P	P		P	P	P	P	P				
64. Private Club						P	P	P	P	P				
65. Public Safety Facility														P
66. Public Works Facility														P
67. Research and Development								P	P		P	P		
68. Residential Care Facility				P			P	P	P	P				

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CUC-3	OR/P	I-1	I-2	P
69. Restaurant						P	P	P	P	P		P		P
70. Retail Good Establishment						P	P	P	P	P		P		
71. Salvage Yard													C	
72. Self-Storage – Enclosed								P	P			P		
73. Self-Storage - Outdoor								C	C			P		
74. Specialty Food Service						P	P	P	P	P		P		
75. Storage – Outdoor (Principal Use)												C	P	
76. Truck Stop												C	P	
77. Utility (Sub)Stations	P	P	P	P	P	P	P	P	P	P	P	P	P	P
78. Vehicle Dealership, New and Used								P	P					
79. Vehicle Dealership, Used								C						
80. Vehicle Operations Facility												P		P
81. Vehicle Rental												P		
82. Vehicle Repair - Major								C				P		
83. Vehicle Repair - Minor								P				P		
84. Warehouse												P		
85. Wholesale Establishment												P		
86. Winery, Micro						P	P	P	P	P				

SECTION 3. AMENDMENT OF ORDINANCE. Section 168.07 of the North Liberty Code of Ordinances, is amended by renumbering existing subparagraphs 1 through 85 to 2 through 86, respectively, inserting the following new subparagraph 1 immediately after the first unnumbered paragraph as follows:

1. Accessory Dwelling Unit (ADU).
 - A. Defined. Accessory Dwelling Unit (ADU) means a self-contained unit that provides living facilities on the same lot as a primary dwelling. ADUs can be attached, detached, or repurposed from existing space within the primary dwelling.
 - B. Use Standards.
 - (1) A property shall be limited to one ADU not exceeding 1,000 square feet, or 50% of the total assessed living area of the residence in accordance with Johnson County Assessor's Office records, whichever is larger.
 - (2) Each ADU must be located on a frost-protected perimeter foundation.
 - (3) Each ADU is subject to the maximum height and setback requirements in the underlying zoning district.
 - (4) No ADU shall be located within any utility, sewer, drainage, access or walkway easement, where such easement is dedicated to the City or to public use.
 - (5) Detached ADUs shall be standalone structures and not be attached or in combination with any other structures.

SECTION 4. AMENDMENT OF ORDINANCE. Subsection 2, Subparagraph A of Section 165.09 of the North Liberty Code of Ordinances, is amended as follows:

2. Freestanding Garages, Storage Buildings, Greenhouses, Gazebos, Pergolas, and other Similar Structures greater than 200 Square Feet Gross Floor Area.
 - A. RS, RD and ID districts shall be subject to the following:
 - (1) A maximum of one freestanding garage building, greenhouse, gazebo, pergola, or other similar structure greater than 200 square feet gross floor area. No other structure(s) greater than 200 square feet gross floor area are permitted if the property contains a detached Accessory Dwelling Unit (ADU) as defined in Section 168.07(1).
 - (2) Freestanding garages or combination of structures, which include a freestanding garage: A maximum gross floor area of 850 square feet. RS district exception: on properties exceeding .5 acres but less than .75 acres, the maximum gross floor area shall be 1,000 square feet. On properties exceeding .75 acres but less than one acre, the maximum gross floor area shall be 1,200 square feet. On properties exceeding one acre, the maximum gross floor area shall be 1,400 square feet. Notwithstanding the foregoing, the gross floor area shall not exceed the total footprint of the residence.

- (3) All other structures or combinations of structures, which do not include a freestanding garage: A maximum gross floor area of 600 square feet.
- (4) Structures as described in subparagraphs (1) and (2) above may be located within the rear yard subject to a five-foot side and rear setback.
- (5) Structures as described in subparagraphs (1) and (2) above may be located within a side yard subject to meeting the required side and rear yard setbacks for the main building.
- (6) Structures as described in subparagraphs (1) and (2) above shall be situated a minimum 20 feet from a public or private right-of-way or improved alley.

SECTION 5. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 6. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 7. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 8. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First consideration on
Second consideration on
Third and final consideration on

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2025-15 in *The Gazette* on the ____ day of _____, 2025.

TRACEY MULCAHEY, CITY CLERK



2025A Bond Sale

MINUTES TO AUTHORIZE SALE AND
ISSUANCE OF TAXABLE BONDS

421033-100

North Liberty, Iowa

June 10, 2025

The City Council of the City of North Liberty, Iowa, met on June 10, 2025, at 6:00 p.m., at the City Hall, North Liberty, Iowa.

The meeting was called to order by the Mayor, and the roll was called showing the following Council Members present and absent:

Present: _____

Absent: _____.

This being the time and place fixed by the City Council for the consideration of bids for the purchase of Taxable General Obligation Urban Renewal Bonds, Series 2025A to be issued in evidence of the City's obligation under a loan agreement, the Mayor announced that bids had been received and canvassed on behalf of the City at the time and place fixed therefor.

The results of the bids were then read and the substance of such bids was noted in the minutes, as follows:

Name and Address of Bidder

Final Bid (interest cost)

(Attached bid tabulation)

After due consideration and discussion, Council Member _____ introduced the following resolution and moved its adoption, seconded by Council Member _____. The Mayor put the question upon the adoption of said resolution, and the roll being called, the following Council Members voted:

Ayes: _____

Nays: _____.

Whereupon, the Mayor declared the resolution duly adopted as hereinafter set out.

• • • •

At the conclusion of the meeting, and upon motion and vote, the City Council adjourned.

Mayor

Attest:

City Clerk

RESOLUTION NO. 2025-63

Resolution authorizing and approving a Loan Agreement, providing for the sale and issuance of \$21,455,000 Taxable General Obligation Urban Renewal Bonds, Series 2025A and providing for the levy of taxes to pay the same

WHEREAS, the City of North Liberty (the “City”), in Johnson County, State of Iowa, heretofore proposed to enter into a Taxable General Obligation Urban Renewal Loan Agreement (the “2025A Loan Agreement”) pursuant to the provisions of Section 384.24A of the Code of Iowa and to borrow money thereunder in a principal amount not to exceed \$22,000,000 for the purpose to that extent, of undertaking the Urban Central District Revitalization Project (the “Project”), an urban renewal project in the North Liberty Urban Renewal Area which was authorized by action of the City Council on April 22, 2025; and in lieu of calling an election upon such proposal, has published notice of the proposed action and has held a hearing thereon, on May 13, 2025, and as of such date, no petition had been filed with the City asking that the question of entering into the Loan Agreement be submitted to the registered voters of the City; and

WHEREAS, the City shall issue Taxable General Obligation Urban Renewal Bonds, Series 2025A (the “Bonds”) in evidence of its obligations under the 2025A Loan Agreement; and

WHEREAS, a Preliminary Official Statement (the “P.O.S.”) has been prepared to facilitate the sale of the Bonds to be issued in evidence of the obligation of the City under the 2025A Loan Agreement, and the City Council has made provision for the approval of the P.O.S. and has authorized its use by Independent Public Advisors, LLC, as municipal financial advisor to the City; and

WHEREAS, pursuant to advertisement of sale, bids for the purchase of the Bonds to be issued in evidence of the City’s obligation under the 2025A Loan Agreement were received and canvassed on behalf of the City at the appointed time for the payment of costs of a portion of the Project; and

WHEREAS, upon final consideration of all bids, the bid of _____, [CITY], [STATE] (the “Purchaser”), was the best, such bid proposing the lowest interest cost to the City; and

WHEREAS, it is now necessary to make final provision for the approval of the 2025A Loan Agreement and to authorize the issuance of the Bonds;

NOW, THEREFORE, Be It Resolved by the City Council of the City of North Liberty, Iowa, as follows:

Section 1. The form of agreement of sale of the Bonds with the Purchaser is hereby approved, and the Mayor and City Clerk are hereby authorized to accept and execute the same for and on behalf of the City.

Section 2. The City shall enter into the 2025A Loan Agreement with the Purchaser in substantially the form as has been placed on file with the City Council, providing for a loan to the City in the principal amount of \$21,455,000 for the purposes set forth in the preamble hereof.

The Mayor and City Clerk are hereby authorized and directed to sign the 2025A Loan Agreement on behalf of the City, and the 2025A Loan Agreement is hereby approved.

Section 3. The bid of the Purchaser referred to in the preamble hereof is hereby accepted, and the Bonds, in the aggregate principal amount of \$21,455,000, are hereby authorized to be issued in evidence of the City's obligations under the 2025A Loan Agreement. The Bonds shall be dated June 30, 2025, shall be issued in the denomination of \$5,000 each or any integral multiple thereof and shall mature on June 1 in each of the years, in the respective principal amounts, and bearing interest at the respective rates as follows:

<u>Date</u>	<u>Principal</u>	<u>Interest Rate</u>	<u>Date</u>	<u>Principal</u>	<u>Interest Rate</u>
2027	\$ 700,000	_____ %	2037	\$1,130,000	_____ %
2028	\$ 730,000	_____ %	2038	\$1,190,000	_____ %
2029	\$ 765,000	_____ %	2039	\$1,255,000	_____ %
2030	\$ 800,000	_____ %	2040	\$1,320,000	_____ %
2031	\$ 835,000	_____ %	2041	\$1,400,000	_____ %
2032	\$ 880,000	_____ %	2042	\$1,480,000	_____ %
2033	\$ 920,000	_____ %	2043	\$1,565,000	_____ %
2034	\$ 970,000	_____ %	2044	\$1,660,000	_____ %
2035	\$1,020,000	_____ %	2045	\$1,760,000	_____ %
2036	\$1,075,000	_____ %			

Section 4. UMB Bank, n.a., West Des Moines, Iowa, is hereby designated as the Registrar and Paying Agent for the Bonds and may be hereinafter referred to as the "Registrar" or the "Paying Agent." The City shall enter into an agreement (the "Registrar/Paying Agent Agreement") with the Registrar, in substantially the form as has been placed on file with the Council; the Mayor and City Clerk are hereby authorized and directed to sign the Registrar/Paying Agent Agreement on behalf of the City; and the Registrar/Paying Agent Agreement is hereby approved.

The City reserves the right to optionally prepay part or all of the principal of the Bonds maturing in the years 2034 to 2045, inclusive, prior to and in any order of maturity on June 1, 2033, or on any date thereafter upon terms of par and accrued interest. If less than all of the Bonds of any like maturity are to be redeemed, the particular part of those Bonds to be redeemed shall be selected by the Registrar by lot. The Bonds may be called in part in one or more units of \$5,000.

[Term Bond Placeholder] Principal of the Bond maturing on June 1, 20__ is subject to mandatory redemption (by lot, as selected by the Registrar) on June 1, 20__ and June 1, 20__, at a redemption price of 100% of the principal amount thereof to be redeemed, plus accrued interest thereon to the redemption date, in the following principal amounts:

<u>Year</u>	<u>Principal Amount</u>
20__	\$ _____
20__	\$ _____
20__	\$ _____ (Maturity)

If less than the entire principal amount of any Bond in a denomination of more than \$5,000 is to be redeemed, the Registrar will issue and deliver to the registered owner thereof, upon surrender of such original Bond, a new Bond or Bonds, in any authorized denomination, in a total aggregate principal amount equal to the unredeemed balance of the original Bond. Notice of such redemption as aforesaid identifying the Bond or Bonds (or portion thereof) to be redeemed shall be sent by electronic means or by certified mail to the registered owners thereof at the addresses shown on the City's registration books not less than 30 days prior to such redemption date. All of such Bonds as to which the City reserves and exercises the right of redemption and as to which notice as aforesaid shall have been given and for the redemption of which funds are duly provided, shall cease to bear interest on the redemption date.

Accrued interest on the Bonds shall be payable semiannually on the first day of June and December in each year, commencing December 1, 2025. Interest shall be calculated on the basis of a 360-day year comprised of twelve 30-day months. Payment of interest on the Bonds shall be made to the registered owners appearing on the registration books of the City at the close of business on the fifteenth day of the month next preceding the interest payment date and shall be paid to the registered owners at the addresses shown on such registration books. Principal of the Bonds shall be payable in lawful money of the United States of America to the registered owners or their legal representatives upon presentation and surrender of the Bond or Bonds at the office of the Paying Agent.

The Bonds shall be executed on behalf of the City with the official manual or facsimile signature of the Mayor and attested with the official manual or facsimile signature of the City Clerk, and shall be fully registered Bonds without interest coupons. In case any officer whose signature or the facsimile of whose signature appears on the Bonds shall cease to be such officer before the delivery of the Bonds, such signature or such facsimile signature shall nevertheless be valid and sufficient for all purposes, the same as if such officer had remained in office until delivery.

The Bonds shall not be valid or become obligatory for any purpose until the Certificate of Authentication thereon shall have been signed by the Registrar.

The Bonds shall be fully registered as to principal and interest in the names of the owners on the registration books of the City kept by the Registrar, and after such registration, payment of the principal thereof and interest thereon shall be made only to the registered owners or their legal representatives or assigns. Each Bond shall be transferable only upon the registration books of the City upon presentation to the Registrar, together with either a written instrument of transfer satisfactory to the Registrar or the assignment form thereon completed and duly executed by the registered owner or the duly authorized attorney for such registered owner.

The record and identity of the owners of the Bonds shall be kept confidential as provided by Section 22.7 of the Code of Iowa.

Section 5. Notwithstanding anything above to the contrary, the Bonds shall be issued initially as Depository Bonds, with one fully registered Bond for each maturity date, in principal amounts equal to the amount of principal maturing on each such date, and registered in the name of Cede & Co., as nominee for The Depository Trust Company, New York, New York ("DTC"). On original issue, the Bonds shall be deposited with DTC for the purpose of maintaining a book-entry system for recording the ownership interests of its participants and the transfer of those interests

among its participants (the “Participants”). In the event that DTC determines not to continue to act as securities depository for the Bonds or the City determines not to continue the book-entry system for recording ownership interests in the Bonds with DTC, the City will discontinue the book-entry system with DTC. If the City does not select another qualified securities depository to replace DTC (or a successor depository) in order to continue a book-entry system, the City will register and deliver replacement Bonds in the form of fully registered certificates, in authorized denominations of \$5,000 or integral multiples of \$5,000, in accordance with instructions from Cede & Co., as nominee for DTC. In the event that the City identifies a qualified securities depository to replace DTC, the City will register and deliver replacement Bonds, fully registered in the name of such depository, or its nominee, in the denominations as set forth above, as reduced from time to time prior to maturity in connection with redemptions or retirements by call or payment, and in such event, such depository will then maintain the book-entry system for recording ownership interests in the Bonds.

Ownership interests in the Bonds may be purchased by or through Participants. Such Participants and the persons for whom they acquire interests in the Bonds as nominees will not receive certificated Bonds, but each such Participant will receive a credit balance in the records of DTC in the amount of such Participant’s interest in the Bonds, which will be confirmed in accordance with DTC’s standard procedures. Each such person for which a Participant has an interest in the Bonds, as nominee, may desire to make arrangements with such Participant to have all notices of redemption or other communications of the City to DTC, which may affect such person, forwarded in writing by such Participant and to have notification made of all interest payments.

The City will have no responsibility or obligation to such Participants or the persons for whom they act as nominees with respect to payment to or providing of notice for such Participants or the persons for whom they act as nominees.

As used herein, the term “Beneficial Owner” shall hereinafter be deemed to include the person for whom the Participant acquires an interest in the Bonds.

DTC will receive payments from the City, to be remitted by DTC to the Participants for subsequent disbursement to the Beneficial Owners. The ownership interest of each Beneficial Owner in the Bonds will be recorded on the records of the Participants whose ownership interest will be recorded on a computerized book-entry system kept by DTC.

When reference is made to any action which is required or permitted to be taken by the Beneficial Owners, such reference shall only relate to those permitted to act (by statute, regulation or otherwise) on behalf of such Beneficial Owners for such purposes. When notices are given, they shall be sent by the City to DTC, and DTC shall forward (or cause to be forwarded) the notices to the Participants so that the Participants can forward the same to the Beneficial Owners.

Beneficial Owners will receive written confirmations of their purchases from the Participants acting on behalf of the Beneficial Owners detailing the terms of the Bonds acquired. Transfers of ownership interests in the Bonds will be accomplished by book entries made by DTC and the Participants who act on behalf of the Beneficial Owners. Beneficial Owners will not receive certificates representing their ownership interest in the Bonds, except as specifically

provided herein. Interest and principal will be paid when due by the City to DTC, then paid by DTC to the Participants and thereafter paid by the Participants to the Beneficial Owners.

Section 6. The Bonds shall be in substantially the following form:

(Form of Bond)

**UNITED STATES OF AMERICA
STATE OF IOWA
JOHNSON COUNTY
CITY OF NORTH LIBERTY**

TAXABLE GENERAL OBLIGATION URBAN RENEWAL BOND, SERIES 2025A

No. _____ \$ _____

RATE	MATURITY DATE	BOND DATE	CUSIP
_____%	June 1, 20__	June 30, 2025	_____

The City of North Liberty (the “City”), in Johnson County, State of Iowa, for value received, promises to pay on the maturity date of this Bond to

Cede & Co.
New York, New York

or registered assigns, the principal sum of

THOUSAND DOLLARS

in lawful money of the United States of America upon presentation and surrender of this Bond at the office of UMB BANK, n.a., West Des Moines, Iowa (hereinafter referred to as the “Registrar” or the “Paying Agent”), with interest on said sum, until paid, at the rate per annum specified above from the date of this Bond, or from the most recent interest payment date on which interest has been paid, on June 1 and December 1 of each year, commencing December 1, 2025, except as the provisions hereinafter set forth with respect to redemption prior to maturity may be or become applicable hereto. Interest on this Bond is payable to the registered owner appearing on the registration books of the City at the close of business on the fifteenth day of the month next preceding the interest payment date, and shall be paid to the registered owner at the address shown on such registration books. Interest shall be calculated on the basis of a 360-day year comprised of twelve 30-day months.

This Bond shall not be valid or become obligatory for any purpose until the Certificate of Authentication hereon shall have been signed by the Registrar.

This Bond is one of a series of Taxable General Obligation Urban Renewal Bonds, Series 2025A (the “Bonds”) issued by the City to evidence its obligation under a certain loan agreement, dated as of June 30, 2025 (the “Loan Agreement”), entered into by the City for the purpose of paying the cost, to that extent, of undertaking the Urban Central District Revitalization Project, an urban renewal project in the North Liberty Urban Renewal Area which was authorized by action of the City Council on April 22, 2025.

The Bonds are issued pursuant to and in strict compliance with the provisions of Chapters 76 and 384 of the Code of Iowa, 2025, and all other laws amendatory thereof and supplemental thereto, and in conformity with a resolution of the City Council, adopted on June 10, 2025, authorizing and approving the Loan Agreement and providing for the issuance and securing the payment of the Bonds (the “Resolution”), and reference is hereby made to the Resolution and the Loan Agreement for a more complete statement as to the source of payment of the Bonds and the rights of the owners of the Bonds.

The City reserves the right to optionally prepay part or all of the principal of the Bonds maturing in the years 2034 to 2045, inclusive, prior to and in any order of maturity on June 1, 2033, or on any date thereafter upon terms of par and accrued interest. If less than all of the Bonds of any like maturity are to be redeemed, the particular part of those Bonds to be redeemed shall be selected by the Registrar by lot. The Bonds may be called in part in one or more units of \$5,000. [Term Bond Placeholder] Principal of the Bonds maturing on June 1 in the year 20__ is subject to mandatory redemption (by lot, as selected by the Registrar) on June 1 in the years 20__ and 20__, in accordance with

the mandatory redemption schedules set forth in the Resolution at a redemption price of 100% of the principal amount thereof to be redeemed, plus accrued interest thereon to the redemption date.

If less than the entire principal amount of any Bond in a denomination of more than \$5,000 is to be redeemed, the Registrar will issue and deliver to the registered owner thereof, upon surrender of such original Bond, a new Bond or Bonds, in any authorized denomination, in a total aggregate principal amount equal to the unredeemed balance of the original Bond. Notice of such redemption as aforesaid identifying the Bond or Bonds (or portion thereof) to be redeemed shall be sent by electronic means or by certified mail to the registered owners thereof at the addresses shown on the City's registration books not less than 30 days prior to such redemption date. All of such Bonds as to which the City reserves and exercises the right of redemption and as to which notice as aforesaid shall have been given and for the redemption of which funds are duly provided, shall cease to bear interest on the redemption date.

This Bond is fully negotiable but shall be fully registered as to both principal and interest in the name of the owner on the books of the City in the office of the Registrar, after which no transfer shall be valid unless made on said books and then only upon presentation of this Bond to the Registrar, together with either a written instrument of transfer satisfactory to the Registrar or the assignment form hereon completed and duly executed by the registered owner or the duly authorized attorney for such registered owner.

The City, the Registrar and the Paying Agent may deem and treat the registered owner hereof as the absolute owner for the purpose of receiving payment of or on account of principal hereof, premium, if any, and interest due hereon and for all other purposes, and the City, the Registrar and the Paying Agent shall not be affected by any notice to the contrary.

And It Is Hereby Certified and Recited that all acts, conditions and things required by the laws and Constitution of the State of Iowa, to exist, to be had, to be done or to be performed precedent to and in the issue of this Bond were and have been properly existent, had, done and performed in regular and due form and time; that provision has been made for the levy of a sufficient continuing annual tax on all the taxable property within the City for the payment of the principal of and interest on this Bond as the same will respectively become due; and that the total indebtedness of the City, including this Bond, does not exceed any constitutional or statutory limitations.

IN TESTIMONY WHEREOF, the City of North Liberty, Iowa, by its City Council, has caused this Bond to be executed with the duly authorized facsimile signature of its Mayor and attested with the duly authorized facsimile signature of its City Clerk, as of June 30, 2025.

CITY OF NORTH LIBERTY, IOWA

By (DO NOT SIGN)

Mayor

Attest:

(DO NOT SIGN)

City Clerk

Registration Date: (Registration Date)

REGISTRAR'S CERTIFICATE OF AUTHENTICATION

This Bond is one of the Bonds described in the within-mentioned Resolution.

UMB BANK, n.a.
West Des Moines, Iowa
Registrar

By (Authorized Signature)

Authorized Officer

ABBREVIATIONS

The following abbreviations, when used in this Bond, shall be construed as though they were written out in full according to applicable laws or regulations:

TEN COM	-	as tenants in common	UTMA	_____
TEN ENT	-	as tenants by the entireties		(Custodian)
JT TEN	-	as joint tenants with right of survivorship and not as tenants in common	As Custodian for	_____
				(Minor)
			under Uniform Transfers to Minors Act	_____
				(State)

Additional abbreviations may also be used though not in the list above.

ASSIGNMENT

For valuable consideration, receipt of which is hereby acknowledged, the undersigned assigns this Bond to

(Please print or type name and address of Assignee)

PLEASE INSERT SOCIAL SECURITY OR OTHER
IDENTIFYING NUMBER OF ASSIGNEE

and does hereby irrevocably appoint _____, Attorney, to transfer this Bond on the books kept for registration thereof with full power of substitution.

Dated: _____

Signature guaranteed:

(Signature guarantee must be provided in accordance with the prevailing standards and procedures of the Registrar and Transfer Agent. Such standards and procedures may require signatures to be guaranteed by certain eligible guarantor institutions that participate in a recognized signature guarantee program.)

NOTICE: The signature to this Assignment must correspond with the name of the registered owner as it appears on this Bond in every particular, without alteration or enlargement or any change whatever.

Section 7. The Bonds shall be executed as herein provided as soon after the adoption of this resolution as may be possible, and thereupon they shall be delivered to the Registrar for registration, authentication and delivery to or on behalf of the Purchaser, upon receipt of the loan proceeds (\$_____) including original issue premium (\$_____) (the "Loan Proceeds"), and all action heretofore taken in connection with the 2025A Loan Agreement is hereby ratified and confirmed in all respects.

A portion of the Loan Proceeds (\$_____) shall be retained by the Purchaser as the underwriter's discount.

A portion of the Loan Proceeds (\$_____) (the "Project Proceeds") received from the sale of the Bonds shall be deposited in a dedicated fund (the "Project Fund"), which is hereby created, to be used for the payment of costs of the Project and to the extent that Project Proceeds remain after the full payment of the costs of the Project, such Proceeds, shall be transferred to the Debt Service Fund for the payment of interest on the Bonds.

The remainder of the Loan Proceeds (\$_____) (the "Cost of Issuance Proceeds"), received from the sale of the Bonds shall be deposited in the Project Fund, and shall be used for the payment of costs of issuance of the Bonds, and to the extent that Cost of Issuance Proceeds remain after the full payment of the costs of issuance of the Bonds, such Cost of Issuance Proceeds shall be transferred to the Debt Service Fund for the payment of interest on the Bonds.

The City shall keep a detailed and segregated accounting of the expenditure of, and investment earnings on, the Loan Proceeds.

Section 8. For the purpose of providing for the levy and collection of a direct annual tax sufficient to pay the principal of and interest on the Bonds as the same become due, there is hereby ordered levied on all the taxable property in the City the following direct annual tax for collection in each of the following fiscal years:

For collection in the fiscal year beginning July 1, 2026,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2027,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2028,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2029,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2030,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2031,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2032,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2033,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2034,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2035,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2036,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2037,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2038,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2039,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2040,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2041,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2042,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2043,
sufficient to produce the net annual sum of \$_____; and

For collection in the fiscal year beginning July 1, 2044,
sufficient to produce the net annual sum of \$_____.

Section 9. A certified copy of this resolution shall be filed with the County Auditor of Johnson County, and the County Auditor is hereby instructed to enter for collection and assess the tax hereby authorized. When annually entering such taxes for collection, the County Auditor shall include the same as a part of the tax levy for Debt Service Fund purposes of the City and when collected, the proceeds of the taxes shall be converted into the Debt Service Fund of the City and set aside therein as a special account to be used solely and only for the payment of the principal of and interest on the Bonds hereby authorized and for no other purpose whatsoever.

Pursuant to the provisions of Section 76.4 of the Code of Iowa, each year while the Bonds remain outstanding and unpaid, any funds of the City which may lawfully be applied for such

purpose may be appropriated, budgeted and, if received, used for the payment of the principal of and interest on the Bonds as the same become due, and if so appropriated, the taxes for any given fiscal year as provided for in Section 8 of this Resolution, shall be reduced by the amount of such alternate funds as have been appropriated for said purpose and evidenced in the City's budget. The Project identified in the preamble hereof has been authorized and approved as an urban renewal project of the City. The City hereby declares its intent to use incremental property tax revenues from its respective urban renewal area pursuant to Section 403.19 of the Code of Iowa for the payment of some or all of the principal of and interest on the Bonds allocable to the financing of such urban renewal project.

Section 10. The interest or principal and both of them falling due in any year or years shall, if necessary, be paid promptly from current funds on hand in advance of taxes levied and when the taxes shall have been collected, reimbursement shall be made to such current funds in the sum thus advanced.

Section 11. It is the intention of the City that the interest on the Bonds be and remain exempt from the taxes imposed by Subchapter II (Personal Net Income Tax) and Subchapter III (Business Tax on Corporations) of Chapter 422 of the Code of Iowa, as amended. The City hereby declares that the Bonds are being issued solely for the urban renewal purposes of the City pursuant to the authority granted in Section 403.12 of the Code of Iowa and under the urban renewal plan for the North Liberty Urban Renewal Area. Furthermore, the City covenants to use the proceeds from the issuance of the Bonds strictly for the carrying out of an urban renewal project in the North Liberty Urban Renewal Area as set forth in the preamble hereof.

Section 12. The Securities and Exchange Commission (the "SEC") has promulgated certain amendments to Rule 15c2-12 under the Securities Exchange Act of 1934 (17 C.F.R. § 240.15c2-12) (the "Rule") that make it unlawful for an underwriter to participate in the primary offering of municipal securities in a principal amount of \$1,000,000 or more unless, before submitting a bid or entering into a purchase contract for the bonds, an underwriter has reasonably determined that the issuer or an obligated person has undertaken in writing for the benefit of the bondholders to provide certain disclosure information to prescribed information repositories on a continuing basis or unless and to the extent the offering is exempt from the requirements of the Rule.

On the date of issuance and delivery of the Bonds, the City will execute and deliver a Continuing Disclosure Certificate pursuant to which the City will undertake to comply with the Rule. The City covenants and agrees that it will comply with and carry out the provisions of the Continuing Disclosure Certificate. Any and all of the officers of the City are hereby authorized and directed to take any and all actions as may be necessary to comply with the Rule and the Continuing Disclosure Certificate.

Section 13. All resolutions or parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

Section 14. This resolution shall be in full force and effect immediately upon its approval and adoption, as provided by law.

Passed and approved June 10, 2025.

Mayor

Attest:

City Clerk

ATTESTATION CERTIFICATE

STATE OF IOWA
JOHNSON COUNTY SS:
CITY OF NORTH LIBERTY

I, the undersigned, City Clerk of the City of North Liberty, do hereby certify that as such City Clerk I have in my possession or have access to the complete corporate records of the City and of its City Council and officers and that I have carefully compared the transcript hereto attached with those corporate records and that the transcript hereto attached is a true, correct and complete copy of all the corporate records in relation to the adoption of a resolution authorizing a 2025A Loan Agreement and providing for the sale and issuance of \$21,455,000 Taxable General Obligation Urban Renewal Bonds, Series 2025A of the City evidencing the City's obligation under the 2025A Loan Agreement and that the transcript hereto attached contains a true, correct and complete statement of all the measures adopted and proceedings, acts and things had, done and performed up to the present time with respect thereto.

I further certify that no appeal has been taken to the District Court from the decision of the City Council to enter into the 2025A Loan Agreement, to issue the Bonds or to levy taxes to pay the principal of and interest on the Bonds.

WITNESS MY HAND this _____ day of _____, 2025.

City Clerk

COUNTY FILING CERTIFICATE

STATE OF IOWA

SS:

JOHNSON COUNTY

I, the undersigned, County Auditor of Johnson County, in the State of Iowa, do hereby certify that on the _____ day of _____, 2025, the City Clerk of the City of North Liberty filed in my office a certified copy of a resolution of such City shown to have been adopted by the City Council and approved by the Mayor thereof on June 10, 2025, entitled: "Resolution authorizing and approving a 2025A Loan Agreement, providing for the sale and issuance of \$21,455,000 Taxable General Obligation Urban Renewal Bonds, Series 2025A and providing for the levy of taxes to pay the same," and that I have duly placed a copy of the resolution on file in my records.

I further certify that the taxes provided for in that resolution will in due time, manner and season be entered on the State and County tax lists of this County for collection in the fiscal year beginning July 1, 2026, and subsequent years as provided in the resolution.

WITNESS MY HAND this _____ day of _____, 2025.

County Auditor



2025B Bond Sale

MINUTES TO AUTHORIZE SALE AND
ISSUANCE OF BONDS

421033-101

North Liberty, Iowa

June 10, 2025

The City Council of the City of North Liberty, Iowa, met on June 10, 2025, at _____
o'clock _____.m., at the _____,
North Liberty, Iowa.

The meeting was called to order by the Mayor, and the roll being called, the following
named Council Members were present and absent:

Present: _____

Absent: _____.

This being the time and place fixed by the City Council for the consideration of bids for
the purchase of General Obligation Corporate Purpose Bonds, Series 2025B to be issued in
evidence of the City's obligation under a loan agreement, the Mayor announced that bids had been
received and canvassed on behalf of the City at the time and place fixed therefor.

The results of the bids were then read and the substance of such bids was noted in the
minutes, as follows:

Name and Address of Bidder

Final Bid (interest cost)

(Attached bid tabulation)

After due consideration and discussion, Council Member _____
introduced the resolution hereinafter next set out and moved that the resolution be adopted,
seconded by Council Member _____. After due consideration, the
Mayor put the question on the motion and the roll being called, the following named Council
Members voted:

Ayes: _____

Nays: _____.

Whereupon, the Mayor declared the resolution duly adopted, as hereinafter set out.

RESOLUTION NO. _____

Resolution authorizing and approving a certain Loan Agreement, providing for the sale and issuance of \$8,750,000 General Obligation Corporate Purpose Bonds, Series 2025B, and providing for the levy of taxes to pay the same

WHEREAS, the City of North Liberty (the “City”), in Johnson County, State of Iowa, heretofore proposed to enter into a General Obligation Corporate Purpose Loan Agreement (the “General Purpose Loan Agreement”), pursuant to the provisions of Section 384.24A of the Code of Iowa, and to borrow money thereunder in a principal amount not to exceed \$3,850,000 for the purpose of paying the costs, to that extent, of (a) constructing street, storm water drainage, sidewalk, water utility system and sanitary sewer utility system improvements; and (b) acquiring and installing street lighting, signage and signalization improvements, and in lieu of calling an election upon such proposal, has published notice of the proposed action and has held a hearing thereon, and as of May 13, 2025, no petition had been filed with the City asking that the question of entering into the General Purpose Loan Agreement be submitted to the registered voters of the City; and

WHEREAS, the City also heretofore proposed to enter into a loan agreement (the “2021 Loan Agreement”), pursuant to the provisions of Section 384.24A and 384.24.3(q) of the Code of Iowa, and to borrow money thereunder in a principal amount not to exceed \$9,300,000 for the purpose of paying the costs, to that extent, of undertaking the City Hall Project, an urban renewal project in the North Liberty Urban Renewal Area (such project having been authorized by action of the City Council on December 14, 2021 and consisting of constructing, furnishing and equipping a new City Hall facility), and in lieu of calling an election upon such proposal, has published notice of the proposed action, including notice of the right to petition for an election, and has held a hearing thereon, and as of January 11, 2022, no petition had been filed with the City asking that the question of entering into the 2021 Loan Agreement be submitted to the registered voters of the City; and

WHEREAS, the City also proposed to enter into an additional loan agreement (the “2022 Loan Agreement”), pursuant to the provisions of Section 384.24A and 384.24.3(q) of the Code of Iowa, and to borrow money thereunder in a principal amount not to exceed \$500,000 for the purpose of paying the costs, to that extent, of undertaking the City Hall Project; and in lieu of calling an election upon such proposal, has published notice of the proposed action, including notice of the right to petition for an election, and has held a hearing thereon, and as of October 25, 2022, no petition had been filed with the City asking that the question of entering into the 2022 Loan Agreement be submitted to the registered voters of the City; and

WHEREAS, the City used a portion (\$5,360,000) of its borrowing authority under the 2021 Loan Agreement and 2022 Loan Agreement to issue its General Obligation Corporate Purpose Bonds, Series 2023A and General Obligation Corporate Purpose Bonds, Series 2024A, leaving borrowing authority thereunder in the principal amount not to exceed \$4,440,000; and

WHEREAS, the City also proposed to enter into a General Obligation Urban Renewal Loan Agreement (the “Urban Renewal Loan Agreement,” and, together with the General Purpose

Loan Agreement, the 2021 Loan Agreement, and the 2022 Loan Agreement, the “Loan Agreements”) and to borrow money thereunder in a principal amount not to exceed \$6,000,000, pursuant to the provisions of Sections 384.24A and 384.24.3(q) of the Code of Iowa, for the purpose of paying the costs, to that extent, of undertaking the Centennial Park Improvements Project (referred to together with the City Hall Project as the “Urban Renewal Projects”), an urban renewal project of the City authorized by action of the City Council on March 24, 2020, and in lieu of calling an election upon such proposal, has published notice of the proposed action, including notice of the right to petition for an election, and has held a hearing thereon, and as of January 9, 2024, no petition had been filed with the City asking that the question of entering into the Urban Renewal Loan Agreement be submitted to the registered voters of the City; and

WHEREAS, the City used a portion (\$360,000) of its borrowing authority under the Urban Renewal Loan Agreement to issue its General Obligation Promissory Note, leaving borrowing authority thereunder in the principal amount not to exceed \$5,640,000; and

WHEREAS, pursuant to the provisions of Section 384.28 of the Code of Iowa, the City combined its remaining authority under the Loan Agreements into a single loan agreement (the “2025B Loan Agreement”); and

WHEREAS, a Preliminary Official Statement (the “P.O.S.”) has been prepared to facilitate the sale of General Obligation Corporate Purpose Bonds, Series 2025B (the “Bonds”) in evidence of the obligation of the City under the 2025B Loan Agreement, and the City has made provision for the approval of the P.O.S. and has authorized its use by Independent Public Advisors, LLC as municipal advisor to the City; and

WHEREAS, pursuant to advertisement of sale, bids for the purchase of the Bonds were received and canvassed on behalf of the City and the substance of such bids noted in the minutes; and

WHEREAS, upon final consideration of all bids, the bid of _____, _____ (the “Purchaser”), is the best, such bid proposing the lowest interest cost to the City for the Bonds; and

WHEREAS, it is now necessary to make final provision for the approval of the 2025B Loan Agreement and to authorize the issuance of the Bonds;

NOW, THEREFORE, Be It Resolved by the City Council of the City of North Liberty, as follows:

Section 1. The form of agreement of sale of the Bonds with the Purchaser is hereby approved, and the Mayor and City Clerk are hereby authorized to accept and executed the same for and on behalf of the City.

Section 2 The City shall enter into the 2025B Loan Agreement with the Purchaser, in substantially the form as has been placed on file with the City Council, providing for a loan to the City in the principal amount of \$8,750,000, for the purpose or purposes set forth in the preamble hereof.

The Mayor and City Clerk are hereby authorized and directed to sign the 2025B Loan Agreement on behalf of the City, and the 2025B Loan Agreement is hereby approved. The Mayor and City Clerk are authorized and directed to execute and deliver any necessary documents to carry out the purposes of this resolution, including without limitation closing and tax certificates.

Section 3. The Bonds, in the aggregate principal amount of \$8,750,000, are hereby authorized to be issued in evidence of the City's obligations under the 2025B Loan Agreement. The Bonds shall be dated June 30, 2025, shall be issued in the denomination of \$5,000 each or any integral multiple thereof and shall mature on June 1 in each of the years, in the respective principal amounts, and bear interest at the respective rates as follows:

<u>Date</u>	<u>Principal</u>	<u>Interest Rate</u>	<u>Date</u>	<u>Principal</u>	<u>Interest Rate</u>
2027	\$485,000	_____ %	2034	\$630,000	_____ %
2028	\$500,000	_____ %	2035	\$650,000	_____ %
2029	\$525,000	_____ %	2036	\$675,000	_____ %
2030	\$545,000	_____ %	2037	\$700,000	_____ %
2031	\$560,000	_____ %	2038	\$730,000	_____ %
2032	\$580,000	_____ %	2039	\$765,000	_____ %
2033	\$605,000	_____ %	2040	\$800,000	_____ %

Section 4. UMB Bank, n.a., West Des Moines, Iowa, is hereby designated as the Registrar and Paying Agent for the Bonds and may be hereinafter referred to as the "Registrar" or the "Paying Agent." The City shall enter into an agreement (the "Registrar/Paying Agent Agreement") with the Registrar, in substantially the form as has been placed on file with the City Council; the Mayor and City Clerk are hereby authorized and directed to sign the Registrar/Paying Agent Agreement on behalf of the City; and the Registrar/Paying Agent Agreement is hereby approved.

The City reserves the right to optionally prepay part or all of the principal of the Bonds maturing in each of the years 2034 to 2040, inclusive, prior to and in any order of maturity on June 1, 2033, or on any date thereafter upon terms of par and accrued interest. If less than all of the Bonds of any like maturity are to be redeemed, the particular part of those Bonds to be redeemed shall be selected by the Registrar by lot. The Bonds may be called in part in one or more units of \$5,000.

[Term Bond Placeholder] Principal of the Bond maturing on June 1, 20__ is subject to mandatory redemption (by lot, as selected by the Registrar) on June 1, 20__ and June 1, 20__, at a redemption price of 100% of the principal amount thereof to be redeemed, plus accrued interest thereon to the redemption date, in the following principal amounts:

<u>Year</u>	<u>Principal Amount</u>
20__	\$ _____
20__	\$ _____
20__	\$ _____ (Maturity)

If less than the entire principal amount of any Bond in a denomination of more than \$5,000 is to be redeemed, the Registrar will issue and deliver to the registered owner thereof, upon surrender of such original Bond, a new Bond or Bonds, in any authorized denomination, in a total aggregate principal amount equal to the unredeemed balance of the original Bond. Notice of such redemption as aforesaid identifying the Bond or Bonds (or portion thereof) to be redeemed shall be sent by electronic means or mailed by certified mail to the registered owners thereof at the addresses shown on the City's registration books not less than 30 days prior to such redemption date. Any notice of redemption may contain a statement that the redemption is conditioned upon the receipt by the Paying Agent of funds on or before the date fixed for redemption sufficient to pay the redemption price of the Bonds so called for redemption, and that if funds are not available, such redemption shall be cancelled by written notice to the owners of the Bonds called for redemption in the same manner as the original redemption notice was sent, provided that such notice of cancellation is to be made at least five days prior to the date fixed for redemption. All of such Bonds as to which the City reserves and exercises the right of redemption and as to which notice as aforesaid shall have been given and for the redemption of which funds are duly provided, shall cease to bear interest on the redemption date.

Accrued interest on the Bonds shall be payable semiannually on the first day of June and December in each year, commencing December 1, 2025. Interest shall be calculated on the basis of a 360-day year comprised of twelve 30-day months. Payment of interest on the Bonds shall be made to the registered owners appearing on the registration books of the City at the close of business on the fifteenth day of the month next preceding the interest payment date and shall be paid to the registered owners at the addresses shown on such registration books. Principal of the Bonds shall be payable in lawful money of the United States of America to the registered owners or their legal representatives upon presentation and surrender of the Bond or Bonds at the office of the Paying Agent.

The Bonds shall be executed on behalf of the City with the official manual or facsimile signature of the Mayor and attested with the official manual or facsimile signature of the City Clerk, and shall be fully registered Bonds without interest coupons. In case any officer whose signature or the facsimile of whose signature appears on the Bonds shall cease to be such officer before the delivery of the Bonds, such signature or such facsimile signature shall nevertheless be valid and sufficient for all purposes, the same as if such officer had remained in office until delivery.

The Bonds shall be fully registered as to principal and interest in the names of the owners on the registration books of the City kept by the Registrar, and after such registration payment of the principal thereof and interest thereon shall be made only to the registered owners or their legal representatives or assigns. Each Bond shall be transferable only upon the registration books of the City upon presentation to the Registrar, together with either a written instrument of transfer satisfactory to the Registrar or the assignment form thereon completed and duly executed by the registered owner or the duly authorized attorney for such registered owner.

The record and identity of the owners of the Bonds shall be kept confidential as provided by Section 22.7 of the Code of Iowa.

The Bonds shall not be valid or become obligatory for any purpose until the Certificate of Authentication thereon shall have been signed by the Registrar.

Section 5. Notwithstanding anything above to the contrary, the Bonds shall be issued initially as Depository Bonds, with one fully registered Bond for each maturity date, in principal amounts equal to the amount of principal maturing on each such date, and registered in the name of Cede & Co., as nominee for The Depository Trust Company, New York, New York (“DTC”). On original issue, the Bonds shall be deposited with DTC for the purpose of maintaining a book-entry system for recording the ownership interests of its participants and the transfer of those interests among its participants (the “Participants”). In the event that DTC determines not to continue to act as securities depository for the Bonds or the City determines not to continue the book-entry system for recording ownership interests in the Bonds with DTC, the City will discontinue the book-entry system with DTC. If the City does not select another qualified securities depository to replace DTC (or a successor depository) in order to continue a book-entry system, the City will register and deliver replacement bonds in the form of fully registered certificates, in authorized denominations of \$5,000 or integral multiples of \$5,000, in accordance with instructions from Cede & Co., as nominee for DTC. In the event that the City identifies a qualified securities depository to replace DTC, the City will register and deliver replacement bonds, fully registered in the name of such depository, or its nominee, in the denominations as set forth above, as reduced from time to time prior to maturity in connection with redemptions or retirements by call or payment, and in such event, such depository will then maintain the book-entry system for recording ownership interests in the Bonds.

Ownership interests in the Bonds may be purchased by or through Participants. Such Participants and the persons for whom they acquire interests in the Bonds as nominees will not receive certificated Bonds, but each such Participant will receive a credit balance in the records of DTC in the amount of such Participant’s interest in the Bonds, which will be confirmed in accordance with DTC’s standard procedures. Each such person for which a Participant has an interest in the Bonds, as nominee, may desire to make arrangements with such Participant to have all notices of redemption or other communications of the City to DTC, which may affect such person, forwarded in writing by such Participant and to have notification made of all interest payments.

The City will have no responsibility or obligation to such Participants or the persons for whom they act as nominees with respect to payment to or providing of notice for such Participants or the persons for whom they act as nominees.

As used herein, the term “Beneficial Owner” shall hereinafter be deemed to include the person for whom the Participant acquires an interest in the Bonds.

DTC will receive payments from the City, to be remitted by DTC to the Participants for subsequent disbursement to the Beneficial Owners. The ownership interest of each Beneficial Owner in the Bonds will be recorded on the records of the Participants whose ownership interest will be recorded on a computerized book-entry system kept by DTC.

When reference is made to any action which is required or permitted to be taken by the Beneficial Owners, such reference shall only relate to those permitted to act (by statute, regulation

or otherwise) on behalf of such Beneficial Owners for such purposes. When notices are given, they shall be sent by the City to DTC, and DTC shall forward (or cause to be forwarded) the notices to the Participants so that the Participants can forward the same to the Beneficial Owners.

Beneficial Owners will receive written confirmations of their purchases from the Participants acting on behalf of the Beneficial Owners detailing the terms of the Bonds acquired. Transfers of ownership interests in the Bonds will be accomplished by book entries made by DTC and the Participants who act on behalf of the Beneficial Owners. Beneficial Owners will not receive certificates representing their ownership interest in the Bonds, except as specifically provided herein. Interest and principal will be paid when due by the City to DTC, then paid by DTC to the Participants and thereafter paid by the Participants to the Beneficial Owners.

Section 6. The Bonds shall be in substantially the following form:

(Form of Bond)

UNITED STATES OF AMERICA
STATE OF IOWA
JOHNSON COUNTY
CITY OF NORTH LIBERTY

GENERAL OBLIGATION CORPORATE PURPOSE BOND, SERIES 2025B

No. _____ \$ _____

RATE	MATURITY DATE	BOND DATE	CUSIP
_____ %	June 1, _____	June 30, 2025	_____

The City of North Liberty (the “City”), in Johnson County, State of Iowa, for value received, promises to pay on the maturity date of this Bond to

Cede & Co.
New York, New York

or registered assigns, the principal sum of

THOUSAND DOLLARS

in lawful money of the United States of America upon presentation and surrender of this Bond at the office of UMB Bank, n.a., West Des Moines, Iowa (hereinafter referred to as the “Registrar” or the “Paying Agent”), with interest on said sum, until paid, at the rate per annum specified above from the date of this Bond, or from the most recent interest payment date on which interest has been paid, on June 1 and December 1 of each year, commencing December 1, 2025, except as the provisions hereinafter set forth with respect to redemption prior to maturity may be or become applicable hereto. Interest on this Bond is payable to the registered owner appearing on the registration books of the City at the close of business on the fifteenth day of the month next preceding the interest payment date and shall be paid to the registered owner at the address shown on such registration books. Interest shall be calculated on the basis of a 360-day year comprised of twelve 30-day months.

This Bond shall not be valid or become obligatory for any purpose until the Certificate of Authentication hereon shall have been signed by the Registrar.

This Bond is one of a series of General Obligation Corporate Purpose Bonds, Series 2025B (the “Bonds”) issued by the City to evidence its obligation under a certain loan agreement, dated as of June 30, 2025 (the “2025B Loan Agreement”), entered into by the City for the purpose of paying the costs, to that extent, of (a) constructing street, storm water drainage, sidewalk, water utility system and sanitary sewer utility system improvements; (b) acquiring and installing street lighting, signage and signalization improvements; (c) undertaking the City Hall Project, an urban renewal project in the North Liberty Urban Renewal Area (such project having been authorized by action of the City Council on December 14, 2021, and consisting of constructing, furnishing and equipping a new City Hall facility); and (d) undertaking the Centennial Park Improvements Project, an urban renewal project of the City authorized by action of the City Council on March 24, 2020.

The Bonds are issued pursuant to and in strict compliance with the provisions of Chapters 76 and 384 of the Code of Iowa, 2025, and all other laws amendatory thereof and supplemental thereto, and in conformity with a resolution of the City Council adopted on June 10, 2025, authorizing and approving the 2025B Loan Agreement and providing for the issuance and securing the payment of the Bonds (the “Resolution”), and reference is hereby made to the Resolution and the 2025B Loan Agreement for a more complete statement as to the source of payment of the Bonds and the rights of the owners of the Bonds.

The City reserves the right to optionally prepay part or all of the principal of the Bonds maturing in each of the years 2034 to 2040, inclusive, prior to and in any order of maturity on June 1, 2033 or on any date thereafter upon terms of par and accrued interest. If less than all of the Bonds of any like maturity are to be redeemed, the particular part of those Bonds to be redeemed shall be selected by the Registrar by lot. The Bonds may be called in part in one or more units of \$5,000. [Term Bond Placeholder] Principal of the Bonds maturing on June 1 in the year 20__ is subject to mandatory redemption (by lot, as selected by the Registrar) on June 1 in the years 20__ and 20__, in accordance with the mandatory redemption schedules set forth in the Resolution at a redemption price of 100% of the principal amount thereof to be redeemed, plus accrued interest thereon to the redemption date.

If less than the entire principal amount of any Bond in a denomination of more than \$5,000 is to be redeemed, the Registrar will issue and deliver to the registered owner thereof, upon surrender of such original Bond, a new Bond or Bonds, in any authorized denomination, in a total aggregate principal amount equal to the unredeemed balance of the original Bond. Notice of such redemption as aforesaid identifying the Bond or Bonds (or portion thereof) to be redeemed shall be sent by electronic means or mailed by certified mail to the registered owners thereof at the addresses shown on the City’s registration books not less than 30 days prior to such redemption date. Any notice of redemption may contain a statement that the redemption is conditioned upon the receipt by the Paying Agent of funds on or before the date fixed for redemption sufficient to pay the redemption price of the Bonds called for redemption, and that if funds are not available, such redemption shall be cancelled by written notice to the owners of the Bonds called for redemption in the same manner as the original redemption notice was sent, provided that such notice of cancellation is to be made at least five days prior to the date fixed for redemption. All of such bonds as to which the City reserves and exercises the right of redemption and as to which notice as aforesaid shall have been given and for the redemption of which funds are duly provided, shall cease to bear interest on the redemption date.

This Bond is fully negotiable but shall be fully registered as to both principal and interest in the name of the owner on the books of the City in the office of the Registrar, after which no transfer shall be valid unless made on said books and then only upon presentation of this Bond to the Registrar, together with either a written instrument of transfer satisfactory to the Registrar or the assignment form hereon completed and duly executed by the registered owner or the duly authorized attorney for such registered owner.

The City, the Registrar and the Paying Agent may deem and treat the registered owner hereof as the absolute owner for the purpose of receiving payment of or on account of principal hereof, premium, if any, and interest due hereon and for all other purposes, and the City, the Registrar and the Paying Agent shall not be affected by any notice to the contrary.

And It Is Hereby Certified and Recited that all acts, conditions and things required by the laws and Constitution of the State of Iowa, to exist, to be had, to be done or to be performed precedent to and in the issue of this Bond were and have been properly existent, had, done and performed in regular and due form and time; that provision has been made for the levy of a sufficient continuing annual tax on all the taxable property within the City for the payment of the principal of and interest on this Bond as the same will

respectively become due; and that the total indebtedness of the City, including this Bond, does not exceed any constitutional or statutory limitations.

IN TESTIMONY WHEREOF, the City of North Liberty, Iowa, by its City Council, has caused this Bond to be executed with the duly authorized facsimile signature of its Mayor and attested with the duly authorized facsimile signature of its City Clerk, all as of June 30, 2025.

CITY OF NORTH LIBERTY, IOWA

By: (DO NOT SIGN)
Mayor

Attest:

(DO NOT SIGN)
City Clerk

Registration Date: (Registration Date)

REGISTRAR'S CERTIFICATE OF AUTHENTICATION

This Bond is one of the Bonds described in the within-mentioned resolution.

UMB BANK, N.A.
West Des Moines, Iowa
Registrar

By: (Signature)
Authorized Officer

ABBREVIATIONS

The following abbreviations, when used in this Bond, shall be construed as though they were written out in full according to applicable laws or regulations:

TEN COM - as tenants in common
TEN ENT - as tenants by the
entireties
JT TEN - as joint tenants with
right of survivorship and
not as tenants in common

UTMA _____
(Custodian)
As Custodian for _____
(Minor)
under Uniform Transfers to Minors Act

(State)

Additional abbreviations may also be used though not in the list above.

ASSIGNMENT

For valuable consideration, receipt of which is hereby acknowledged, the undersigned assigns this Bond to

(Please print or type name and address of Assignee)

PLEASE INSERT SOCIAL SECURITY OR OTHER
IDENTIFYING NUMBER OF ASSIGNEE

and does hereby irrevocably appoint _____, Attorney, to transfer this Bond on the books kept for registration thereof with full power of substitution.

Dated: _____

Signature guaranteed:

(Signature guarantee must be provided in accordance with the prevailing standards and procedures of the Registrar and Transfer Agent. Such standards and procedures may require signatures to be guaranteed by certain eligible guarantor institutions that participate in a recognized signature guarantee program.)

NOTICE: The signature to this Assignment must correspond with the name of the registered owner as it appears on this Bond in every particular, without alteration or enlargement or any change whatever.

Section 7. The Bonds shall be executed as herein provided as soon after the adoption of this resolution as may be possible, and thereupon they shall be delivered to the Registrar for registration, authentication and delivery to or on behalf of the Purchaser, upon receipt of the loan proceeds, (\$_____) including the original issue premium (\$_____), (the “Loan Proceeds”), and all action heretofore taken in connection with the 2025B Loan Agreement is hereby ratified and confirmed in all respects.

A portion of the Loan Proceeds (\$_____) shall be retained by the Purchaser as the underwriter’s discount.

A portion of the Loan Proceeds (\$_____) received from the sale of the Bonds shall be deposited in a dedicated fund (the “Project Fund”), which is hereby created, to be used for the payment of costs of the Projects and to the extent that any such proceeds (the “Project Proceeds”) remain after the full payment of the costs of the Projects, such Project Proceeds, shall be transferred to the Debt Service Fund for the payment of interest on the Bonds.

The remainder of the Loan Proceeds (\$_____) (the “Cost of Issuance Proceeds”), received from the sale of the Bonds shall be deposited in the Project Fund, and shall be used for the payment of costs of issuance of the Bonds, and to the extent that Cost of Issuance Proceeds remain after the full payment of the costs of issuance of the Bonds, such Cost of Issuance Proceeds shall be transferred to the Debt Service Fund for the payment of interest on the Bonds.

The City shall keep a detailed and segregated accounting of the expenditure of, and investment earnings on, the Loan Proceeds to ensure compliance with the requirements of the Internal Revenue Code, as hereinafter defined.

Section 8. For the purpose of providing for the levy and collection of a direct annual tax sufficient to pay the principal of and interest on the Bonds as the same become due, there is hereby ordered levied on all the taxable property in the City the following direct annual tax for collection in each of the following fiscal years:

For collection in the fiscal year beginning July 1, 2026,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2027,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2028,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2029,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2030,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2031,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2032,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2033,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2034,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2035,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2036,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2037,
sufficient to produce the net annual sum of \$_____;

For collection in the fiscal year beginning July 1, 2038,
sufficient to produce the net annual sum of \$_____; and

For collection in the fiscal year beginning July 1, 2039,
sufficient to produce the net annual sum of \$_____.

Section 9. A certified copy of this resolution shall be filed with the County Auditor of Johnson County, and the County Auditor is hereby instructed to enter for collection and assess the tax hereby authorized. When annually entering such taxes for collection, the County Auditor shall include the same as a part of the tax levy for Debt Service Fund purposes of the City and when collected, the proceeds of the taxes shall be converted into the Debt Service Fund of the City and set aside therein as a special account to be used solely and only for the payment of the principal of and interest on the Bonds hereby authorized and for no other purpose whatsoever. Any amount received by the City as accrued interest on the Bonds shall be deposited into such special account and used to pay interest due on the Bonds on the first interest payment date.

Pursuant to the provisions of Section 76.4 of the Code of Iowa, each year while the Bonds remain outstanding and unpaid, any funds of the City which may lawfully be applied for such purpose may be appropriated, budgeted and, if received, used for the payment of the principal of and interest on the Bonds as the same become due, and if so appropriated, the taxes for any given fiscal year as provided for in Section 8 of this Resolution, shall be reduced by the amount of such alternate funds as have been appropriated for said purpose and evidenced in the City's budget. The Urban Renewal Projects identified in the preamble hereof have been authorized and approved as urban renewal projects of the City. The City hereby declares its intent to use incremental property tax revenues from its respective urban renewal area pursuant to Section 403.19 of the Code of Iowa for the payment of some or all of the principal of and interest on the Bonds allocable to the financing of such urban renewal projects.

Section 10. The interest or principal and both of them falling due in any year or years shall, if necessary, be paid promptly from current funds on hand in advance of taxes levied and

when the taxes shall have been collected, reimbursement shall be made to such current funds in the sum thus advanced.

Section 11. It is the intention of the City that interest on the Bonds be and remain excluded from gross income for federal income tax purposes pursuant to the appropriate provisions of the Internal Revenue Code of 1986, as amended, and the Treasury Regulations in effect with respect thereto (all of the foregoing herein referred to as the “Internal Revenue Code”). In furtherance thereof, the City covenants to comply with the provisions of the Internal Revenue Code as they may from time to time be in effect or amended and further covenants to comply with the applicable future laws, regulations, published rulings and court decisions as may be necessary to insure that the interest on the Bonds will remain excluded from gross income for federal income tax purposes. Any and all of the officers of the City are hereby authorized and directed to take any and all actions as may be necessary to comply with the covenants herein contained.

The City hereby designates the Bonds as “Qualified Tax Exempt Obligations” as that term is used in Section 265(b)(3)(B) of the Internal Revenue Code.

Section 12. The Securities and Exchange Commission (the “SEC”) has promulgated certain amendments to Rule 15c2-12 under the Securities Exchange Act of 1934 (17 C.F.R. § 240.15c2-12) (the “Rule”) that make it unlawful for an underwriter to participate in the primary offering of municipal securities in a principal amount of \$1,000,000 or more unless, before submitting a bid or entering into a purchase contract for such securities, an underwriter has reasonably determined that the issuer or an obligated person has undertaken in writing for the benefit of the holders of such securities to provide certain disclosure information to prescribed information repositories on a continuing basis so long as such securities are outstanding or unless and to the extent the offering is exempt from the requirements of the Rule.

On the date of issuance and delivery of the Bonds, the City will execute and deliver a Continuing Disclosure Certificate pursuant to which the City will undertake to comply with the Rule. The City covenants and agrees that it will comply with and carry out the provisions of the Continuing Disclosure Certificate. Any and all of the officers of the City are hereby authorized and directed to take any and all actions as may be necessary to comply with the Rule and the Continuing Disclosure Certificate.

Section 13. All resolutions or parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

Section 14. This resolution shall be in full force and effect immediately upon its adoption and approval, as provided by law.

Passed and approved June 10, 2025.

Mayor

Attest:

City Clerk

• • • •

At the conclusion of the meeting, and upon motion and vote, the City Council adjourned.

Mayor

Attest:

City Clerk

ATTESTATION CERTIFICATE

STATE OF IOWA
COUNTY OF JOHNSON SS:
CITY OF NORTH LIBERTY

I, the undersigned, City Clerk of the City of North Liberty, do hereby certify that as such City Clerk I have in my possession or have access to the complete corporate records of the City and of its City Council and officers and that I have carefully compared the transcript hereto attached with those corporate records and that the transcript hereto attached is a true, correct and complete copy of all the corporate records in relation to the adoption of a resolution authorizing a certain 2025B Loan Agreement and providing for the issuance of \$8,750,000 General Obligation Corporate Purpose Bonds, Series 2025B of the City evidencing the City's obligation under the 2025B Loan Agreement and that the transcript hereto attached contains a true, correct and complete statement of all the measures adopted and proceedings, acts and things had, done and performed up to the present time with respect thereto.

I further certify that no appeal has been taken to the District Court from the decision of the City Council to issue such bonds or to levy taxes to pay the principal thereof and interest thereon.

WITNESS MY HAND this _____ day of _____, 2025.

City Clerk

COUNTY FILING CERTIFICATE

STATE OF IOWA

SS:

COUNTY OF JOHNSON

I, the undersigned, County Auditor of Johnson County, in the State of Iowa, do hereby certify that on the _____ day of _____, 2025, the City Clerk of the City of North Liberty, Iowa, filed in my office a certified copy of a resolution of such City shown to have been adopted by the City Council and approved by the Mayor thereof on June 10, 2025, entitled: "Resolution authorizing and approving a certain 2025B Loan Agreement, providing for the issuance of \$8,750,000 General Obligation Corporate Purpose Bonds, Series 2025B, and providing for the levy of taxes to pay the same," and that I have duly placed a copy of the resolution on file in my records.

I further certify that the taxes provided for in that resolution will in due time, manner and season be entered on the State and County tax lists of this County for collection in the fiscal year beginning July 1, 2026, and subsequent years as provided in the resolution.

WITNESS MY HAND this _____ day of _____, 2025.

County Auditor



Tobacco Citation



MAY 2, 2025

NOTICE OF HEARING ON CIVIL PENALTY

M & Q, LLC
c/o Mohammad Mirib, Registered Agent
415 Community Drive
North Liberty, IA 52317

Dear Retail Cigarette Permit Holder:

Pursuant to Sections 453A.22(2) and 453A.47A(11) of the Iowa Code, if a retailer or employee of a retailer has violated Section 453A.2(1) of the Iowa Code by selling or providing tobacco to a minor, the retailer, after notice and opportunity for a hearing, shall be subject to a civil penalty. The civil penalty for a first violation of Section 453A.2(1) within a two-year period is \$300.00. The civil penalty for a second violation of Section 453A.2(1) within a two-year period is \$1,500.00, or the retailer's permit is suspended for a period of 30 days. The civil penalty for a third violation of Section 453A.2(1) within a three-year period is \$1,500.00 and the retailer's permit is suspended for a period of 30 days. The civil penalty for a fourth violation of Section 453A.2(1) within a three-year period is \$1,500.00 and the retailer's permit is suspended for a period of 60 days.

On February 12, 2025, Tate P. Allen violated Section 453A.2(1) by selling or providing tobacco to a minor. (A copy of the citation is attached.) At the time the underlying citation was issued, Allen was an employee of your establishment and working in his or her capacity as such. Said employee has since pleaded or been found guilty of the offense.

You are hereby on notice that a hearing will be scheduled before the City Council of the City of North Liberty to determine whether the above-named retailer should be assessed a civil penalty of \$300.00 pursuant to Section 453A.22(2) for a violation of Section 453A.2(1). The hearing will be scheduled for Tuesday, June 10, 2025 at 6:00

p.m., at the North Liberty City Council Chambers, 360 N. Main Street, North Liberty, Iowa 52317. You have the right to attend this hearing and be heard. You may attend personally or via a representative.

If you wish to avoid having the hearing on this matter and would prefer to accept responsibility for the civil penalty, you may do so by executing the enclosed Waiver that waives the right to hearing on the Civil Penalty, and tendering \$300.00 to the City Clerk's office for the violation.

The City Clerk's office is located at 360 N. Main Street, North Liberty, Iowa 52317.

If the civil penalty and the executed Waiver are not received by the City Clerk by 4:00 p.m. on Friday, May 30, 2025 the aforementioned hearing will be held as scheduled.

Please do not hesitate to contact me if you have questions about this Notice.

Sincerely,

A handwritten signature in blue ink, appearing to read "Grant D. Lientz", with a stylized, cursive script.

Grant D. Lientz
City Attorney

Enc.


CC: City Clerk

**WAIVER OF RIGHT TO HEARING
ON CIVIL PENALTY**

COMES NOW MOHAMMAD MIRIS, owner or manager of M & Q, LLC, which is a retailer and is located at 415 Community Drive, North Liberty. By signing this Waiver of Right to Hearing I voluntarily acknowledge on behalf of M & Q, LLC:

1. That an employee or agent of M & Q, LLC violated Section 453A.2(1) of the Code of Iowa, prohibiting anyone from selling or providing tobacco, tobacco products or cigarettes to a minor.
2. That pursuant to Sections 453A.22(2) and 453A.47A(11) of the Code of Iowa, a retailer is subject to a civil penalty of \$300.00 the first time its employee violates Section 453A.2(1) within a two year period.
3. That pursuant to Section 453A.22(2), a retailer is entitled to a hearing to determine whether the civil penalty should be assessed.
4. That M & Q, LLC does not wish to have a hearing on whether a civil penalty should be assessed against it due to its employee's violation and, instead, wishes to acknowledge its responsibility for the civil penalty provided for in Section 453A.22(2) by paying it without need for the hearing.
5. That, if an employee of M & Q, LLC again violates Section 453A.2(1), M & Q, LLC may be subject to further civil penalties under Section 453A.22(2), after proper notice and opportunity for hearing, including additional monetary civil penalties and/or a suspension of its retail cigarette permit.
6. That included with this Waiver of Hearing is the sum of \$300.00, payable to the City of North Liberty, in complete satisfaction of the civil penalty owed by M & Q, LLC under Section 453A.22(2).
7. That this Waiver of Hearing was executed and the civil penalty paid voluntarily and after sufficient opportunity to consult with legal counsel.

Executed this _____ day of 5-25-, 2025.



Owner/Manager
M & Q, LLC

Resolution No. 2025-65

**RESOLUTION ACCEPTING PAYMENT OF \$300.00 CIVIL
PENALTY FROM M & Q, LLC**

WHEREAS, on February 12, 2025, an employee of M & Q, LLC. at 415 Community Drive, North Liberty, Iowa, violated Iowa Code §453A.2(1) by selling or providing tobacco, tobacco products or cigarettes to a minor and this was the first such violation by one of its employees in a two-year period; and

WHEREAS, at the time of the violation M & Q LLC, was operating under a retail cigarette permit issued by the City of North Liberty; and

WHEREAS, pursuant to Iowa Code §453A.22(2), an establishment which holds a retail cigarette permit is subject to a civil penalty of \$300.00 as a result of its employee violating Iowa Code §453A.2(1) for a first violation within a two-year period; and

WHEREAS, M & Q, LLC, has waived its right to a hearing required by Iowa Code §453A.22(2) and accepted responsibility for its employee's first violation of Iowa Code §453A.2(1), by paying a \$300.00 civil penalty; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of North Liberty, Iowa, that the City Council should accept the waiver of right to hearing and the payment of a \$300.00 civil penalty on behalf of M & Q, LLC.

BE IT FURTHER RESOLVED, that the City Clerk will forward this Resolution to the City Attorney's Office, which will then provide a copy of the same to the retail cigarette permit holder via regular mail sent to the permit holder's place of business as it appears on the application for a retail cigarette permit.

APPROVED AND ADOPTED this 10th day of June, 2025.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK



South Fiber Project

June 2, 2025

City of North Liberty
ATTN: Mr. Ryan Heiar, City Administrator
P.O. Box 77
North Liberty, Iowa 52317

RE: South Fiber Project

Dear Mr. Heiar:

On May 29, 2025, at 10:00 am in the North Liberty City Hall, seven bids were received and opened for the above-referenced project. No irregularities were discovered in the bids.

The lowest responsive bid was received from Midwest Underground Contractors, Inc., of Walford, Iowa in the amount of \$217,812.00. The engineer's estimate was \$302,320.00.

Subject to submitting acceptable bonds, insurance, and the Agreement, we recommend award of contract to Midwest Underground Contractors, Inc. based upon their lowest responsible, responsive bid. Upon City Council approval of this award we will proceed with issuing the Notice of Award and begin administration of the construction contract.

Please contact our office if you have questions.

Sincerely,

SHIVE-HATTERY, INC.



Mike Janecek, PE

MJJ/mjv

Enc. Bid Tabulation



SHIVE-HATTERY, INC.

2839 Northgate Drive
Iowa City, Iowa 52245-9568
(319) 354-3040

TABULATION OF BIDS

Client: City of North Liberty
Project Name: South Fiber Project
S-H Project #: 2250002680

Bid Date: May 29, 2025, 10:00 AM
Location: NL City Hall
Pages: 1 of 2

NAME AND ADDRESS OF BIDDER				Midwest Underground Contractors, Inc. 300 Highway 151 E Walford, IA 52351		Neumiller Electric, Inc. 251 Greenfield Dr. Tiffin, IA 52340		Utility Service Contractors, Inc. 1525 Ketelson Drive, Ste 200 Hiawatha, IA 52233		CDB Utility Contractors, Inc. 11209 136th St Davenport, IA 52804		Engineer's Estimate	
Addendum 1				Yes		Yes		Yes		Yes			
Bid Security - 5%				Yes		Yes		Yes		Yes			
Bidder Status Form				Yes		Yes		Yes		Yes			
Iowa Contractor License Number				Yes		Yes		Yes		Yes			
ITEM	DESCRIPTION		QUANTITY	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE
1	HAND HOLES, 30 IN. X 48 IN. X 36 IN.		19 EA	\$ 1,600.00	\$ 30,400.00	\$ 1,500.00	\$ 28,500.00	\$ 1,570.00	\$ 29,830.00	\$ 1,500.00	\$ 28,500.00	\$ 2,500.00	\$ 47,500.00
2	CONDUIT, 2 IN. HDPE, FURNISH AND INSTALL		1 LS	\$ 58,500.00	\$ 58,500.00	\$ 97,000.00	\$ 97,000.00	\$ 76,500.00	\$ 76,500.00	\$102,606.00	\$ 102,606.00	\$ 103,000.00	\$ 103,000.00
3	FIBER CABLE, FURNISH AND INSTALL, 24 SM		1 LS	\$ 14,500.00	\$ 14,500.00	\$ 11,500.00	\$ 11,500.00	\$ 15,020.00	\$ 15,020.00	\$ 15,580.50	\$ 15,580.50	\$ 20,000.00	\$ 20,000.00
4	FIBER CABLE, FURNISH AND INSTALL, 144 SM		1 LS	\$ 38,000.00	\$ 38,000.00	\$ 27,000.00	\$ 27,000.00	\$ 42,922.00	\$ 42,922.00	\$ 39,682.08	\$ 39,682.08	\$ 64,000.00	\$ 64,000.00
5	FIBER CABLE, FURNISH AND INSTALL, 288 SM		1 LS	\$ 9,900.00	\$ 9,900.00	\$ 7,000.00	\$ 7,000.00	\$ 8,600.00	\$ 8,600.00	\$ 6,305.30	\$ 6,305.30	\$ 20,000.00	\$ 20,000.00
6	FIBER CONNECTIONS AND SPLICING		1288 EA	\$ 36.50	\$ 47,012.00	\$ 15.00	\$ 19,320.00	\$ 35.61	\$ 45,875.00	\$ 35.90	\$ 46,240.00	\$ 15.00	\$ 19,320.00
7	DEMOLITION AND REMOVAL OF FIBER AND HAND HOLES		1 LS	\$ 3,000.00	\$ 3,000.00	\$ 3,500.00	\$ 3,500.00	\$ 3,000.00	\$ 3,000.00	\$ 5,425.00	\$ 5,425.00	\$ 1,000.00	\$ 1,000.00
8	FIBER CONDUIT ADJUSTMENTS		1 LS	\$ 3,500.00	\$ 3,500.00	\$ 7,500.00	\$ 7,500.00	\$ 3,000.00	\$ 3,000.00	\$ 16,862.50	\$ 16,862.50	\$ 5,000.00	\$ 5,000.00
9	SURFACE RESTORATIONS		1 LS	\$ 4,500.00	\$ 4,500.00	\$ 10,000.00	\$ 10,000.00	\$ 5,000.00	\$ 5,000.00	\$ 8,750.00	\$ 8,750.00	\$ 5,000.00	\$ 5,000.00
10	TRAFFIC CONTROL		1 LS	\$ 3,500.00	\$ 3,500.00	\$ 5,000.00	\$ 5,000.00	\$ 2,500.00	\$ 2,500.00	\$ 5,300.00	\$ 5,300.00	\$ 2,500.00	\$ 2,500.00
11	MOBILIZATION		1 LS	\$ 5,000.00	\$ 5,000.00	\$ 7,500.00	\$ 7,500.00	\$ 5,000.00	\$ 5,000.00	\$ 3,500.00	\$ 3,500.00	\$ 15,000.00	\$ 15,000.00
TOTAL BASE BID					\$ 217,812.00		\$ 223,820.00		\$ 237,247.00		\$ 278,751.38		\$ 302,320.00

SHIVE-HATTERY, INC.

2839 Northgate Drive
Iowa City, Iowa 52245-9568
(319) 354-3040

TABULATION OF BIDS

Client: City of North Liberty
Project Name: South Fiber Project
S-H Project #: 2250002680

Bid Date: May 29, 2025, 10:00 AM
Location: NL City Hall
Pages: 2 of 2

NAME AND ADDRESS OF BIDDER			Van Maanen Electric, Inc. 500 Iowa Speedway Drive Newton, IA 50208		MP Nexlevel, LLC 500 Cty Rd 37 E Maple Lake, MN 55358		Telcom Construction, LLC 2218 200th St E Clearwater, MN 55320		Engineer's Estimate	
Addendum 1			Yes		Yes		Yes			
Bid Security - 5%			Yes		Yes		Yes			
Bidder Status Form			Yes		Yes		Yes			
Iowa Contractor License Number			Yes		Yes		Yes			
ITEM	DESCRIPTION	QUANTITY	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE
1	HAND HOLES, 30 IN. X 48 IN. X 36 IN.	19 EA	\$ 2,600.00	\$ 49,400.00	\$ 2,006.94	\$ 38,131.86	\$ 1,795.00	\$ 34,105.00	\$ 2,500.00	\$ 47,500.00
2	CONDUIT, 2 IN. HDPE, FURNISH AND INSTALL	1 LS	\$ 125,000.00	\$ 125,000.00	\$ 172,940.01	\$ 172,940.01	\$ 145,492.05	\$ 145,492.05	\$ 103,000.00	\$ 103,000.00
3	FIBER CABLE, FURNISH AND INSTALL, 24 SM	1 LS	\$ 17,815.00	\$ 17,815.00	\$ 13,245.57	\$ 13,245.57	\$ 12,784.10	\$ 12,784.10	\$ 20,000.00	\$ 20,000.00
4	FIBER CABLE, FURNISH AND INSTALL, 144 SM	1 LS	\$ 27,650.00	\$ 27,650.00	\$ 25,016.82	\$ 25,016.82	\$ 41,040.03	\$ 41,040.03	\$ 64,000.00	\$ 64,000.00
5	FIBER CABLE, FURNISH AND INSTALL, 288 SM	1 LS	\$ 16,750.00	\$ 16,750.00	\$ 14,520.75	\$ 14,520.75	\$ 11,267.20	\$ 11,267.20	\$ 20,000.00	\$ 20,000.00
6	FIBER CONNECTIONS AND SPLICING	1288 EA	\$ 37.50	\$ 48,300.00	\$ 60.04	\$ 77,331.52	\$ 54.82	\$ 70,608.16	\$ 15.00	\$ 19,320.00
7	DEMOLITION AND REMOVAL OF FIBER AND HAND HOLES	1 LS	\$ 350.00	\$ 350.00	\$ 3,000.00	\$ 3,000.00	\$ 250.00	\$ 250.00	\$ 1,000.00	\$ 1,000.00
8	FIBER CONDUIT ADJUSTMENTS	1 LS	\$ 5,000.00	\$ 5,000.00	\$ 2,200.00	\$ 2,200.00	\$ 33,940.00	\$ 33,940.00	\$ 5,000.00	\$ 5,000.00
9	SURFACE RESTORATIONS	1 LS	\$ 8,500.00	\$ 8,500.00	\$ 35,714.28	\$ 35,714.28	\$ 192,000.00	\$ 192,000.00	\$ 5,000.00	\$ 5,000.00
10	TRAFFIC CONTROL	1 LS	\$ 22,000.00	\$ 22,000.00	\$ 13,076.92	\$ 13,076.92	\$ 37,500.00	\$ 37,500.00	\$ 2,500.00	\$ 2,500.00
11	MOBILIZATION	1 LS	\$ 16,000.00	\$ 16,000.00	\$ 500.00	\$ 500.00	\$ 5,000.00	\$ 5,000.00	\$ 15,000.00	\$ 15,000.00
TOTAL BASE BID				\$ 336,765.00		\$ 395,677.73		\$ 583,986.54		\$ 302,320.00

Resolution No. 2025-66

**RESOLUTION ACCEPTING THE BID AND AUTHORIZING EXECUTION
OF THE CONTRACT FOR THE SOUTH FIBER PROJECT, NORTH
LIBERTY, IOWA**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

WHEREAS, the City Council sought bids for the South Fiber Project;

WHEREAS, seven contractors submitted responsive bids for the project; and

WHEREAS, the low base bid for the project was from Midwest Underground Contractors, Inc. in the amount of \$217,812.00; and

NOW, THEREFORE, BE IT RESOLVED that the South Fiber Project is authorized and the bid from Midwest Underground Contractors, Inc. hereby accepted and approved for the project at an amount of \$217,812.00 as set forth therein.

BE IT FURTHER RESOLVED that the Contract between the Owner and the Contractor is approved and that the Mayor is authorized to execute said agreement.

APPROVED AND ADOPTED this 10th day of June, 2025.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK



Urban Renewal Area Expansion & Plan Update

SET DATE FOR HEARING ON DESIGNATION OF EXPANDED URBAN RENEWAL
AREA AND URBAN RENEWAL PLAN AMENDMENT

421033-102

North Liberty, Iowa

June 10, 2025

The City Council of the City of North Liberty, Iowa, met on June 10, 2025, at __:____ p.m., at the _____, in the City, for the purpose of setting a date for a public hearing on the designation of an expanded urban renewal area and on a proposed urban renewal plan amendment. The Mayor presided and the roll being called, the following members of the Council were present and absent:

Present: _____

Absent: _____.

The Mayor announced that an amendment to the boundaries of the North Liberty Urban Renewal Area had been prepared, along with an amendment to the urban renewal plan for the area, and that it was now necessary to set a date for a public hearing on the proposed amended area and proposed amendment to the urban renewal plan. Accordingly, Council Member _____ moved the adoption of the following resolution entitled "Resolution Setting Date for a Public Hearing on Designation of the Expanded North Liberty Urban Renewal Area and on Urban Renewal Plan Amendment," and the motion was seconded by Council Member _____. Following due consideration, the Mayor put the question on the motion and the roll being called, the following named Council Members voted:

Ayes: _____

Nays: _____.

Whereupon, the Mayor declared the resolution duly adopted as follows:

Resolution No. 2025-67

**RESOLUTION SETTING DATE FOR PUBLIC HEARING ON DESIGNATION OF
THE EXPANDED NORTH LIBERTY URBAN RENEWAL AREA AND ON
URBAN RENEWAL PLAN AMENDMENT**

WHEREAS, this City Council of the City of North Liberty, Iowa (the "City") by resolution previously established the North Liberty Urban Renewal Area (the "Urban Renewal Area") and adopted an urban renewal plan (the "Plan") for the governance of projects and initiatives therein; and

WHEREAS, a proposal has been made which shows the desirability of expanding the Urban Renewal Area to add and include all the property (the "Property") lying within the legal description set out in Exhibit A; and

WHEREAS, this City Council is desirous of obtaining as much information as possible from the residents of the City before making this decision; and

WHEREAS, an amendment (the "Amendment") to the Plan has been prepared which (1) covers the addition of the Property to the Urban Renewal Area; and (2) authorizes the undertaking of a new urban renewal project in the Urban Renewal Area consisting of providing tax increment financing support to Be Still Property Management, LLC (the "Developer") in connection with the construction by the Developer of a sports performance center; and

WHEREAS, it is now necessary that a date be set for a public hearing on the designation of the expansion of the Urban Renewal Area and on the Amendment;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of North Liberty, Iowa, as follows:

Section 1. This City Council will meet at the Council Chambers, North Liberty, Iowa, on July 8, 2025, at 6:00 p.m., at which time and place it will hold a public hearing on the designation of the expanded Urban Renewal Area described in the preamble hereof and on the Amendment.

Section 2. The City Clerk shall publish notice of said hearing, the same being in the form attached hereto, which publication shall be made in a legal newspaper of general circulation in North Liberty, which publication shall be not less than four (4) and not more than twenty (20) days before the date set for hearing.

Section 3. Pursuant to Section 403.5 of the Code of Iowa, the City Administrator and/or the Assistant City Administrator, or their designees, are hereby designated as the City's representatives in connection with the consultation process which is required under that section of the urban renewal law. It is hereby directed that representatives of Johnson County, the Iowa City Community School District and the Clear Creek Amana Community School District be invited to participate in the consultation.

Section 4. The proposed Amendment is hereby submitted to the City's Planning and Zoning Commission for review and recommendations, as required by Section 403.5, Code of Iowa.

APPROVED AND ADOPTED this 10th day of June, 2025.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

NOTICE OF PUBLIC HEARING ON DESIGNATION OF EXPANDED NORTH
LIBERTY URBAN RENEWAL AREA AND ON PROPOSED URBAN RENEWAL
PLAN AMENDMENT

Notice Is Hereby Given: That at 6:00 p.m., at the Council Chambers, North Liberty, Iowa, on July 8, 2025, the City Council of the City of North Liberty will hold a public hearing on the question of amending the urban renewal plan (the "Plan") for the North Liberty Urban Renewal Area and designating expanded North Liberty Urban Renewal Area (the "Urban Renewal Area"), pursuant to Chapter 403, Code of Iowa, by adding certain real property (the "Property") situated in the City of North Liberty, Johnson County, State of Iowa, more particularly described as follows:

[Insert legal description]

The proposed amendment to the Plan makes the Property subject to the provisions of the Plan. The amendment includes the authorization of a new urban renewal project in the Urban Renewal Area consisting of providing tax increment financing support to Be Still Property Management, LLC (the "Developer") in connection with the development and construction by the Developer of a sports performance center.

At said hearing any interested person may file written objections or comments and may be heard orally with respect to the subject matters of the hearing.

Tracey Mulcahey
City Clerk

• • • • •

On motion and vote the meeting adjourned.

CHRIS HOFFMAN, MAYOR

Attest:

TRACEY MULCAHEY, CITY CLERK

EXHIBIT A
Legal Description
Expanded North Liberty Urban Renewal Area
(July, 2025 Addition)

[Insert Legal Description]

STATE OF IOWA
JOHNSON COUNTY
CITY OF NORTH LIBERTY

SS:

I, the undersigned, City Clerk of the City of North Liberty, Iowa do hereby certify that pursuant to the resolution of its City Council fixing a date of public hearing on the question of designating the expanded North Liberty Urban Renewal Area for the City and on a proposed urban renewal plan amendment, the notice, of which the printed slip attached to the publisher's affidavit hereto attached is a true and complete copy, was published on the date and in the newspaper specified in such affidavit, which newspaper has a general circulation in the City, and copies were sent to the county and school district.

WITNESS my hand this ____ day of _____, 2025.

TRACEY MULCAHEY, CITY CLERK

(Attach here publisher's affidavit of publication of notice.)

(PLEASE NOTE: This certificate must not be dated until the publication has been made and you have reviewed it to be sure that the notice was published on the date indicated in the attached affidavit.)

STATE OF IOWA
JOHNSON COUNTY
CITY OF NORTH LIBERTY

SS:

I, the undersigned, City Clerk of the City of North Liberty, do hereby certify that as such I have in my possession or have access to the complete corporate records of the City and of its officers; and that I have carefully compared the transcript hereto attached with those records and that the attached is a true, correct and complete copy of the corporate records relating to the action taken by the City Council preliminary to and in connection with setting a date for public hearing on the question of designating the expanded North Liberty Urban Renewal Area for the City and on an urban renewal plan amendment.

WITNESS my hand this ____ day of _____, 2025.

TRACEY MULCAHEY, CITY CLERK

CITY OF NORTH LIBERTY, IOWA
URBAN RENEWAL PLAN AMENDMENT
NORTH LIBERTY URBAN RENEWAL AREA

July, 2025

The Urban Renewal Plan (the “Plan”) for the North Liberty Urban Renewal Area (the “Urban Renewal Area”) of the City of North Liberty, Iowa (the “City”) is being amended for the purposes of adding certain real property to the Urban Renewal Area and identifying a new urban renewal project to be undertaken therein.

1) Addition of Property. The real property (the "Property") generally described on Exhibit A hereto is, by virtue of this Amendment, being added as the July, 2025 Addition to the Urban Renewal Area. With the adoption of this Amendment, the City will designate the Property as an economic development area. The Property will become subject to the provisions of the Plan for the Urban Renewal Area. It is anticipated that the City will adopt an ordinance providing for the division of property tax revenues, as set forth in Section 403.19 of the Code of Iowa, with respect to the Property.

2) Identification of Projects. By virtue of this amendment, the list of authorized urban renewal projects in the Plan is hereby amended to include the following project description:

Name of Project: Sports Performance Center Development Project

Date of Council Approval of Project: July 8, 2025

Description of the Project and Project Site: Be Still Property Management, LLC (the “Developer”) has proposed to undertake the development and construction of a new 50,000 square foot sports performance center (the “Project”) on the Property (as defined in Section 1 of this Amendment), including basketball, volleyball and pickle ball courts; physical therapy space; gym space; therapy and training space; concessions; and common areas.

It has been requested that the City provide tax increment financing assistance to the Developer in support of the efforts to complete, operate and maintain the Project.

The costs incurred by the City in providing tax increment financing assistance to the Developer will include legal and administrative fees (the “Admin Fees”) in an amount not to exceed \$12,000.

Description of Use of TIF for the Project: The City intends to enter into a Development Agreement with the Developer with respect to the construction and use of the completed Project and to provide annual appropriation economic development payments (the “Payments”) to the Developer thereunder. The Payments will be funded with incremental property tax revenues to be derived from the Property. It is anticipated

that the City's total commitment of incremental property tax revenues with respect to the Project will not exceed \$1,300,000, plus the Admin Fees.

3) Required Financial Information. The following information is provided in accordance with the requirements of Section 403.17 of the Code of Iowa:

Constitutional debt limit of the City:	<u>\$131,893,600</u>
Outstanding general obligation debt of the City:	<u>\$ 73,415,000</u>
Proposed debt to be incurred in connection with this July, 2025 Amendment*:	<u>\$ 1,312,000</u>

*It is anticipated that some or all of the debt incurred hereunder may be made subject to annual appropriation by the City Council.

EXHIBIT A
NORTH LIBERTY URBAN RENEWAL AREA
JULY, 2025 ADDITION

[Insert Legal Description]



Water Rate Ordinance Amendment

Professional

Engineering

Services

2024 Water System Facility Plan

Report

City of

North Liberty, IA

April 2025



Report for City of North Liberty, Iowa

2024 Water System Facility Plan

Prepared by:

STRAND ASSOCIATES, INC.®
414 South 17th Street, Suite 107
Ames, IA 50010
www.strand.com

April 2025



BACKGROUND

The City of North Liberty, Iowa (City) is responsible for potable water service to residences, businesses, and institutions within the City. The City sources its water from the Jordan and Silurian aquifers, and is treated and distributed to the City's customers. Increased water demand in the City is primarily due to the City's growing population. As population grows, water treatment, raw water supply, and water storage capacities will need to grow to meet increasing water demands. Additionally, water main improvements are required to provide adequate service in the distribution system.

DESIGN CONDITIONS

The City's population as of 2023 was estimated to be 22,710. The population is expected to grow to approximately 34,310 by 2035 and 48,400 by 2045, based on a 3.5 percent annual growth rate. Population growth will drive the need for improvements to water treatment, water supply, water storage, and water mains in the distribution system.

Average day demands (ADD) and peak day demands (PDD) in 2023 were approximately 1.29 and 1.97 million gallons per day (MGD), respectively. This translates to 57 gallons per capita per day (gpcd) average use, and 87 gpcd peak day use. Over the past 6 years, average daily per capita use was 61 gpcd and peak day use was 111 gpcd. To provide adequate conservatism to water demand projections, average day use was estimated at 70 gpcd and peak day use was estimated at 120 gpcd in this report. At the design year of 2045, ADDs are projected to be approximately 3.39 MGD and PDDs are projected to be approximately 5.81 MGD. Improvements to water treatment, water supply, and water storage capacities will be required to meet projected 2045 water demands.

EXISTING FACILITIES

The City owns and operates a water system consisting of six active local groundwater supply wells drawing from the Jordan and Silurian aquifers, a nanofiltration (NF) membrane water treatment plant (WTP), 2.15 million gallons (MG) of finished water storage capacity, an aquifer storage and recovery (ASR) well, and a water distribution and transmission system that spans the City limits.

Raw water supply is provided by three Silurian wells (Well Nos. 3, 4, and 9) and three Jordan wells (Well Nos. 5, 6, and 8) for a total capacity of 3,400 gallons per minute (gpm) (2,300 gpm firm capacity). Well Nos. 3 and 4 have significantly lower capacity, are approximately 40 years old, and may be taken out of service or abandoned during the 20-year planning period. With Well Nos. 3 and 4 out of service, the total raw water capacity is 3,320 gpm (2,220 gpm firm capacity).

The City has operated its NF WTP located at 433 South Front Street since it finished construction in 2018. The plant was constructed for an intended design production capacity of 3.0 MGD and a design intent to provide adequate capacity for a population of approximately 28,940, as noted in the previous *2016 Facility Plan Amendment No. 1*. Actual current water treatment capacity based on normal operation (20 hours of operation, 20.5 percent bypass to achieve 100 milligrams per liter maximum hardness) is 3.17 MGD. Firm capacity (one supply well and one NF skid out of service) is 2.96 MGD.

The City's ASR well (Well No. 7) can provide up to 1.32 MGD of finished water. In recent years, use of the ASR well has not been necessary to meet peak demands and, therefore, it has not been used since 2019. The City wants to consider discontinuing use of the ASR well and converting this well into a raw water source.

Distribution storage is provided by two water towers (with volumes of 0.4 and 1.0 MG, respectively) and one 0.75-MG ground storage reservoir.

WATER SYSTEM EXPANSION ALTERNATIVES

As populations increase, water treatment capacity will need to be increased incrementally. In order to adequately feed the WTP, raw water supply will also need to increase. Phase 1 treatment capacity denotes the existing capacity of the WTP. The existing membrane skids can be expanded to have an additional 10 percent capacity. Additionally, there is space for two more full membrane skids. In Phase 1A, the existing membrane skids will be built out to their full capacities. In Phases 2 and 3, one additional skid will be added per phase.

Additional raw water supply will primarily come from the drilling of additional wells in the Silurian aquifer. Two alternatives were considered for water supply expansion, which can be summarized as:

1. Alternative No. 1—The ASR well remains in service.
2. Alternative No. 2—The ASR well is converted into a raw water supply well.

In Alternative No. 1, the ASR well remains in service as an ASR well, and is able to provide additional peak day finished water capacity. In this case, only Phase 1A and Phase 2 WTP expansions will be required through the design year (2045).

In Alternative No. 2, the ASR well is converted into a raw water supply well, which could provide up to 1,100 gpm of additional raw water capacity, contingent on the appropriate aquifer modeling and permits. In this case, construction of additional Silurian wells could be delayed by approximately 1 year, but WTP expansions will be required sooner. Phase 1A, Phase 2, and Phase 3 WTP expansions will be required through the design year (2045).

Distribution system and storage improvements will be required to provide adequate storage and service through 2045, regardless of which alternative is chosen. Storage volume will need to be increased by 1.25 MG to provide adequate storage through 2045. Additionally, several water main improvements are recommended to increase system looping, mitigate water service disruptions, and provide additional redundancy through 2045.

Table ES-1 presents a summary opinion of probable costs (OPC) for supply, treatment, and storage improvements for Alternative No. 1 in 2024 dollars.

Project Description	Estimated Year Completed	OPC
Phase 1A		
Two New Silurian Wells	2028	\$6,610,000
Membrane Replacement and Buildout	2028	\$1,270,000
Phase 2		
1.25-MG Water Tower	2031	\$8,393,000
Five New Silurian Wells	2037	\$11,815,000
Added Membrane Skid and Phase 2 Treatment Improvements	2037	\$3,457,000
Total OPC		\$31,545,000

Table ES-1 Alternative No. 1 Water Supply, Treatment, and Storage OPC Summary

Table ES-2 presents a summary OPC for supply, treatment, and storage improvements for Alternative No. 2 in 2024 dollars.

Project Description	Estimated Year Completed	OPC
Phase 1A		
Well No. 7 Conversion	2028	\$1,010,000
Membrane Replacement and Buildout	2028	\$1,270,000
Phase 2		
Two New Silurian Wells	2028	\$6,610,000
Added Membrane Skid and Phase 2 Treatment Improvements	2028	\$3,457,000
1.25-MG Water Tower	2031	\$8,393,000
Phase 3		
Five New Silurian Wells	2038	\$11,815,000
Add Membrane Skid and Phase 3 Treatment Improvements	2038	\$2,325,000
Total OPC		\$34,880,000

Table ES-2 Alternative No. 2 Water Supply, Treatment, and Storage OPC Summary

The total OPC for improvements through 2045 for Alternative No. 1 is approximately 10 percent less than Alternative No. 2. At the study phase of alternative evaluation, a 10 percent difference is considered approximately equivalent. In addition to the monetary evaluation, a nonmonetary evaluation between alternatives is valuable. Table ES-3 summarizes the results of the comparison of each alternative considering several nonmonetary factors.

Criteria	Description	Alternative No. 1	Alternative No. 2
1	Operational Complexity	0	1
2	Reliability	0	1
3	Operational Flexibility	0	1
4	Expandability	1	1
5	Implementation	1	0
6	Maintenance Requirements	0	1
7	Ability to Meet Future Regulation	0	1
8	Social Impacts	1	0
Composite Score		3	6

Table ES-3 Evaluation of Alternatives by Nonmonetary Criteria

Water main improvements are needed on the basis of population growth, and timing is determined by timing and location of development in the City, criticality of the deficiency being addressed, water main age, the City's preference, and other factors. Table ES-4 presents a summary of the OPC for recommended water main improvements through 2045.

Improvement No.	Description	Years Until Completed	Present Worth OPC
1	12-Inch Water Main Loop Between Harlen Street and Forevergreen Road	5 to 10	\$262,000
2	8-Inch Water Main Between 230th Street and Pheasant Lane	0 to 5	\$137,000
3	12-Inch Water Main Loop on North Liberty Road	0 to 5	\$1,034,000
4	8-Inch Water Main Loop Between Dubuque Street and East Tartan Drive	0 to 5	\$296,000
5	12-Inch Water Main Loop on Jasper Avenue	5 to 10	\$1,559,000

Table ES-4 Water Main Improvement OPC Summary

IMPACT ON USER RATES

As with any capital-intensive water project, the financed portion as well as operational and maintenance expenses will need to be funded through user rates. A detailed evaluation of the potential impact of this project on user rates is beyond the scope of this study. The City should consult with a trusted financial advisor to provide guidance on which type of funding is recommended for the City, the preferred loan term, and the final impact on water user fees.

SUMMARY AND RECOMMENDATIONS

Alternative Nos. 1 and 2 were evaluated based on monetary and nonmonetary criteria. While Alternative No. 1 has a lower OPC, Alternative No. 2 had a higher rating based on the nonmonetary criteria. Alternative No. 2 will help reduce the stress on the Jordan aquifer by distributing pumping over more wells and a larger area. It also improves reliability and flexibility of the raw water supply by having another high capacity well. Given these benefits, Alternative No. 2 is recommended, which includes completing Phases 1A and 2 for supply and treatment by year 2028.

Based on the evaluations presented in this *2024 Water System Facility Plan* (Facility Plan), the following recommendations are offered:

1. Proceed with increasing the raw water supply by completing the following improvements, with an estimated completion in 2028:
 - a. Construct two additional Silurian wells and associated raw water main.
 - b. Convert the existing ASR to a water supply well.
2. Proceed with increasing the water treatment capacity by completing the following improvements, with an estimated completion in 2028:
 - a. Expand the capacity of the existing NF skids by 10 percent by adding membranes and replace the existing membrane elements as needed.
 - b. Add a fourth NF skid and other WTP improvements identified in this Facility Plan.
3. Proceed with planning and budgeting for adding a new 1.25-MG water tower, with an estimated completion of 2031.
4. Proceed with planning and budgeting for water main Improvement Nos. 2 through 4 summarized in Table ES-4, to be completed within the next 5 years.

The concepts presented in this Facility Plan should be reviewed and discussed and decisions made regarding the specific features and components to be included in the selected plan. Part of the decision process will include deciding how quickly to expand the facilities to meet the growing needs of the community. The City should concur with the concepts as presented or direct that revised analyses be made. Following acceptance by the City, the Facility Plan should be submitted to the Iowa Department of Natural Resources (IDNR) for review and approval. Following comment by the IDNR, the design phase of the selected project should be initiated, as appropriate.

Once a decision is reached, then discussions can proceed on various preliminary design aspects associated with the selected plan. Some recommendations and analyses discussed in this Facility Plan may merit more detailed examination. During the design development stage, numerous decision points will arise regarding specific features of the proposed project. It can then be decided which recommendations to include in the selected plan and which deviations to make from the concepts proposed by this analysis.

SCHEDULE

The following schedule is proposed for completing the water system improvements as outlined in this Facility Plan, presuming population growth is as projected. The City should continue to monitor population growth and adjust the schedule accordingly.

Project Milestone	Month and Year	OPC
Submit Facility Plan to IDNR	April 2025	
IDNR Facility Plan Review	April to December 2025	
Phases 1A and 2–Water Supply and Treatment		\$12,347,000
Preliminary Design (concurrent with IDNR review)	August to December 2025	
Final Design	January to September 2026	
IDNR Review and Permitting	September to February 2026	
Bidding	February to March 2027	
Construction	April 2027 to November 2028	
Phase 2–Water Storage		\$8,393,000
Project Design	July to June 2029	
IDNR Review and Permitting	July to December 2029	
Bidding	January to February 2030	
Construction	March 2030 to October 2031	
Water Main Improvements		\$1,467,000
Project Design	January to October 2027	
IDNR Review and Permitting	November 2027 to February 2028	
Bidding	February to March 2028	
Construction	April 2028 to October 2029	

Table ES-5 Proposed Project Schedule

2025 Water Facility Plan

Financial Forecasting Model

WATER OPERATING FUND

WATER OPERATING FUND		FY24	FY25	FY26	FY27	FY28	FY29	FY30	FY31	FY32	FY33	FY34	FY35	FY36	FY37	FY38	FY39	FY40
		Actual	Budget	Budget	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated
Budget Inflation Rate			1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%
Number of Accounts		9,836	9,758	9,904	10,053	10,204	10,357	10,512	10,670	10,830	10,992	11,157	11,325	11,494	11,667	11,842	12,019	12,200
Gallons Sold		446,336,000	434,826,000	475,000,000	482,125,000	489,356,875	496,697,228	504,147,687	511,709,902	519,385,550	527,176,334	535,083,979	543,110,238	551,256,892	559,525,745	567,918,631	576,437,411	585,083,972
Proposed Rate Increase		0%	0%	6%	5%	5%	5%	4%	4%	4%	3%	3%	3%	2%	2%	0%	0%	0%
Base Rate		\$ 17.44	\$ 17.44	\$ 18.49	\$ 19.41	\$ 20.38	\$ 21.40	\$ 22.26	\$ 23.15	\$ 24.07	\$ 24.79	\$ 25.54	\$ 26.30	\$ 26.83	\$ 27.37	\$ 27.37	\$ 27.37	\$ 27.37
Rate/1000 Gallons		\$ 7.01	\$ 7.01	\$ 7.43	\$ 7.80	\$ 8.19	\$ 8.60	\$ 8.94	\$ 9.30	\$ 9.67	\$ 9.96	\$ 10.26	\$ 10.57	\$ 10.78	\$ 11.00	\$ 11.00	\$ 11.00	\$ 11.00
Revenues																		
Water Sales		\$ 4,324,304	\$ 4,268,643	\$ 4,842,596	\$ 5,160,997	\$ 5,500,332	\$ 5,861,979	\$ 6,187,905	\$ 6,531,953	\$ 6,895,129	\$ 7,208,513	\$ 7,536,140	\$ 7,878,657	\$ 8,156,774	\$ 8,444,708	\$ 8,571,379	\$ 8,699,949	\$ 8,830,449
Sales Tax		\$ 269,555	\$ 256,119	\$ 290,556	\$ 309,660	\$ 330,020	\$ 351,719	\$ 371,274	\$ 391,917	\$ 413,708	\$ 432,511	\$ 452,168	\$ 472,719	\$ 489,406	\$ 506,682	\$ 514,283	\$ 521,997	\$ 529,827
Connection Fees/Permits		\$ 71,145	\$ 105,000	\$ 105,000	\$ 105,000	\$ 105,000	\$ 105,000	\$ 105,000	\$ 105,000	\$ 105,000	\$ 105,000	\$ 105,000	\$ 105,000	\$ 105,000	\$ 105,000	\$ 105,000	\$ 105,000	\$ 105,000
Use of Money		\$ 29,494	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000	\$ 20,000
Miscellaneous		\$ 4,439	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500	\$ 500
Transfers		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Accounts Receivable/Payable		\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total Revenues		\$ 4,698,937	\$ 4,650,262	\$ 5,258,652	\$ 5,596,157	\$ 5,955,852	\$ 6,339,198	\$ 6,684,680	\$ 7,049,370	\$ 7,434,337	\$ 7,766,524	\$ 8,113,808	\$ 8,476,877	\$ 8,771,680	\$ 9,076,891	\$ 9,211,162	\$ 9,347,446	\$ 9,485,776
Expenditures																		
Budget Inflation Rate			3.31%	8.19%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%
Personnel Services		\$ 794,913	\$ 853,578	\$ 896,815	\$ 941,656	\$ 988,739	\$ 1,038,175	\$ 1,090,084	\$ 1,144,588	\$ 1,201,818	\$ 1,261,909	\$ 1,325,004	\$ 1,391,254	\$ 1,460,817	\$ 1,533,858	\$ 1,610,551	\$ 1,691,078	\$ 1,775,632
Services & Commodities		\$ 1,810,708	\$ 1,631,930	\$ 1,761,820	\$ 1,849,911	\$ 1,942,407	\$ 2,039,527	\$ 2,141,503	\$ 2,248,578	\$ 2,361,007	\$ 2,479,058	\$ 2,603,011	\$ 2,733,161	\$ 2,869,819	\$ 3,013,310	\$ 3,163,976	\$ 3,322,174	\$ 3,488,283
Capital		\$ -	\$ -	\$ -	\$ 75,000	\$ 75,000	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000	\$ 50,000
Transfers																		
Equipment Revolving		\$ -	\$ 30,000	\$ 50,000	\$ 210,000	\$ 125,000	\$ 176,000	\$ 190,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000
Computer Revolving		\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,650	\$ 1,650	\$ 1,650	\$ 1,650	\$ 1,650	\$ 1,800	\$ 1,800	\$ 1,800	\$ 1,800	\$ 1,800
Capital Reserve		\$ 215,000	\$ 80,000	\$ 255,000	\$ 200,000	\$ 180,000	\$ 80,000	\$ 150,000	\$ 150,000	\$ 150,000	\$ 150,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000	\$ 200,000
Revenue Debt		\$ 1,274,841	\$ 1,626,025	\$ 1,625,168	\$ 1,503,240	\$ 1,500,000	\$ 1,497,340	\$ 1,494,240	\$ 1,490,700	\$ 1,487,720	\$ 1,484,280	\$ 1,480,380	\$ 1,477,020	\$ 1,474,180	\$ 1,470,840	\$ -	\$ -	\$ -
GO Debt		\$ 292,478	\$ 291,853	\$ 296,153	\$ 45,078	\$ 44,028	\$ 42,978	\$ 41,928	\$ 40,878	\$ 44,828	\$ 43,628	\$ 42,428	\$ 41,228	\$ -	\$ -	\$ -	\$ -	\$ -
Billing & Accounting		\$ 261,562	\$ 290,022	\$ 311,947	\$ 327,544	\$ 343,922	\$ 361,118	\$ 379,174	\$ 398,132	\$ 418,039	\$ 438,941	\$ 460,888	\$ 483,932	\$ 508,129	\$ 533,535	\$ 560,212	\$ 588,223	\$ 617,634
Upcoming Projects																		
Repaint Water Tower #2 & Water Maintenance Facility Expansion [\$3.5 million GO]					\$ 426,496	\$ 426,354	\$ 428,225	\$ 429,585	\$ 430,425	\$ 426,651	\$ 426,609	\$ 430,187	\$ 428,992	\$ 427,163				
Water Facilities Expansion, Phase 1A & 2 (partial) [\$12.4 million SRF]						\$ 774,758	\$ 844,006	\$ 844,452	\$ 844,452	\$ 844,006	\$ 844,353	\$ 844,217	\$ 844,837	\$ 844,936	\$ 844,936	\$ 844,812	\$ 844,552	
Water Facilities Expansion, Phase 2 (partial) [\$8.4 million SRF]									\$ 524,836	\$ 571,746	\$ 572,048	\$ 572,048	\$ 571,981	\$ 571,746	\$ 571,981	\$ 571,889	\$ 572,309	
Water Facilities Expansion, Phase 3 [\$14.2 million SRF]															\$ 887,223	\$ 966,523	\$ 967,034	
Total Expenditures		\$ 4,651,002	\$ 4,804,908	\$ 5,198,403	\$ 5,153,929	\$ 5,627,091	\$ 6,487,750	\$ 6,810,660	\$ 6,898,564	\$ 7,614,776	\$ 7,851,868	\$ 8,106,371	\$ 8,324,698	\$ 8,510,319	\$ 8,747,424	\$ 7,990,165	\$ 8,336,919	\$ 8,617,311
Net Change in Fund Balance		\$ 47,935	\$ (154,647)	\$ 60,249	\$ 442,227	\$ 328,761	\$ (148,552)	\$ (125,981)	\$ 150,805	\$ (180,439)	\$ (85,345)	\$ 7,437	\$ 152,179	\$ 261,361	\$ 329,467	\$ 1,220,997	\$ 1,010,527	\$ 868,465
Beginning Fund Balance		\$ 2,042,376	\$ 2,090,310	\$ 1,935,664	\$ 1,995,913	\$ 2,438,140	\$ 2,766,901	\$ 2,618,349	\$ 2,492,368	\$ 2,643,173	\$ 2,462,735	\$ 2,377,390	\$ 2,384,827	\$ 2,537,006	\$ 2,798,367	\$ 3,127,834	\$ 4,348,831	\$ 5,359,358
Ending Fund Balance		\$ 2,090,310	\$ 1,935,664	\$ 1,995,913	\$ 2,438,140	\$ 2,766,901	\$ 2,618,349	\$ 2,492,368	\$ 2,643,173	\$ 2,462,735	\$ 2,377,390	\$ 2,384,827	\$ 2,537,006	\$ 2,798,367	\$ 3,127,834	\$ 4,348,831	\$ 5,359,358	\$ 6,227,822
% Reserved		44.94%	40.29%	38.39%	47.31%	49.17%	40.36%	36.60%	38.31%	32.34%	30.28%	29.42%	30.48%	32.88%	35.76%	54.43%	64.28%	72.27%
Personnel Cost in \$		\$ 1,056,475	\$ 1,143,600	\$ 1,208,762	\$ 1,269,200	\$ 1,332,660	\$ 1,399,293	\$ 1,469,258	\$ 1,542,721	\$ 1,619,857	\$ 1,700,850	\$ 1,785,892	\$ 1,875,187	\$ 1,968,946	\$ 2,067,393	\$ 2,170,763	\$ 2,279,301	\$ 2,393,266
Personnel % of Water		22.72%	23.80%	23.25%	24.63%	23.68%	21.57%	21.57%	22.36%	21.27%	21.66%	22.03%	22.53%	23.14%	23.63%	27.17%	27.34%	27.77%
Debt Service Coverage																		
Net Revenue/All Revenue Debt		1.44	1.15	1.41	1.65	1.79	1.28	1.31	1.40	1.21	1.24	1.29	1.34	1.36	1.38	1.68	1.57	1.51
Required Coverage		1.25	1.25	1.25	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10
Difference (Actual vs. Required)		0.19	(0.10)	0.16	0.55	0.69	0.18	0.21	0.30	0.11	0.14	0.19	0.24	0.26	0.28	0.58	0.47	0.41

2025 Water Facility Plan

Financial Forecasting Model

	FY41		FY42		FY43		FY44		FY45		FY46		FY47		FY48		FY49		FY50		FY51		FY52		FY53		FY54		FY55		FY56		FY57	
	Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated	
Budget Inflation Rate	1.50%		1.50%		1.50%		1.50%		1.50%		1.50%		1.50%		1.50%		1.50%		1.50%		1.50%		1.50%		1.50%		1.50%		1.50%		1.50%		1.50%	
Number of Accounts	12,383		12,569		12,757		12,948		13,143		13,340		13,540		13,743		13,949		14,158		14,371		14,586		14,805		15,027		15,253		15,481		15,714	
Gallons Sold	593,860,232		602,768,135		611,809,657		620,986,802		630,301,604		639,756,128		649,352,470		659,092,757		668,979,148		679,013,836		689,199,043		699,537,029		710,030,084		720,680,536		731,490,744		742,463,105		753,600,051	
Proposed Rate Increase	0%		0%		0%		0%		3%		3%		3%		2%		2%		2%		2%		2%		2%		2%		2%		2%		2%	
Base Rate	\$ 27.37	\$	\$ 27.37	\$	\$ 27.37	\$	\$ 27.37	\$	\$ 28.19	\$	\$ 29.03	\$	\$ 29.90	\$	\$ 30.50	\$	\$ 31.11	\$	\$ 31.74	\$	\$ 32.37	\$	\$ 33.02	\$	\$ 33.68	\$	\$ 34.35	\$	\$ 35.04	\$	\$ 35.74	\$	\$ 36.45	
Rate/1000 Gallons	\$ 11.00	\$	\$ 11.00	\$	\$ 11.00	\$	\$ 11.00	\$	\$ 11.33	\$	\$ 11.67	\$	\$ 12.02	\$	\$ 12.26	\$	\$ 12.50	\$	\$ 12.75	\$	\$ 13.01	\$	\$ 13.27	\$	\$ 13.53	\$	\$ 13.80	\$	\$ 14.08	\$	\$ 14.36	\$	\$ 14.65	
Revenues																																		
Water Sales	\$ 8,962,905	\$	\$ 9,097,349	\$	\$ 9,233,809	\$	\$ 9,372,316	\$	\$ 9,798,288	\$	\$ 10,243,620	\$	\$ 10,709,193	\$	\$ 11,087,227	\$	\$ 11,478,607	\$	\$ 11,883,801	\$	\$ 12,303,300	\$	\$ 12,737,606	\$	\$ 13,187,244	\$	\$ 13,652,753	\$	\$ 14,134,695	\$	\$ 14,633,650	\$	\$ 15,150,218	
Sales Tax	\$ 537,774	\$	\$ 545,841	\$	\$ 554,029	\$	\$ 562,339	\$	\$ 587,897	\$	\$ 614,617	\$	\$ 642,552	\$	\$ 665,234	\$	\$ 688,716	\$	\$ 713,028	\$	\$ 738,198	\$	\$ 764,256	\$	\$ 791,235	\$	\$ 819,165	\$	\$ 848,082	\$	\$ 878,019	\$	\$ 909,013	
Connection Fees/Permits	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	\$	\$ 105,000	
Use of Money	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	\$	\$ 20,000	
Miscellaneous	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	\$	\$ 500	
Transfers	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	
Accounts Receivable/Payable	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	
Total Revenues	\$ 9,626,180	\$	\$ 9,768,690	\$	\$ 9,913,338	\$	\$ 10,060,155	\$	\$ 10,511,685	\$	\$ 10,983,738	\$	\$ 11,477,244	\$	\$ 11,877,961	\$	\$ 12,292,823	\$	\$ 12,722,329	\$	\$ 13,166,998	\$	\$ 13,627,362	\$	\$ 14,103,978	\$	\$ 14,597,418	\$	\$ 15,108,277	\$	\$ 15,637,169	\$	\$ 16,184,731	
Expenditures																																		
Budget Inflation Rate	5.00%		5.00%		5.00%		5.00%		5.00%		5.00%		5.00%		5.00%		5.00%		5.00%		5.00%		5.00%		5.00%		5.00%		5.00%		5.00%		5.00%	
Personnel Services	\$ 1,864,414	\$	\$ 1,957,635	\$	\$ 2,055,516	\$	\$ 2,158,292	\$	\$ 2,266,207	\$	\$ 2,379,517	\$	\$ 2,498,493	\$	\$ 2,623,418	\$	\$ 2,754,589	\$	\$ 2,892,318	\$	\$ 3,036,934	\$	\$ 3,188,781	\$	\$ 3,348,220	\$	\$ 3,515,631	\$	\$ 3,691,412	\$	\$ 3,875,983	\$	\$ 4,069,782	
Services & Commodities	\$ 3,662,697	\$	\$ 3,845,832	\$	\$ 4,038,124	\$	\$ 4,240,030	\$	\$ 4,452,031	\$	\$ 4,674,633	\$	\$ 4,908,365	\$	\$ 5,153,783	\$	\$ 5,411,472	\$	\$ 5,682,046	\$	\$ 5,966,148	\$	\$ 6,264,455	\$	\$ 6,577,678	\$	\$ 6,906,562	\$	\$ 7,251,890	\$	\$ 7,614,485	\$	\$ 7,995,209	
Capital	\$ 50,000	\$	\$ 50,000	\$	\$ 75,000	\$	\$ 75,000	\$	\$ 75,000	\$	\$ 75,000	\$	\$ 75,000	\$	\$ 75,000	\$	\$ 75,000	\$	\$ 75,000	\$	\$ 75,000	\$	\$ 75,000	\$	\$ 75,000	\$	\$ 75,000	\$	\$ 75,000	\$	\$ 75,000	\$	\$ 75,000	
Transfers																																		
Equipment Revolving	\$ 100,000	\$	\$ 100,000	\$	\$ 150,000	\$	\$ 150,000	\$	\$ 150,000	\$	\$ 150,000	\$	\$ 150,000	\$	\$ 150,000	\$	\$ 150,000	\$	\$ 150,000	\$	\$ 150,000	\$	\$ 150,000	\$	\$ 150,000	\$	\$ 150,000	\$	\$ 150,000	\$	\$ 150,000	\$	\$ 150,000	
Computer Revolving	\$ 1,950	\$	\$ 1,950	\$	\$ 1,950	\$	\$ 1,950	\$	\$ 1,950	\$	\$ 2,100	\$	\$ 2,100	\$	\$ 2,100	\$	\$ 2,100	\$	\$ 2,100	\$	\$ 2,250	\$	\$ 2,250	\$	\$ 2,250	\$	\$ 2,250	\$	\$ 2,250	\$	\$ 2,250	\$	\$ 2,250	
Capital Reserve	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	\$	\$ 250,000	
Revenue Debt	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	
GO Debt	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	\$	\$ -	
Billing & Accounting	\$ 648,515	\$	\$ 680,941	\$	\$ 714,988	\$	\$ 750,738	\$	\$ 788,275	\$	\$ 827,688	\$	\$ 869,073	\$	\$ 912,526	\$	\$ 958,153	\$	\$ 1,006,060	\$	\$ 1,056,363	\$	\$ 1,109,181	\$	\$ 1,164,640	\$	\$ 1,222,873	\$	\$ 1,284,016	\$	\$ 1,348,217	\$	\$ 1,415,628	
Upcoming Projects																																		
Repaint Water Tower #2 & Water Maintenance Facility Expansion [\$3.5 million GO]																																		
Water Facilities Expansion, Phase 1A & 2 (partial) [\$12.4 million SRF]	\$ 844,973	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	\$	\$ 844,800	
Water Facilities Expansion, Phase 2 (partial) [\$8.4 million SRF]	\$ 572,090	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	\$	\$ 572,292	
Water Facilities Expansion, Phase 3 [\$14.2 million SRF]	\$ 967,034	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	\$	\$ 966,523	
Total Expenditures	\$ 8,961,674	\$	\$ 9,269,973	\$	\$ 9,669,193	\$	\$ 10,009,624	\$	\$ 10,367,077	\$	\$ 10,742,553	\$	\$ 11,136,645	\$	\$ 11,550,441	\$	\$ 11,984,928	\$	\$ 12,441,138	\$	\$ 12,920,310	\$	\$ 13,423,282	\$	\$ 13,951,403	\$	\$ 14,505,930	\$	\$ 15,088,183	\$	\$ 15,699,549	\$	\$ 16,341,483	
Net Change in Fund Balance	\$ 664,505	\$	\$ 498,717	\$	\$ 244,145	\$	\$ 50,531	\$	\$ 144,608	\$	\$ 241,185	\$	\$ 340,600	\$	\$ 327,520	\$	\$ 307,895	\$	\$ 281,191	\$	\$ 246,688	\$	\$ 204,081	\$	\$ 152,575	\$	\$ 91,489	\$	\$ 20,094	\$	\$ (62,380)	\$	\$ (156,752)	
Beginning Fund Balance	\$ 6,227,822	\$	\$ 6,892,328	\$	\$ 7,391,045	\$	\$ 7,635,190	\$	\$ 7,685,721	\$	\$ 7,830,329	\$	\$ 8,071,514	\$	\$ 8,412,113	\$	\$ 8,739,633	\$	\$ 9,047,528	\$	\$ 9,328,719	\$	\$ 9,575,407	\$	\$ 9,779,488	\$	\$ 9,932,063	\$	\$ 10,023,552	\$	\$ 10,043,646	\$	\$ 9,981,266	
Ending Fund Balance	\$ 6,892,328	\$	\$ 7,391,045	\$	\$ 7,635,190	\$	\$ 7,685,721	\$	\$ 7,830,329	\$	\$ 8,071,514	\$	\$ 8,412,113	\$	\$ 8,739,633	\$	\$ 9,047,528	\$	\$ 9,328,719	\$	\$ 9,575,407	\$	\$ 9,779,488	\$	\$ 9,932,063	\$	\$ 10,023,552	\$	\$ 10,043,646	\$	\$ 9,981,266	\$	\$ 9,824,514	
% Reserved	76.91%		79.73%		78.96%		76.78%		75.53%		75.14%		75.54%		75.66%		75.49%		74.98%		74.11%		72.85%		71.19%		69.10%		66.57%		63.58%		60.12%	
Personnel Cost in \$	\$ 2,512,929	\$	\$ 2,638,576	\$	\$ 2,770,505	\$	\$ 2,909,030	\$	\$ 3,054,481	\$	\$ 3,207,205	\$	\$ 3,367,566	\$	\$ 3,535,944	\$	\$ 3,712,741	\$	\$ 3,898,378	\$	\$ 4,093,297	\$	\$ 4,297,962	\$	\$ 4,512,860	\$	\$ 4,738,503	\$	\$ 4,975,428					

2025 Water Facility Plan

Financial Forecasting Model

WATER CAPITAL FUNDS

WATER CAPITAL FUNDS	FY24		FY25		FY26		FY27		FY28		FY29		FY30		FY31		FY32		FY33		FY34		FY35		FY36		FY37		FY38		FY39		FY40	
	Actual		Budget		Budget		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated	
Water Capital Reserve Fund Summary (602)																																		
Beginning Balance	\$	555,881	\$	720,071	\$	800,071	\$	880,071	\$	960,071	\$	1,040,071	\$	1,120,071	\$	1,270,071	\$	1,420,071	\$	1,570,071	\$	1,720,071	\$	1,920,071	\$	2,120,071	\$	2,320,071	\$	2,520,071	\$	2,720,071	\$	2,920,071
Developer Fees	\$	16,503	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-
Transfer from Water Utility Fund	\$	215,000	\$	110,000	\$	305,000	\$	410,000	\$	305,000	\$	256,000	\$	340,000	\$	250,000	\$	250,000	\$	250,000	\$	300,000	\$	300,000	\$	300,000	\$	300,000	\$	300,000	\$	300,000	\$	300,000
Projects Funded/Projected																																		
Fleet/Attachments	\$	59,756	\$	30,000			\$	210,000	\$	125,000	\$	160,000	\$	190,000																				
Equipment	\$	7,557			\$	50,000			\$	16,000																								
Facilities/System (wells, plant, hydrants)					\$	175,000	\$	120,000	\$	100,000																								
Membrane Replacement																																		
TBD													\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000
Ending Balance	\$	720,071	\$	800,071	\$	880,071	\$	960,071	\$	1,040,071	\$	1,120,071	\$	1,270,071	\$	1,420,071	\$	1,570,071	\$	1,720,071	\$	1,920,071	\$	2,120,071	\$	2,320,071	\$	2,520,071	\$	2,720,071	\$	2,920,071	\$	3,120,071
Water Capital Projects Fund Summary (605)																																		
Beginning Balance	\$	87,841	\$	87,841	\$	87,841	\$	87,841	\$	162,841	\$	237,841	\$	287,841	\$	337,841	\$	387,841	\$	437,841	\$	487,841	\$	537,841	\$	587,841	\$	637,841	\$	687,841	\$	737,841	\$	787,841
Transfer from Water Utility Fund	\$	-	\$	-	\$	-	\$	75,000	\$	75,000	\$	50,000	\$	50,000	\$	50,000	\$	50,000	\$	50,000	\$	50,000	\$	50,000	\$	50,000	\$	50,000	\$	50,000	\$	50,000	\$	50,000
Projects Funded/Projected																																		
TBD																																		
Ending Balance	\$	87,841	\$	87,841	\$	87,841	\$	162,841	\$	237,841	\$	287,841	\$	337,841	\$	387,841	\$	437,841	\$	487,841	\$	537,841	\$	587,841	\$	637,841	\$	687,841	\$	737,841	\$	787,841	\$	837,841
Total Capital Reserve Fund Balance																																		
Total Capital Reserve Fund Balance	\$	807,912	\$	887,912	\$	967,912	\$	1,122,912	\$	1,277,912	\$	1,407,912	\$	1,607,912	\$	1,807,912	\$	2,007,912	\$	2,207,912	\$	2,457,912	\$	2,707,912	\$	2,957,912	\$	3,207,912	\$	3,457,912	\$	3,707,912	\$	3,957,912
Assigned Balance (savings for future expenditures, FY balance as listed)																																		
Membrane Replacement	\$	240,000	\$	320,000	\$	400,000	\$	480,000	\$	560,000	\$	640,000	\$	740,000	\$	840,000	\$	940,000	\$	1,040,000	\$	1,140,000	\$	1,240,000	\$	1,340,000	\$	1,440,000	\$	1,540,000	\$	1,640,000	\$	1,740,000
Total Unassigned Balance	\$	567,912	\$	567,912	\$	567,912	\$	642,912	\$	717,912	\$	767,912	\$	867,912	\$	967,912	\$	1,067,912	\$	1,167,912	\$	1,317,912	\$	1,467,912	\$	1,617,912	\$	1,767,912	\$	1,917,912	\$	2,067,912	\$	2,217,912

2025 Water Facility Plan Financial Forecasting Model

WATER CAPITAL FUNDS

WATER CAPITAL FUNDS		FY41		FY42		FY43		FY44		FY45		FY46		FY47		FY48		FY49		FY50		FY51		FY52		FY53		FY54		FY55		FY56		FY57	
		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated	
Water Capital Reserve Fund Summary (602)																																			
Beginning Balance		\$	3,120,071	\$	3,370,071	\$	3,620,071	\$	3,920,071	\$	4,220,071	\$	4,520,071	\$	4,820,071	\$	5,120,071	\$	5,420,071	\$	5,720,071	\$	6,020,071	\$	6,320,071	\$	6,620,071	\$	6,920,071	\$	7,220,071	\$	7,520,071	\$	7,820,071
Developer Fees		\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-
Transfer from Water Utility Fund		\$	350,000	\$	350,000	\$	400,000	\$	400,000	\$	400,000	\$	400,000	\$	400,000	\$	400,000	\$	400,000	\$	400,000	\$	400,000	\$	400,000	\$	400,000	\$	400,000	\$	400,000	\$	400,000	\$	400,000
Projects Funded/Projected																																			
Fleet/Attachments																																			
Equipment																																			
Facilities/System (wells, plant, hydrants)																																			
Membrane Replacement																																			
TBD		\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000	\$	100,000
Ending Balance		\$	3,370,071	\$	3,620,071	\$	3,920,071	\$	4,220,071	\$	4,520,071	\$	4,820,071	\$	5,120,071	\$	5,420,071	\$	5,720,071	\$	6,020,071	\$	6,320,071	\$	6,620,071	\$	6,920,071	\$	7,220,071	\$	7,520,071	\$	7,820,071	\$	8,120,071
Water Capital Projects Fund Summary (605)																																			
Beginning Balance		\$	837,841	\$	887,841	\$	937,841	\$	1,012,841	\$	1,087,841	\$	1,162,841	\$	1,237,841	\$	1,312,841	\$	1,387,841	\$	1,462,841	\$	1,537,841	\$	1,612,841	\$	1,687,841	\$	1,762,841	\$	1,837,841	\$	1,912,841	\$	1,987,841
Transfer from Water Utility Fund		\$	50,000	\$	50,000	\$	75,000	\$	75,000	\$	75,000	\$	75,000	\$	75,000	\$	75,000	\$	75,000	\$	75,000	\$	75,000	\$	75,000	\$	75,000	\$	75,000	\$	75,000	\$	75,000	\$	75,000
Projects Funded/Projected																																			
TBD																																			
Ending Balance		\$	887,841	\$	937,841	\$	1,012,841	\$	1,087,841	\$	1,162,841	\$	1,237,841	\$	1,312,841	\$	1,387,841	\$	1,462,841	\$	1,537,841	\$	1,612,841	\$	1,687,841	\$	1,762,841	\$	1,837,841	\$	1,912,841	\$	1,987,841	\$	2,062,841
Total Capital Reserve Fund Balance		\$	4,257,912	\$	4,557,912	\$	4,932,912	\$	5,307,912	\$	5,682,912	\$	6,057,912	\$	6,432,912	\$	6,807,912	\$	7,182,912	\$	7,557,912	\$	7,932,912	\$	8,307,912	\$	8,682,912	\$	9,057,912	\$	9,432,912	\$	9,807,912	\$	10,182,912
Assigned Balance (savings for future expenditures, FY balance as listed)																																			
Membrane Replacement		\$	1,840,000	\$	1,940,000	\$	2,040,000	\$	2,140,000	\$	2,240,000	\$	2,340,000	\$	2,440,000	\$	2,540,000	\$	2,640,000	\$	2,740,000	\$	2,840,000	\$	2,940,000	\$	3,040,000	\$	3,140,000	\$	3,240,000	\$	3,340,000	\$	3,440,000
Total Unassigned Balance		\$	2,417,912	\$	2,617,912	\$	2,892,912	\$	3,167,912	\$	3,442,912	\$	3,717,912	\$	3,992,912	\$	4,267,912	\$	4,542,912	\$	4,817,912	\$	5,092,912	\$	5,367,912	\$	5,642,912	\$	5,917,912	\$	6,192,912	\$	6,467,912	\$	6,742,912

Ordinance No. 2025-08

**AN ORDINANCE AMENDING CHAPTER 92.02, ENTITLED
"RATES FOR SERVICE," OF THE MUNICIPAL CODE OF NORTH
LIBERTY BY ADOPTING A NEW SECTION 92.02 TO INCREASE
THE CHARGES FOR WATER USED**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY,
IOWA:**

SECTION 1. AMENDMENT Chapter 92.02 "Rates for Service," of the Municipal Code of North Liberty be, and the same is hereby amended, by repealing Section 92.02 therein, and enacting in lieu thereof new sections to be codified the same to read as follows:

92.02 RATES FOR SERVICE.

Gallons Used Per Month	Rate
First 1,000 gallons	\$18.49
All over 1,000 gallons	\$ 7.43

Service to industrial establishments may be by contract, if the City finds such an arrangement to be in the best interest of the City.

SECTION 2. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 3. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 4. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as on July 1, 2025.

First reading on May 13, 2025.

Second reading on May 27, 2025.

Third and final reading

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2025-08 in *The Gazette* on the ____ day of ___, 2025.

TRACEY MULCAHEY, CITY CLERK



Sewer Rate Ordinance Amendment

Professional

Engineering

Services

Wastewater Treatment Plant Facility Plan Update

Report

City of
North Liberty, IA
April 2025



Report for City of North Liberty, Iowa

Wastewater Treatment Plant Facility Plan Update

Prepared by:

STRAND ASSOCIATES, INC.[®]
414 South 17th Street, Suite 107
Ames, IA 50010
www.strand.com

April 2025



Executive Summary

Background and Scope

The City of North Liberty, Iowa (City) currently operates a membrane bioreactor (MBR) wastewater treatment facility (WWTF). The system was originally constructed at its present location in 1998, with major expansion projects occurring in 2004, 2007, and 2018. The 2004 expansion added a flow equalization (EQ) basin and pumping station. The 2007 expansion, referred to as Phase I, converted the sequencing batch reactor process to the currently used MBR, which has been operating since August 2008. Phase II, which expanded the MBR facilities, added nutrient reduction capability, and improved solids handling facilities, was completed in 2018.

Because of the City's geographical location between the Cities of Iowa City and Cedar Rapids, the community has experienced extremely rapid growth. The population of the City increased from 5,367 in 2000 to 13,374 people in 2010 and to 20,479 in 2020. The population projections for this report are based on the 2021 estimated population, which is approximately 20,875.

Planning for and assisting this rapid growth has been a priority for community leaders and City staff. To help keep pace with rapid growth and plan for future wastewater treatment needs, Strand Associates, Inc.[®] (Strand) has been retained by the City to prepare a facility plan for the plant. Previously, a facility plan was completed in June 2013 (revised January 2014 by FOX Engineering, Inc. [now Strand]). The plan identified several phases for expanding the plant. Phase II, completed in 2018, was designed to handle a population of 27,800. Phase III was intended to serve a population of 55,000 and Phase IV would serve a population of approximately 80,000. Because Phases III and IV were projecting decades into the future, they were high-level evaluations that identified potential needs and space requirements. The 2014 facility plan also recognized that these would likely be broken into additional phases. This facility plan includes updating the existing and projected wastewater flows and loadings, a review of the capacity and performance of the WWTF, and updating the plan for expansion of the facility for Phases III and IV.

Basis of Evaluation and Design

The City's 2021 population is estimated to be approximately 20,875. Projections provided by the City show that the population is anticipated to grow to around 28,890 by 2030, 40,750 by 2040, and 57,480 by 2050. The WWTF will need to be expanded to keep pace with community growth.

Current wastewater flows and loads average approximately 1.8 million gallons per day (MGD) and 3,100 pounds per day (lb/day) of 5-day biochemical oxygen demand (BOD₅). Per capita flows average 90 gallons per capita per day (gpcd), and per

capita BOD₅ loading averages around 0.16 pounds per capita per day (ppcd). To project future wastewater treatment needs based on population growth, flows were projected assuming 100 gpcd and BOD₅ loading was projected assuming 0.17 ppcd. These values are somewhat higher than the existing data shows, but using these more conservative values does provide some factor of safety and flexibility in meeting future needs. Existing data was used to develop peak flow and loads relative to average. Projected flows and loadings are presented in Table 1.

Because of the rapid growth rate, WWTF flows and loads were prepared based on target populations rather than a specific year and divided into phases. Phase IIC proposed improvements are needed to provide treatment for a design population of 28,890 (projected to be reached by approximately year 2030). Phase III would be designed to provide treatment for a maximum population of 40,750 (projected to be reached by approximately year 2040). Phase III Improvements would need to be completed by 2030. Phase IV would be designed for a population of 57,480 (projected to be reached by approximately year 2050). Phase IV improvements would need to be completed by 2040. The projected flows and loads for Phases IIA, III and IV, along with the current flows and loads, are presented in Table 1.

Table 1. Current and Projected Wastewater Flows and Loads

Parameter	Current	Phase IIC	Phase III	Phase IV
Average Daily Flow (MGD)	1.77	2.89	4.08	5.75
BOD ₅ (lb/day) (maximum month)	4,245	5,848	8,220	11,566
TSS (lb/day) (maximum month)	5,070	7,074	10,039	14,222
TKN (lb/day) (maximum month)	657	1026	1,571	2,341
TP (lb/day) (maximum month)	111	191	310	477

Notes:

TSS=total suspended solids
TKN=total Kjeldahl nitrogen
TP=total phosphorus

Existing Facilities

The existing facilities were evaluated in terms of capacity, physical condition, and performance relative to projected wastewater flows and loads. Several needs were identified to meet the projected Phase IIC, Phase III, and Phase IV wastewater treatment needs. These are summarized in Table 2.

Table 2. Summary of Deficiencies

<p><u>Flow EQ</u></p> <ul style="list-style-type: none"> • Increase EQ pumping capacity for Phase III. • Monitor peak flow rates to determine whether additional pumping capacity is needed before implementation of Phase III. • Increase standby generator capacity to accommodate increased pumping capacity. • Provide additional EQ basin volume.
<p><u>Preliminary Treatment</u></p> <ul style="list-style-type: none"> • Provide additional screening capacity for Phase IV. • Provide additional grit removal capacity for Phase IV. • Replace the existing grit unit and classifier in Phase III as they are nearing the end of their useful life. • Provide additional raw wastewater pumping capacity for Phases III and IV. • Provide additional wet well capacity Phase IV improvements as the wet well is undersized for the WWTF flows.
<p><u>Secondary Treatment</u></p> <p><i>Fine Screens</i></p> <ul style="list-style-type: none"> • Additional fine screening capacity will be required for Phase IV. • Consider relocating the fine screens to a new preliminary treatment building to eliminate the issue of flooding the membrane building. <p><i>Biological Basins</i></p> <ul style="list-style-type: none"> • Provide additional basin capacity for Phase III and Phase IV. • Install submersible mixers in Basins 1A and 2A. • Consider partially blocking off the opening between the anoxic and aeration basins. <p><i>Aeration System</i></p> <ul style="list-style-type: none"> • Expand the aeration system for Phases III and IV. • Provide separate air pipe headers to each train to allow more precise dissolved oxygen (DO) control. • Replace the existing diffuser membranes. <p><i>Waste Sludge System</i></p> <ul style="list-style-type: none"> • Replace the existing waste activated sludge (WAS) pumps. <p><i>Mixed Liquor (ML) Recirculation Pumps</i></p> <ul style="list-style-type: none"> • Provide additional pipes for ML return to reduce velocity in the pipe. <p><i>Membrane Trains</i></p> <ul style="list-style-type: none"> • Provide additional membrane capacity for Phase III and IV flows. • Replace the existing membranes in Phase III. • Replace the coating on the membrane tanks when the membranes are replaced.

Secondary Treatment (continued)

Permeate Pumps

- Pump capacity may be adequate for Phase III.
- Additional permeate pumping capacity will be required for Phase IV.

Backpulse Tank

- Improve redundancy of effluent metering, which is specifically required by the National Pollutant Discharge Elimination System permit.

Membrane Aeration System

- Additional membrane aeration capacity will be required as more membranes are added in Phase IV.
- Evaluate with membrane supplier adding variable frequency drives (VFD) and air flow meters to each membrane blower or train to monitor membrane aeration.

Chemical Feed Systems

- No deficiencies are noted at this time.

Compressed Air System

- No deficiencies are noted at this time.

Ultraviolet (UV) Disinfection System

- Remove the UV system from service and demolish it.

Solids Handling Facilities

Aerobic Digesters

- Replace the belts and sheaves on the existing blowers to increase blower output if additional aeration capacity is required before Phase III.
- Evaluate whether the blower pressure relief valves need to be replaced if the blower discharge pressure changes.
- Provide additional digester capacity for Phases III and IV.

Sludge Dewatering

- Extend the existing dewatered sludge conveyor through the east wall of the structure in Phase IIC to allow for additional operational flexibility.
- Install a second six-channel dewatering fan press in Phase III to expand dewatering capacity.

Dewatered Biosolids Storage

- Provide additional sludge storage capacity for Phase IIC by installing a gate to close off the end of the structure.
- Provide additional sludge storage buildings for Phases III and IV.

Control Building

- Not deficiencies are noted.

Electrical System and Emergency Power

- Retire or replace all cable feeders and gear from original plant construction.
- Convert power system to three-phase, three-wire 480-volt (V) high resistance ground.
- Create a “Secondary Selective” redundant power system as expansions allow.
- Replace older generation VFDs that are not related to process upgrades.
- Provide consolidated documentation of detailed control wiring MBR.

Separation Requirements and Land Acquisition

- Obtain separation waivers from any individuals that wish to build inhabitable structures within 1,000 feet of the property lines of the existing facilities.

Collection System Lift Stations

Cedar Springs Lift Station

- Install a new davit crane sized to lift the pumps from the wet well.
- Construct a building to house the control panel electrical gear.
- Level the transformer pad.
- Replace pump controller and add data path to plant supervisory control and data acquisition (SCADA) system.

230th Street Lift Station

- Replace pump rails and re-coat piping in the wet well.
- Replace manhole steps in the valve vault and add valve extension stems.
- Replace the valves that are not functioning.
- Construct a building to house the control panel electrical gear.
- Replace pump controller and add data path to plant SCADA system.

Progress Park Lift Station

- Replace pump rails and re-coat piping in the wet well.
- Construct a building to house the control panel electrical gear.
- Replace pump controller and add data path to plant SCADA system.

Proposed Improvements

To address the identified needs, proposed improvements for Phases IIC, III, and IV were developed. These proposed improvements, along with the associated opinion of probable cost (OPC), are shown in Tables 3, 4, and 5.

The Phase III improvement OPC in Table 4 is presented as Alternative A–Flow EQ or Alternative B–Peak Flow Treatment. The difference between these two alternatives is how flows greater than the capacity of the mechanical treatment process are stored or treated as they enter the WWTF. Alternative A includes adding additional flow EQ basins

and treating the stored water after peak flows subside. Alternative B includes adding a sidestream treatment process dedicated to treating flows in excess of the mechanical treatment plant capacity. Additional discussion on these two alternatives is presented in Section 4 of this report. Alternative A–Flow EQ is recommended for Phase III.

The Phase IV improvement OPC in Table 5 is presented as Alternative A–Grit Removal Before Pumping or Alternative B–Grit Removal After Pumping. The difference between these two alternatives is the location of grit removal in the treatment process.

Alternative A requires the grit removal capacity to be larger than Alternative B because all wastewater would be routed through grit removal as it enters the WWTF. The grit removal system in Alternative B has a smaller capacity because it is sized to only treat the capacity of the secondary treatment process and would not treat any influent that is pumped to EQ. The potential for grit to accumulate in the EQ basin in Alternative B is higher than Alternative A. There is less than a 3 percent difference between Alternatives A and B, which is considered to be equivalent in a study-level OPC.

Improvements for Phase IV are not projected to be needed until approximately 2040. Proposed Phase IV improvements alternatives are recommended to be re-evaluated in a facility plan update before Phase IV design. This would provide the City with updated information to decide which alternative best meets City goals and to evaluate improvements in treatment technologies and changes in population growth that could occur before 2040.

Table 3. Phase IIC Improvements–OPC

Description	Cost Opinion
Biosolids Dewatering Improvements	\$499,000
Dewatered Biosolids Storage	\$21,000
Sitework and Seeding	\$17,000
Subtotal	\$537,000
General Requirements (15%)	\$81,000
Electrical and Controls (30%)	\$162,000
Mechanical and HVAC (0%)	\$0
Painting (5%)	\$27,000
Undefined Scope (20%)	\$108,000
Construction Subtotal	\$915,000
Contingencies (10%)	\$92,000
Construction Total	\$1,007,000
Engineering, Legal, and Administration (18%)	\$182,000
Total Project Cost	\$1,189,000

Note: HVAC=heating, ventilation, and air conditioning

Table 4. Phase III Improvements–OPC

Description	Alternative A EQ Basin	Alternative B Peak Flow Treatment
Existing Preliminary Treatment Improvements	\$270,000	\$270,000
EQ Pumping Station and EQ Basin	\$4,786,000	\$5,522,000
Secondary Treatment Improvements	\$6,392,000	\$6,392,000
Solid Handling Facility Improvements	\$10,735,000	\$10,735,000
UV Demolition	\$26,000	\$26,000
Lift Station Improvements (excluding electrical)	\$288,000	\$288,000
Subtotal	\$22,497,000	\$23,233,000
General Requirements (15%)	\$3,375,000	\$3,485,000
Sitework (10%)	\$2,250,000	\$2,324,000
Electrical and Controls (20%)	\$6,750,000	\$6,970,000
Mechanical and HVAC (10%)	\$2,250,000	\$2,324,000
Painting (2%)	\$450,000	\$465,000
Undefined Scope (20%)	\$4,500,000	\$4,647,000
Construction Subtotal	\$42,072,000	\$43,448,000
Contingencies (10%)	\$4,208,000	\$4,345,000
Construction Total	\$46,280,000	\$47,793,000
Engineering, Legal, and Administration (15%)	\$6,942,000	\$7,169,000
Total Project Cost	\$53,222,000	\$54,962,000

Table 5. Phase IV Improvements–OPC

Description	Alternative A Grit Removal Before Pumping	Alternative B Grit Removal After Pumping
Raw Wastewater Pumping and Preliminary Treatment	\$9,603,000	\$9,002,000
Secondary Treatment Improvements	\$7,656,000	\$7,656,000
Solid Handling Facility Improvements	\$4,251,000	\$4,251,000
New Control Building and Demolish Existing	\$2,887,000	\$2,887,000
Subtotal	\$24,397,000	\$23,796,000
General Requirements (15%)	\$3,660,000	\$3,570,000
Sitework (10%)	\$2,440,000	\$2,380,000
Electrical and Controls (30%)	\$7,320,000	\$7,139,000
Mechanical and HVAC (20%)	\$4,880,000	\$4,760,000
Painting (2%)	\$488,000	\$476,000
Undefined Scope (20%)	\$4,880,000	\$4,760,000
Construction Subtotal	\$48,065,000	\$46,881,000
Contingencies (10%)	\$4,807,000	\$4,689,000
Construction Total	\$52,872,000	\$51,570,000
Engineering, Legal, and Administration (15%)	\$7,931,000	\$7,736,000
Total Project Cost	\$60,803,000	\$59,306,000

Summary and Recommendations

As the City continues to grow, expansion of the WWTF should be implemented to keep pace with demands. In order to meet the projected increases in wastewater treatment needs of the community, Phases IIC and III are proposed to increase the design population to 40,750.

Based on the evaluations presented in this plan, the following recommendations are offered:

1. The City should consider implementing the Phase IIC improvements in the near term to address operational deficiencies with the current solids handling facilities.
2. As growth continues, the City should plan to complete Phase III, Alternative A improvements before reaching a population of 28,890. Improvements would need to be completed by 2030 to provide sufficient treatment capacity through 2040.
3. The concepts presented in this facility plan should be reviewed and discussed and decisions made regarding the specific features and components to be included in the selected plan.

4. Part of the decision process will include deciding how quickly to expand the facilities to meet the growing needs of the community. The City should concur with the concepts as presented or direct that revised analyses be made.
5. Following acceptance by the City, the facility plan should be submitted to the Iowa Department of Natural Resources (IDNR) for review and approval.
6. Following comment by the IDNR, the preliminary design phase of the selected project should be initiated, as appropriate.

Once a decision is reached, then discussions can proceed on various preliminary design aspects associated with the selected plan. Some of the recommendations and analyses discussed in this plan may merit more detailed examination. During the design development stage, numerous decision points will arise regarding specific features of the proposed project. It can then be decided which of the recommendations to include in the selected plan and which deviations to make from the concepts proposed by this analysis.

Schedule

The following schedule is proposed for completing the Phase IIC and III improvements as outlined in this report, presuming population growth is as projected. The City should continue to monitor population growth and adjust the schedule accordingly.

Table 6. Proposed Project Schedule

Project Milestone	Month and Year
Receive revised Wasteload Allocation from IDNR	June 2025
Issue Antidegradation Alternatives Analysis for Public Comment	July 2025
Submit Antidegradation Alternatives Analysis to IDNR	August 2025
Submit Facility Plan to IDNR	August 2025
IDNR Facility Plan Review	August through December 2025
Phase IIC	
Project Design	January through May 2026
IDNR Review and Permitting	June 2026 through September 2026
Bidding and Construction	October 2026 through December 2027
Phase III	
Project Design	January 2026 through June 2027
IDNR Review and Permitting	July 2027 through December 2027
Bidding	January 2028 through February 2028
Construction	March 2028 through August 2030

2025 Wastewater Facility Plan

Financial Forecasting Model

WASTEWATER OPERATING FUND																
	FY24	FY25	FY26	FY27	FY28	FY29	FY30	FY31	FY32	FY33	FY34	FY35	FY36	FY37	FY38	FY39
	Actual	Budget	Budget	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated
Budget Inflation Rate				1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%
Number of Accounts	9,460	9,505	9,800	9,947	10,096	10,248	10,401	10,557	10,716	10,876	11,040	11,205	11,373	11,544	11,717	11,893
Gallons Sold	445,183,000	424,473,000	460,000,000	466,900,000	473,903,500	481,012,053	488,227,233	495,550,642	502,983,901	510,528,660	518,186,590	525,959,389	533,848,780	541,856,511	549,984,359	558,234,124
Proposed Rate Increase	0%	0%	6%	6%	5%	5%	5%	5%	5%	5%	5%	5%	5%	0%	0%	3%
Base Rate	\$ 31.24	\$ 31.24	\$ 33.11	\$ 35.10	\$ 36.86	\$ 38.70	\$ 40.63	\$ 42.67	\$ 44.80	\$ 47.04	\$ 49.39	\$ 51.86	\$ 54.45	\$ 54.45	\$ 54.45	\$ 56.09
Rate/1000 Gallons	\$ 5.63	\$ 5.63	\$ 5.97	\$ 6.33	\$ 6.64	\$ 6.97	\$ 7.32	\$ 7.69	\$ 8.07	\$ 8.48	\$ 8.90	\$ 9.35	\$ 9.81	\$ 9.81	\$ 9.81	\$ 10.11
Revenues																
Wastewater Sales	\$ 5,345,791	\$ 5,257,337	\$ 5,879,214	\$ 6,325,447	\$ 6,741,345	\$ 7,184,588	\$ 7,656,975	\$ 8,160,421	\$ 8,696,969	\$ 9,268,794	\$ 9,878,218	\$ 10,527,710	\$ 11,219,907	\$ 11,388,206	\$ 11,559,029	\$ 12,084,387
Sales Tax	\$ 8,181	\$ -	\$ 35,000	\$ 35,350	\$ 35,704	\$ 36,061	\$ 36,421	\$ 36,785	\$ 37,153	\$ 37,525	\$ 37,900	\$ 38,279	\$ 38,662	\$ 39,048	\$ 39,439	\$ 39,833
Connection Fees/Permits	\$ 15,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000
Use of Money	\$ 55,198	\$ 20,000	\$ 20,000	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300
Miscellaneous	\$ 260,848	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000
Transfers	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Accounts Receivable/Payable	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total Revenues	\$ 5,685,018	\$ 5,308,337	\$ 5,965,214	\$ 6,392,097	\$ 6,808,348	\$ 7,251,949	\$ 7,724,696	\$ 8,228,506	\$ 8,765,422	\$ 9,337,619	\$ 9,947,418	\$ 10,597,289	\$ 11,289,869	\$ 11,458,554	\$ 11,629,768	\$ 12,155,520
Expenditures																
Budget Inflation Rate		8.32%	7.79%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%
Personnel Services	\$ 779,766	\$ 899,295	\$ 934,384	\$ 981,103	\$ 1,115,158	\$ 1,170,916	\$ 1,229,462	\$ 1,290,935	\$ 1,355,482	\$ 1,423,256	\$ 1,494,419	\$ 1,569,140	\$ 1,647,597	\$ 1,729,977	\$ 1,816,475	\$ 1,907,299
Services & Commodities	\$ 1,059,409	\$ 1,323,550	\$ 1,503,450	\$ 1,578,623	\$ 1,657,554	\$ 1,740,431	\$ 1,827,453	\$ 1,918,826	\$ 2,014,767	\$ 2,115,505	\$ 2,221,280	\$ 2,332,344	\$ 2,448,962	\$ 2,571,410	\$ 2,699,980	\$ 2,834,979
Capital	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Transfers																
Equipment Revolving	\$ 58,000	\$ 50,000	\$ 54,500	\$ -	\$ 158,000	\$ 450,000	\$ 75,000	\$ 120,000	\$ 170,000	\$ 170,000	\$ 170,000	\$ 170,000	\$ 170,000	\$ 170,000	\$ 170,000	\$ 170,000
Computer Revolving	\$ 4,300	\$ 4,300	\$ 4,300	\$ 4,300	\$ 4,300	\$ 4,300	\$ 4,300	\$ 4,730	\$ 4,730	\$ 4,730	\$ 4,730	\$ 4,730	\$ 5,160	\$ 5,160	\$ 5,160	\$ 5,160
Capital Reserve	\$ 295,000	\$ 318,000	\$ 515,000	\$ 670,000	\$ 250,000	\$ 290,000	\$ 345,000	\$ 320,000	\$ 320,000	\$ 320,000	\$ 320,000	\$ 320,000	\$ 320,000	\$ 320,000	\$ 320,000	\$ 320,000
Revenue Debt	\$ 1,627,769	\$ 1,773,352	\$ 1,778,501	\$ 1,792,779	\$ 1,858,475	\$ 1,650,824	\$ 1,646,770	\$ 1,643,470	\$ 1,639,908	\$ 1,636,086	\$ 1,632,002	\$ 1,628,658	\$ 1,624,038	\$ 1,620,157	\$ -	\$ -
GO Debt	\$ 1,093,563	\$ 951,903	\$ 945,228	\$ 609,453	\$ 474,753	\$ 468,953	\$ 468,003	\$ 471,753	\$ 470,103	\$ 388,106	\$ 387,456	\$ 386,506	\$ -	\$ -	\$ -	\$ -
Billing & Accounting	\$ 261,562	\$ 290,022	\$ 311,947	\$ 327,544	\$ 343,922	\$ 361,118	\$ 379,174	\$ 398,132	\$ 418,039	\$ 438,941	\$ 460,888	\$ 483,932	\$ 508,129	\$ 533,535	\$ 560,212	\$ 588,223
Upcoming Projects																
Sewer Main Capacity Improvements [\$2.4 million GO]	\$ -	\$ -	\$ -	\$ -	\$ 225,000	\$ 225,000	\$ 225,000	\$ 225,000	\$ 225,000	\$ 225,000	\$ 225,000	\$ 225,000	\$ 225,000	\$ 225,000	\$ 225,000	\$ 225,000
Plant Expansion, Phase 2C [\$1.1 million GO]				\$ 134,400	\$ 134,355	\$ 134,945	\$ 135,373	\$ 135,638	\$ 134,449	\$ 134,436	\$ 135,563	\$ 135,186	\$ 134,610			
Plant Expansion, Phase 3 [\$53 million SRF]						\$ 3,373,947	\$ 3,675,510	\$ 3,677,454	\$ 3,677,454	\$ 3,677,454	\$ 3,675,510	\$ 3,677,022	\$ 3,676,428	\$ 3,679,128	\$ 3,679,560	
Plant Expansion, Phase 4 [\$61 million SRF]	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -									
Total Expenditures	\$ 5,179,369	\$ 5,610,422	\$ 6,047,310	\$ 5,963,802	\$ 6,221,562	\$ 6,495,898	\$ 6,335,107	\$ 9,902,166	\$ 10,429,177	\$ 10,533,526	\$ 10,727,664	\$ 10,931,383	\$ 10,761,093	\$ 10,986,277	\$ 9,475,956	\$ 9,730,221
Net Change in Fund Balance	\$ 505,650	\$ (302,085)	\$ (82,096)	\$ 428,295	\$ 586,786	\$ 756,051	\$ 1,389,589	\$ (1,673,660)	\$ (1,663,755)	\$ (1,195,907)	\$ (780,247)	\$ (334,093)	\$ 528,776	\$ 472,278	\$ 2,153,812	\$ 2,425,299
Beginning Fund Balance	\$ 5,176,091	\$ 5,681,740	\$ 5,379,655	\$ 5,297,559	\$ 5,725,854	\$ 6,312,640	\$ 7,068,691	\$ 8,458,280	\$ 6,784,621	\$ 5,120,865	\$ 3,924,959	\$ 3,144,712	\$ 2,810,618	\$ 3,339,394	\$ 3,811,672	\$ 5,965,484
Ending Fund Balance	\$ 5,681,740	\$ 5,379,655	\$ 5,297,559	\$ 5,725,854	\$ 6,312,640	\$ 7,068,691	\$ 8,458,280	\$ 6,784,621	\$ 5,120,865	\$ 3,924,959	\$ 3,144,712	\$ 2,810,618	\$ 3,339,394	\$ 3,811,672	\$ 5,965,484	\$ 8,390,784
% Reserved	109.70%	95.89%	87.60%	96.01%	101.46%	108.82%	133.51%	68.52%	49.10%	37.26%	29.31%	25.71%	31.03%	34.69%	62.95%	86.23%
Personnel Cost in \$	\$ 1,041,328	\$ 1,189,317	\$ 1,246,331	\$ 1,308,648	\$ 1,459,080	\$ 1,532,034	\$ 1,608,636	\$ 1,689,067	\$ 1,773,521	\$ 1,862,197	\$ 1,955,307	\$ 2,053,072	\$ 2,155,726	\$ 2,263,512	\$ 2,376,687	\$ 2,495,522
Personnel % of Wastewater	20.11%	21.20%	20.61%	21.94%	23.45%	23.58%	25.39%	17.06%	17.01%	17.68%	18.23%	18.78%	20.03%	20.60%	25.08%	25.65%
Debt Service Coverage																
Net Revenue/All Revenue Debt	2.20	1.58	1.81	1.95	1.99	2.41	2.60	0.92	0.94	1.01	1.09	1.17	1.26	1.25	1.78	1.85
Required Coverage	1.20	1.20	1.20	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10
Difference (Actual vs. Required)	1.00	0.38	0.61	0.85	0.89	1.31	1.50	(0.18)	(0.16)	(0.09)	(0.01)	0.07	0.16	0.15	0.68	0.75

2025 Wastewater Facility Plan

Financial Forecasting Model

WASTEWATER OPERATING FUND	FY40	FY41	FY42	FY43	FY44	FY45	FY46	FY47	FY48	FY49	FY50	FY51	FY52	FY53	FY54	FY55	FY56	FY57
	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated
Budget Inflation Rate	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%
Number of Accounts	12,071	12,252	12,436	12,623	12,812	13,004	13,199	13,397	13,598	13,802	14,009	14,219	14,433	14,649	14,869	15,092	15,318	15,548
Gallons Sold	566,607,636	575,106,751	583,733,352	592,489,352	601,376,692	610,397,343	619,553,303	628,846,603	638,279,302	647,853,491	657,571,293	667,434,863	677,446,386	687,608,082	697,922,203	708,391,036	719,016,901	729,802,155
Proposed Rate Increase	3%	3%	3%	3%	2%	2%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%
Base Rate	\$ 57.77	\$ 59.50	\$ 61.29	\$ 63.13	\$ 64.39	\$ 65.68	\$ 65.68	\$ 65.68	\$ 65.68	\$ 65.68	\$ 65.68	\$ 65.68	\$ 65.68	\$ 65.68	\$ 65.68	\$ 65.68	\$ 65.68	\$ 65.68
Rate/1000 Gallons	\$ 10.41	\$ 10.72	\$ 11.05	\$ 11.38	\$ 11.60	\$ 11.84	\$ 11.84	\$ 11.84	\$ 11.84	\$ 11.84	\$ 11.84	\$ 11.84	\$ 11.84	\$ 11.84	\$ 11.84	\$ 11.84	\$ 11.84	\$ 11.84
Revenues																		
Wastewater Sales	\$ 12,633,622	\$ 13,207,821	\$ 13,808,116	\$ 14,435,695	\$ 14,945,275	\$ 15,472,843	\$ 15,704,936	\$ 15,940,510	\$ 16,179,617	\$ 16,422,312	\$ 16,668,646	\$ 16,918,676	\$ 17,172,456	\$ 17,430,043	\$ 17,691,494	\$ 17,956,866	\$ 18,226,219	\$ 18,499,612
Sales Tax	\$ 40,232	\$ 40,634	\$ 41,040	\$ 41,451	\$ 41,865	\$ 42,284	\$ 42,707	\$ 43,134	\$ 43,565	\$ 44,001	\$ 44,441	\$ 44,885	\$ 45,334	\$ 45,787	\$ 46,245	\$ 46,708	\$ 47,175	\$ 47,646
Connection Fees/Permits	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000	\$ 25,000
Use of Money	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300	\$ 300
Miscellaneous	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000
Transfers	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Accounts Receivable/Payable	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total Revenues	\$ 12,705,154	\$ 13,279,754	\$ 13,880,456	\$ 14,508,446	\$ 15,018,440	\$ 15,546,427	\$ 15,778,942	\$ 16,014,944	\$ 16,254,482	\$ 16,497,612	\$ 16,744,387	\$ 16,994,861	\$ 17,249,090	\$ 17,507,130	\$ 17,769,039	\$ 18,034,874	\$ 18,304,694	\$ 18,578,559
Expenditures																		
Budget Inflation Rate	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%
Personnel Services	\$ 2,002,664	\$ 2,102,797	\$ 2,207,937	\$ 2,318,334	\$ 2,434,251	\$ 2,555,963	\$ 2,683,762	\$ 2,817,950	\$ 2,958,847	\$ 3,106,789	\$ 3,262,129	\$ 3,425,235	\$ 3,596,497	\$ 3,776,322	\$ 3,965,138	\$ 4,163,395	\$ 4,371,565	\$ 4,590,143
Services & Commodities	\$ 2,976,728	\$ 3,125,565	\$ 3,281,843	\$ 3,445,935	\$ 3,618,232	\$ 3,799,143	\$ 3,989,100	\$ 4,188,555	\$ 4,397,983	\$ 4,617,882	\$ 4,848,777	\$ 5,091,215	\$ 5,345,776	\$ 5,613,065	\$ 5,893,718	\$ 6,188,404	\$ 6,497,824	\$ 6,822,715
Capital	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Transfers																		
Equipment Revolving	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000	\$ 220,000
Computer Revolving	\$ 5,160	\$ 5,590	\$ 5,590	\$ 5,590	\$ 5,590	\$ 5,590	\$ 6,020	\$ 6,020	\$ 6,020	\$ 6,020	\$ 6,020	\$ 6,450	\$ 6,450	\$ 6,450	\$ 6,450	\$ 6,450	\$ 6,450	\$ 6,450
Capital Reserve	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000	\$ 420,000
Revenue Debt	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
GO Debt	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Billing & Accounting	\$ 617,634	\$ 648,515	\$ 680,941	\$ 714,988	\$ 750,738	\$ 788,275	\$ 827,688	\$ 869,073	\$ 912,526	\$ 958,153	\$ 1,006,060	\$ 1,056,363	\$ 1,109,181	\$ 1,164,640	\$ 1,222,873	\$ 1,284,016	\$ 1,348,217	\$ 1,415,628
Upcoming Projects																		
Sewer Main Capacity Improvements [\$2.4 million GO]	\$ 225,000	\$ 225,000	\$ 225,000	\$ 225,000	\$ 225,000	\$ 225,000												
Plant Expansion, Phase 2C [\$1.1 million GO]																		
Plant Expansion, Phase 3 [\$53 million SRF]	\$ 3,677,724	\$ 3,679,020	\$ 3,677,886	\$ 3,679,722	\$ 3,678,966	\$ 3,675,618	\$ 3,680,478	\$ 3,677,022	\$ 3,676,212	\$ 3,677,886	\$ 3,676,482							
Plant Expansion, Phase 4 [\$61 million SRF]			\$ 3,811,311	\$ 4,151,965	\$ 4,154,161	\$ 4,154,161	\$ 4,151,965	\$ 4,153,673	\$ 4,153,002	\$ 4,156,052	\$ 4,156,540	\$ 4,154,466	\$ 4,155,930	\$ 4,154,649	\$ 4,156,723	\$ 4,155,869	\$ 4,152,087	\$ 4,157,577
Total Expenditures	\$ 10,144,910	\$ 10,426,487	\$ 14,530,508	\$ 15,181,534	\$ 15,506,937	\$ 15,843,750	\$ 15,979,013	\$ 16,352,293	\$ 16,744,591	\$ 17,162,782	\$ 17,596,008	\$ 14,373,730	\$ 14,853,835	\$ 15,355,126	\$ 15,884,902	\$ 16,438,134	\$ 17,016,143	\$ 17,632,513
Net Change in Fund Balance	\$ 2,560,244	\$ 2,853,267	\$ (650,052)	\$ (673,089)	\$ (488,497)	\$ (297,323)	\$ (200,071)	\$ (337,349)	\$ (490,108)	\$ (665,170)	\$ (851,621)	\$ 2,621,131	\$ 2,395,255	\$ 2,152,004	\$ 1,884,137	\$ 1,596,739	\$ 1,288,551	\$ 946,046
Beginning Fund Balance	\$ 8,390,784	\$ 10,951,028	\$ 13,804,295	\$ 13,154,243	\$ 12,481,154	\$ 11,992,657	\$ 11,695,334	\$ 11,495,263	\$ 11,157,914	\$ 10,667,806	\$ 10,002,636	\$ 9,151,015	\$ 11,772,146	\$ 14,167,402	\$ 16,319,406	\$ 18,203,543	\$ 19,800,282	\$ 21,088,833
Ending Fund Balance	\$ 10,951,028	\$ 13,804,295	\$ 13,154,243	\$ 12,481,154	\$ 11,992,657	\$ 11,695,334	\$ 11,495,263	\$ 11,157,914	\$ 10,667,806	\$ 10,002,636	\$ 9,151,015	\$ 11,772,146	\$ 14,167,402	\$ 16,319,406	\$ 18,203,543	\$ 19,800,282	\$ 21,088,833	\$ 22,034,878
% Reserved	107.95%	132.40%	90.53%	82.21%	77.34%	73.82%	71.94%	68.23%	63.71%	58.28%	52.01%	81.90%	95.38%	106.28%	114.60%	120.45%	123.93%	124.97%
Personnel Cost in \$	\$ 2,620,298	\$ 2,751,313	\$ 2,888,878	\$ 3,033,322	\$ 3,184,988	\$ 3,344,238	\$ 3,511,450	\$ 3,687,022	\$ 3,871,373	\$ 4,064,942	\$ 4,268,189	\$ 4,481,599	\$ 4,705,679	\$ 4,940,963	\$ 5,188,011	\$ 5,447,411	\$ 5,719,782	\$ 6,005,771
Personnel % of Wastewater	25.83%	26.39%	19.88%	19.98%	20.54%	21.11%	21.98%	22.55%	23.12%	23.68%	24.26%	31.18%	31.68%	32.18%	32.66%	33.14%	33.61%	34.06%
Debt Service Coverage																		
Net Revenue/All Revenue Debt	1.93	2.01	1.03	1.03	1.05	1.07	1.06	1.04	1.02	1.00	0.97	1.79	1.73	1.67	1.61	1.54	1.47	1.38
Required Coverage	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10	1.10
Difference (Actual vs. Required)	0.83	0.91	(0.07)	(0.07)	(0.05)	(0.03)	(0.04)	(0.06)	(0.08)	(0.10)	(0.13)	0.69	0.63	0.57	0.51	0.44	0.37	0.28

2025 Wastewater Facility Plan

Financial Forecasting Model

WASTEWATER CAPITAL FUNDS		FY24		FY25		FY26		FY27		FY28		FY29		FY30		FY31		FY32		FY33		FY34		FY35		FY36		FY37		FY38		FY39
		Actual		Budget		Budget		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated		Estimated
Wastewater Capital Fund Summary (611)																																
Beginning Balance	\$	3,206,041	\$	2,230,350	\$	2,450,350	\$	2,370,350	\$	2,590,350	\$	2,810,350	\$	3,030,350	\$	3,250,350	\$	3,570,350	\$	3,940,350	\$	4,310,350	\$	4,680,350	\$	5,050,350	\$	5,420,350	\$	5,790,350	\$	6,160,350
Developer Fees	\$	151,043																														
Transfer from Wastewater Utility Fund	\$	353,000	\$	368,000	\$	569,500	\$	670,000	\$	408,000	\$	740,000	\$	420,000	\$	440,000	\$	490,000	\$	490,000	\$	490,000	\$	490,000	\$	490,000	\$	490,000	\$	490,000	\$	490,000
Projects Funded/Projected																																
Fleet/Attachments	\$	4,880			\$	20,000			\$	158,000	\$	450,000	\$	75,000																		
Equipment	\$	45,045	\$	50,000	\$	34,500																										
Facilities/System (lift stations, plant, manholes)			\$	98,000	\$	295,000	\$	450,000	\$	30,000	\$	70,000	\$	125,000																		
Membranes	\$	341,194			\$	300,000																										
TBD															\$	120,000	\$	120,000	\$	120,000	\$	120,000	\$	120,000	\$	120,000	\$	120,000	\$	120,000	\$	120,000
Transfer to WW Capital Projects Fund	\$	1,088,615																														
Ending Balance	\$	2,230,350	\$	2,450,350	\$	2,370,350	\$	2,590,350	\$	2,810,350	\$	3,030,350	\$	3,250,350	\$	3,570,350	\$	3,940,350	\$	4,310,350	\$	4,680,350	\$	5,050,350	\$	5,420,350	\$	5,790,350	\$	6,160,350	\$	6,530,350
Wastewater Capital Projects Fund Summary (613)																																
Beginning Balance	\$	(1,088,615)	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-
Transfer from Wastewater Capital Fund	\$	1,088,615	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-
Projects Funded/Projected																																
TBD																																
Ending Balance	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-
Total Capital Reserve Fund Balance																																
Total Capital Reserve Fund Balance	\$	2,230,350	\$	2,450,350	\$	2,370,350	\$	2,590,350	\$	2,810,350	\$	3,030,350	\$	3,250,350	\$	3,570,350	\$	3,940,350	\$	4,310,350	\$	4,680,350	\$	5,050,350	\$	5,420,350	\$	5,790,350	\$	6,160,350	\$	6,530,350
Assigned Balance (savings for future expenditures, FY balance as listed)																																
Membrane Replacement	\$	1,126,128	\$	1,346,128	\$	1,266,128	\$	1,486,128	\$	1,706,128	\$	1,926,128	\$	2,146,128	\$	2,366,128	\$	2,586,128	\$	2,806,128	\$	3,026,128	\$	3,246,128	\$	3,466,128	\$	3,686,128	\$	3,906,128	\$	4,126,128
Total Unassigned Balance	\$	1,104,222	\$	1,104,222	\$	1,104,222	\$	1,104,222	\$	1,104,222	\$	1,104,222	\$	1,104,222	\$	1,204,222	\$	1,354,222	\$	1,504,222	\$	1,654,222	\$	1,804,222	\$	1,954,222	\$	2,104,222	\$	2,254,222	\$	2,404,222

2025 Wastewater Facility Plan

Financial Forecasting Model

WASTEWATER CAPITAL FUNDS	FY40	FY41	FY42	FY43	FY44	FY45	FY46	FY47	FY48	FY49	FY50	FY51	FY52	FY53	FY54	FY55	FY56	FY57
	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated	Estimated
Wastewater Capital Fund Summary (611)																		
Beginning Balance	\$ 6,530,350	\$ 7,050,350	\$ 7,570,350	\$ 8,090,350	\$ 8,610,350	\$ 9,130,350	\$ 9,650,350	\$ 10,170,350	\$ 10,690,350	\$ 11,210,350	\$ 11,730,350	\$ 12,250,350	\$ 12,770,350	\$ 13,290,350	\$ 13,810,350	\$ 14,330,350	\$ 14,850,350	\$ 15,370,350
Developer Fees																		
Transfer from Wastewater Utility Fund	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000	\$ 640,000
Projects Funded/Projected																		
Fleet/Attachments																		
Equipment																		
Facilities/System (lift stations, plant, manholes)																		
Membranes																		
TBD	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000	\$ 120,000
Transfer to WW Capital Projects Fund																		
Ending Balance	\$ 7,050,350	\$ 7,570,350	\$ 8,090,350	\$ 8,610,350	\$ 9,130,350	\$ 9,650,350	\$ 10,170,350	\$ 10,690,350	\$ 11,210,350	\$ 11,730,350	\$ 12,250,350	\$ 12,770,350	\$ 13,290,350	\$ 13,810,350	\$ 14,330,350	\$ 14,850,350	\$ 15,370,350	\$ 15,890,350
Wastewater Capital Projects Fund Summary (613)																		
Beginning Balance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Transfer from Wastewater Capital Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Projects Funded/Projected																		
TBD																		
Ending Balance	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total Capital Reserve Fund Balance																		
	\$ 7,050,350	\$ 7,570,350	\$ 8,090,350	\$ 8,610,350	\$ 9,130,350	\$ 9,650,350	\$ 10,170,350	\$ 10,690,350	\$ 11,210,350	\$ 11,730,350	\$ 12,250,350	\$ 12,770,350	\$ 13,290,350	\$ 13,810,350	\$ 14,330,350	\$ 14,850,350	\$ 15,370,350	\$ 15,890,350
Assigned Balance (savings for future expenditures, FY balance as listed)																		
Membrane Replacement	\$ 4,346,128	\$ 4,566,128	\$ 4,786,128	\$ 5,006,128	\$ 5,226,128	\$ 5,446,128	\$ 5,666,128	\$ 5,886,128	\$ 6,106,128	\$ 6,326,128	\$ 6,546,128	\$ 6,766,128	\$ 6,986,128	\$ 7,206,128	\$ 7,426,128	\$ 7,646,128	\$ 7,866,128	\$ 8,086,128
Total Unassigned Balance	\$ 2,704,222	\$ 3,004,222	\$ 3,304,222	\$ 3,604,222	\$ 3,904,222	\$ 4,204,222	\$ 4,504,222	\$ 4,804,222	\$ 5,104,222	\$ 5,404,222	\$ 5,704,222	\$ 6,004,222	\$ 6,304,222	\$ 6,604,222	\$ 6,904,222	\$ 7,204,222	\$ 7,504,222	\$ 7,804,222

Ordinance No. 2025-09

AN ORDINANCE AMENDING CHAPTER 99.02 ENTITLED "RATE," OF THE MUNICIPAL CODE OF NORTH LIBERTY BY ADOPTING A NEW SECTION 99.02 TO INCREASE THE CHARGES FOR SANITARY SEWER SERVICES

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT Chapter 99.02 "Rate," of the Municipal Code of North Liberty be, and the same is hereby amended, by repealing Section 99.02 therein, and enacting in lieu thereof new sections to be codified the same to read as follows:

99.02 RATE.

Gallons Used Per Month	Rate
First 1,000 gallons	\$ 33.11
All over 1,000 gallons	\$ 5.97

Service to industrial establishments may be by contract, if the City finds such an arrangement to be in the best interest of the City.

SECTION 2. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 3. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 4. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication on July 1, 2025.

First reading on May 13, 2025.

Second reading on

Third and final reading

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2025-09 in *The Gazette* on the ____ day of _____, 2025.

TRACEY MULCAHEY, CITY CLERK



Zoning Ordinance Amendment



April 1, 2025

Chris Hoffman, Mayor
City of North Liberty
360 North Main Street
North Liberty IA 52317

Re: Request of the City of North Liberty for an Ordinance amending Chapter 168 of the North Liberty Code of Ordinances, governing districts defined and dimensional standards for RD and RM Districts.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its April 1, 2025 meeting. The Planning Commission took the following action:

Finding:

1. The proposed amendment would achieve consistency with Section 165.09 of the Zoning Code.

Recommendation:

1. The Planning Commission accepted the listed finding and forwards the request of the City of North Liberty for an Ordinance amendment to the City Council with a recommendation for approval..

The vote for approval was 6-0.

Amy Yotty, Chairperson
City of North Liberty Planning Commission



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **March 28, 2025**
Re **Request of the City of North Liberty for an Ordinance amending Chapter 168 of the North Liberty Code of Ordinances, governing districts defined and dimensional standards for RD and RM Districts.**

1. Request Summary:

The request proposes adding the RM-14 – Multi-Unit Residence District to the Zoning Code.

The North Liberty Comprehensive Plan, which was adopted in February 2023, articulates the following for the Urban Medium Intensity (UHI) Future Land Use Map designation: *More variety in housing arrangements and more allowance for activity areas that draw people from outside the immediate area for services or recreation. Increased intensity (compared to ULI) improves opportunities for economic activity and social interaction. Medium intensity areas include mostly a horizontal mix of residential and non-residential uses at compatible moderate densities and scale, although there may be opportunities for vertical mixed-use.*

Residential

Uses include a variety of housing types that may be on smaller lots. Housing mix can include single-family detached homes, duplexes, townhomes, and multifamily buildings to create integrated neighborhoods.

Form and Features

- » **General aggregate development density of 7 to 14 dwelling units per acre.** *Innovative designs should allow more public spaces than ULI.*
- » *Attached housing developments maintain the identity of the individual housing units.*
- » *High connectivity with multiple access points into neighborhoods. As compared to ULI, UMI encourages closer proximity between transportation, housing, and commercial services.*

Currently, the Zoning Code contains the RM-8 (8 units/acre), RM-12 (12 units/acre) and RM-21 (21 units/acre) Districts. If a development proposal (barely) exceeds 12 units per acre, a rezoning to the RM-21 District is required, which necessitates the property being located within the Urban High Intensity (UHI) Future Land Use Map designation. Not all areas are appropriate for the UHI designation.

2. Zoning Text Amendment Approval Standards

Section 165.09(4)(D)(2) of the Zoning Ordinance sets for the approval standards for zoning text amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

Text Amendments.

- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

It is staff's opinion that the proposed amendment is consistent with the Comprehensive Plan and adopted land use policies.

- (b) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.

It is staff's opinion that the proposed zonings would promote the public health, safety, and welfare of the City.

- (c) The consistency of the proposed amendment with the intent and general regulations of this Ordinance.

It is staff's opinion that the proposed amendment would be consistent with the intent and general regulations of this Ordinance.

- (d) Whether the proposed amendment corrects an error or omission, adds clarification to existing requirements, or reflects a change in policy or change in development trends or technology.

It is staff's opinion that the proposed amendment reflects a change in policy.

- (e) The extent to which the proposed amendment creates nonconformities.

It is staff's opinion that the proposed amendment does not create any nonconformities, which is always a staff priority.

3. Public Input:

There are no formal objections to the request.

4. Staff Recommendation:

Finding:

1. The proposed amendment would achieve consistency with Section 165.09 of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request for Ordinance amendment to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the Ordinance amendment to the City Council with a recommendation for approval.

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 168 OF THE NORTH LIBERTY CODE OF ORDINANCES, GOVERNING RM DISTRICTS DEFINED AND DIMENSIONAL STANDARDS FOR RD AND RM DISTRICTS

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT OF ORDINANCE. Subsections 3 and 5(B) of Section 168.02 of the North Liberty Code of Ordinances, is amended as follows:

3. RM Districts Defined.

A. RM-8 Multi-Unit Residence District. The RM-8 District is intended to provide and maintain medium-density, multiple-unit housing residential neighborhoods with a maximum residential density of 8 units/acre. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RM-8 District.

~~B.~~ RM-12 Multi-Unit Residence District. The RM-12 District is intended to provide and maintain medium-density, multiple-unit housing residential neighborhoods with a maximum residential density of 12 units/acre. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RM-12 District.

~~B.C.~~ RM-14 Multi-Unit Residence District. The RM-14 District is intended to provide and maintain medium-density, multiple-unit housing residential neighborhoods with a maximum residential density of 14 units/acre. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RM-14 District.

~~C.D.~~ RM-21 Multi-Unit Residence District. The RM-21 District is intended to provide and maintain high-density, multiple-unit housing residential neighborhoods with a maximum residential density of 21 units/acre. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RM-21 District.

B. RD and RM Districts.

		Table 168.02-B Dimensional Standards SF = Square Feet, DU = Dwelling Unit, ' = Feet				
	RD-8	RD-10	RM-8	RM-12	RM-14	RM-21
Bulk (Prior to Subdividing into DU Individual Lots)						
Minimum Lot Area	10,000 SF	9,000 SF	21,780 SF	21,780 SF	21,780 SF	21,780 SF
Minimum Frontage	40'	35'	75'	50'	50'	50'
Minimum Lot Width	100'	80'	100'	80'	80'	80'
Maximum Building Height	35'	35'	40'	40'	45'	65'
Maximum Density	--	--	8 DU/Acre	12 DU/Acre	14/DU/Acre	21 DU/Acre
Setbacks (Prior to Subdividing into Individual DU Lots)						
Minimum Required Front Yard	25'	25'	25'	25'	25'	25' **
Minimum Required Corner Side Yard	25'	25'	25'	25'	25'	25' **
Minimum Required Side Yard	8'	5'	5' if that side yard abuts RM District, otherwise 15'	5' if that side yard abuts RM District, otherwise 15'	5' if that side yard abuts RM District, otherwise 15'	10' **
Minimum Required Rear Yard	30'	30'	30'	30'	30'	30' **
Bulk (After Subdividing into Individual DU Lots)						
Minimum Lot Area	5,000 SF	4,500 SF	1,500 SF	1,500 SF	1,500 SF	1,500 SF
Minimum Frontage	25'	20'	10'	10'	10'	10'
Minimum Lot Width	50'	40'	15'	15'	15'	15'
Maximum Building Height	35'	35'	40'	40'	40'	40'
Setbacks (After Subdividing into Individual DU Lots)						
Minimum Required Front Yard	25'	25'	25'	25'	25'	25' **
Minimum Required Corner Side Yard	25'	25'	25'	25'	25'	25' **
Minimum Required Side Yard (Between Units)	0'	0'	0'	0'	0'	0'
Minimum Required Side Yard (at the End of Units)	8'	5'	5' if that side yard abuts RM District, otherwise 15'	5' if that side yard abuts RM District, otherwise 15'	5' if that side yard abuts RM District, otherwise 15'	10' **
Minimum Required Rear Yard	30'	30'	30'	30'	30'	30' **

*Townhouses may reduce setback to a minimum of 20' except when garage doors face a public street. Notwithstanding the foregoing, there shall be a minimum setback of 20' to any sidewalk or street edge

**One foot of additional setback is required for every one-foot of building height above 45'

SECTION 2. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 3. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 4. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First consideration on _____, 2025.

Two meetings prior to final consideration waived on _____, 2025.

Second and final consideration on _____, 2025.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR



May 6, 2025

Chris Hoffman, Mayor
City of North Liberty
360 North Main Street
North Liberty IA 52317

Re: Request of the City of North Liberty for Ordinance amending Chapter 168 of the North Liberty Code of Ordinances, governing commercial and industrial districts defined and dimensional standards and the use matrix table and Chapter 173 of the North Liberty Code of Ordinances, governing business and public use signs.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its May 6, 2025 meeting. The Planning Commission took the following action:

Finding:

1. The proposed amendment would achieve consistency with Section 165.09 of the Zoning Code.

Recommendation:

1. The Planning Commission accepted the listed finding and forwards the request of the City of North Liberty for an Ordinance amendment to the City Council with a recommendation for approval..

The vote for approval was 5-0.

Barry A'Hearn, Vice Chairperson
City of North Liberty Planning Commission



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **May 2, 2025**
Re **Request of the City of North Liberty for Ordinance amending Chapter 168 of the North Liberty Code of Ordinances, governing commercial and industrial districts defined and dimensional standards and the use matrix table and Chapter 173 of the North Liberty Code of Ordinances, governing business and public use signs**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo.

1. Request Summary:

- A. Adding the CU C-3 District Central Urban Higher-Intensity Commercial District.

This new district would support the proposed Urban Central District (UCD). The district would be specific to the area bounded by Zeller Street, CRANDIC railroad, Cherry Street, and Highway 965/Ranshaw Way. The proposed change generally reduces setbacks and omit some of the more intensive uses in the current C-3 Higher-Intensity Commercial District.

Setbacks are required to create uniformity in the built environment amongst properties under different ownership. Arguably, increased setbacks may facilitate a less efficient land use pattern. It is staff's opinion that since this would be developed as a district, flexibility to achieve a more urban, pedestrian-friendly development is needed.

- B. Removing the I-P Industrial Park.

This district was created with the large Zoning Ordinance update a couple of years ago to encourage redevelopment of the existing industrially zoned properties adjacent to the CRANDIC railroad. Considering the proposed Urban Central District (UCD), it is staff's opinion that this district is no longer needed.

- C. Updating the Use Matrix Table to reflect the addition and removal of the aforementioned districts.

The table would reflect the addition and deletion of the aforementioned zoning districts. It also includes adding the use "arts and fitness studio" to the I-1 Light Industrial District because it was realized that there are existing businesses with these uses (such as martial arts and gymnastics businesses) in industrially zoned areas.

- D. Amending the sign regulations increasing the allowable sign area for building mounted signs in the P Public District.

This directly supports the Centennial Stage development, but also would apply to all buildings in the P District. It is staff's opinion that the current ordinance language is overly restrictive.

2. Zoning Text Amendment Approval Standards

Section 165.09(4)(D)(2) of the Zoning Ordinance sets for the approval standards for zoning text amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (staff commentary in italics).

Text Amendments.

- (a) The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.

It is staff's opinion that the proposed amendment is consistent with the Comprehensive Plan and adopted land use policies.

- (b) The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.

It is staff's opinion that the proposed zonings would promote the public health, safety, and welfare of the City.

- (c) The consistency of the proposed amendment with the intent and general regulations of this Ordinance.

It is staff's opinion that the proposed amendment would be consistent with the intent and general regulations of this Ordinance.

- (d) Whether the proposed amendment corrects an error or omission, adds clarification to existing requirements, or reflects a change in policy or change in development trends or technology.

It is staff's opinion that the proposed amendment reflects a change in policy.

- (e) The extent to which the proposed amendment creates nonconformities.

It is staff's opinion that the proposed amendment does not create any nonconformities, which is always a staff priority.

3. Public Input:

There are no formal objections to the request.

4. Staff Recommendation:

Finding:

1. The proposed amendment would achieve consistency with Section 165.09 of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request for Ordinance amendment to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the Ordinance amendment to the City Council with a recommendation for approval.

ORDINANCE NO. _____

AN ORDINANCE AMENDING CHAPTER 168 OF THE NORTH LIBERTY CODE OF ORDINANCES, GOVERNING COMMERCIAL AND INDUSTRIAL DISTRICTS DEFINED AND DIMENSIONAL STANDARDS AND THE USE MATRIX TABLE AND CHAPTER 173, GOVERNING BUSINESS AND PUBLIC USE SIGNS

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT OF ORDINANCE. Subsections 1 and 2 of Section 168.03 of the North Liberty Code of Ordinances, is amended as follows:

1. Defined.
 - A. C-1-A Central Commercial District. The C-1-A District is intended to provide a traditional central setting oriented toward pedestrians as well as automobiles. It is typified by high-density commercial development with minimal setback requirements.
 - B. C-1-B General Commercial District. The C-1-B District is intended to provide for the uses established under the C-1-A Central Commercial District and other commercial uses which due to space requirements and the nature of operations are not suitable for location within a compact central commercial center. Setback and yard requirements are greater than under the C-1-A Central Commercial District.
 - C. C-2 Highway Commercial District. The C-2 District is intended to provide for those commercial uses which may take particular advantage of a highway location and/or due to size or other nuisance constraints may be incompatible with the predominantly retail uses permitted in the C-1-A and C-1-B Commercial Districts, and whose service area is not confined to any one neighborhood or community.
 - D. C-3 Higher-Intensity Commercial District. The C-3 District is intended to accommodate higher-intensity commercial development that serves both local and regional markets. The C-3 District addresses medium and large-scale development that may generate considerable traffic and typically requires significant off-street parking. Higher density residential uses are also allowed to facilitate a mixed-use orientation where appropriate.
 - E. CU C-3 District Central Urban Higher-Intensity Commercial District. The CU C-3 District is intended to accommodate a mixture of higher-intensity residential and commercial development in a planned manner. Setbacks are reduced to encourage more compact and efficient development and uses are limited to ensure compatibility with surrounding properties. The use of the CU C-3 District shall be limited to the area bounded by Zeller Street, CRANDIC railroad, Cherry Street, and Highway 965/Ranshaw Way.

E-E. O/RP Office and Research Park District. The O/RP District is intended to accommodate office buildings, similar structures, and complementary uses in a mutually compatible environment. It is designed to provide landscaping and space requirements suitable for an office and research setting. Uses are limited to those compatible with an office setting and those which do not produce noise, air, or other environmental nuisances which might interfere with activities within the district and surrounding residential areas.

2. Dimensional Standards.

Table 168.03 Dimensional Standards SF = Square Feet, ' = Feet						
	C-1-A	C-1-B	C-2	C-3	<u>CU C-3</u>	O/RP
Bulk						
Minimum Lot Area	None	None	None	20,000 SF	<u>20,000 SF</u>	1.5 acres
Minimum Frontage	35'	35'	35'	35	<u>35</u>	100'
Minimum Lot Width	35'	35'	35'	35'	<u>35'</u>	150'
Maximum Building Height	45'	45'	45'	75'	<u>75'</u>	75'
Setbacks						
Minimum Required Front Yard	0'	25'	25'	25'	<u>10'</u>	50'
Minimum Required Corner Side Yard	0'	25'	25'	25'	<u>10'</u>	50'
Minimum Required Side Yard	0'	10'	10'	10', unless abutting a residential district then 20'*	<u>0' unless abutting a residential district then 10'*</u>	20'
Minimum Required Rear Yard	10'	10' unless abutting a residential district then 20'*	10' unless abutting a residential district then 20'*	10' unless abutting a residential district then 20'*	<u>0' unless abutting a residential district then 10'*</u>	50'

* One foot of additional setback as measured from a lot line of property within a residential district for every one-foot building height above 35 feet. Notwithstanding the foregoing, the additional setback is required when the lot line is adjacent to Muddy Creek.

SECTION 2. AMENDMENT OF ORDINANCE. Subsections 1 and 2 of Section 168.04 of the North Liberty Code of Ordinances, is amended as follows:

168.04 INDUSTRIAL DISTRICTS.

1. Defined.
 - A. I-1 Light Industrial District. The I-1 District is intended to provide for the development of modern landscaped light-industrial and commercial establishments which have negligible impacts upon areas outside of the zoned district, and seek a hazard- and nuisance-free environment. The district is intended to provide for manufacture, assembly, fabrication, storage, and/or processing of goods listed for the location of compatible uses.
 - B. I-2 Heavy Industrial District. The I-2 District is intended to provide for the development of industrial establishments that may require special conditions applied to the use to prevent negative impacts upon areas outside of the zoned district, and seek a hazard- and nuisance-free environment.
 - ~~C. I-P Industrial Park. The I-P District is intended to accommodate larger office developments, office parks, and research and development facilities, which may include limited indoor light industrial uses with no outside impacts. The district is oriented toward larger-scale complexes that may include ancillary services for employees such as personal services, restaurants, and retail establishments. District standards are intended to guide the development of campus-like environments, and include provisions for orientation of structures around plazas or public spaces, and the creation of a cohesive appearance.~~
2. Dimensional Standards.

Table 168.09 Dimensional Standards ' = Feet			
	I-1	I-2	I-P
Bulk			
Minimum Lot Area	None	None	1-acre
Minimum Frontage	35'	35'	100'
Minimum Lot Width	25'	25'	150'
Maximum Building Height	45'	45'	75'
Setbacks			
Minimum Required Front Yard	25'	25'	50'
Minimum Required Corner Side Yard	25'	25'	50'
Minimum Required Side Yard	20'	20'	20'
Minimum Required Rear Yard	20'	20'	50'

SECTION 3. AMENDMENT OF ORDINANCE. Table 168.06 of Section 168.06 of the North Liberty Code of Ordinances, is amended as follows:

Table 168.06: Use Matrix See Section 168.07 for Use Definitions and Use Standards															
Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CUC-3	OR/P	I-1	I-2	I-P	P
1. Adult Entertainment													C		
2. Agricultural Experience	C														
3. Agriculture	P														
4. Amusement Facility – Indoor						C	P	P	P	P					
5. Amusement Facility – Outdoor									C						
6. Animal Care Facility						P	P	P				P			
7. Animal Shelter												C			C
8. Art Gallery						P	P	P	P	P					
9. Arts and Fitness Studio						P	P	P	P	P		P			
10. Bar						P	P	P	P	P		P		P	
11. Bed and Breakfast Home		C													
12. Body Art Establishment								P							
13. Brewery-Micro						P	P	P	P	P				P	
14. Broadcasting Studio								P	P					P	P
15. Building Trades and Services								P	P			P		P	
16. Car Wash								P							
17. Child Care Center						P	P	P	P	P	P			P	P
18. Child Care Home		P			P										
19. Child Development Home		P													
20. Community Center						P	P	P	P	P				P	P
21. Community Pantry	C	C	C	C		C	P	P							
22. Cultural Facility						P	P	P	P	P					P
23. Distillery, Micro						P	P	P	P	P				P	

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	<u>CUC-3</u>	OR/P	I-1	I-2	I-P	P
<u>24.</u> Drive-Through Facility						C	P	P	P	P	P			P	
<u>25.</u> Dwelling – Manufactured Home					P										
<u>26.</u> Dwelling – Mixed Use						P	P	P	P	P					
<u>27.</u> Dwelling – Multiple-Unit				P				P	P	P					
<u>28.</u> Dwelling – Single-Unit	P	P													
<u>29.</u> Dwelling – Single-Unit Zero Lot Line			P												
<u>30.</u> Dwelling – Townhouse				P				P							
<u>31.</u> Dwelling – Two Unit			P	P											
<u>32.</u> Educational Facility – Primary	P	P	P	P		P	P	P	P	P					P
<u>33.</u> Educational Facility – Secondary	P	P	P	P		P	P	P	P	P					P
<u>34.</u> Educational Facility – University or College									P	P	P			P	P
<u>35.</u> Educational Facility – Vocational						C	P	P	P	P		P		P	
<u>36.</u> Financial Institution						P	P	P	P	P				P	
<u>37.</u> Fireworks, Retail Sales of												P			
<u>38.</u> Food Bank												P			
<u>39.</u> Fueling Station							P	P	P			P		P	
<u>40.</u> Fulfillment Center, Micro								C	C			P			
<u>41.</u> Funeral Home								P							
<u>42.</u> Golf Course/Driving Range							P								P
<u>43.</u> Greenhouse/Nursery – Retail												P			
<u>44.</u> Group Home	P	P	P		P										
<u>45.</u> Healthcare Institution									P	P				P	P

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	<u>CUC-3</u>	OR/P	I-1	I-2	I-P	P
<u>46.</u> Heavy Rental and Service Establishment												P			
<u>47.</u> Heavy Retail Establishment									P			P			
<u>48.</u> Hotel						C	P	P	P	P	P			P	
<u>49.</u> Industrial - General													P		
<u>50.</u> Industrial - Light												P	P	P	
<u>51.</u> Industrial Design							P	P	P			P		P	
<u>52.</u> Live Performance Venue						P	P	P	P	P				P	
<u>53.</u> Manufactured Home Park					P										
<u>54.</u> Medical/Dental Office						P	P	P	P	P					
<u>55.</u> Office						P	P	P	P	P	P	P		P	P
<u>56.</u> Outdoor Seating						P	P	P	P	P				P	P
<u>57.</u> Park, Private	P	P	P	P	P	P	P	P	P	P	P			P	
<u>58.</u> Park, Public															P
<u>59.</u> Parking Lot (Principal Use)						C	P	P	P	P		P		P	P
<u>60.</u> Parking Structure (Principal Use)						C	P	P	P	P		P		P	P
<u>61.</u> Personal Services Establishment						P	P	P	P	P					
<u>62.</u> Place of Worship	P	P	P	P		P	P	P	P	P					
<u>63.</u> Private Club						P	P	P	P	P					
<u>64.</u> Public Safety Facility															P
<u>65.</u> Public Works Facility															P
<u>66.</u> Research and Development								P	P		P	P		P	
<u>67.</u> Residential Care Facility				P			P	P	P	P					
<u>68.</u> Restaurant						P	P	P	P	P		P		P	P

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	<u>CUC-3</u>	OR/P	I-1	I-2	I-P	P
<u>69.</u> Retail Good Establishment						P	P	P	P	P		P		P	
<u>70.</u> Salvage Yard													C		
<u>71.</u> Self-Storage – Enclosed								P	P			P			
<u>72.</u> Self-Storage – Outdoor								C	C			P			
<u>73.</u> Specialty Food Service						P	P	P	P	P		P		P	
<u>74.</u> Storage – Outdoor (Principal Use)												C	P		
<u>75.</u> Truck Stop												C	P		
<u>76.</u> Utility (Sub)Stations	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
<u>77.</u> Vehicle Dealership, New and Used								P	P						
<u>78.</u> Vehicle Dealership, Used								C							
<u>79.</u> Vehicle Operations Facility												P			P
<u>80.</u> Vehicle Rental												P			
<u>81.</u> Vehicle Repair – Major								C				P			
<u>82.</u> Vehicle Repair – Minor								P				P			
<u>83.</u> Warehouse												P			
<u>84.</u> Wholesale Establishment												P			
<u>85.</u> Winery, Micro						P	P	P	P	P				P	

SECTION 4. AMENDMENT OF ORDINANCE. Subsection 2, Paragraph A of Section 173.07 of the North Liberty Code of Ordinances, is amended as follows:

2. Business and Public Use Signs. Each enterprise, institution, or business shall be permitted wall signs, one canopy sign per street frontage, and one freestanding monument sign per public street frontage, subject to the following maximum size requirements. Multiple businesses in the same building shall apportion façade length, building wall, and street frontage such that any maximum size requirement is not exceeded for a particular property.
 - A. Maximum Wall Sign Area. The total area of wall signage shall not exceed the following requirements for each building wall to which the signage is attached.
 - (1) In the C-1-A ~~and Public~~ districts, one square foot for each lineal foot of building wall when viewed in elevation, not to exceed the following maximums:
 - (a) 40 square feet for building walls up to 50 feet in length.
 - (b) 80 square feet for building walls over 50 feet in length.
 - (2) In the C-1-B, C-2, ~~and C-3, and P zone~~ districts, for buildings fewer than four-story in height, two square feet for each lineal foot of building wall when viewed in elevation, not to exceed 300 square feet. For buildings four-stories in height or greater, the total area of wall signage shall not exceed four square feet for each lineal foot of building wall the sign is attached to when viewed in elevation, not to exceed 400 square feet provided that the wall sign be mounted at or above the fourth-story.

SECTION 2. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 3. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 4. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 5. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First consideration on _____, 2025.

Two meetings prior to final consideration waived on _____, 2025.

Second and final consideration on _____, 2025.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

Ordinance No. 2025-10

AN ORDINANCE AMENDING CHAPTER 168 OF THE NORTH LIBERTY CODE OF ORDINANCES, GOVERNING RESIDENTIAL, COMMERCIAL AND INDUSTRIAL DISTRICTS DEFINED AND DIMENSIONAL STANDARDS AND THE USE MATRIX TABLE AND CHAPTER 173 OF THE NORTH LIBERTY CODE OF ORDINANCES, GOVERNING BUSINESS AND PUBLIC USE SIGNS

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT OF ORDINANCE. Subsections 3 and 5(B) of Section 168.02 of the North Liberty Code of Ordinances, is amended as follows:

3. RM Districts Defined.
 - A. RM-8 Multi-Unit Residence District. The RM-8 District is intended to provide and maintain medium-density, multiple-unit housing residential neighborhoods with a maximum residential density of 8 units/acre. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RM-8 District.
 - B. RM-12 Multi-Unit Residence District. The RM-12 District is intended to provide and maintain medium-density, multiple-unit housing residential neighborhoods with a maximum residential density of 12 units/acre. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RM-12 District.
 - C. RM-14 Multi-Unit Residence District. The RM-14 District is intended to provide and maintain medium-density, multiple-unit housing residential neighborhoods with a maximum residential density of 14 units/acre. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RM-14 District.
 - D. RM-21 Multi-Unit Residence District. The RM-21 District is intended to provide and maintain high-density, multiple-unit housing residential neighborhoods with a maximum residential density of 21 units/acre. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RM-21 District.

B. RD and RM Districts.

	Table 168.02-B Dimensional Standards SF = Square Feet, DU = Dwelling Unit, ' = Feet					
	RD-8	RD-10	RM-8	RM-12	RM-14	RM-21
Bulk (Prior to Subdividing into DU Individual Lots)						
Minimum Lot Area	10,000 SF	9,000 SF	21,780 SF	21,780 SF	21,780 SF	21,780 SF
Minimum Frontage	40'	35'	75'	50'	50'	50'
Minimum Lot Width	100'	80'	100'	80'	80'	80'
Maximum Building Height	35'	35'	40'	40'	45'	65'
Maximum Density	--	--	8 DU/Acre	12 DU/Acre	14/DU/Acre	21 DU/Acre
Setbacks (Prior to Subdividing into Individual DU Lots)						
Minimum Required Front Yard	25'	25'	25'*	25'*	25'*	25'* **
Minimum Required Corner Side Yard	25'	25'	25'*	25'*	25'*	25'* **
Minimum Required Side Yard	8'	5'	5' if that side yard abuts RM District, otherwise 15'	5' if that side yard abuts RM District, otherwise 15'	5' if that side yard abuts RM District, otherwise 15'	10'***
Minimum Required Rear Yard	30'	30'	30'	30'	30'	30'***
Bulk (After Subdividing into Individual DU Lots)						
Minimum Lot Area	5,000 SF	4,500 SF	1,500 SF	1,500 SF	1,500 SF	1,500 SF
Minimum Frontage	25'	20'	10'	10'	10'	10'
Minimum Lot Width	50'	40'	15'	15'	15'	15'
Maximum Building Height	35'	35'	40'	40'	40'	40'
Setbacks (After Subdividing into Individual DU Lots)						
Minimum Required Front Yard	25'	25'	25'*	25'*	25'*	25'* **
Minimum Required Corner Side Yard	25'	25'	25'*	25'*	25'*	25'* **
Minimum Required Side Yard (Between Units)	0'	0'	0'	0'	0'	0'
Minimum Required Side Yard (at the End of Units)	8'	5'	5' if that side yard abuts RM District, otherwise 15'	5' if that side yard abuts RM District, otherwise 15'	5' if that side yard abuts RM District, otherwise 15'	10'***
Minimum Required Rear Yard	30'	30'	30'	30'	30'	30'***

* Townhouses may reduce setback to a minimum of 20' except when garage doors face a public street. Notwithstanding the foregoing, there shall be a minimum setback of 20' to any sidewalk or street edge

** One foot of additional setback is required for every one-foot of building height above 45'

SECTION 2. AMENDMENT OF ORDINANCE. Subsections 1 and 2 of Section 168.03 of the North Liberty Code of Ordinances, is amended as follows:

1. Defined.
 - A. C-1-A Central Commercial District. The C-1-A District is intended to provide a traditional central setting oriented toward pedestrians as well as automobiles. It is typified by high-density commercial development with minimal setback requirements.
 - B. C-1-B General Commercial District. The C-1-B District is intended to provide for the uses established under the C-1-A Central Commercial District and other commercial uses which due to space requirements and the nature of operations are not suitable for location within a compact central commercial center. Setback and yard requirements are greater than under the C-1-A Central Commercial District.
 - C. C-2 Highway Commercial District. The C-2 District is intended to provide for those commercial uses which may take particular advantage of a highway location and/or due to size or other nuisance constraints may be incompatible with the predominantly retail uses permitted in the C-1-A and C-1-B Commercial Districts, and whose service area is not confined to any one neighborhood or community.
 - D. C-3 Higher-Intensity Commercial District. The C-3 District is intended to accommodate higher-intensity commercial development that serves both local and regional markets. The C-3 District addresses medium and large-scale development that may generate considerable traffic and typically requires significant off-street parking. Higher density residential uses are also allowed to facilitate a mixed-use orientation where appropriate.
 - E. CU C-3 District Central Urban Higher-Intensity Commercial District. The CU C-3 District is intended to accommodate a mixture of higher-intensity residential and commercial development in a planned manner. Setbacks are reduced to encourage more compact and efficient development and uses are limited to ensure compatibility with surrounding properties. The use of the CU C-3 District shall be limited to the area bounded by Zeller Street, CRANDIC railroad, Cherry Street, and Highway 965/Ranshaw Way.
 - F. O/RP Office and Research Park District. The O/RP District is intended to accommodate office buildings, similar structures, and complementary uses in a mutually compatible environment. It is designed to provide landscaping and space requirements suitable for an office and research setting. Uses are limited to those compatible with an office setting and those which do not produce noise, air, or other environmental nuisances which might interfere with activities within the district and surrounding residential areas.

2. Dimensional Standards.

Table 168.03 Dimensional Standards SF = Square Feet, ' = Feet						
	C-1-A	C-1-B	C-2	C-3	CU C-3	O/RP
Bulk						
Minimum Lot Area	None	None	None	20,000 SF	20,000 SF	1.5 acres
Minimum Frontage	35'	35'	35'	35	35	100'
Minimum Lot Width	35'	35'	35'	35'	35'	150'
Maximum Building Height	45'	45'	45'	75'	75'	75'
Setbacks						
Minimum Required Front Yard	0'	25'	25'	25'	10'	50'
Minimum Required Corner Side Yard	0'	25'	25'	25'	10'	50'
Minimum Required Side Yard	0'	10'	10'	10', unless abutting a residential district then 20'*	0' unless abutting a residential district then 10'*	20'
Minimum Required Rear Yard	10'	10' unless abutting a residential district then 20'*	10' unless abutting a residential district then 20'*	10' unless abutting a residential district then 20'*	0' unless abutting a residential district then 10'*	50'
* One foot of additional setback as measured from a lot line of property within a residential district for every one-foot building height above 35 feet. Notwithstanding the foregoing, the additional setback is required when the lot line is adjacent to Muddy Creek						

SECTION 3. AMENDMENT OF ORDINANCE. Subsections 1 and 2 of Section 168.04 of the North Liberty Code of Ordinances, is amended as follows:

168.04 INDUSTRIAL DISTRICTS.

1. Defined.
 - A. I-1 Light Industrial District. The I-1 District is intended to provide for the development of modern landscaped light-industrial and commercial establishments which have negligible impacts upon areas outside of the zoned district, and seek a hazard- and nuisance-free environment. The district is intended to provide for manufacture, assembly, fabrication, storage, and/or processing of goods listed for the location of compatible uses.
 - B. I-2 Heavy Industrial District. The I-2 District is intended to provide for the development of industrial establishments that may require special conditions applied to the use to prevent negative impacts upon areas outside of the zoned district, and seek a hazard- and nuisance-free environment.
2. Dimensional Standards.

Table 168.09 Dimensional Standards ' = Feet		
	I-1	I-2
Bulk		
Minimum Lot Area	None	None
Minimum Frontage	35'	35'
Minimum Lot Width	25'	25'
Maximum Building Height	45'	45'
Setbacks		
Minimum Required Front Yard	25'	25'
Minimum Required Corner Side Yard	25'	25'
Minimum Required Side Yard	20'	20'
Minimum Required Rear Yard	20'	20'

SECTION 4. AMENDMENT OF ORDINANCE. Table 168.06 of Section 168.06 of the North Liberty Code of Ordinances, is amended as follows:

Table 168.06: Use Matrix See Section 168.07 for Use Definitions and Use Standards														
Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CUC-3	OR/P	I-1	I-2	P
1. Adult Entertainment													C	
2. Agricultural Experience	C													
3. Agriculture	P													
4. Amusement Facility – Indoor						C	P	P	P	P				
5. Amusement Facility – Outdoor									C					
6. Animal Care Facility						P	P	P				P		
7. Animal Shelter												C		C
8. Art Gallery						P	P	P	P	P				
9. Arts and Fitness Studio						P	P	P	P	P		P		
10. Bar						P	P	P	P	P		P		
11. Bed and Breakfast Home		C												
12. Body Art Establishment								P						
13. Brewery-Micro						P	P	P	P	P				
14. Broadcasting Studio								P	P					P
15. Building Trades and Services								P	P			P		
16. Car Wash								P						
17. Child Care Center						P	P	P	P	P	P			P
18. Child Care Home		P			P									
19. Child Development Home		P												
20. Community Center						P	P	P	P	P				P
21. Community Pantry	C	C	C	C		C	P	P						
22. Cultural Facility						P	P	P	P	P				P
23. Distillery, Micro						P	P	P	P	P				

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CUC-3	OR/P	I-1	I-2	P
<u>24.</u> Drive-Through Facility						C	P	P	P	P	P			
<u>25.</u> Dwelling – Manufactured Home					P									
<u>26.</u> Dwelling – Mixed Use						P	P	P	P	P				
<u>27.</u> Dwelling – Multiple-Unit				P				P	P	P				
<u>28.</u> Dwelling – Single-Unit	P	P												
<u>29.</u> Dwelling – Single-Unit Zero Lot Line			P											
<u>30.</u> Dwelling – Townhouse				P				P						
<u>31.</u> Dwelling – Two Unit			P	P										
<u>32.</u> Educational Facility – Primary	P	P	P	P		P	P	P	P	P				P
<u>33.</u> Educational Facility – Secondary	P	P	P	P		P	P	P	P	P				P
<u>34.</u> Educational Facility – University or College									P	P	P			P
<u>35.</u> Educational Facility – Vocational						C	P	P	P	P		P		
<u>36.</u> Financial Institution						P	P	P	P	P				
<u>37.</u> Fireworks, Retail Sales of												P		
<u>38.</u> Food Bank												P		
<u>39.</u> Fueling Station							P	P	P			P		
<u>40.</u> Fulfillment Center, Micro								C	C			P		
<u>41.</u> Funeral Home								P						
<u>42.</u> Golf Course/Driving Range							P							P
<u>43.</u> Greenhouse/Nursery – Retail												P		
<u>44.</u> Group Home	P	P	P		P									
<u>45.</u> Healthcare Institution									P	P				P

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CUC-3	OR/P	I-1	I-2	P
46. Heavy Rental and Service Establishment												P		
47. Heavy Retail Establishment									P			P		
48. Hotel						C	P	P	P	P	P			
49. Industrial - General													P	
50. Industrial - Light												P	P	
51. Industrial Design							P	P	P			P		
52. Live Performance Venue						P	P	P	P	P				
53. Manufactured Home Park					P									
54. Medical/Dental Office						P	P	P	P	P				
55. Office						P	P	P	P	P	P	P		P
56. Outdoor Seating						P	P	P	P	P				P
57. Park, Private	P	P	P	P	P	P	P	P	P	P	P			
58. Park, Public														P
59. Parking Lot (Principal Use)						C	P	P	P	P		P		P
60. Parking Structure (Principal Use)						C	P	P	P	P		P		P
61. Personal Services Establishment						P	P	P	P	P				
62. Place of Worship	P	P	P	P		P	P	P	P	P				
63. Private Club						P	P	P	P	P				
64. Public Safety Facility														P
65. Public Works Facility														P
66. Research and Development								P	P		P	P		
67. Residential Care Facility				P			P	P	P	P				
68. Restaurant						P	P	P	P	P		P		P

Table 168.06: Use Matrix
See Section 168.07 for Use Definitions and Use Standards

Use	ID	RS	RD	RM	R-MH	C-1-A	C-1-B	C-2	C-3	CUC-3	OR/P	I-1	I-2	P
69. Retail Good Establishment						P	P	P	P	P		P		
70. Salvage Yard													C	
71. Self-Storage – Enclosed								P	P			P		
72. Self-Storage – Outdoor								C	C			P		
73. Specialty Food Service						P	P	P	P	P		P		
74. Storage – Outdoor (Principal Use)												C	P	
75. Truck Stop												C	P	
76. Utility (Sub)Stations	P	P	P	P	P	P	P	P	P	P	P	P	P	P
77. Vehicle Dealership, New and Used								P	P					
78. Vehicle Dealership, Used								C						
79. Vehicle Operations Facility												P		P
80. Vehicle Rental												P		
81. Vehicle Repair – Major								C				P		
82. Vehicle Repair – Minor								P				P		
83. Warehouse												P		
84. Wholesale Establishment												P		
85. Winery, Micro						P	P	P	P	P				

SECTION 5. AMENDMENT OF ORDINANCE. Subsection 2, Paragraph A of Section 173.07 of the North Liberty Code of Ordinances, is amended as follows:

2. Business and Public Use Signs. Each enterprise, institution, or business shall be permitted wall signs, one canopy sign per street frontage, and one freestanding monument sign per public street frontage, subject to the following maximum size requirements. Multiple businesses in the same building shall apportion façade length, building wall, and street frontage such that any maximum size requirement is not exceeded for a particular property.
 - A. Maximum Wall Sign Area. The total area of wall signage shall not exceed the following requirements for each building wall to which the signage is attached.
 - (1) In the C-1-A district, one square foot for each lineal foot of building wall when viewed in elevation, not to exceed the following maximums:
 - (a) 40 square feet for building walls up to 50 feet in length.
 - (b) 80 square feet for building walls over 50 feet in length.
 - (2) In the C-1-B, C-2, C-3, and P districts, for buildings fewer than four-story in height, two square feet for each lineal foot of building wall when viewed in elevation, not to exceed 300 square feet. For buildings four-stories in height or greater, the total area of wall signage shall not exceed four square feet for each lineal foot of building wall the sign is attached to when viewed in elevation, not to exceed 400 square feet provided that the wall sign be mounted at or above the fourth-story.

SECTION 6. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 7. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 8. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 9. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on May 13, 2025.

Second reading on May 27, 2025.

Third and final reading on _____, 2025.

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2025-10 in *The Gazette* on the ____ day of _____, 2025.

TRACEY MULCAHEY, CITY CLERK



UCD Holdings, LLC

Rezoning



May 7, 2025

Chris Hoffman, Mayor
City of North Liberty
360 North Main Street
North Liberty IA 52317

Re: Request of UCD Holdings, LLC for a zoning map amendment (rezoning) from C-1-B General Commercial District and C-3 Higher Intensity Commercial District to CU C-3 Central Urban Higher-Intensity Commercial District approximately 10.04 acres. The property is located on the east side of North Highway 965/Ranshaw Way approximately 275 south of West Cherry Street and the south side of West Cherry Street approximately 600 feet east of North Highway 965/Ranshaw Way.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its May 7, 2025 meeting. The Planning Commission took the following action:

Finding:

The rezoning request from C-1-B General Commercial District and C-3 Higher Intensity Commercial District to CU C-3 Central Urban Higher-Intensity Commercial District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

Recommendation:

The Planning Commission accepted the listed finding and forwards the request for a zoning map amendment (rezoning) from C-1-B General Commercial District and C-3 Higher Intensity Commercial District to CU C-3 Central Urban Higher-Intensity Commercial District on approximately 10.04 acres to the City Council with a recommendation for approval.

The vote for approval was 5-0.

Barry A'Hearn, Vice Chairperson
City of North Liberty Planning Commission



To City of North Liberty Planning Commission
From Ryan Rusnak, AICP
Date May 2, 2025
Re Request of UCD Holdings, LLC for a zoning map amendment (rezoning) from C-1-B General Commercial District and C-3 Higher Intensity Commercial District to CU C-3 Central Urban Higher-Intensity Commercial District and a Preliminary Subdivision Plat for a 7-lot subdivision and related infrastructure on approximately 10.04 acres. The property is located on the east side of North Highway 965/Ranshaw Way approximately 275 south of West Cherry Street and the south side of West Cherry Street approximately 600 feet east of North Highway 965/Ranshaw Way. The purpose of the request is to facilitate redevelopment of the property with primarily commercial uses and related infrastructure.

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo.

- 1. Request Summary:** The request is to facilitate redevelopment of the property with primarily commercial uses, although residential uses would be permitted. The preliminary plat proposes 7 lots and related infrastructure on 10.04. This is an area the City has targeted for redevelopment so City incentives would assist the development.



2. Current Zoning:

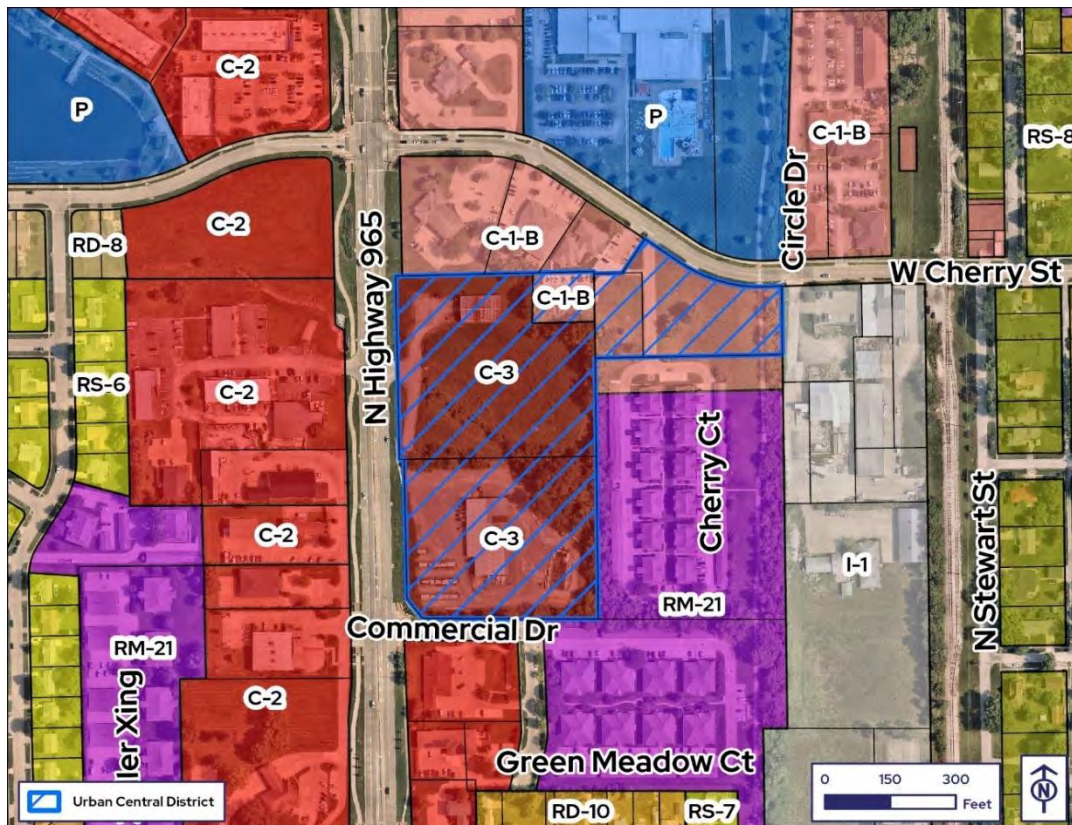
Current Zoning

C-1-B General Commercial District. The C-1-B District is intended to provide for the uses established under the C-1-A Central Commercial District and other commercial uses which due to space requirements and the nature of operations are not suitable for location within a compact central commercial center. Setback and yard requirements are greater than under the C-1-A Central Commercial District.

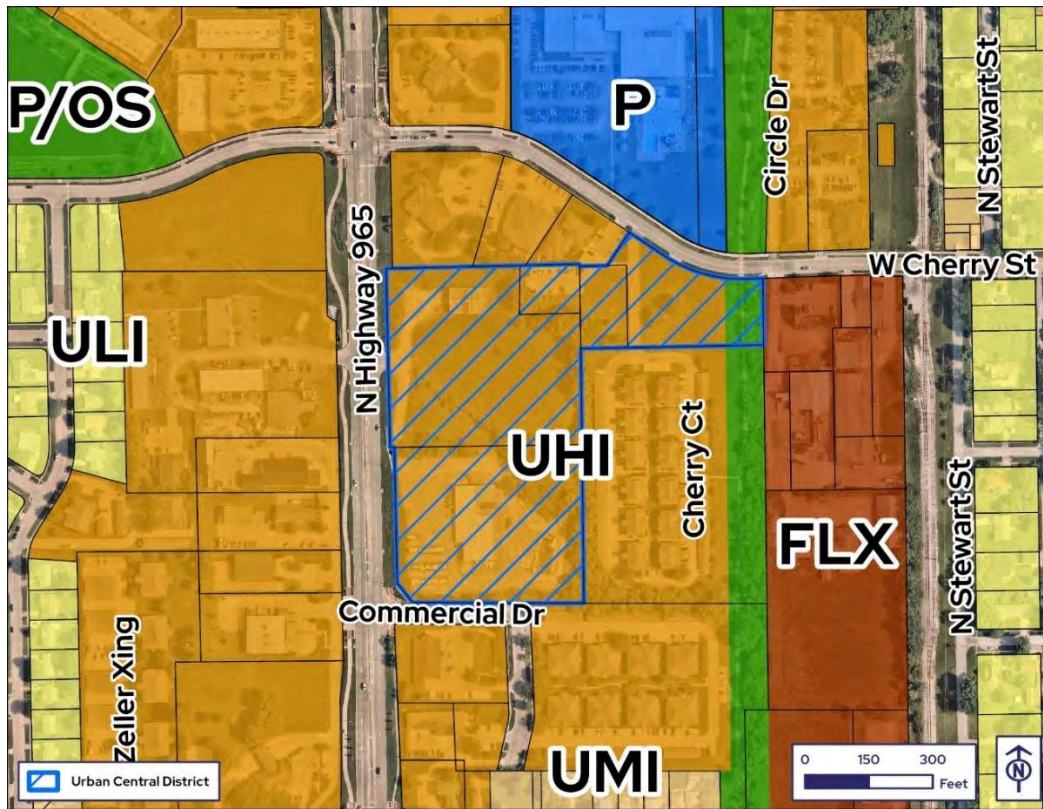
C-3 Higher-Intensity Commercial District. The C-3 District is intended to accommodate higher-intensity commercial development that serves both local and regional markets. The C-3 District addresses medium and large-scale development that may generate considerable traffic and typically requires significant off-street parking. Higher density residential uses are also allowed to facilitate a mixed-use orientation where appropriate.

Proposed Zoning (New District)

CU C-3 Central Urban Higher-Intensity Commercial District. The CU C-3 District is intended to accommodate a mixture of higher-intensity residential and commercial development in a planned manner. Setbacks are reduced to encourage more compact and efficient development and uses are limited to ensure compatibility with surrounding properties. The use of the CU C-3 District shall be limited to the area bounded by Zeller Street, CRANDIC railroad, Cherry Street, and Highway 965/Ranshaw Way.



3. Comprehensive Plan Future Land Use Map Designation: Urban High Intensity.



Urban High Intensity Description

These areas have increased economic activity and a higher frequency of diverse and complementary uses. High-intensity areas include more urban services with a horizontal and vertical mix of high-density residential uses and community to regional commercial uses of compatible densities and scales.

Residential

Developments have more focus on non-residential buildings but still offer residential uses ranging from townhomes and apartments. Mixing residential with commercial uses on the same site is encouraged when feasible from a design and market capitalization standpoint.

Form and Features

- » Aggregate development density at 14+ units per acre at sites with direct access to major arterial and collector streets. Development should avoid the creation of isolated multi-family development.
- » Edges of UHI residential developments transition to lower intensity uses or buffer from industrial/commercial uses through design, landscaping, and buffering.

Non-Residential

More prevalent and focus in the UHI district that can include larger offices, medical buildings, commercial, and larger institutional uses such as places of worship, community centers, and indoor recreation.

4. Public Input:

A virtual good neighbor meeting was held on April 24, 2025. A total of six people attended the meeting outside of City staff and the applicant. Those that attended had general questions and appeared to be supportive of the requests.

There are no objections to the request.

5. Zoning Map Amendment Approval Standards

Section 165.09(4)(D)(1) of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (ordinance language in italics and staff analysis in bold).

Map Amendments.

- (a) *The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.*

Figure 3.4 within Connected to Tomorrow was utilized to determine which zoning district would be compatible with the Future Land Use Map.

Figure 3.4: Land Use Compatibility

TRADITIONAL LAND USES	AGRICULTURE (AG)	URBAN RESERVE (UR)	URBAN LOW INTENSITY (ULI)	URBAN MEDIUM INTENSITY (UMI)	URBAN HIGH INTENSITY (UHI)	COMMERCIAL/ INDUSTRIAL FLEX (FLX)	PUBLIC AND SEMI PUBLIC (PUB)	PARK AND OPEN SPACE (P, OS)
Agriculture	●	●						○
Rural residential		●						
Low-density residential			●	○				
Medium-density residential			●	●	○			
High-density residential				●	●	○		
Rural commercial		●						
Neighborhood commercial			○	●	●	●		
Community commercial				○	●	●		
Regional commercial					○	●		
Low/medium intensity office			○	●	●	●		
High-intensity office				○	●	●		
Limited industrial		○				●		
Heavy industrial						○		
Parks and civic uses	●	●	●	●	●	○	●	●
Major public/civic facilities					○	○	●	○
Residential density range (du/A*)	≤40	≤40	3-8	7-14	14+	14+	NA	NA

● Permitted ○ Permitted with special review
*Dwelling Units per Acre

It is staff's opinion that the proposed zoning would be compatible with the Comprehensive Plan and adopted land use policies.

- (b) *The compatibility with the zoning of nearby property.*

It is staff's opinion that the proposed zoning would be compatible with nearby property.

(c) *The compatibility with established neighborhood character.*

It is staff's opinion that the proposed zoning would be compatible with established neighborhood character.

(d) *The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.*

It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.

(e) *The extent to which the proposed amendment creates nonconformities.*

It is staff's opinion that the proposed zoning would not create any nonconformities.

6. Preliminary Subdivision Approval Standards:

Section 180.11(3)(A) of the North Liberty Code of Ordinances sets forth the preliminary subdivision plat submittal requirements and review (Ordinance language in *italics* and staff analysis in **bold**).

Preliminary Subdivision Plat Submittal Requirements and Review. The preliminary plat, in general, contains more information than the final plat, so that the subdivider and the City can ensure conformance with codes, master facility plans, and good planning and engineering practices. Though the preliminary plat is not recorded, it is approved by resolution of the City Council, and conditions for approval of the plat shall be addressed on any final plats of the same area.

A. *Preliminary Plat Contents. The application shall include a preliminary plat of the subdivision drawn to a scale of one inch to one hundred feet minimum, and shall show:*

(1) *A location map to provide spatial reference, showing the outline of the area to be subdivided, existing streets and corporate limits in the vicinity, a north arrow and scale or note stating "not to scale," and other information that might help clarify where the plat is located as well as its surroundings and size relative to other City features;*

This has been provided on the Preliminary Plat.

(2) *Name of proposed subdivision and date;*

This has been provided on the Preliminary Plat.

(3) *Legal description and acreage;*

This has been provided on the Preliminary Plat.

(4) *Name and address of owner;*

This has been provided on the Preliminary Plat.

(5) *Names of the persons preparing the plat, owner's attorney, representative or agent, if any;*

This has been provided on the Preliminary Plat.

(6) Existing and proposed zoning district classification of all land within the proposed subdivision and within about 200 feet of the subdivision;

This has been provided on the Preliminary Plat.

(7) North point and graphic scale;

This has been provided on the Preliminary Plat.

(8) Contours at two-foot intervals or less, both existing and as generally proposed (subject to more refinement in subsequent construction plans);

This has been provided on the Preliminary Plat.

(9) Building setback lines as required by the current or proposed zoning district classifications;

This has been provided on the Preliminary Plat.

(10) The approximate boundaries of areas of known flood levels or floodplains, areas covered by water, wooded areas, floodways, and all open channel drainage ways;

This has been provided on the Preliminary Plat.

(11) Locations, names, and dimensions of existing lot lines, streets, public utilities, water mains, sewers, drainpipes, culverts, watercourses, bridges, railroads and buildings within in the proposed subdivision and within about 200 feet of the subdivision;

This has been provided on the Preliminary Plat.

(12) Layout of proposed blocks, if used, and lots, including the dimension of each lot, and the lot and block number in numerical order;

This has been provided on the Preliminary Plat.

(13) Layout and dimensions of proposed streets, sidewalks, trails, alleys, utility and other easements, parks and other open spaces or reserved areas;

This has been provided on the Preliminary Plat.

(14) Grades of proposed streets and alleys;

This has been provided on the Preliminary Plat.

(15) A cross-section of the proposed streets showing the roadway locations, the type of curb and gutter, the paving, and sidewalks to be installed;

This has been provided on the Preliminary Plat.

(16) The layout of proposed water mains and sanitary sewer systems;

This has been provided on the Preliminary Plat.

(17) The drainage of the land, including proposed storm sewers, ditches, culverts, bridges and other structures;

This has been provided on the Preliminary Plat.

(18) Stormwater management facilities when applicable;

This has been provided on the Preliminary Plat.

(19) A signed certificate of the Johnson County Auditor for the subdivision name;

This information has been provided.

(20) Other special details or features that may be proposed or required.

None required.

7. Additional information:

None.

8. Staff Recommendation:

Findings:

1. The rezoning request from C-1-B General Commercial District and C-3 Higher Intensity Commercial District to CU C-3 Central Urban Higher-Intensity Commercial District would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.
2. The preliminary subdivision plat would achieve consistency with Section 180.11(3)(A) and 180.12 of the North Liberty Code of Ordinances, which sets forth the preliminary subdivision plat submittal requirements and design standards, respectively.

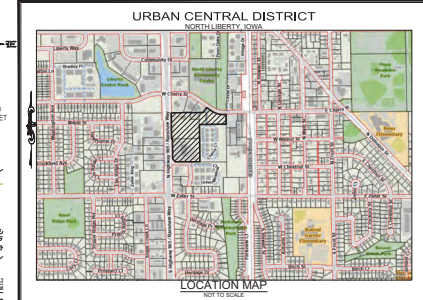
Recommendation:

Staff recommends the Planning Commission accept the listed findings and forward the request for a zoning map amendment (rezoning) from C-1-B General Commercial District and C-3 Higher Intensity Commercial District to CU C-3 Central Urban Higher-Intensity Commercial District and a Preliminary Subdivision Plat for a 7-lot subdivision and related infrastructure on approximately 10.04 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed findings and forward the zoning map amendment (rezoning) and preliminary subdivision plat to the City Council with a recommendation for approval.

PRELIMINARY PLAT URBAN CENTRAL DISTRICT NORTH LIBERTY, JOHNSON COUNTY, IOWA



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS
1917 S. GILBERT ST.
JOHNSON COUNTY, IOWA 52340
(319) 351-8262
www.mmsconsultants.net

Date	Revision
04/26/2025	PER CITY COMMENTS RANNEY
05/02/2025	PER CITY COMMENTS RANNEY

DESCRIPTION - PRELIMINARY PLAT

BEGINNING at the Northwest Corner of Linder First Addition, to North Liberty, Iowa, in accordance with the Plat thereof Recorded in Plat Book 32 at Page 329 of the Records of the Johnson County Recorder's Office; Thence N88°39'37"E, along the North Line of said Linder First Addition, 114.96 feet, to the Northwest Corner of Auditor's Parcel 2022-025, in accordance with the Plat thereof Recorded in Plat Book 65 at Page 302 of the Records of the Johnson County Recorder's Office; Thence N88°45'47"E, along the North Line of said Auditor's Parcel 2022-025, a distance of 140.22 feet, to the Northwest Corner thereof; Thence S00°35'54"E, along the East Line of said Auditor's Parcel 2022-025, a distance of 5.00 feet; Thence N88°36'47"E, 64.54 feet, to a Point on the West Line of Auditor's Parcel 2001018, in accordance with the Plat thereof Recorded in Plat Book 42 at Page 264 of the Records of the Johnson County Recorder's Office; Thence N33°38'35"E, along said West Line, 93.60 feet, to the Northwest Corner thereof; Thence S56°19'04"E, along the North Line of said Auditor's Parcel 2001018, a distance of 97.79 feet; Thence Southeasterly, 205.72 feet, along said North Line, on a 330.00 foot radius curve, concave Northeasterly, whose 202.41 foot chord bears S74°10'37"E; Thence N87°50'50"E, along said North Line, 36.89 feet; Thence S00°44'37"E, along the East Line of said Auditor's Parcel 2001018, a distance of 155.86 feet, to the Southeast Corner thereof; Thence S88°34'18"W, along the South Line of said Auditor's Parcel 2001018, a distance of 319.34 feet; Thence S88°37'54"W, 110.00 feet, to a Point on the East Line of said Linder First Addition; Thence S00°41'18"E, along said East Line, 221.37 feet; Thence S01°53'15"E, 374.20 feet, to a Point on the North Line of Green Subdivision, in accordance with the Plat thereof Recorded in Plat Book 38 at Page 161 of the Records of the Johnson County Recorder's Office; Thence N89°50'54"W, along said North Line, 409.91 feet; Thence N38°25'25"W, 57.80 feet, to a Point on the Eastern Right-of-Way Line of North Highway 965 (Rainbow Way); Thence N01°15'42"W, along said Eastern Right-of-Way Line, 320.43 feet, to a Point on the South Line of said Linder First Addition; Thence S89°04'18"W, along said South Line, 9.87 feet, to the Southwest Corner thereof; Thence N03°12'30"W, along said Eastern Right-of-Way Line, and the West Line of said Linder First Addition, 418.48 feet, to the POINT OF BEGINNING. Said Parcel contains 10.04 Acres, and is subject to easements and restrictions of record.

- GENERAL NOTES:
1. ALL GRAVEL TO BE REMOVED FROM THE SITE.
 2. ALL BUILDINGS TO BE REMOVED.
 3. EXISTING LENGTH OF EXISTING RETAINING WALL AND DECORATIVE RAILING ALONG WEST PROPERTY LINE TO BE REMOVED, SALVAGED, AND PROTECTED TO ALLOW POURING AND REMOVAL BY THE CITY OF NORTH LIBERTY.
- EASEMENT NOTE: ALL PRIVATE ACCESS EASEMENTS AND/OR PRIVATE UTILITY EASEMENTS BETWEEN LOTS WILL BE SHOWN AS EASEMENTS FOR ALL LOTS.
- GENERAL NOTES:
1. NO LOT SHALL HAVE DIRECT ACCESS TO N HIGHWAY 965/RAINBOW WAY OR COMMERCIAL DRIVE.
 2. DESIGN AND CONSTRUCTION OF SIDEWALK, STREETCROSSING LIGHTING, AND LANDSCAPING ALONG EAST SIDE OF WEST CHERRY STREET TO BE COORDINATED WITH THE CITY.
 3. URBAN CENTRAL DISTRICT SITE DEVELOPMENT WILL CONSTRUCT A CONTINUOUS 8-FOOT WIDE PEDESTRIAN CORRIDOR THROUGH THE SITE FROM RAINBOW WAY TO PARCEL EAST OF MUDDY CREEK.

CURRENT ZONING (AP 2022-029 AND AP 2001018): C-1-B

RETRACT REQUIREMENTS:

BUILDING SETBACKS	REQUIRED
FRONT YARD	25 FEET
CORNER SIDE YARD	10 FEET
REAR YARD	10 FEET

PROPOSED ZONING: CU C-1 (CENTRAL URBAN HIGH-INTENSITY COMMERCIAL DISTRICT)

RETRACT REQUIREMENTS:

BUILDING SETBACKS	REQUIRED
FRONT YARD	10 FEET
CORNER SIDE YARD	10 FEET
REAR YARD	10 FEET

CURRENT ZONING (LOT 1, LINDER FIRST ADDITION): C-1-B

RETRACT REQUIREMENTS:

BUILDING SETBACKS	REQUIRED
FRONT YARD	25 FEET
CORNER SIDE YARD	10 FEET
REAR YARD	10 FEET

PROPOSED ZONING: CU C-1 (CENTRAL URBAN HIGH-INTENSITY COMMERCIAL DISTRICT)

RETRACT REQUIREMENTS:

BUILDING SETBACKS	REQUIRED
FRONT YARD	10 FEET
CORNER SIDE YARD	10 FEET
REAR YARD	10 FEET

RETRACT REQUIREMENTS:

BUILDING SETBACKS	REQUIRED
FRONT YARD	10 FEET
CORNER SIDE YARD	10 FEET
REAR YARD	10 FEET

RETRACT REQUIREMENTS:

BUILDING SETBACKS	REQUIRED
FRONT YARD	10 FEET
CORNER SIDE YARD	10 FEET
REAR YARD	10 FEET

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BUILDING SETBACKS	REQUIRED
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BUILDING SETBACKS	REQUIRED
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CORNER SIDE YARD	10 FEET
REAR YARD	10 FEET

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BUILDING SETBACKS	REQUIRED
FRONT YARD	10 FEET
CORNER SIDE YARD	10 FEET
REAR YARD	10 FEET

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BUILDING SETBACKS	REQUIRED
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REAR YARD	10 FEET

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CORNER SIDE YARD	10 FEET
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BUILDING SETBACKS	REQUIRED
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BUILDING SETBACKS	REQUIRED
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BUILDING SETBACKS	REQUIRED
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REAR YARD	10 FEET

RETRACT REQUIREMENTS:

BUILDING SETBACKS	REQUIRED
FRONT YARD	10 FEET
CORNER SIDE YARD	10 FEET
REAR YARD	10 FEET

PRELIMINARY PLAT

URBAN CENTRAL DISTRICT

NORTH LIBERTY, JOHNSON COUNTY, IOWA

MMS CONSULTANTS, INC.

Date: 04-01-25

Designed by: KJB File Book No: 1454.21

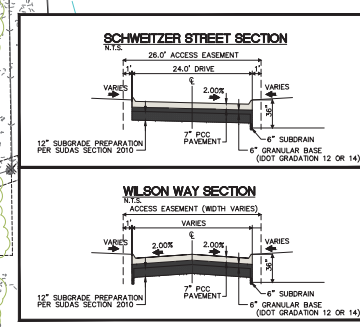
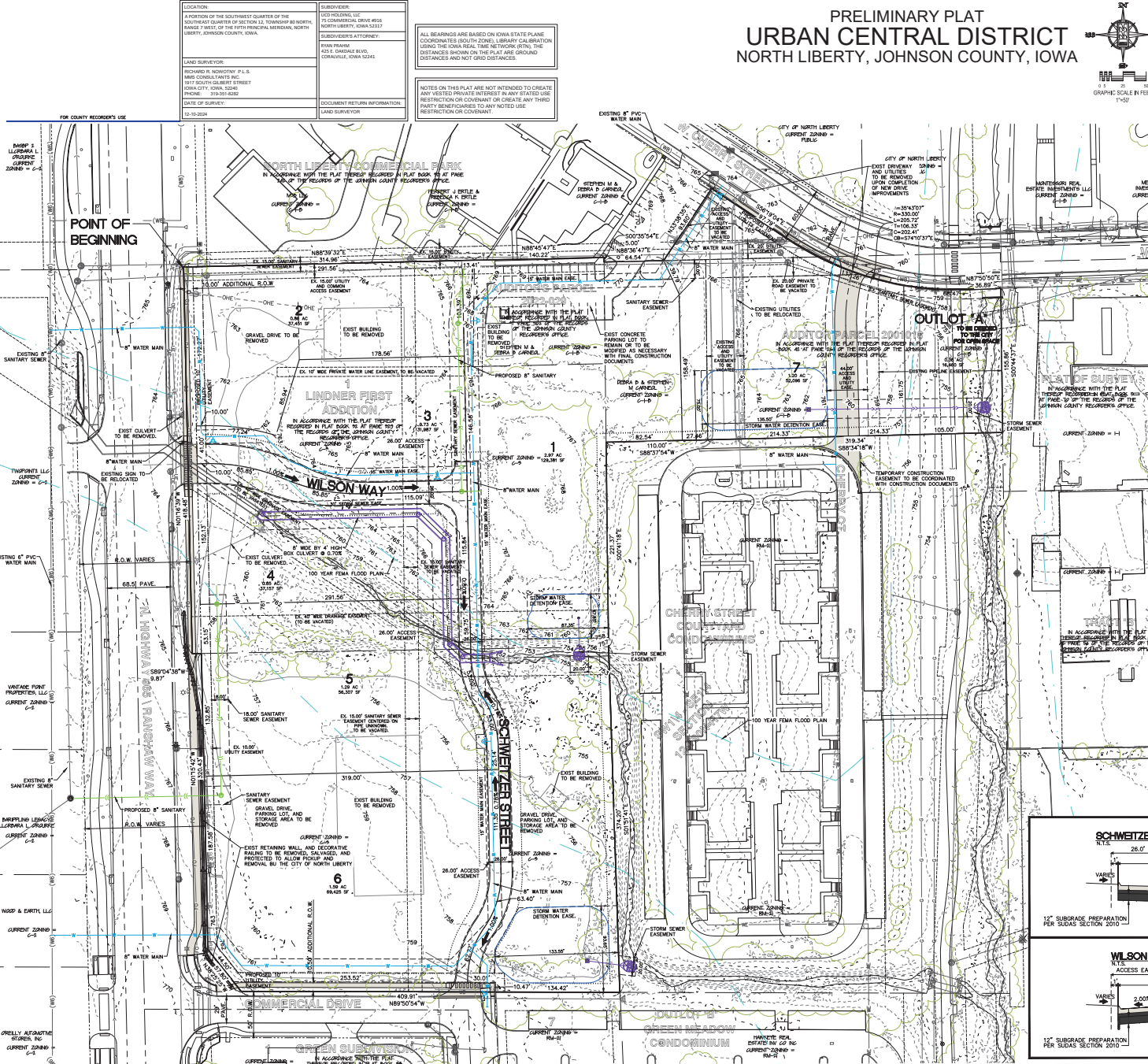
Drawn by: TAV Scale: 1"=50'

Checked by: JCM Sheet No: 1

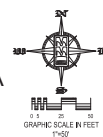
Project No: 11728-005

11728-005

11728-005



PRELIMINARY GRADING PLAN
URBAN CENTRAL DISTRICT
NORTH LIBERTY, JOHNSON COUNTY, IOWA



STANDARD LEGEND AND NOTES	
---	PROPERTY &/OR BOUNDARY LINES
---	CONVEYANCING SECTION LINES
---	RIGHT-OF-WAY LINES
---	EXISTING RIGHT-OF-WAY LINES
---	EXISTING CENTER LINES
---	EXISTING LOT LINES
---	LOT LINES PLATTED OR BY DEED
---	PROPOSED EASEMENT LINES
---	EXISTING EASEMENT LINES
---	PROPOSED BUILDING SETBACK
---	RECONSTRUCT
---	RECORDED DIMENSIONS
---	CURVE SEGMENT NUMBER
---	PROPOSED
---	EXISTING
---	POWER POLE
---	POWER POLE W/SHOP
---	POWER POLE W/TRANS
---	POWER POLE W/LIGHT
---	LIGHT POLE
---	SANITARY MANHOLE
---	FIRE HYDRANT
---	WATER VALVE
---	DRAINAGE MANHOLE
---	CURB INLET
---	FENCE LINE
---	PROPOSED SANITARY SEWER
---	EXISTING SANITARY SEWER
---	PROPOSED STORM SEWER
---	EXISTING STORM SEWER
---	WATER LINES
---	ELECTRICAL LINES
---	TELEPHONE LINES
---	GAS LINES
---	CONTOUR LINES (1' INTERVAL)
---	PROPOSED GROUND
---	EXISTING GROUND
---	EXISTING TREE LINE
---	EXISTING DECIDUOUS TREE & SHRUB
---	EXISTING EVERGREEN TREES & SHRUB

THE ACTUAL USE AND LOCATION OF ALL PROPOSED FACILITIES SHALL BE VERIFIED WITH CONSTRUCTION DOCUMENTS, WHICH ARE TO BE PREPARED AND SUBMITTED SUBSEQUENT TO THE APPROVAL OF THIS DOCUMENT.



CIVIL ENGINEERS
LAND PLANNERS
LAND SURVEYORS
LANDSCAPE ARCHITECTS
ENVIRONMENTAL SPECIALISTS
1817 S. GILBERT ST.
JOHNSON COUNTY, IOWA 52240
(319) 351-8282
www.mmsconsultants.net

Date	Revision
04/28/2025	PER CITY COMMENTS RANHEH
05/02/2025	PER CITY COMMENTS RANHEH

PRELIMINARY
GRADING PLAN

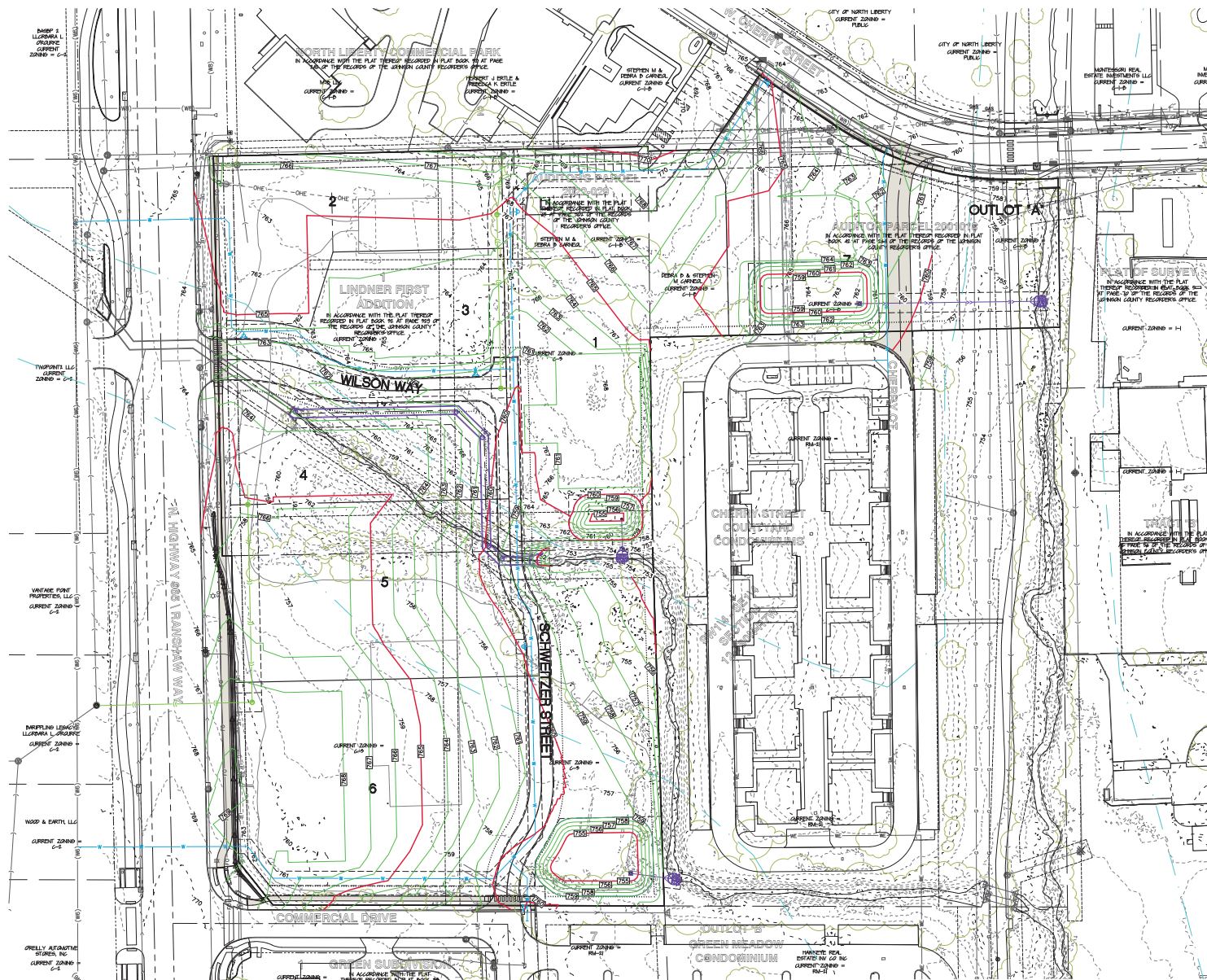
URBAN CENTRAL
DISTRICT

NORTH LIBERTY,
JOHNSON COUNTY,
IOWA

MMS CONSULTANTS, INC.

Date:	04-28-25
Designed by:	KJB
Drawn by:	RAN
Checked by:	JCM
Project No:	11728-005
Field Book No:	1424.21
Scale:	1"=50'
Sheet No:	2

11728-005





North Liberty

connected to tomorrow

COMPREHENSIVE PLAN



THE NORTH LIBERTY EXPERIENCE IS:

1. *Distinctly different from neighbors*
2. *Low stress and comfortable*
3. *Positive for all ages, demographics, and abilities*

Efforts in North Liberty Today

The 2019 Community Identity and Branding effort initiated ideas to elevate how people remember North Liberty. Many of these ideas are happening already. A sample of other efforts include:

- » Ranshaw Way art and design improvements.
- » New City Hall public spaces.
- » Centennial Park enhancements and grant pursuits.
- » New park spaces being proposed near 240th St.
- » A range of events year round such as Welcoming Week, Blues and BBQ, and Beat the Bitter.
- » Improvements and additions to existing parks like Penn Meadows, Red Fern Dog Park, and Fox Run Park.

Opportunities

Cherry Street corridor. The Cherry Street corridor has the most concentration of amenities and services in North Liberty. It should become a central public activity area that is walkable, identifiable, and welcoming.

Gateways and entrances. On the south, North Liberty and Coralville city limits are indistinguishable. In contrast, I-380 is the primary entrance on the west. Various entry signs and monuments are planned or already implemented. More significant features at I-380 entrances create statements. Examples could include bridge artwork or monuments with the Penn Avenue bridge being improved in the future.

New development. North Liberty will continue to see strong development interest as the region's institutions remain strong. The approach to land use development lends opportunities to require private and public open spaces within development and larger reservations for community park spaces along greenways, wetlands, and stormwater protection areas.

Greenways and connected stormwater basins. Many developments have stormwater detention basins. The City has successfully connected many of these areas to other greenways, drainage areas, trails, parks, amenities, and wildlife.

Policies and Strategies

1. *Continually enhance existing parks over time, starting with a master plan for Centennial Park.*
2. *Dedicate parks in the development process based on local needs and the land use plan.*
3. *Create experiences by expanding streetscapes throughout the community with mobility, landscaping, and culture.*
4. *Monitor the application of design standards to ensure they produce good community aesthetics without overly restricting design creativity.*
5. *Advance the multi-modal wayfinding program with development and create gateway elements at community entries.*
6. *Partner with community groups to integrate community themes and unique features, including art/cultural amenities into developments.*



DOING BUSINESS IN NORTH LIBERTY IS:

1. *Community-driven*
2. *Innovative and diverse*
3. *Collaborative between many entities*

Efforts in North Liberty Today

North Liberty is at a growth juncture where more and more business growth and institutions will be attracted to the community. Efforts today are establishing the framework to support business growth and desirable development types.

- » Updated Economic Development Strategy.
- » Podcasts that feature local businesses.
- » Added service areas to the southwest growth area for new medical centers.
- » New City logo and branding guide.
- » Continued coordination with the Iowa City Area Development Group.

Opportunities

New medical campuses. The proposed new University of Iowa medical campus on Forevergreen Rd and Steindler Orthopedic Clinic on Kansas Ave will create an influx of employees and development interest for surrounding vacant land. Vacant land next to the sites are prime opportunities for daily services, complementary office spaces, and more compact residential options.

Penn Street. Penn Street is an emerging corridor for a variety of commercial opportunities. Easy access to I-380 makes indoor manufacturing, distribution, and commercial uses desirable for the western part of the corridor.

Infrastructure for economic development. Infrastructure plays a requisite role in land development and must be seamlessly integrated into negotiating how land is developed. Connected to Tomorrow is the vision the City and other economic development organizations can pursue.

Remote work and office environment. In 2022 the future of office and remote working was still uncertain but trending towards less need for office space. However, because of their hands-on nature, medical professions and manufacturing do not permit as much remote work. Many of North Liberty's economic strengths will still require employees to live nearby and land for growth.

Policies and Strategies

1. *Invest in infrastructure for emerging commercial areas to provide developable land that is flexible for a variety of businesses.*
2. *Implement policy recommendations for the Cherry Street district.*
3. *Develop a unique mixed-use center north of the future University of Iowa medical campus along Forevergreen Rd.*
4. *Create an action plan for providing sustained services that North Liberty lacks for those in need.*
5. *Complete corridor studies for critical economic corridors in North Liberty.*
6. *Use the Economic Development Strategy to guide business attraction, retention, and incentive strategies.*

2. Implement policy recommendations for the Cherry Street district.

The Future Land Use Map identifies Cherry Street and Old Town as special policy areas because of their unique characteristics versus other areas of North Liberty. Figure 3.12 shows a development concept for a portion of the Cherry Street area that incorporates infill and reuse of underused spaces. Key policy directions for the area include:

- 1. Community Dr through access north and south.** Community Dr becomes a north/south connector in the district with streetscaping and sidewalks. The alignment connects Commercial Dr and Heritage Dr with Community Dr.
- 2. Add a traffic circle on Community Dr south of Green State Credit Union.** The traffic circle creates safer movement from the Community Center parking lot east and west.
- 3. Infill commercial development.** Internal parking and street oriented buildings provide opportunities for additional activity in the district with outdoor spaces.
- 4. Residential/commercial mixed use.** Opportunities for infill residential along Community Dr with commercial space oriented toward Ranshaw Way.
- 5. Possible infill townhome opportunities near the N Ridge Trail.** The space allows for internal parking and access to Cherry St.
- 6. Small lot residential infill.** An opportunity along the N Ridge Trail to add housing variety and create a connection to Green Meadow Ct and Zeller St.
- 7. Small scale industrial infill.** Space along the railroad offers relocation opportunities for industrial uses or new ventures.

Figure 3.12: Cherry Street Area Development Concept



Ordinance No. 2025-11

AN ORDINANCE AMENDING THE ZONING MAP DISTRICT DESIGNATION FOR CERTAIN PROPERTY LOCATED IN NORTH LIBERTY, IOWA FROM C-1-B GENERAL COMMERCIAL DISTRICT AND C-3 HIGHER INTENSITY COMMERCIAL DISTRICT TO CU C-3 URBAN CENTRAL HIGHER-INTENSITY COMMERCIAL DISTRICT

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT. The Official Zoning Map incorporated in Chapter 168.01(2) of the North Liberty Code of Ordinances is hereby amended such that the below-described property (the "Property") is assigned a zoning designation of CU C-3 Urban Central Higher-Intensity Commercial District:

BEGINNING at the Northwest Corner of Lindner First Addition, to North Liberty, Iowa, in accordance with the Plat thereof Recorded in Plat Book 32 at Page 329 of the Records of the Johnson County Recorder's Office; Thence N88°39'32"E, along the North Line of said Lindner First Addition, 314.96 feet, to the Northwest Corner of Auditor's Parcel 2022-029, in accordance with the Plat thereof Recorded in Plat Book 65 at Page 302 of the Records of the Johnson County Recorder's Office; Thence N88°45'47"E, along the North Line of said Auditor's Parcel 2022-029, a distance of 140.22 feet, to the Northeast Corner thereof; Thence S00°35'54"E, along the East Line of said Auditor's Parcel 2022-029, a distance of 5.00 feet; Thence N88°36'47"E, 64.54 feet, to a Point on the West Line of Auditor Parcel 2001018, in accordance with the Plat thereof Recorded in Plat Book 42 at Page 264 of the Records of the Johnson County Recorder's Office; Thence N33°38'35"E, along said West Line, 93.60 feet, to the Northwest Corner thereof; Thence S56°19'04"E, along the North Line of said Auditor Parcel 2001018, a distance of 97.79 feet; Thence Southeasterly, 205.72 feet, along said North Line, on a 330.00 foot radius curve, concave Northeasterly, whose 202.41 foot chord bears S74°10'37"E; Thence N87°50'50"E, along said North Line, 36.89 feet; Thence S00°44'37"E, along the East Line of said Auditor Parcel 2001018, a distance of 155.86 feet, to the Southeast Corner thereof; Thence S88°34'18"W, along the South Line of said Auditor Parcel 2001018, a distance of 319.34 feet; Thence S88°37'54"W, 110.00 feet, to a Point on the East Line of said Lindner First Addition; Thence S00°41'18"E, along said East Line, 221.37 feet; Thence S01°51'41"E, 374.20 feet, to a Point on the North Line of Green Subdivision, in accordance with the Plat thereof Recorded in Plat Book 38 at Page 161 of the Records of the Johnson County Recorder's Office; Thence N89°50'54"W, along said North Line, 409.91 feet; Thence N38°25'25"W, 57.80 feet, to a Point on the Easterly Right-of-Way Line of North Highway 965 (Ranshaw Way); Thence N01°15'42"W, along said Easterly Right-of-Way Line, 320.43 feet, to a Point on the South Line of said Lindner First Addition; Thence S89°04'38"W, along said South Line, 9.87 feet, to the Southwest Corner thereof; Thence N01°16'39"W, along said Easterly Right-of-Way Line, and the West Line of said Lindner

First Addition, 418.48 feet, to the POINT OF BEGINNING. Said Proposed Rezoning Parcel contains 10.04 Acres, and is subject to easements and restrictions of record.

SECTION 2. CONDITIONS IMPOSED. At the May 6, 2025, meeting the Planning Commission accepted the listed finding and forwarded the request for a zoning map amendment to the City Council with a recommendation for approval with no conditions.

SECTION 3. RECORDATION. The City Clerk is hereby authorized and directed to record this ordinance at the Johnson County Recorder's office upon final passage and approval.

SECTION 4. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 5. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 6. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 7. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on May 27, 2025.

Second reading on

Third and final reading on

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2025-11 in *The Gazette* on the ____ of _____, 2025.

TRACEY MULCAHEY, CITY CLERK



**Watts Group
Development, Inc.
Rezoning (East Side)**



Stanley Consultants INC.

» Connect. Create. Contribute.

Traffic Impact Study

Sunset Prairie

MMS Consultants, Inc.

Final Report

May 2025

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

Micah Makaiwi, P.E.
Iowa License No. P29342
Renewal Date: 12/31/2025
Parts Covered by Seal: All

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Section 1 Executive Summary

Stanley Consultants, Inc. (SCI) has been retained by MMS Consultants, Inc. (MMS) to prepare a Traffic Impact Study for proposed Sunset Prairie development in Johnson County, Iowa in the City of North Liberty. The current site plan is anticipated to be accessed off Dubuque Street and includes 194 duplex units, 276 single family homes, and 220 multi-family homes. The main purpose of this study is to analyze traffic operations for the study intersections in the interim and full buildout scenarios.

1.1 Summary of Analysis

The existing models show some operational deficiencies at the intersection of Juniper Street and Dubuque Street, and adequate performance at the intersection of N Liberty Road and Dubuque Street. The No Build analysis shows operational deficiencies at the intersection of N Liberty Road and Dubuque Street with LOS E or worse for some approaches in the PM peak hour.

The Build analysis shows that the intersection of Seven Oaks Road and Dubuque Street has the best performance with a roundabout configuration. A two-way stop-controlled intersection shows adequate performance in 2035, but poor performance in the 2050 full buildout conditions. However, since the intersection of E Tartan Drive will have excess capacity, it is expected that neighborhood traffic will divert to that intersection when exiting.

The Build analysis shows the proposed roundabout at E Tartan Drive and Dubuque Street will have adequate traffic operations and excess capacity. All approaches expected to operate at LOS C or better.

1.2 Recommendations

At the existing intersection of Juniper Street and Dubuque Street, the proposed roundabout project planned by the city will have adequate operations in all future year analyses. The full development buildout is expected to reduce volumes through this intersection.

At the existing intersection of N Liberty Road and Dubuque Street, there will be operational concerns arising primarily from background traffic growth, and not from the proposed development. Additional turn lanes or capacity should be considered at this location in the future but are not recommended as part of this development. The additional site trips through the intersection represent 9% and 12% of the total volume at the intersection in 2050, so the decrease in performance is primarily due to the increased background traffic and not due to the development.

At the intersection of Seven Oaks Road and Dubuque street, the following improvements are recommended:

- A single-lane roundabout is recommended under both interim and full buildout conditions.
- A two-way stop-controlled (TWSC) intersection is acceptable.
 - Until 2035, and when the intersection only has three legs, an eastbound left-turn lane is warranted, but not required for adequate operations on Dubuque Street.
 - After 2035, or when the intersection has four legs, eastbound and westbound left-turn lanes are warranted and required for adequate operations on Dubuque Street.
 - Per the methodology of NCHRP 745, all turn lanes are recommended to have 170 feet of full-width storage plus a 12:1 taper.

At the new intersection of E Tartan Drive and Dubuque Street, a single-lane roundabout will have adequate performance in all analysis scenarios and is recommended for the best performance. A significant portion of the traffic (64% in the AM and 77% in the PM) is expected to be diverted from the cut through from Front Street to Dubuque Street using Hackberry Street and Juniper Street, and not from site traffic from this development

Section 2 Introduction

Stanley Consultants, Inc. (SCI) has been retained by MMS Consultants, Inc. (MMS) to prepare a Traffic Impact Letter (TIL) for the proposed Sunset Prairie development in North Liberty, Iowa. The current site plan is anticipated to have two primary access points on Dubuque Street, and to provide connections to streets in adjacent neighborhoods. The main purpose of this study is to determine if the proposed development will require infrastructure improvements at the access points along Dubuque Street.

2.1 Scope of Study

The purposes for this Traffic Impact Study include:

1. To evaluate the 2025 existing conditions at the study area intersections.
2. To estimate future No Build traffic volumes for the years 2035 and 2050 at the study area intersections.
3. To estimate new traffic generated by the proposed development in the interim buildout condition in 2035 and full buildout condition in 2050 at the study area intersections.
4. To determine future lane configuration needs at the site entrances for the No Build and Build conditions during the years 2035 and 2050.

2.2 Horizon Years

The existing conditions will use traffic data collected in 2025. The first six phases of the proposed development are expected to be built out by the end of 2035, and the entirety of the development is expected to be completed by 2050. For purposes of this analysis, the selected horizon years are 2035 and 2050.

2.3 Description of Proposed Development

The proposed development is located off Dubuque Street in Johnson County, Iowa. The proposed development consists of 194 duplex units, 276 single family homes, and 220 multi-family homes. Two new links will be constructed providing two primary access points to the east and west sides of the development on Dubuque Street. The first will tie into E Tartan Drive towards the south of the development, and the second will tie into Seven Oaks Road central to the development and northwest of the E Tartan Drive access point. There will be additional secondary connections from the development to existing streets in neighborhoods to the east and west.

Figure 1 is a local vicinity map depicting the overall study area. A conceptual plan for the proposed development is included in **Appendix A**.

2.4 Study Area

This study will analyze the intersections listed below:

1. Dubuque Street and Juniper Street
2. Dubuque Street and Seven Oaks Road
3. Dubuque Street and E Tartan Drive
4. Dubuque Street and N Liberty Road NW

For the purposes of this study, Dubuque Street is reported as an east-west facility and all side streets are reported as north-south. The overall study limits include evaluating Dubuque Street from 150 feet west of Juniper Street to 150 feet east of N Liberty Road NW.



Figure 1: Vicinity Map and Location of Study Intersections

2.5 Analysis Methodology

The Vistro software tool, version 2025, was used for the traffic analysis presented in this report. The main measure of effectiveness used is delay, which measures the average number of seconds of delay that a vehicle experiences, and level of service (LOS), which assigns a letter from A to F based on the delay.

The analysis used the methodology from the 7th edition of the Highway Capacity Manual. All intersections in the study area are unsignalized, so the delay thresholds in **Table 1** are used to determine LOS.

Table 1: LOS thresholds

LOS	Control Delay per vehicle (s/veh)
A	< 10
B	> 10 and ≤ 15
C	> 15 and ≤ 25
D	> 25 and ≤ 35
E	> 35 and ≤ 50
F	> 50

For the purposes of this study, LOS D or better is considered acceptable, and LOS E and F are considered unacceptable.

Section 3 Analysis of Existing Conditions

3.1 Description of Surrounding Land Use

The land surrounding the development is agricultural with nearby residential, retail, and education land uses. The development is located approximately six miles north of Iowa City and eighteen miles south of Cedar Rapids.

3.2 Description of the Surrounding Transportation System

The study area is rural in character and includes the following roadways:

1. **Dubuque Street**
2. **Juniper Street**
3. **N Liberty Road NW**
4. **Seven Oaks Road (proposed)**
5. **E Tartan Drive (proposed)**

The intersection at Juniper Street and Dubuque Street is two-way stop controlled, and the traffic along Dubuque Street is uncontrolled. The N Liberty Road and Dubuque Street intersection is currently a roundabout. Dubuque Street is a two-lane roadway with no turn lanes. The speed limit on Dubuque Street is 25mph at Juniper Street, and then transitions to 35 mph approximately 200 feet south of Juniper Street and is 35 mph through the rest of the study area.

Major destinations include Front Street to the west of the development, to the north on Dubuque Street, and towards Iowa City to the southeast via Dubuque Street and N Liberty Road.

3.3 Existing Traffic Counts

Turning movement counts were collected at five intersections on Wednesday, April 9, 2025. Turning movement counts were collected for 24 hours in fifteen-minute intervals. The intersections on S Front Street and the intersection at N Liberty Road and E Tartan Road are not part of the study intersections, but traffic counts were collected to predict traffic at the development's two new access points and cut-through traffic. The existing AM peak hour traffic volumes are depicted in **Figure 2**, and the existing PM peak hour traffic volumes are depicted in **Figure 3**. The existing peak hour traffic counts are contained in **Appendix B**.

3.4 Existing Conditions Traffic Analysis Results

Summaries of delay and level of service are shown in **Table 10** and **Table 11**. See **Appendix C** for the full results tables.

The existing conditions analysis shows movements with significant delays on Juniper Street at Dubuque Street. In the AM peak hour, the southbound left-turn movement has LOS E, and the northbound left turn and southbound through movements have LOS D. In the PM peak hour, the northbound left-turn and southbound left-turn movements have LOS E, and the northbound thru and southbound thru movements have LOS D.

All movements at the roundabout at Dubuque Street and N Liberty Road have LOS B or better, except for the westbound approach, which has LOS D in the PM peak hour.

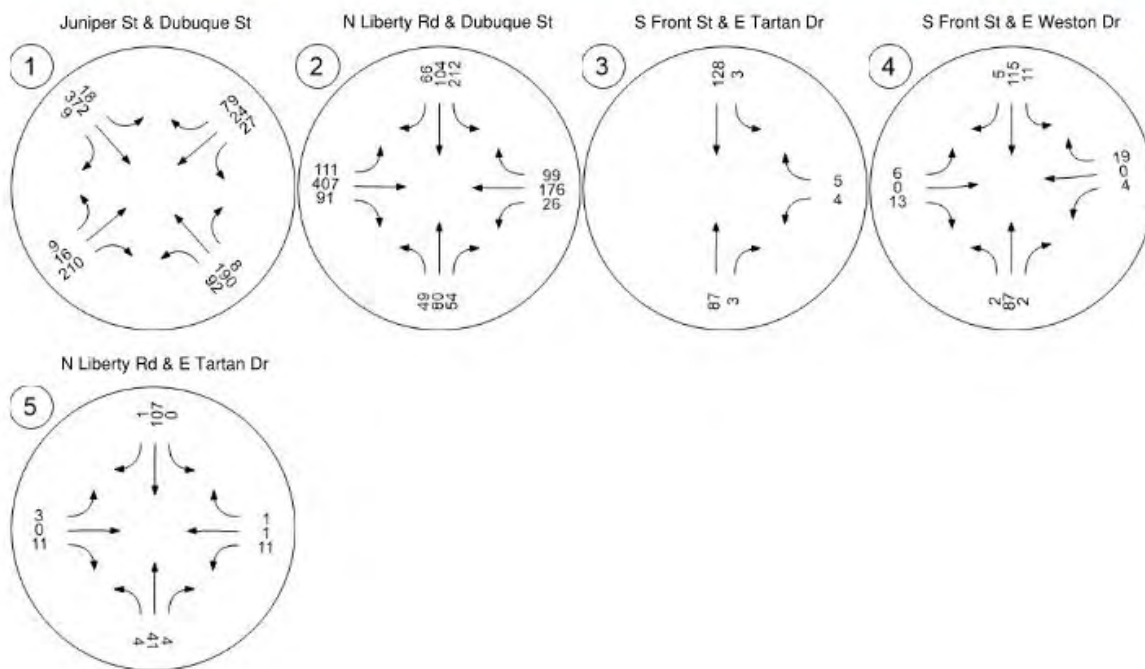


Figure 2: Existing 2025 AM Peak Hour Traffic Volumes

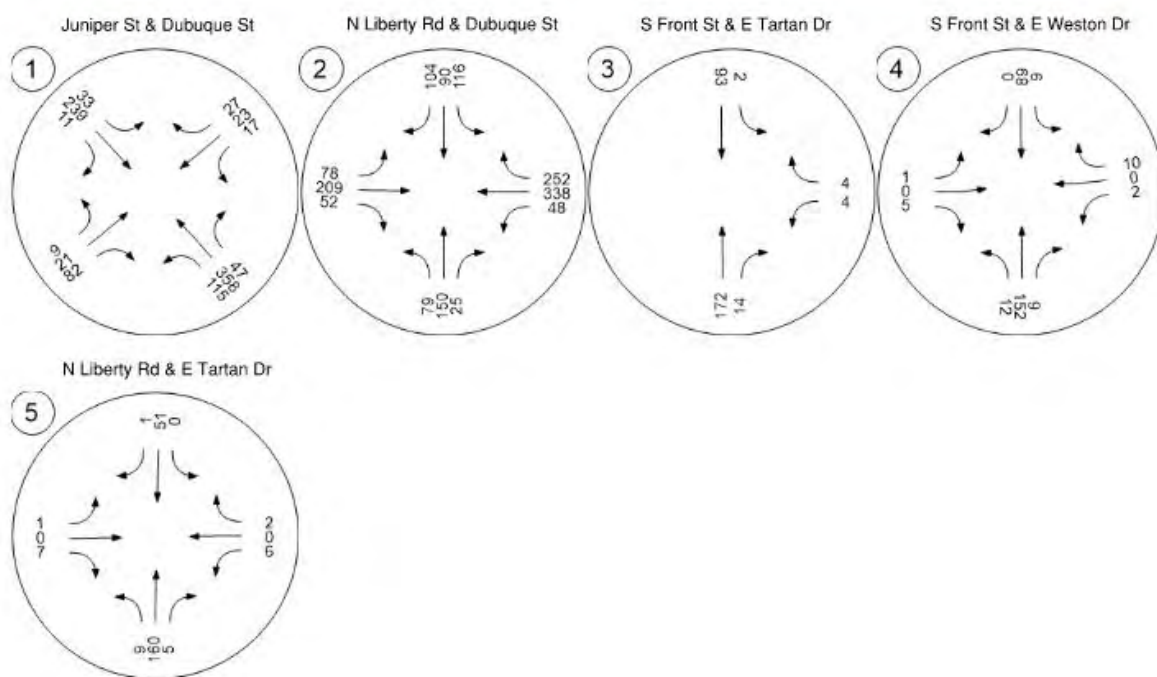
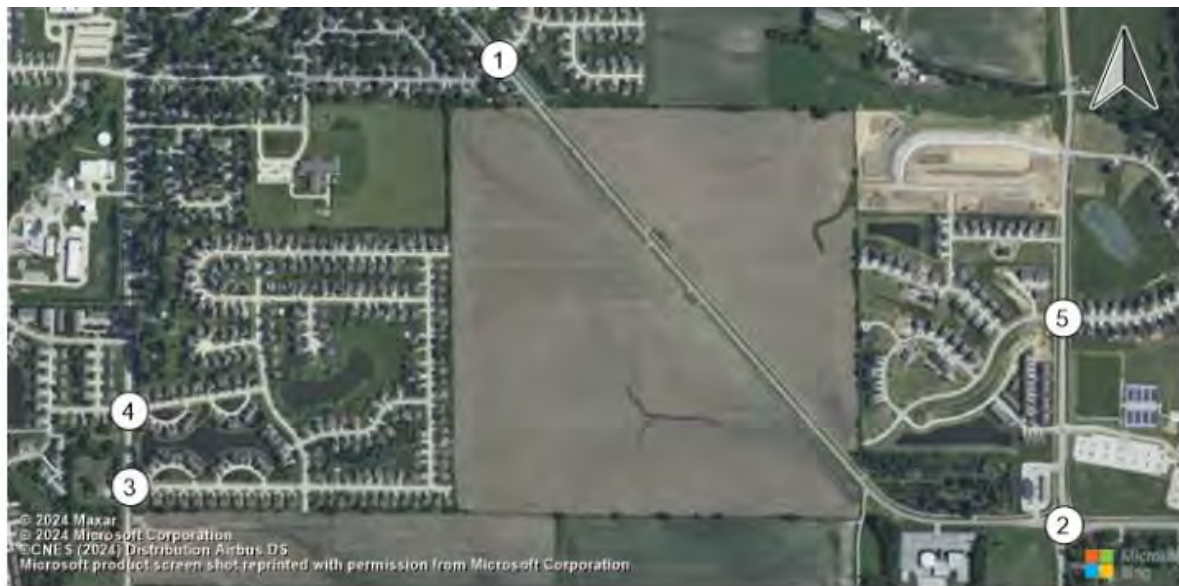


Figure 3: Existing 2025 PM Peak Hour Traffic Volumes

Section 4 Proposed Development

4.1 Proposed Site-Trip Generation

The estimated trip generation for this proposed project was determined through the procedures and data contained within the Institute of Transportation Engineers (ITE) Trip Generation, 11th Edition, published in 2023 (Trip Generation Manual). This document provides traffic volume data from existing developments throughout North America that can be utilized to estimate vehicle trips that might be generated from proposed developments. The estimated traffic volume is dependent upon independent variables defined by the characteristics and size of each land use category.

For the proposed residential developments, ITE land use code 210 – Residential Single-Family Detached Home, ITE land use code 215 – Residential Single-Family Attached Housing, and ITE land use code 220 – Multifamily Housing (Low Rise) were used for the analysis.

The proposed development will provide 194 duplex units, 276 single family housing units, and 220 multi-family housing units in total over the course of 14 phases. The first six phases will be constructed on the eastern side of Dubuque Street and the remaining eight phases will be constructed on the western side of Dubuque Street.

The trip generation was split into four groups, since different areas of the development will be closer to different primary access points. Group A is development phases 1 through 6. Group B is phases 7 and 12. Group C is phases 8 through 11, and Group D is phases 13 and 14.

Table 2 through **Table 5** summarize the trip generation for the proposed development. Group A represents the generated trips for the interim condition. Groups B, C, and D represent the following stages of the full buildout condition based on the relative location of the site phases.

Table 2: Trip Generation for Group A (Phases 1-6)

Land Use & ITE Code	Generated Trips						
	Units	Weekday		AM		PM	
		Entry	Exit	Entry	Exit	Entry	Exit
Duplex Lot - 215	54	195	194	6	20	18	12
Single Family (RS-6) - 210	30	142	140	5	16	18	11
Single Family (RS-9) - 210	53	251	247	10	28	32	18
Multi Family (townhomes) - 220	76	214	211	7	24	24	14
Multi Family (28-plex) - 220	56	190	188	6	16	18	10

Table 3: Trip Generation for Group B (Phases 7 and 12)

Land Use & ITE Code	Generated Trips						
	Units	Weekday		AM		PM	
		Entry	Exit	Entry	Exit	Entry	Exit
Duplex Lot - 215	50	181	179	6	18	17	11
Single Family (RS-6) - 210	13	62	61	2	7	8	4

Land Use & ITE Code	Generated Trips						
	Units	Weekday		AM		PM	
		Entry	Exit	Entry	Exit	Entry	Exit
Single Family (RS-9) - 210	12	57	56	2	6	7	4
Multi Family (townhomes) - 220	32	90	89	3	10	10	6
Multi Family (28-plex) - 220	28	95	94	3	8	9	5

Table 4: Trip Generation for Group C (Phases 8-11)

Land Use & ITE Code	Generated Trips						
	Units	Weekday		AM		PM	
		Entry	Exit	Entry	Exit	Entry	Exit
Duplex Lot - 215	26	94	94	3	10	10	6
Single Family (RS-6) - 210	24	114	113	5	13	14	9
Single Family (RS-9) - 210	120	569	565	20	65	70	44
Multi Family (townhomes) - 220	0	0	0	0	0	0	0
Multi Family (28-plex) - 220	0	0	0	0	0	0	0

Table 5: Trip Generation for Group D (Phases 13 and 14)

Land Use & ITE Code	Generated Trips						
	Units	Weekday		AM		PM	
		Entry	Exit	Entry	Exit	Entry	Exit
Duplex Lot - 215	64	231	229	7	24	22	14
Single Family (RS-6) - 210	19	90	89	3	10	11	7
Single Family (RS-9) - 210	5	24	23	1	3	3	2
Multi Family (townhomes) - 220	22	62	61	2	7	7	4
Multi Family (28-plex) - 220	28	94	94	3	8	9	5

4.2 Proposed Site-Trip Distribution

The final consideration related to site traffic is the determination of the direction the generated traffic utilizes to enter and exit the site. The development's proximity to nearby communities is discussed in *Section 3.1 Description of Surrounding Land Use*. The distribution of generated traffic was determined based on the type and number of destinations located in those communities relative to the land use category of the development.

Figure 4 depicts the entering and exiting trip distribution of the generated trips onto and off Dubuque Street. The main destinations are to/from the north on Dubuque Street, to/from the west towards Front Street, and to/from the north, south, and east at the roundabout on N Liberty Road and Dubuque Street.

The trip assignment was done separately for each phase group described in **Section 4.1** based on the closest primary access point to each phase group.

- Group A traffic will use the intersection of Seven Oaks Road and Dubuque Street, except for traffic heading north on N Liberty Road, which will use the connections to the neighborhood to

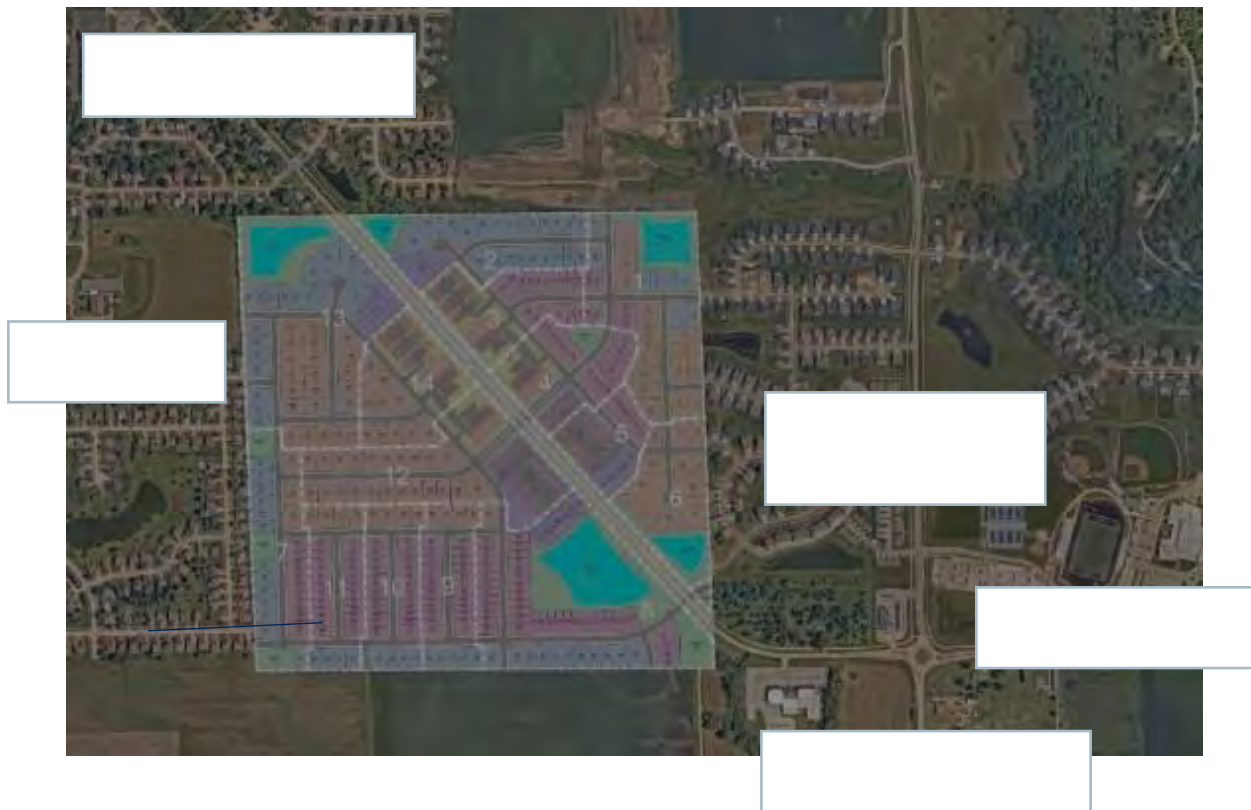
the east. See **Figure 5** for the trip assignment for Group A. Prior to the construction of the western half of the development, traffic to Front Street will use Juniper Street.

- Group B traffic will be split between the intersections of Seven Oaks Road and Dubuque Street, and of E Tartan Drive and Dubuque Street, except for traffic heading towards Front Street, which will use connections to the neighborhood to the west. See **Figure 6** for the trip assignment for Group B.
- Group C traffic will use the intersection of E Tartan Drive and Dubuque Street, except for traffic heading towards Front Street, which will use connections to the neighborhood to the west. See **Figure 7** for the trip assignment for Group C.
- Group D traffic will use the intersection of Seven Oaks Road and Dubuque Street, except for traffic heading towards Front Street, which will use connections to the neighborhood to the west. See **Figure 8** for the trip assignment for Group D.

4.3 Proposed Site-Trips Added to Street System

Based on the trip generation and trip distribution, new trips that can be expected from the proposed development have been added to the street system and the proposed driveways. **Figures 9, 10, 11, and 12** depict the new peak hour trips from the proposed residential development.

Figure 4: Overall Trip Distribution





*	Traffic to/from Seven Oaks Road
**	Traffic to/from Tartan Drive

Stanley Consultants, Inc. / MMS Consultants, Inc. / Sunset Prairie Traffic Impact Study

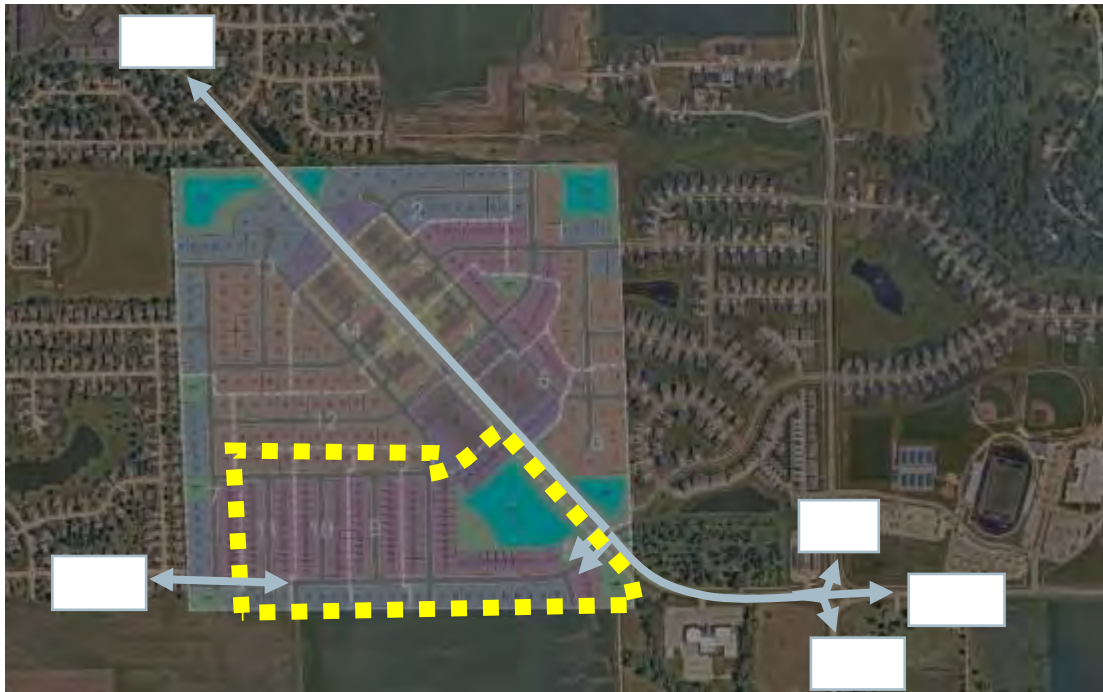


Figure 7: Trip Assignment (Group C)

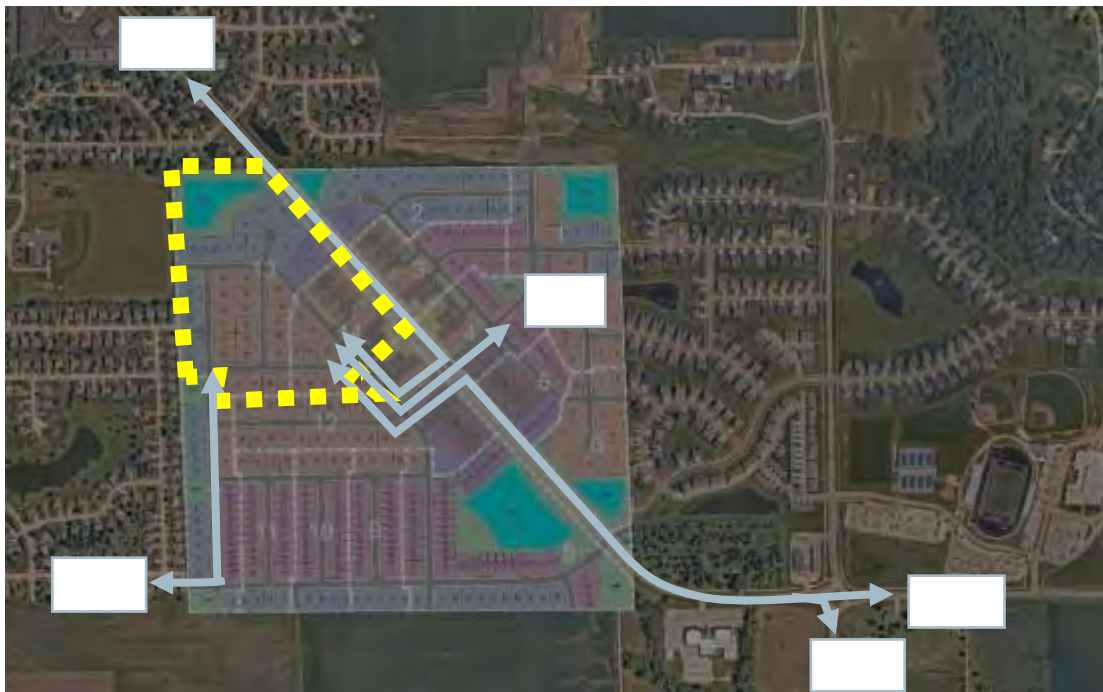


Figure 8: Trip Assignment (Group D)

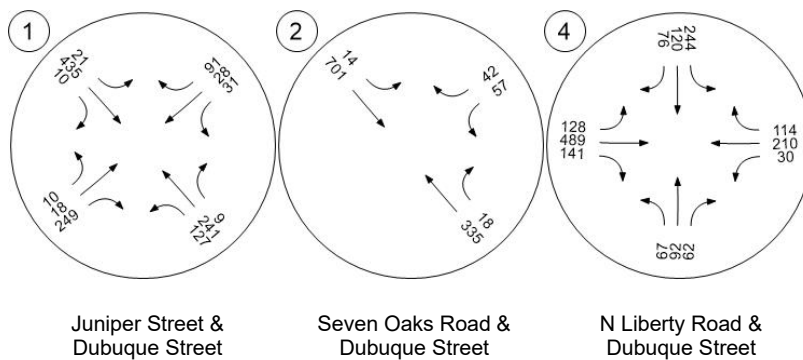


Figure 9: Generated Site Trips (2035 Interim Buildout AM Peak Hour)

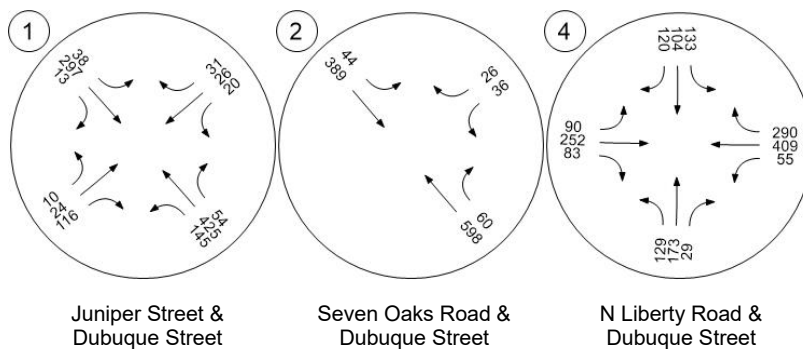


Figure 10: Generated Site Trips (2035 Interim Buildout PM Peak Hour)

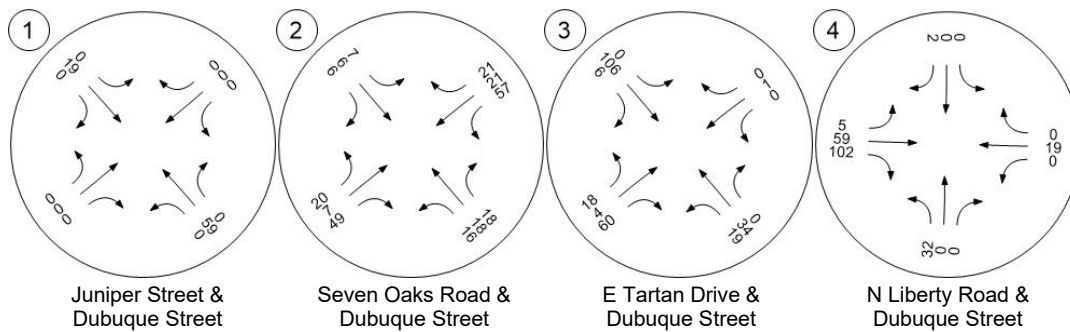


Figure 11: Generated Site Trips (2050 Full Buildout AM Peak Hour)

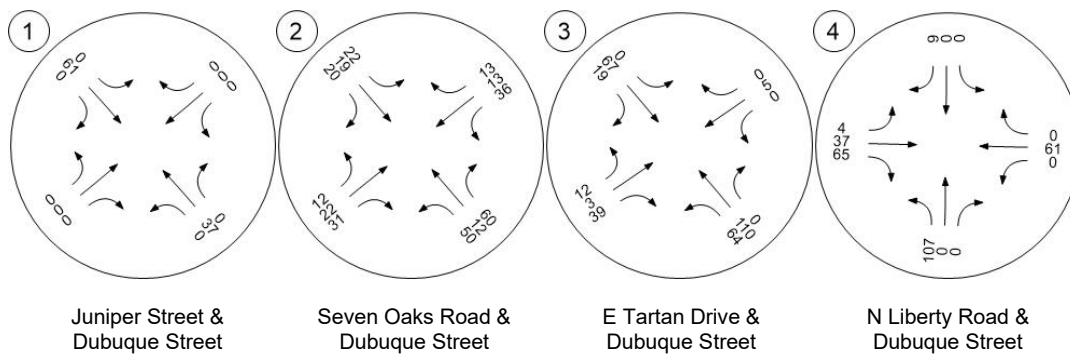


Figure 12: Generated Site Trips (2050 Full Buildout PM Peak Hour)

Section 5 Analysis of Future Conditions

For the traffic analysis, Dubuque Street is reported as an east-west facility.

5.1 Growth Rates

This study anticipates a 1.5 percent linear annual growth rate for Dubuque Street and a 1.4 percent linear annual growth rate for S Front Street near E Tartan Drive. The growth rate was provided by the Metropolitan Planning Organization (MPO) of Johnson County. This study will assume the same growth rates for 2035 through 2050 traffic volumes.

5.2 No Build Traffic Volumes

For purposes of this analysis, the first six phases of the proposed development are expected to be completed in the year 2035. The remainder of the 14 total phases will be completed by the year 2050. The surrounding street network needs to be analyzed for the interim and full buildout conditions; therefore, the future year No Build traffic volumes were calculated for the years 2035 and 2050. The 2035 No Build AM traffic volumes are shown in **Figure 13**, and the 2035 No Build PM traffic volumes are shown in **Figure 14**. The 2050 No Build AM traffic volumes are shown in **Figure 15**, and the 2050 No Build PM traffic volumes are shown in **Figure 16**.

The 2025 collected turning movement volumes were used for calculating future traffic volumes at the study intersections. The future traffic volumes at the study intersections for the years 2035 and 2050 were calculated by applying growth rates shown in **Section 5.1 Growth Rates**, to the existing turning movement volumes.

5.3 Future Roadway Network

The City of North Liberty is planning on installing a single-lane roundabout at the intersection of Juniper Street and Dubuque Street, so all future year analyses show this intersection as a roundabout. The intersection of Dubuque Street and E Tartan Drive is planned to be a single-lane roundabout, which is shown in all 2050 build scenarios.

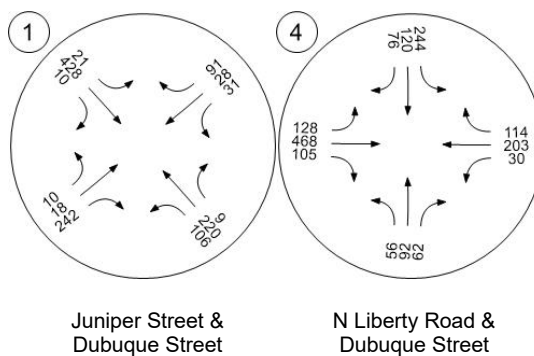


Figure 13: No Build 2035 AM and PM Peak Hour Traffic Volumes

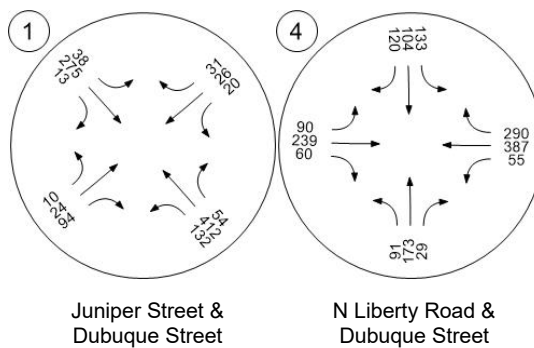


Figure 14: No Build 2035 PM Peak Hour Traffic Volumes

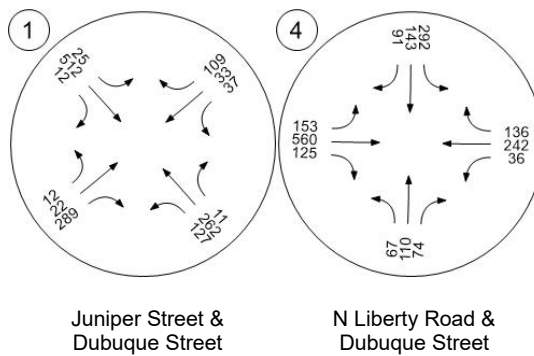


Figure 15: No Build 2050 AM Peak Hour Traffic Volumes

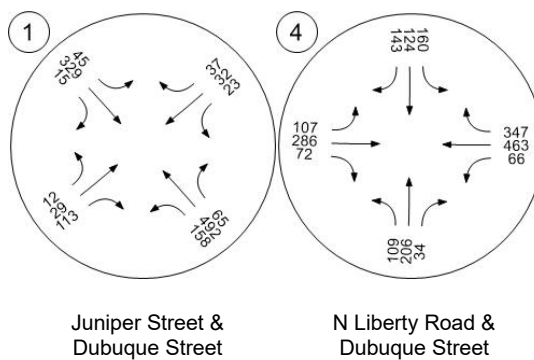


Figure 16: No Build 2050 PM Peak Hour Traffic Volumes

5.4 Build Traffic Volumes

Once the connection between E Tartan Drive and Dubuque Street is connected, it is anticipated that existing background traffic will divert to the new facility from other roads. The following diversions are assumed for all 2050 Full Buildout models:

- 80% of the eastbound right-turn and northbound left-turn traffic (the purple route shown in **Figure 17**) at the intersection of Juniper Street and Dubuque Street will divert to Tartan Drive (the green route shown in **Figure 17**).
- 40% of eastbound right-turn and northbound left-turn traffic (the blue route shown in **Figure 18**) at the intersection of E Tartan Drive and N Liberty Road will divert to E Tartan Drive, with 20% continuing north on Dubuque Street (the red route shown in **Figure 18**) and 20% using E Tartan Drive to access Front Street (the green route shown in **Figure 18**).
- 10% of eastbound right-turn and northbound left-turn traffic (the pink route shown in **Figure 18**) will divert to E Tartan Road and continue east on Dubuque Street (the orange route shown in **Figure 18**).

The full diverted trip volumes are shown in **Figure 19** and **Figure 20**.

The diverted traffic volumes make up a significant portion of the turning volumes at the intersection of E Tartan Drive and Dubuque Street. These volumes are summarized in **Table 6**.

Table 6: Comparison of Diverted and Site Trip Turning Volumes at E Tartan Road and Dubuque Street

Peak Hour	Site Trips	Diverted Trips	% Diversion
2050 AM	103	352	77.3%
2050 PM	134	234	63.6%

Overall, due to the diversion, the traffic volume at Dubuque Street and Juniper Street decreases by 342 vehicles and 221 vehicles in the AM and PM peak hours, respectively. This is greater than the increase in site trips at this intersection, which are 78 vehicles and 98 vehicles in the AM and PM peak hours, respectively.

The build scenarios for 2035 and 2050 represent impacts to the roadway network with a completed development. **Figure 21** and **Figure 22** represent the build volumes for the 2035 interim condition during the AM and PM peak hours, which includes both the No Build volumes from **Figure 13** and **Figure 14** with the generated trips represented in **Figures 9, 10, 11, and 12** and the diverted trips shown in **Figures 19 and 20**. These combined volumes were applied to the existing lane geometry of the intersections being analyzed.

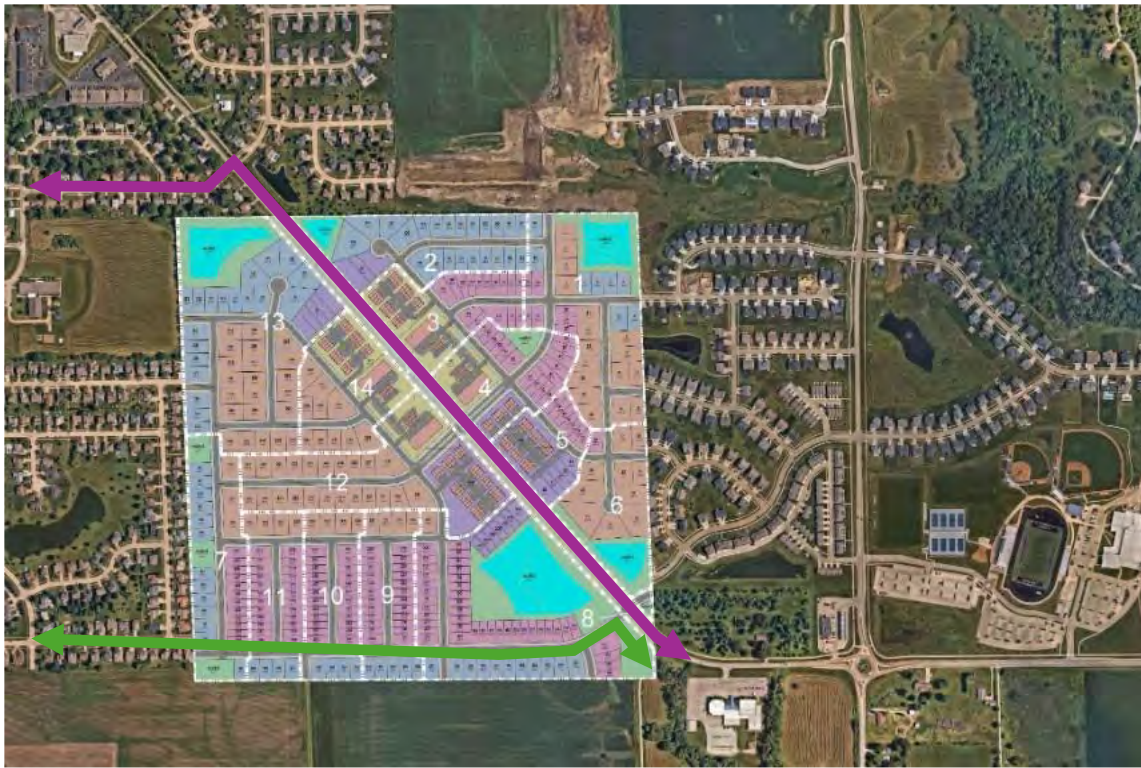


Figure 17: Trip Diversions (from Juniper Street and Dubuque Street)

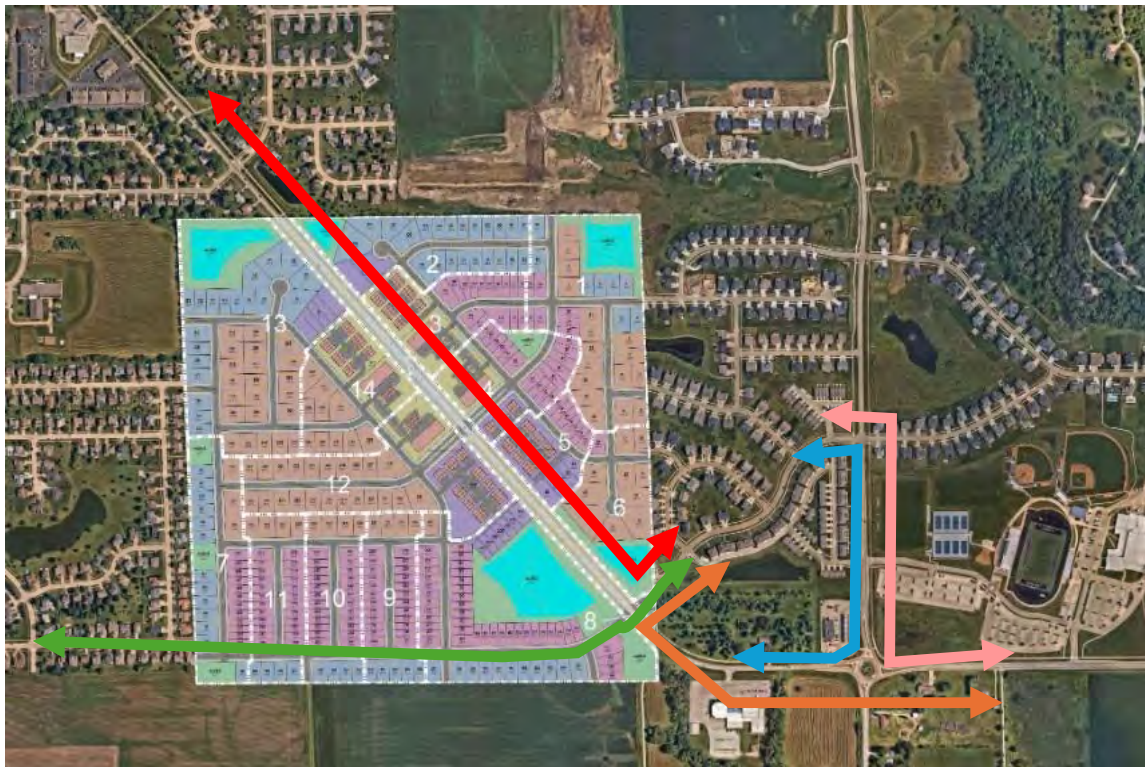


Figure 18: Trip Diversions (from E Tartan Drive and N Liberty Road)

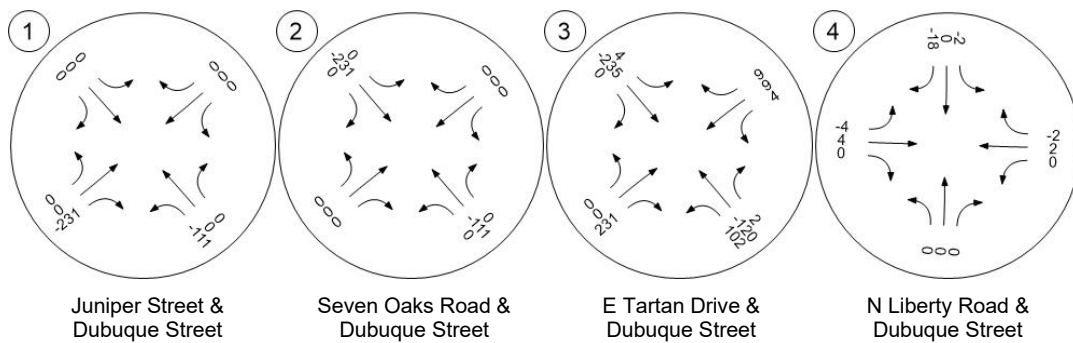


Figure 19: Build 2050 AM Peak Hour Diverted Traffic Volumes

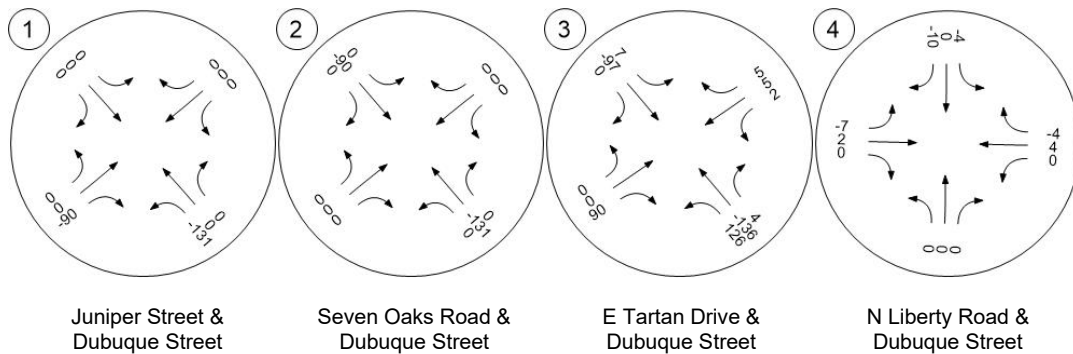


Figure 20: Build 2050 PM Peak Hour Diverted Traffic Volumes

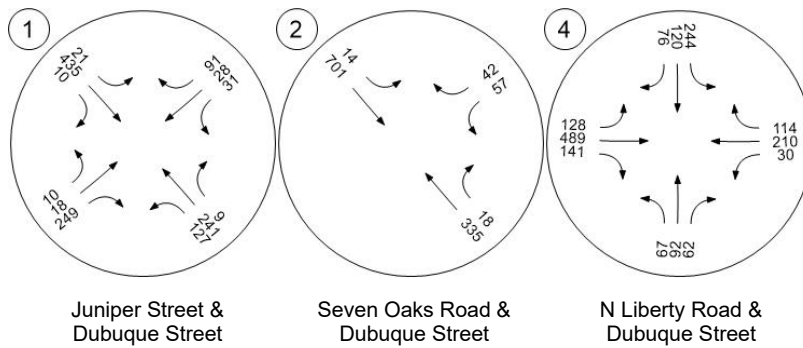


Figure 21: Build 2035 AM Peak Hour Traffic Volumes (Interim)

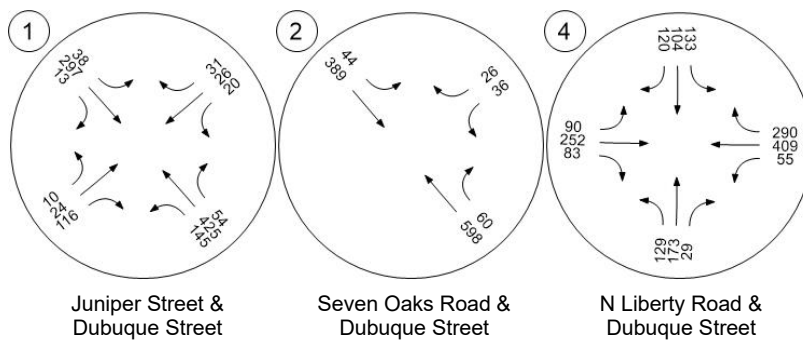


Figure 22: Build 2035 PM Peak Hour Traffic Volumes (Interim)

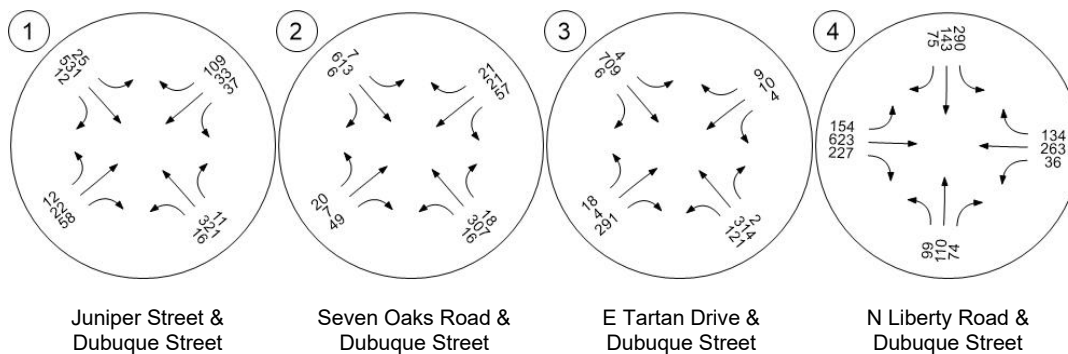


Figure 23: Build 2050 AM Peak Hour Traffic Volumes (Full-Buildout)

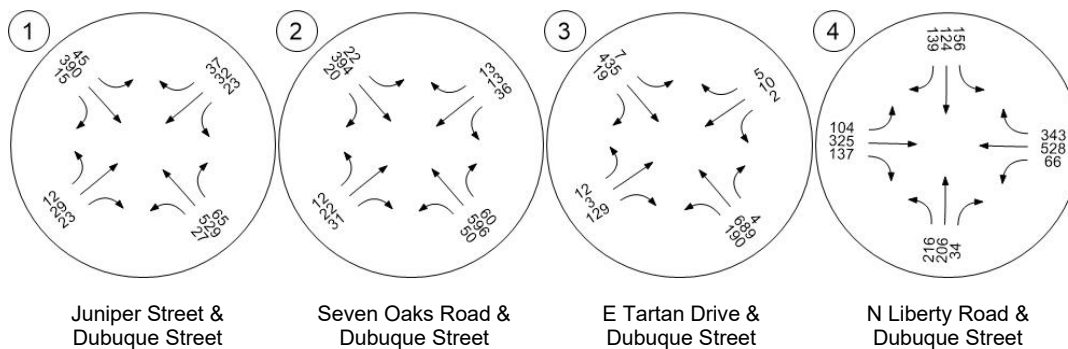


Figure 24: Build 2050 PM Peak Hour Traffic Volumes (Full-Buildout)

5.5 Auxiliary Lane Criteria

With increased traffic volumes due to either natural growth or area development, the roadway network may require auxiliary (left-turn and right-turn) lanes to maintain acceptable LOS for intersections. Dubuque Street is considered an urban facility, therefore, using the Iowa DOT Design Manual Chapter 6A-1 for rural, two-lane highways to determine auxiliary turn lane warrants is not applicable.

For right-turn lanes, SUDAS references the warrant methodology in the National Cooperative Highway Research Program (NCHRP) Report 457, Chapter 2. NCHRP Report 457 defines volume and speed criteria to determine if a right-turn lane is warranted at a two-way stop-controlled intersection. This criterion is shown in **Figure 25** and **Figure 26**. To use the figures, peak hour approach and right turning volumes were applied, and points falling to the right of the respective curves at variable speed limits warrant a right-turn lane.

For left-turn lanes, SUDAS references the warrant methodology from NCHRP Report 745 Chapter 2. The criteria are shown in **Figure 27** and **Figure 28**. Since left turn lanes are warranted, the length is developed using the criteria in **Table 8**, which recommends 120 feet of storage for deceleration and **Table 9** which recommends 50 feet of storage for queueing, so 170 feet are recommended for all left turn lanes.

These warrants are only applicable for two-way stop control intersections. Other intersection types, such as roundabouts, use traffic analysis results to determine if auxiliary lanes are warranted. Therefore, auxiliary lane criteria are only evaluated for the intersection of Seven Oaks Drive and Dubuque Street.

Table 7 summarizes the results of the auxiliary lane warrant evaluations based on NCHRP 457 Chapter 2 for right-turn lane design and NCHRP 745 Chapter 2 for left turn lane design.

Table 7: Auxiliary Lane Warrants

Intersection	Scenario	Left Turn Warrants		Right Turn Warrants	
		Eastbound	Westbound	Eastbound	Westbound
Seven Oaks Road and Dubuque Street	2035 Interim	Warranted	N/A	N/A	Not Warranted
	2050 Full Build	Warranted	Warranted	Not Warranted	Not Warranted

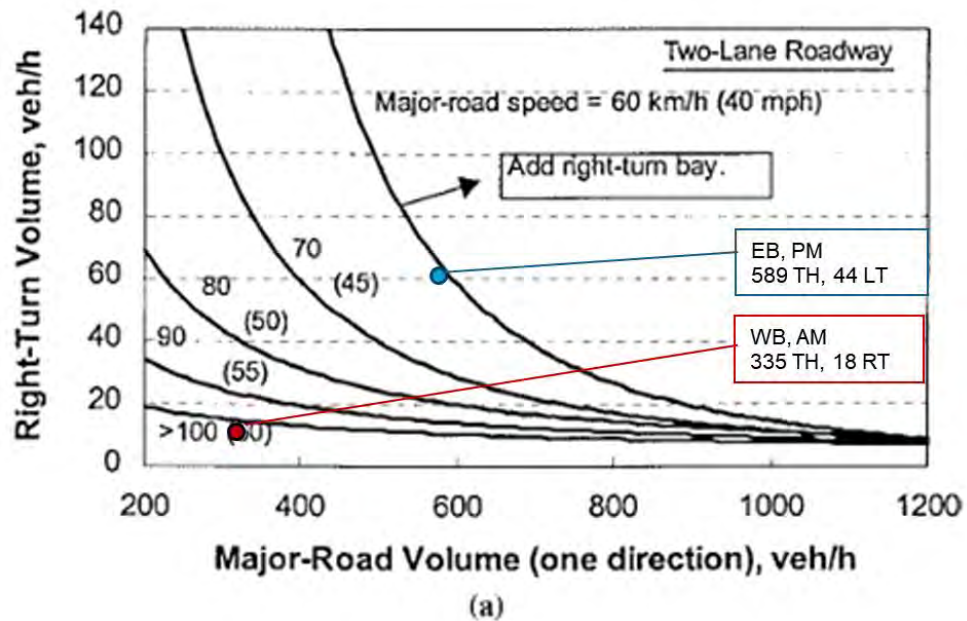


Figure 25: Two-Lane Roadway Right-Turn Warrants (NCHRP 457, Interim Buildout)

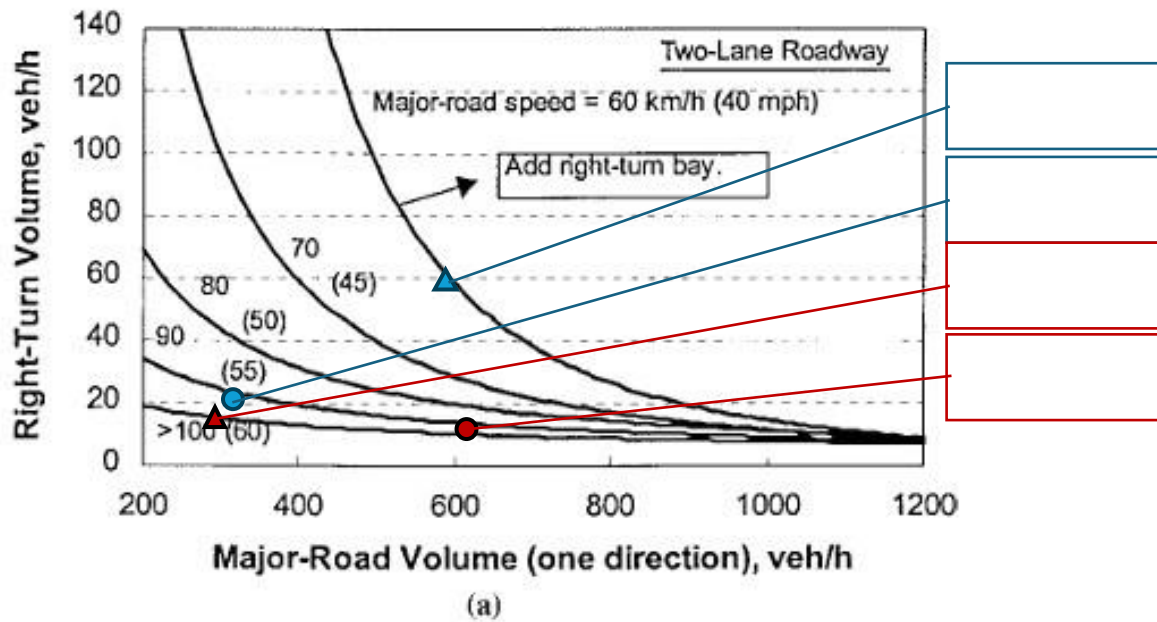


Figure 26: Two-Lane Roadway Right-Turn Warrants (NCHRP 457, Full Buildout)

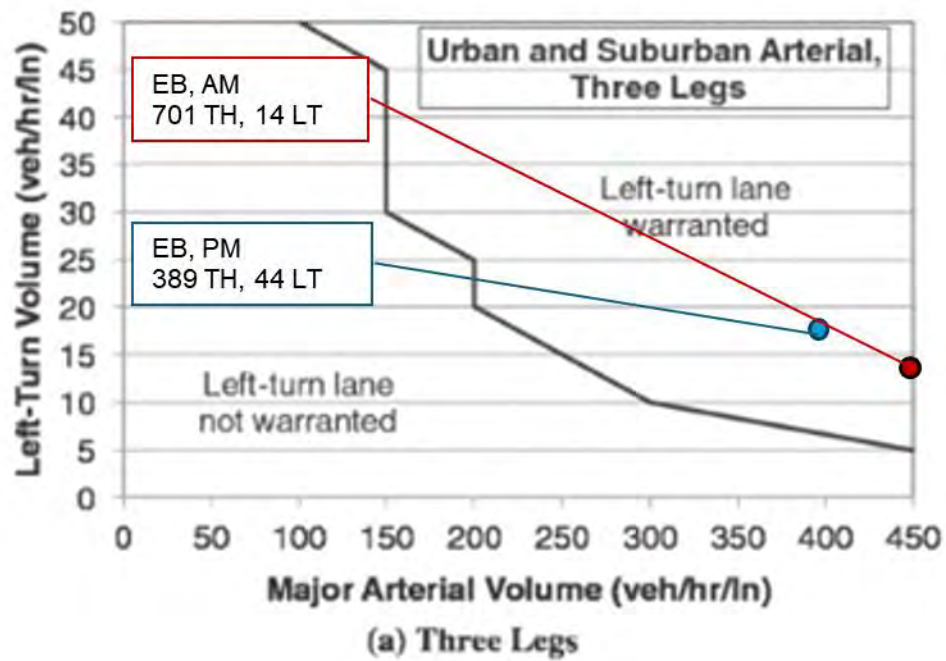


Figure 27: Two-Lane Highway Left-Turn Warrants (NCHRP 745, Interim buildout)

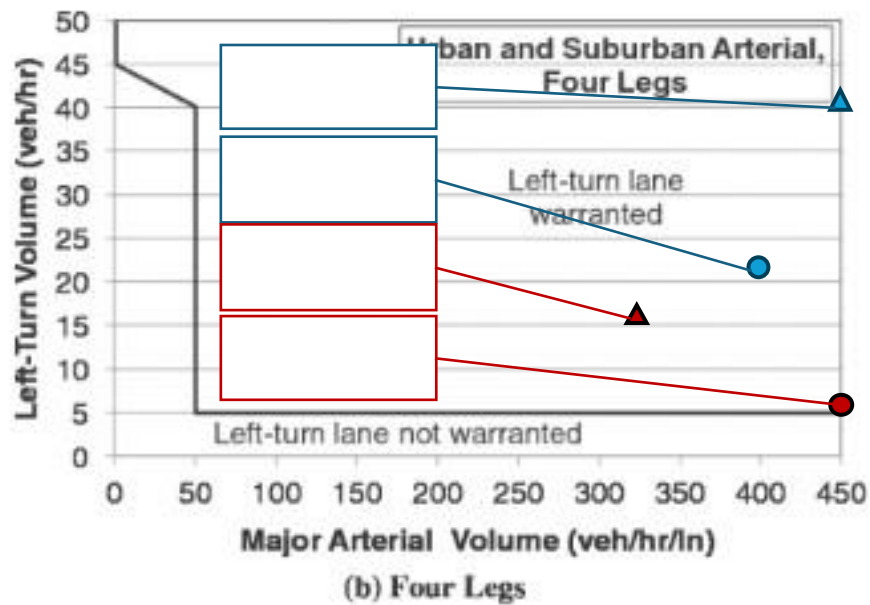


Figure 28: Two-Lane Highway Left-Turn Warrants (NCHRP 745, Full buildout)

Table 8: Left Turn Lane Deceleration Lengths (NCHRP 745 Table 6)

Design Speed (mph)	Deceleration Lengths (6.0 ft/sec ² Deceleration Rate)	
	No Speed Reduction in Main Lanes	10-mph Speed Reduction in Main Lanes
30	170	80
35	230	120
40	290	170
45	370	230
50	460	290
55	550	370
60	650	460
65	770	550

Table 9: Recommended Left Turn Storage Lengths (NCHRP 745 Table 8, 2050 volumes)

Left-Turn Volume (veh/hr)	Storage Lengths Calculated from Equations ^b Documented in <i>NCHRP Report 457</i> Using Revised Critical Gaps and 0.005 Probability of Overflow				
	Opposing Volume (veh/hr)				
	200	400	600	800	1000
Critical Gap = 5.0 sec, Follow-Up Gap = 2.2 sec (Represents the 50th Percentile Critical Gap Found in Field Studies)					
40	50	50 ^{2,3}	50 ¹	50	50
60	50	50	50 ⁴	50	50
80	50	50	50	50	50
100	50	50	50	50	75
120	50	50	50	75	75
140	50	50	50	75	75
160	50	50	75	75	100
180	50	50	75	75	100
200	50	75	75	100	125
220	50	75	75	100	125
240	75	75	100	125	150
260	75	75	100	125	175
280	75	75	100	125	175
300	75	100	125	150	200

¹ Eastbound AM ² Eastbound PM ³ Westbound AM ⁴ Westbound PM

5.6 No Build Traffic Analysis Results

Summaries of delay and level of service are shown in **Table 10** and **Table 11**. See **Appendix D** for the full results tables.

The no build analysis shows that the proposed roundabout at Juniper Street and Dubuque Street will have all approaches with LOS B or better in both 2035 and 2050, and an overall LOS A for the intersections in all peak hours.

The 2035 No Build model shows all movements at the roundabout at N Liberty Road and Dubuque Street with LOS D or better. The 2050 No Build model shows LOS F for the eastbound approach at the roundabout in the PM peak hour, and the northbound and eastbound approaches with LOS D in the AM peak hour.

5.7 Build Traffic Analysis Results

Summaries of delay and level of service are shown in **Table 10** and **Table 11**. See **Appendix E** for the full results tables.

N Liberty Road and Juniper Street

At the intersection of Juniper Street and Dubuque Street, all movements have LOS A, and improved delay compared to the No Build Analysis. At this intersection, the Build volumes are lower than No Build volumes due to the diversion to E Tartan Drive.

N Liberty Road and Dubuque Street

As mentioned in **Section 5.6**, the roundabout at N Liberty Road and Dubuque Street is expected to have severe performance issues in the No Build condition due to increased background traffic. The primary movement that is expected to have operational constraints is the westbound approach, which will likely need additional turn lanes constructed to accommodate the traffic that is not due to the development. The 2050 analysis for this approach also has LOS F. The eastbound and northbound approaches in the AM peak hour and the southbound approach in the PM peak hour are expected to be LOS E and may need additional capacity in the future as well. The additional site trips through the intersection represent 9% and 12% of the total volume at the intersection in 2050, so the decrease in performance is primarily due to the increased background traffic and not due to the development.

Seven Oaks Road and Dubuque Street

Two different configurations for the intersection of Seven Oaks Road and Dubuque Street were modeled: a two-way stop controlled (TWSC) intersection and a single-lane roundabout. In the 2035 analysis, the intersection has three legs, and the 2050 analysis has four legs.

Based on the auxiliary lane analysis, left-turn lanes are warranted for a TWSC condition. However, for the 2035 model, no turn lanes were included to determine how the intersection would operate without turn lanes. In the 2035 model, the eastbound approach has LOS A even without a turn lane. The southbound approach exiting the development shows LOS D for the southbound lefts and LOS C for the southbound rights in both the AM and PM peak hours.

In the 2050 build analysis, eastbound and westbound left-turn lanes were modeled. The left turns on Dubuque Street have LOS A. The northbound approach has LOS D in the AM peak hour and LOS E in the PM peak hour. The southbound approach has LOS E in the AM peak hour and LOS F in the PM peak hour. The main cause of the delay is a lack of gaps for left-turning vehicles exiting the development. Based on the congestion at this intersection in the TWSC configuration, drivers leaving the neighborhood will likely divert and exit at the roundabout at E Tartan Drive, which has excess capacity as shown in the next section.

The analysis with a roundabout at Seven Oaks Road and Dubuque street shows LOS A for all approaches and all peak hours for the 2035 and 2050 analysis year.

E Tartan Drive and Dubuque Street

All models show E Tartan Drive and Dubuque Street as a single-lane roundabout. In all models and peak hours, all movements have LOS A, except for the northbound approach which has LOS C during the AM Peak hour due to heavy northbound right-turn movements. The roundabout configuration is expected to operate with adequate service and no operational limitations.

Table 10: LOS & Delay Analysis (AM Peak Hour)

Intersection	Analysis Year	Movement LOS [Delay]												
		Northbound			Southbound			Eastbound			Westbound			Overall Intersection
		Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	
Juniper St & Dubuque St	Existing	D [29.6]	C [24.18]	C [16.12]	E [40.58]	D [26.29]	C [17.06]	A [7.67]	A [0]	A [0]	A [8.25]	A [0]	A [0]	E [7.6]
	No Build 2035	A [8.84]			A [5.41]			A [7.74]			A [5.32]			A [7.03]
	Interim 2035	A [9.09]			A [5.71]			A [8.14]			A [5.69]			A [7.34]
	No Build 2050	B [11.97]			A [6.29]			A [9.74]			A [6.01]			A [8.78]
	Full Build 2050	A [6.65]			A [5.86]			A [8.13]			A [5.52]			A [6.91]
Seven Oaks Rd & Dubuque St	Interim 2035 (TWSC)	-			D [28.81]	-	C [17.06]	A [8.07]	A [0]	A [0]	-	A [0]	A [0]	D [2.12]
	Interim 2035 (Roundabout)	-			A [4.93]			B [10.03]			A [5.26]			A [8.15]
	Full Build 2050 (TWSC)	D [31.8]	D [26.62]	C [17.75]	E [45.53]	E [39.57]	D [28.14]	A [7.99]	A [0]	A [0]	A [8.98]	A [0]	A [0]	E [5.19]
	Full Build 2050 (Roundabout)	A [7.1]			A [4.98]			A [9.24]			A [5.31]			A [7.55]
E Tartan Dr & Dubuque St	Full Build 2050	C [15.7]			A [4.69]			B [12.23]			A [6.09]			B [11.04]
N Liberty Rd & Dubuque St	Existing	B [11.1]			A [7.97]			B [11.04]		A [4.5]	A [6.79]			A [8.98]
	No Build 2035	B [14.78]			A [9.65]			C [15.16]		A [4.93]	A [7.91]			B [11.57]
	Interim 2035	C [16.07]			A [9.99]			C [16.16]		A [5.35]	A [8.17]			B [12.16]
	No Build 2050	D [25.65]			B [13.39]			D [31.06]		A [5.64]	B [10.05]			C [19.96]
	Full Build 2050	E [38.22]			B [14.61]			E [44.21]		A [7.12]	B [11.26]			D [26.52]

Table 11: LOS & Delay Analysis (PM Peak Hour)

Intersection	Analysis Year	Movement LOS [Delay]												
		Northbound			Southbound			Eastbound			Westbound			Overall Intersection
		Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	
Juniper St & Dubuque St	Existing	E [35.86]	D [29.24]	B [14.16]	E [43.57]	D [33.02]	C [19.39]	A [8.33]	A [0]	A [0]	A [7.97]	A [0]	A [0]	E [5.39]
	No Build 2035	A [5.35]			A [6.36]			A [6.57]			A [8.7]			A [7.55]
	Interim 2035	A [5.8]			A [6.57]			A [6.99]			A [9.1]			A [7.91]
	No Build 2050	A [6.21]			A [7.69]			A [7.89]			B [11.22]			A [9.45]
	Full Build 2050	A [5.37]			A [6.78]			A [7.04]			A [9.32]			A [8.09]
Seven Oaks Rd & Dubuque St	Interim 2035 (TWSC)	-			D [29.02]	-	C [18.11]	A [9.1]	A [0]	A [0]	-	A [0]	A [0]	D [1.66]
	Interim 2035 (Roundabout)	-			A [6.18]			A [6.2]			A [8.87]			A [7.72]
	Full Build 2050 (TWSC)	E [44.03]	E [37.23]	C [18.77]	F [64.88]	F [53.28]	E [37.67]	A [9.15]	A [0]	A [0]	A [8.39]	A [0]	A [0]	F [4.77]
	Full Build 2050 (Roundabout)	A [5.26]			A [6.65]			A [6.89]			A [9.9]			A [8.47]
E Tartan Dr & Dubuque St	Full Build 2050	A [6.34]			A [7.6]			A [8.64]			B [12.95]			B [10.94]
N Liberty Rd & Dubuque St	Existing	A [9.09]			B [12.28]			A [6.97]		A [4.03]	D [25.64]			C [16.01]
	No Build 2035	A [9.67]			B [13.44]			A [7.29]		A [4.11]	D [31.77]			C [18.93]
	Interim 2035	B [10.93]			C [15.36]			A [7.48]		A [4.33]	E [44.5]			C [24.41]
	No Build 2050	B [13.56]			C [23.14]			A [9.11]		A [4.51]	F [106.11]			F [52.63]
	Full Build 2050	C [22]			E [42.4]			A [9.79]		A [5.22]	F [206.79]			F [95.23]

Section 6 Conclusions and Recommendations

6.1 Summary of Analysis

The existing models show some operational deficiencies at the intersection of Juniper Street and Dubuque Street, and adequate performance at the intersection of N Liberty Road and Dubuque Street. The No Build analysis shows operational deficiencies at the intersection of N Liberty Road and Dubuque Street with LOS E or worse for some approaches in the PM peak hour.

The Build analysis shows that the intersection of Seven Oaks Road and Dubuque Street has the best performance with a roundabout configuration. A two-way stop-controlled intersection shows adequate performance in 2035, but poor performance in the 2050 full buildout conditions. However, since the intersection of E Tartan Drive will have excess capacity, it is expected that neighborhood traffic will divert to that intersection when exiting.

The Build analysis shows the proposed roundabout at E Tartan Drive and Dubuque Street will have adequate traffic operations and excess capacity. All approaches expected to operate at LOS C or better.

6.2 Recommendations

At the existing intersection of Juniper Street and Dubuque Street, the proposed roundabout project planned by the city will have adequate operations in all future year analyses. The full development buildout is expected to reduce volumes through this intersection.

At the existing intersection of N Liberty Road and Dubuque Street, there will be operational concerns arising primarily from background traffic growth, and not from the proposed development. Additional turn lanes or capacity should be considered at this location in the future but are not recommended as part of this development. The additional site trips through the intersection represent 9% and 12% of the total volume at the intersection in 2050, so the decrease in performance is primarily due to the increased background traffic and not due to the development.

At the intersection of Seven Oaks Road and Dubuque street, the following improvements are recommended:

- A single-lane roundabout is recommended under both interim and full buildout conditions.
- A two-way stop-controlled (TWSC) intersection is acceptable.
 - Until 2035, and when the intersection only has three legs, an eastbound left-turn lane is warranted, but not required for adequate operations on Dubuque Street.
 - After 2035, or when the intersection has four legs, eastbound and westbound left-turn lanes are warranted and required for adequate operations on Dubuque Street.
 - Per the methodology of NCHRP 745, all turn lanes are recommended to have 170 feet of full-width storage plus a 12:1 taper.

At the new intersection of E Tartan Drive and Dubuque Street, a single-lane roundabout will have adequate performance in all analysis scenarios and is recommended for the best performance. A significant portion of the traffic (64% in the AM and 77% in the PM) is expected to be diverted from the cut through from Front Street to Dubuque Street using Hackberry Street and Juniper Street, and not from site traffic from this development.



Stanley Consultants INC.

www.stanleyconsultants.com





May 7, 2025

Chris Hoffman, Mayor
City of North Liberty
360 North Main Street
North Liberty IA 52317

Re: Watts Group Development, Inc. has submitted a Zoning Map Amendment (Rezoning) from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 15.21 acres, RS-9 Single-Unit Residence District on approximately 11.30 acres, RD-10 Two-Unit Residence District on approximately 16.59 acres, RM-12 Multi-Unit Residence District on approximately 7.17 acres and RM-14 Multi-Unit Residence District on approximately 8.05 acres. The property contains approximately 58.32 acres and is located on the east side of South Dubuque Street west of the west termini of Ogden Lane, Mary Lane, Kaiser Street and East Tartan Drive.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its May 7, 2025 meeting. The Planning Commission took the following action:

Finding:

1. The rezoning request from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 15.21 acres, RS-9 Single-Unit Residence District on approximately 11.30 acres, RD-10 Two-Unit Residence District on approximately 16.59 acres, RM-12 Multi-Unit Residence District on approximately 7.17 acres and RM-14 Multi-Unit Residence District on approximately 8.05 acres would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

Recommendation:

The Planning Commission accepted the listed finding and forwards the request for zoning map amendment (rezoning) from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 15.21 acres, RS-9 Single-Unit Residence District on approximately 11.30 acres, RD-10 Two-Unit Residence District on approximately 16.59 acres, RM-12 Multi-Unit Residence District on approximately 7.17 acres and RM-14 Multi-Unit Residence District on approximately 8.05 acres to the City Council with a recommendation for approval.

The vote for approval was 5-0.

Barry A'Hearn, Vice Chairperson
City of North Liberty Planning Commission



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **May 2, 2025**
Re **Watts Group Development, Inc. has submitted a Zoning Map Amendment (Rezoning) from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 15.21 acres, RS-9 Single-Unit Residence District on approximately 11.30 acres, RD-10 Two-Unit Residence District on approximately 16.59 acres, RM-12 Multi-Unit Residence District on approximately 7.17 acres and RM-14 Multi-Unit Residence District on approximately 8.05 acres. The property contains approximately 58.32 acres and is located on the east side of South Dubuque Street west of the west termini of Ogden Lane, Mary Lane, Kaiser Street and East Tartan Drive.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo.

1. Request Summary:

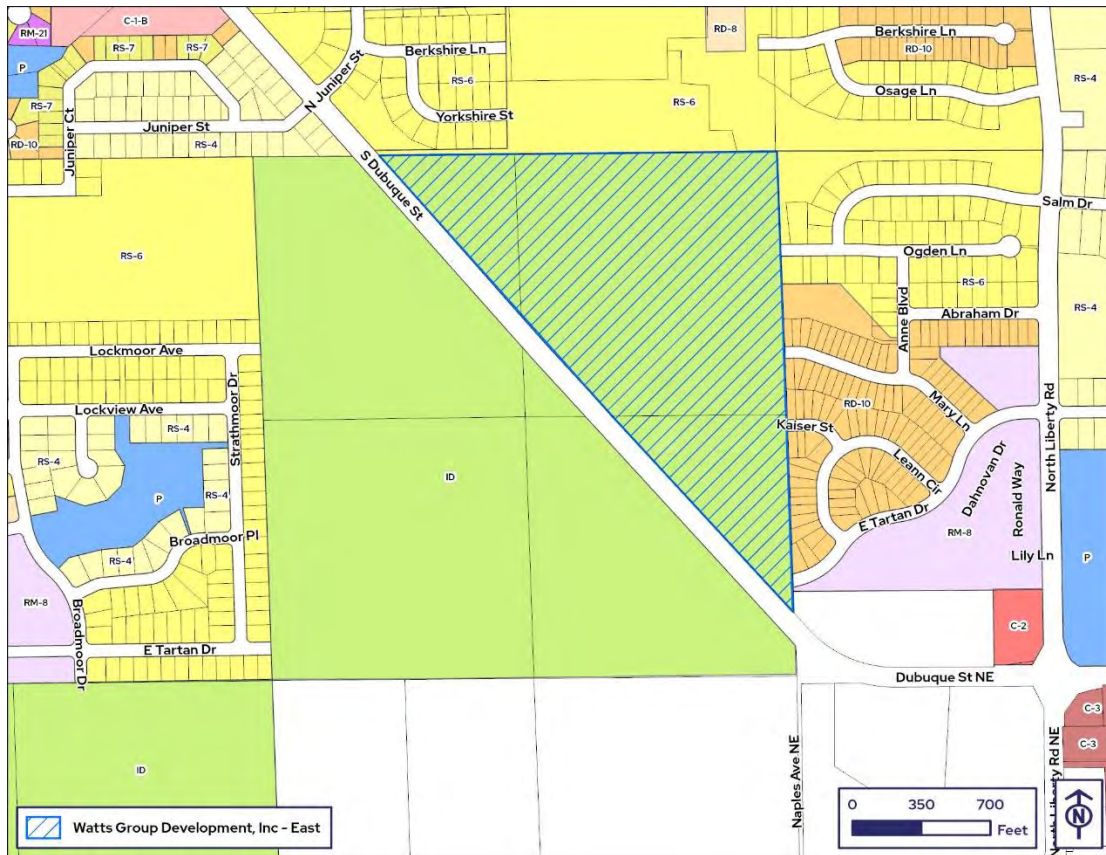
The purpose of the request is to ultimately develop the property with a mix of housing types and related infrastructure. This is a significant development in an area with existing utilities and would create important street connections.



2. Current and Proposed Zoning:

Current Zoning

ID. The ID District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas.



Proposed Zoning

RS-6. The RS-6 District is intended to provide for and maintain moderate density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-6 District.

Minimum Lot Area	Maximum Building Height	Minimum Required Front Yard	Minimum Required Corner Side Yard	Minimum Required Side Yard	Minimum Required Rear Yard
7,000 SF	35'	25'	25'	8'	30'

RS-9. The RS-9 District is intended to provide for and maintain high-density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-9 District.

Minimum Lot Area	Maximum Building Height	Minimum Required Front Yard	Minimum Required Corner Side Yard	Minimum Required Side Yard	Minimum Required Rear Yard
4,500 SF	35'	20'*	25'	5'	25'

*Garage doors facing a public street shall be setback a minimum of 25'

RD-10. The RD-10 District is intended to allow for attached single-unit dwellings joined together on a common boundary line with a common wall between the units. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RD-10 District.

Minimum Lot Area	Maximum Building Height	Minimum Required Front Yard	Minimum Required Corner Side Yard	Minimum Required Side Yard	Minimum Required Rear Yard
9,000 SF	35'	25'	25'	5'	30'

RM-12. The RM-12 District is intended to provide and maintain medium-density, multiple-unit housing residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RM-12 District.

Maximum Density	Maximum Building Height	Minimum Required Front Yard	Minimum Required Corner Side Yard	Minimum Required Side Yard	Minimum Required Rear Yard
12 DU/Acre	35'	25'*	25'*	5' if that side yard abuts RM District, otherwise 15'	30'

* Townhouses may reduce setback to a minimum of 20' except when garage doors face a public street. Notwithstanding the foregoing, there shall be a minimum setback of 20' to any sidewalk or street edge

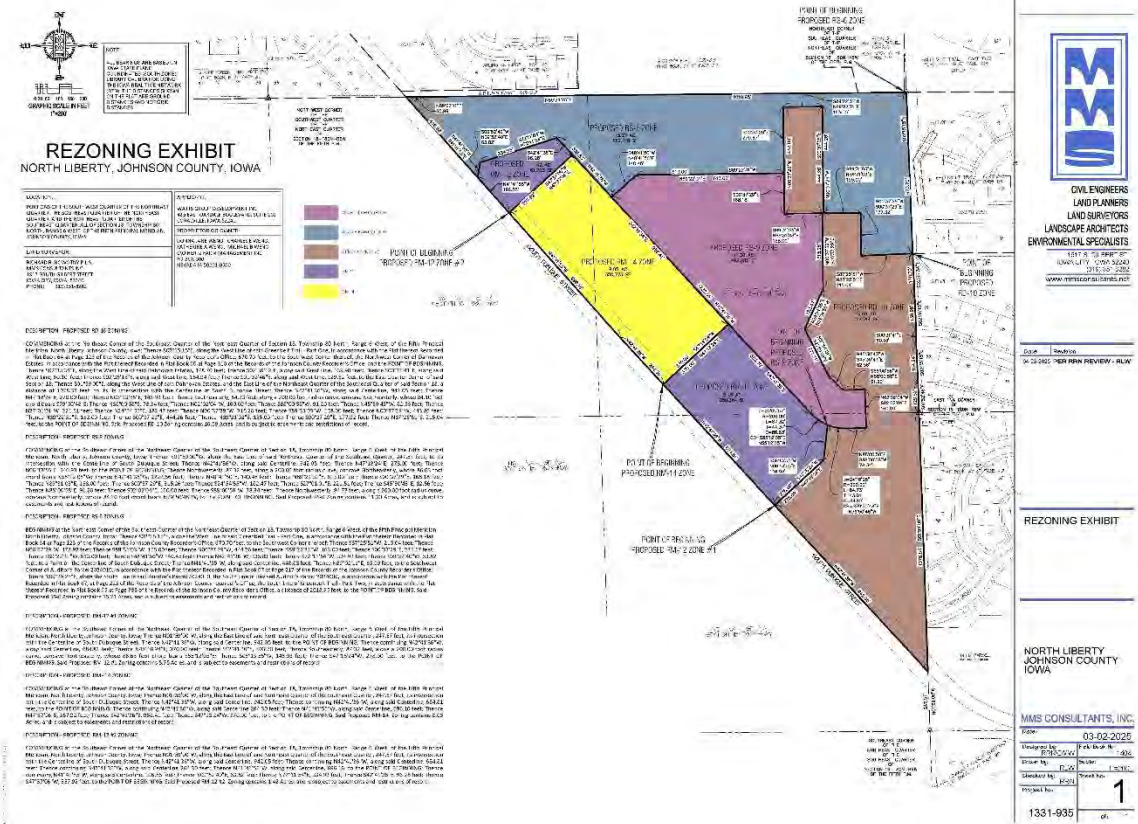
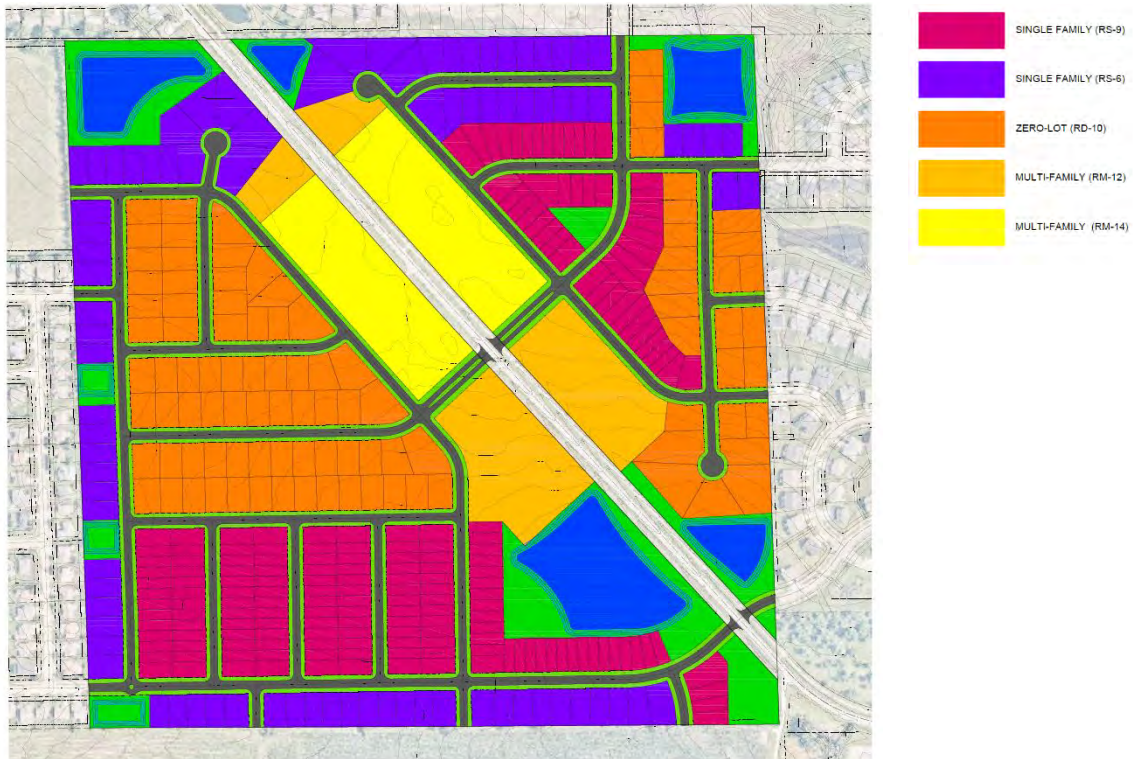
RM-14. The RM-14 District is intended to provide and maintain medium-density, multiple-unit housing residential neighborhoods with a maximum residential density of 14 units/acre. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RM-14 District.

*RM-14 is a proposed zoning district, which will ultimately need to be approved by the City Council. The Planning Commission unanimously recommended approval of the proposed district at its April 1 meeting.

Maximum Density	Maximum Building Height	Minimum Required Front Yard	Minimum Required Corner Side Yard	Minimum Required Side Yard	Minimum Required Rear Yard
14 DU/Acre	35'	25'*	25'*	5' if that side yard abuts RM District, otherwise 15'	30'

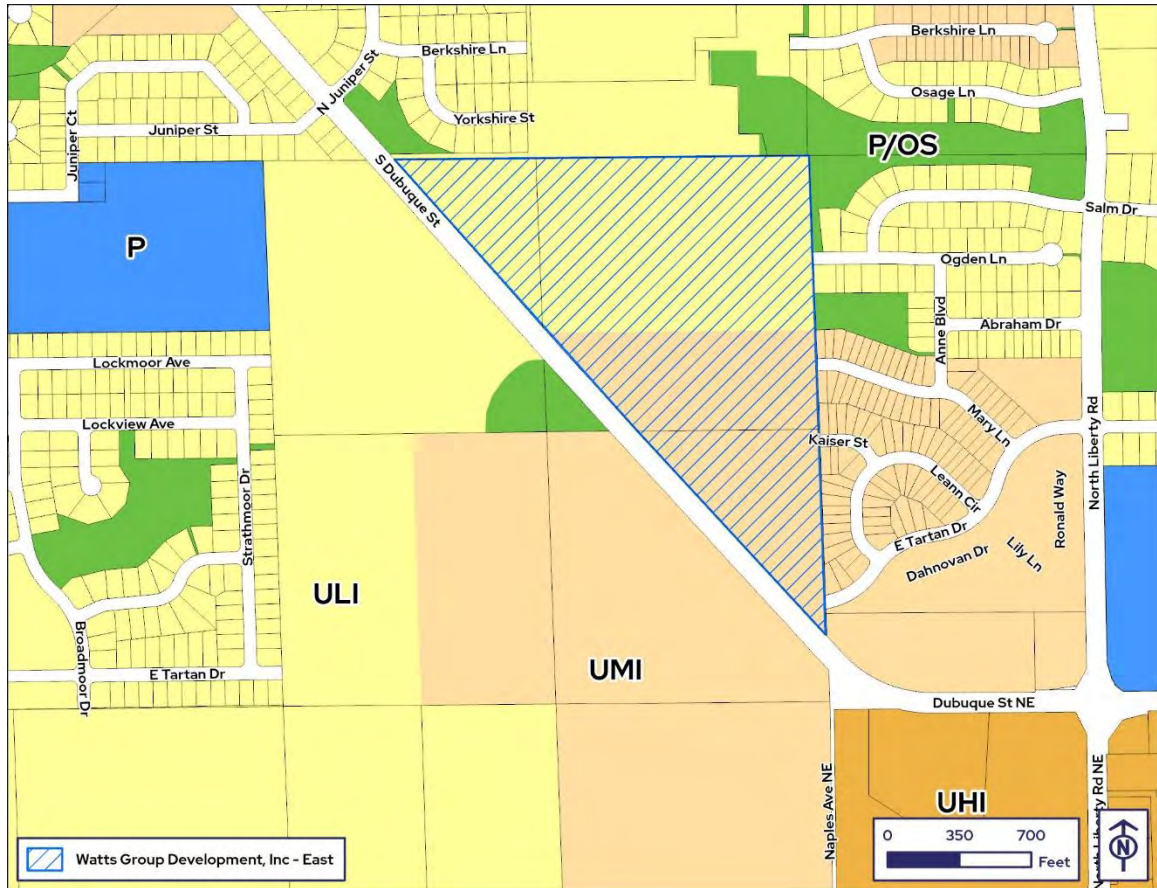
* Townhouses may reduce setback to a minimum of 20' except when garage doors face a public street. Notwithstanding the foregoing, there shall be a minimum setback of 20' to any sidewalk or street edge

Below is a conceptual subdivision plan for the west and east side of the property.



3. Consistency with Comprehensive Plan:

Future Land Use Map (FLUM) designations: 32.39 acres of Urban Low Intensity (ULI) and 22.36 acres of Urban Medium Intensity (UMI). Please note acreage excludes South Dubuque Street right-of-way.



Urban Low Intensity Description

An efficient, walkable pattern of lower-density development. Compared to denser areas, ULI has more space and separation of uses, with farther distances between destinations and fewer shared amenities. Low-intensity areas can include a horizontal mix of primarily residential and limited non-residential uses at compatible lower densities and scales.

Residential

Emphasis on single-family detached and attached residential developments. Attached housing projects may primarily be at transition areas between arterial or collector streets, small scale commercial uses, and higher intensity districts.

Form and Features

- » General aggregate development density of 3 to 8 units per acre. Lot sizes can vary within developments to provide different housing types.
- » A framework of streets and open space should create neighborhoods and multiple access points for all types of transportation.
- » Open spaces, streets, and trail connections integrate with the larger community.

Urban Medium Intensity Description

More variety in housing arrangements and more allowance for activity areas that draw people from outside the immediate area for services or recreation. Increased intensity (compared to ULI) improves opportunities for economic activity and social interaction. Medium intensity areas include mostly a horizontal mix of residential and non-residential uses at compatible moderate densities and scale, although there may be opportunities for vertical mixed-use.

Residential

Uses include a variety of housing types that may be on smaller lots. Housing mix can include single-family detached homes, duplexes, townhomes, and multifamily buildings to create integrated neighborhoods.

Form and Features

- » General aggregate development density of 7 to 14 dwelling units per acre. Innovative designs should allow more public spaces than ULI.
- » Attached housing developments maintain the identity of the individual housing units.
- » High connectivity with multiple access points into neighborhoods. As compared to ULI, UMI encourages closer proximity between transportation, housing, and commercial services.

Parks/Open Space Description

Some areas contain valuable environmental features that should not be developed or that would make good recreational spaces. Areas intended for parks can be developed with recreational features while open space areas are more appropriate for habitat preservation with only passive recreation uses.

Form and Features

- » Based around natural areas where wetlands, floodplains, and any other sensitive areas should be preserved. Development is limited to park areas.
- » Minimal site disturbance, green infrastructure, and stormwater management.
- » Development on the periphery should not remove trees or other natural landscaping to help retain natural filtering and protection from pollutants.
- » More intense recreation uses within parks, like sports complexes, should be treated like comparable commercial uses for the traffic and compatibility issues that they can generate.

4. Public Input:

Considering that this is a large request, two good neighbor meetings were held:

1. March 12, 2025 – In person meeting.
2. March 26, 2025 – virtual meeting.

Both meetings were very well attended. There were approximately 40 people at the in-person meeting and 40 people at the virtual meeting.

A summary of the concerns include:

- Zoning compatibility/intensity
- Stormwater drainage
- Traffic impacts
 - Impact of the proposed development to the overall transportation system.
 - The number of access points to Dubuque Street
 - Traffic calming, particularly on East Tartan Street
 - School related traffic, particularly during peak times.
 - Construction traffic
- Parks/open space

Detailed discussion on these topics is provided within the *Additional Considerations* section.

See attachment for public input.

5. Zoning Map Amendment Approval Standards

Section 165.09(4)(D)(1) of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (ordinance language in *italics* and staff analysis in **bold**).

Map Amendments.

- (a) *The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.*

Figure 3.4 within Connected to Tomorrow was utilized to determine which zoning district would be compatible with the Future Land Use Map.

Figure 3.4: Land Use Compatibility

TRADITIONAL LAND USES	AGRICULTURE (AG)	URBAN RESERVE (UR)	URBAN LOW INTENSITY (ULI)	URBAN MEDIUM INTENSITY (UMI)	URBAN HIGH INTENSITY (UHI)	COMMERCIAL/ INDUSTRIAL FLEX (FLX)	PUBLIC AND SEMI PUBLIC (PUB)	PARK AND OPEN SPACE (P, OS)
Agriculture	●	●						○
Rural residential		●						
Low-density residential			●	○				
Medium-density residential			●	●	○			
High-density residential				●	●	○		
Rural commercial		●						
Neighborhood commercial			○	●	●	●		
Community commercial				○	●	●		
Regional commercial					○	●		
Low/medium intensity office			○	●	●	●		
High-intensity office				○	●	●		
Limited industrial		○				●		
Heavy industrial						○		
Parks and civic uses	●	●	●	●	●	○	●	●
Major public/civic facilities					○	○	●	○
Residential density range (du/A*)	≤40	≤40	3-8	7-14	14+	14+	NA	NA

● Permitted ○ Permitted with special review
*Dwelling Units per Acre

Notably, the adopted Comprehensive Plan articulates the following (page 45) about Future Land Use Map (FLUM) boundaries:

Generalized land use locations and transitions: The boundaries between land uses on the map are “fuzzy” lines and are meant to show approximate areas for transition, rather than rigid boundaries.

Number of units based on FLUM designations:

- 32.39 acres of Urban Low Intensity (ULI) – 161 – 259 units based on 5 – 8 units/acre.
- 22.36 acres of Urban Medium Intensity (UMI) – 156 – 313 units based on 7 – 14 units/acre.

Total: 317 – 572 units (5.79 – 10.45 units/acre).

Number of units based on lot size or density restrictions.

- RS-6 permits 7,000 square foot lots – 15.21 acres * 6.22 units/acre = 94 units. 30 units are shown on the concept plan.
- RS-9 permits 4,500 square foot lots – 11.30 acres * 9.68 units/acre = 109 units. 46 units are shown on the concept plan.
- The RD-10 District permits 4,500 square foot lots – 16.59 acres * 9.68 units/acre = 160 units. 54 units are shown on the concept plan.
- The RM-12 District permits 12 unit/acre – 7.17 acres * 12 units/acre = 86 units.
- The RM-14 District permits 14 units/acre – 8.05 acres * 14 units/acre = 112 units.

Maximum number of units based on lot size or restrictions: 562 units (10.31 units/acre).

Staff’s estimate on number of units shown on the concept plan: 328 units (6.02 units/acre). The developer’s estimated unit count is 247 units (4.53 units/acre). Notably, there are 7.17 acres of green space/stormwater detention areas shown on the concept plan.

It is staff’s opinion that the request would be consistent with the Comprehensive Plan.

(b) *The compatibility with the zoning of nearby property.*

The request ensures compatibility by proposing single-unit dwelling zoning next to existing single-unit zoning and increases density/intensity toward South Dubuque Street, which is an arterial roadway.

It is staff's opinion that the request would be compatible with the zoning of nearby property.

(c) *The compatibility with established neighborhood character.*

The request ensures compatibility by proposing single-unit dwelling zoning next to existing single-unit zoning. Also, the street network would be extended in a logical and compatible manner.

It is staff's opinion that the request would be compatible with the established neighborhood character.

(d) *The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.*

It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.

(e) *The extent to which the proposed amendment creates nonconformities.*

It is staff's opinion that the proposed zoning would not create any nonconformities.

6. Additional Considerations:

Zoning compatibility/intensity:

With respect to the west side, the developer originally included RM-21 Multi-Unit Residence District on the Dubuque Street frontage. Based on neighborhood feedback, RM-21 was removed from the request.

Stormwater Drainage:

City staff understands the common concern about stormwater management, but this is a design related concern. The expectation is that the development will improve stormwater drainage in the area, particular along the north boundary.

Traffic impacts:

Traffic impact study:

The City has requested and the developer has commissioned a Traffic Engineer to analyze the impact of the proposed development on the City's transportation network. Preliminary review of data demonstrates sufficient capacity to accommodate the development, but the study is further assessing physical improvements to address potential areas of congestion that may or may not be directly related to the development.

For some context, Department of Transportation (DOT) traffic counts indicate a volume of 6,400 cars per day in 2018 and 5,500 cars per day in 2022. This decrease was likely due to North Liberty Road being improved.

Concern about the number of access points to Dubuque Street

City staff has been discussing the number of accesses to South Dubuque Street and a final determination has not been made. However, one point of consideration is South Dubuque Street is classified as an arterial (major) roadway. The City limits the number of accesses to an arterial roadway because they can be counterproductive to traffic flow. Section 180.12(3)(D) of the North Liberty City Code reads in part:

Cul-de-sacs will be considered where it can be clearly demonstrated that environmental constraints, existing development, access limitations along arterial streets, or other unusual features prevent the extension of the street to the property line or to interconnect with other streets within or abutting the subdivision.

Traffic calming, particularly on East Tartan Street.

Certainly, East Tartan Street, once fully built out and connected, will serve as an east/west cut through. Staff is exploring physical improvements to East Tartan Street that have the effect of slowing traffic down, such as mini roundabouts or narrowing the street width in certain sections.

School related traffic, particularly during peak times.

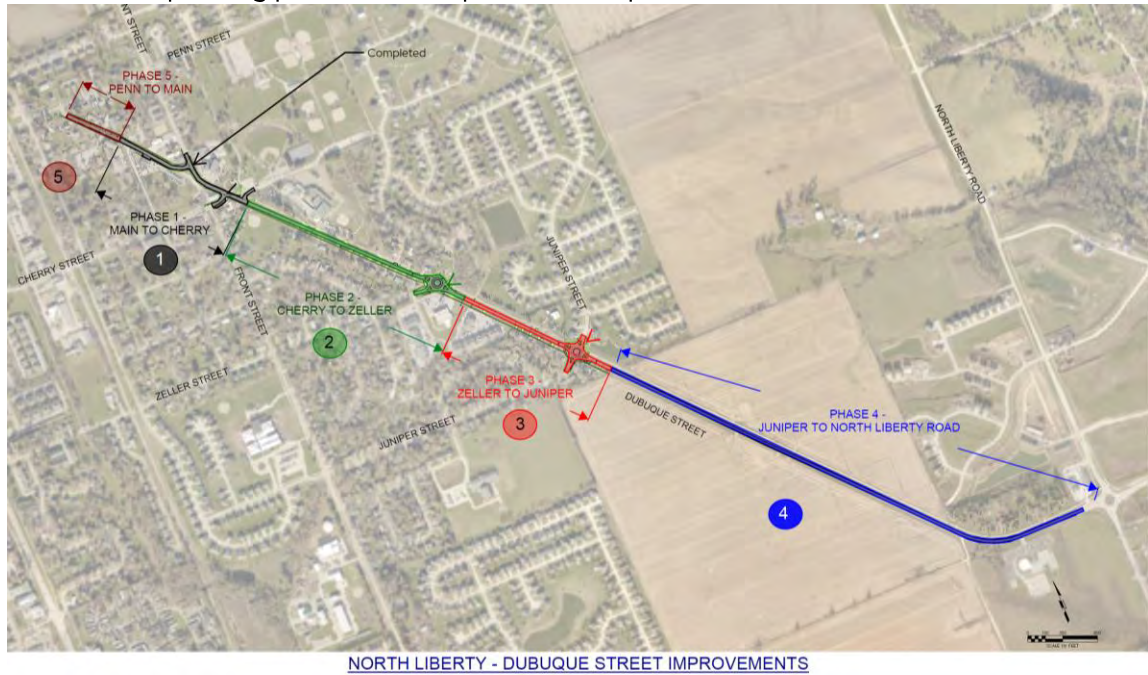
This City doesn't have control over the traffic generated from Penn Elementary, Heritage Christian School and Liberty High School. Although, it is recognized that the traffic is intense during opening and closing times.

Construction traffic.

It's too early in the process for any commitments to be made on how construction equipment will access the site. However, this will be considered at the time the City reviews the subdivision construction plans for individual phases.

Other traffic considerations.

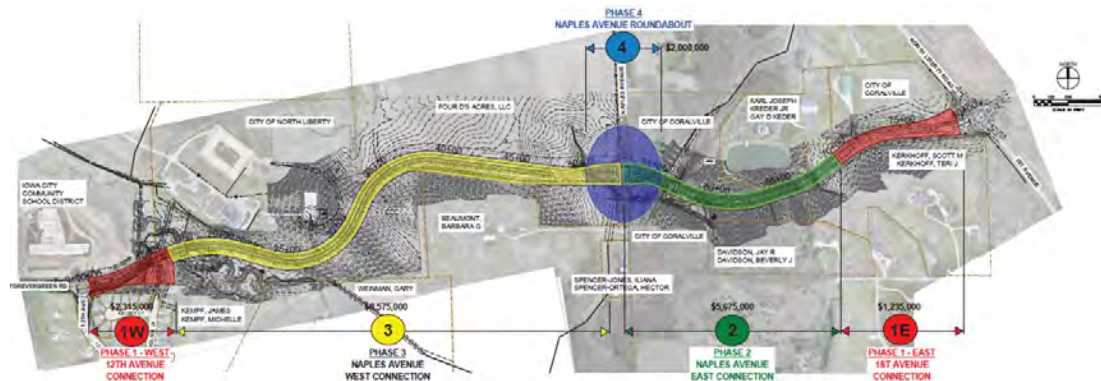
Below is the phasing plan for Dubuque Street Improvements



North Liberty was awarded federal funding through the Metropolitan Planning Organization of Johnson County (MPOJC) for Phases 3 & 4 for Fiscal Year 2028 (July 1, 2027 – June 30, 2028). This includes reconstructing the street in Phase 3, which includes a roundabout at the Juniper Street intersection and resurfacing the asphalt in Section 4. Considering the proposed development, the City is exploring a roundabout at the South Dubuque Street/East Tartan Street intersection.

North Liberty was preliminarily awarded federal funding through the MPOJC for Phase 2 for Fiscal Year 2031 (July 1, 2030 – June 30, 2031). This includes restricting the street and the construction of a roundabout at the East Zeller Street intersection.

The Cities of North Liberty and Coralville continue to jointly work on designing and constructing Forevergreen Road from North Central Middle School in North Liberty to North Liberty Road/1st Avenue in Coralville. This is a multi-phase project, which will take several years to ultimately build. It is planned there will be one or more connections from future East Tartan Street to future Forevergreen Road.

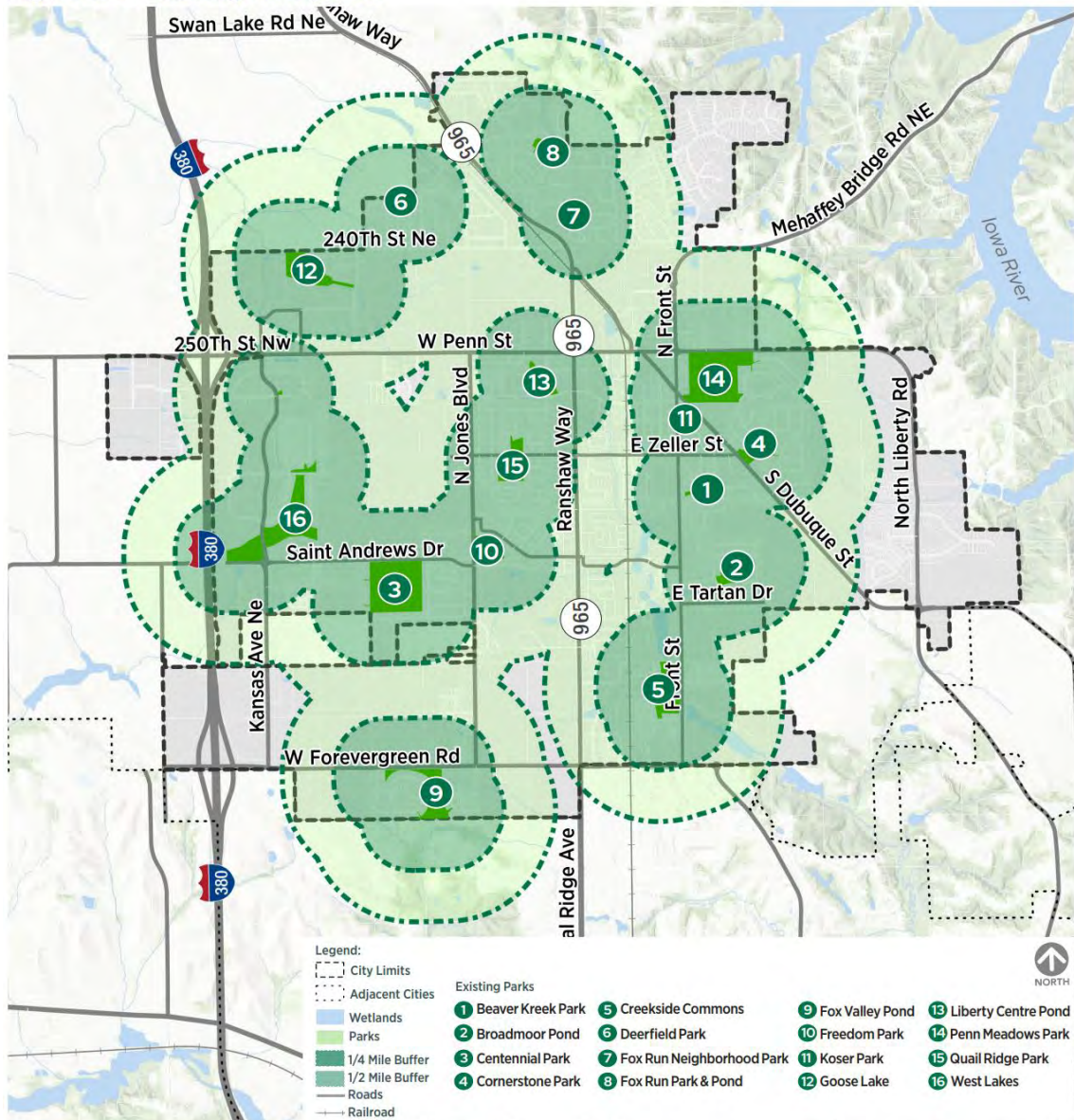


Parks/Open Space

Below is the ¼ mile and ½ mile radius from existing City-owned parks from the 2023 Comprehensive Plan. Due to the location of the Broadmoor Pond (2), there isn't a ½ mile needs gap on the subject property. There is a needs gap in the area south of future Tartan Street. The City intends to discuss the possibility of future park space in that area when future development discussions occur.

As previously noted, there are 14.9 acres of green space/stormwater detention areas shown on the concept plan.

Figure 1.28: Existing Parks, 2022



Source: RDG Planning & Design

Current estimate by housing type (updated 2/21/2025):

Another common concern is the perceived imbalance of housing types in North Liberty.

Total		3434	1783	1231	2150	243	470	9311
Percentage		36.88%	11.74%	9.18%	17.66%	2.42%	4.81%	9311
		SFR	2FR	TH	MFR	MFR w/comm	MH	Total
Total Housing Units	9311							
Household Size	2.59							
Occupied Housing Percentage	96.40%							
Population Estimate	23276.3634							

7. Staff Recommendation:

Finding:

1. The rezoning request from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 15.21 acres, RS-9 Single-Unit Residence District on approximately 11.30 acres, RD-10 Two-Unit Residence District on approximately 16.59 acres, RM-12 Multi-Unit Residence District on approximately 7.17 acres and RM-14 Multi-Unit Residence District on approximately 8.05 acres would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request for zoning map amendment (rezoning) from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 15.21 acres, RS-9 Single-Unit Residence District on approximately 11.30 acres, RD-10 Two-Unit Residence District on approximately 16.59 acres, RM-12 Multi-Unit Residence District on approximately 7.17 acres and RM-14 Multi-Unit Residence District on approximately 8.05 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the zoning map amendment to the City Council with a recommendation for approval.

From: Ashley Bermel <ashley@ashleybermel.com>
Sent: Saturday, March 1, 2025 7:04 AM
To: Brent Smith; Brian Leibold; Brian Wayson; Erek Sittig; Mayor; Paul Park; Ryan Heiar; Ryan Rusnak
Subject: [External] Consideration of Substantial Rezoning Along South Dubuque Street

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Dear Councilmembers and Staff,

I want to start by expressing my appreciation for the work you and the council do to guide North Liberty's future. Having once sat in your seat, I understand the complexity of these decisions—the balancing act between meeting immediate housing demands and ensuring that our long-term vision remains intact. The opportunity before us is significant: a ready and willing developer stands prepared to inject new residents, economic activity, and tax dollars into our community. That is not something to take lightly. But beyond the immediate benefit, we need to ask a harder question: **is this the kind of growth that will create a lasting legacy for North Liberty?**

The undeniable short-term benefit of large-scale development is that it quickly meets housing demand. A single developer working at this scale can efficiently provide homes and create accessibility in a growing market. But as we have seen in other communities that have followed this model, there is often a long-term cost—one that is harder to quantify in the moment but becomes evident over time.

Some of North Liberty's most desirable and enduring neighborhoods—most notably Cedar Springs and Arlington Ridge—did not become sought-after by accident. They succeeded because they offered architectural diversity, choice, and thoughtful land planning. They were designed with intention, with green spaces, walking trails, and communal areas that added value beyond just the homes themselves. These neighborhoods stand the test of time because they encourage long-term investment and attachment. People move in, they put down roots, they stay. Their homes appreciate in value, not just because of the broader market but because they are part of a neighborhood that is distinct, desirable, and thoughtfully designed.

The concern many of us share is that large-scale, **single-developer** projects do not provide this same level of architectural diversity or community intentionality. When a builder controls too much of the landscape, we inevitably see a set number of home designs that

reduce competition, limit buyer choice, and create a uniform look that lacks individuality. We see a focus on cost efficiency over long-term value, where homes may be affordable initially but struggle with resale as newer models from the same builder enter the market. And we see a lack of meaningful neighborhood enhancements—fewer mature trees, minimal landscaping, and little investment in shared green spaces that elevate the overall quality of life.

Every council is tasked with making decisions that solve for today while safeguarding tomorrow. The challenge is that short-term wins—filling housing demand quickly, boosting tax revenue, and meeting immediate market needs—are easy to measure. But long-term success—creating a city that people remain proud to call home, ensuring our neighborhoods hold their value, and building a community with lasting identity—is harder to quantify in a single budget cycle.

That is why I urge the council to ask:

Are we making decisions that will stand the test of time, or are we opting for the most immediate solution?

Are we fostering a competitive builder environment that allows for innovation, choice, and architectural creativity?

Are we designing neighborhoods that people will not just buy into, but stay in—putting down roots, investing in their homes, and building a community that thrives for decades?

Are we ensuring that North Liberty doesn't just become a place where homes are built, but a city that is thoughtfully shaped?

I am not suggesting that large-scale development should be rejected outright—only that we must be intentional in ensuring that the growth we approve today contributes to a North Liberty we will be proud of tomorrow. Are there ways to encourage this developer, and others, to integrate more diverse housing styles or perhaps even allow a few builders (of our collective choosing) to be invited into the mixture of offerings? To incorporate shared community spaces that make a neighborhood more than just a collection of homes? To take a page from the success of Arlington Ridge, where design was driven not just by speed, but by vision?

North Liberty is at a pivotal moment. We have the opportunity to welcome new residents and expand our tax base, but let's make sure that we do it in a way that enhances—not diminishes—our city's identity. Let's not just build housing. Let's build a community that will last.

I appreciate your time and consideration, and I welcome the opportunity to discuss how we can ensure that our growth reflects the very best of North Liberty's potential.

Sincerely,

Ashley Bermel

319.855.0248

930 Pheasant Lane North Liberty, IA 52317

From: Keith Clasen <keithclasen@hotmail.com>
Sent: Sunday, March 23, 2025 2:18 PM
To: Ryan Rusnak
Cc: Paul Park; Ryan Heiar; ineska_n@yahoo.com
Subject: [External] Fwd: From AR HOA - Rezoning Along S. Dubuque St - Good Neighbor Meeting
Attachments: [Watts Development Group, Inc GNM Notice - 2-28-2025.pdf](#)

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Hi Ryan,

I will likely not be able to join the good neighbor meetings but would like to share my wife and my concerns with this rezoning request.

We are not opposed to the land being developed but are opposed with the land being developed as multi-family or anything other than single family homes. The reason our family choose to move to North Liberty 9 years ago was because of the single family homes available and because of our desire to live in a city that still maintained the small town Iowa feel to maintain a positive and connected community.

Seeing what is happening in the development across the street from the high school on the Coralville side has us concerned about what will happen if this rezoning request is approved. Having one developer control who builds on the land opens the door to cheaply built homes that look more like cookie cutter boxes than single family homes that people aspire to live for a significant portion of their lives in the same community. While this is a free economy and the developer has the right to purchase the land and make significant profits from the land, the City of North Liberty also has the right to listen to the community members and do the right thing by restricting this development to be for single family homes only and open to other builders in the community to provide fair competition and increase the uniqueness and quality of homes being built in North Liberty.

We have several friends and family who would like to move to North Liberty but are looking to raise their kids in single family homes which are currently under supplied, not multi-family buildings built and sold primarily to raise the profits of one development group or further strengthen the North Liberty small town feel and uniqueness.

North Liberty has been growing at a significant pace over the past several years. Do we have the infrastructure to support multi-family homes? Dubuque St. is already congested and this will only compound the problem.

Lastly and most concerning to many families that live in the Arlington Ridge neighborhood is that approving this rezoning request will devalue our homes along with devaluing the community we live in.

Thank you for your consideration,

Keith and Inna Clasen
440 Carlyle Dr.

Begin forwarded message:

From: Arlington Ridge HOA <mailer@payhoa.com>
Date: February 28, 2025 at 8:11:42 PM CST
To: Keith Clasen <keithclasen@hotmail.com>
Subject: From AR HOA - Rezoning Along S. Dubuque St - Good Neighbor Meeting
Reply-To: Arlington Ridge HOA <arlingtonhomeowners@gmail.com>



Please read information and attend the meeting if possible.
Thank you,
Arlington Ridge HOA Board

From: Ryan Rusnak <rrusnak@northlibertyiowa.org>
Sent: Friday, February 28, 2025 12:55 PM
To: Brent Smith <brent.smith@northlibertyiowa.org>; Brian Leibold <brian.leibold@northlibertyiowa.org>; Brian Wayson <brian.wayson@northlibertyiowa.org>; Erek Sittig <erek.sittig@northlibertyiowa.org>; Mayor <mayor@northlibertyiowa.org>; Paul Park <paul.park@northlibertyiowa.org>
Cc: Ryan Heiar <rheiar@northlibertyiowa.org>
Subject: Watts Development Group, Inc Good Neighbor Meeting

Mayor Hoffman and City Councilors,

Attached is Good Neighbor Meeting for a substantial rezoning along South Dubuque Street.

We will be having two good neighbor meeting on this one:

3/12/2025 – In person 6:00 – 7:00 PM City Hall

3/26/2025 – Virtual 5:30 6:30 PM.

We recognize Spring Break is March 17-21 so meetings will be before and after the break.

Please let me know if you have any questions.

From: Ryan Rusnak
Sent: Tuesday, April 1, 2025 10:31 AM
To: Bob and Carolyn Norton
Subject: RE: [External] Re: Watts Group Development, Inc. Rezoning

We don't use speed humps on public streets in North Liberty.

Stop signs aren't to be used as a traffic calming feature.



RYAN "RUS" RUSNAK
PLANNING DIRECTOR
(319) 626-5747 office

Messages to and from this account are subject to public disclosure unless otherwise provided by law.

From: Bob and Carolyn Norton <bcnorton2@gmail.com>
Sent: Tuesday, April 1, 2025 10:23 AM
To: Ryan Rusnak <rrusnak@northlibertyiowa.org>
Subject: [External] Re: Watts Group Development, Inc. Rezoning

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Question

Is that a roundabout that has been added to Tartan? Why not stop signs or speed humps to slow traffic down?

Carolyn Norton

On Tue, Apr 1, 2025 at 9:23 AM Ryan Rusnak <rrusnak@northlibertyiowa.org> wrote:

Hello everyone,

We put together an email list of people that participated in the in person and online good neighbor meetings.

We had great attendance, which is awesome. My plan is keep to lines of communication open.

If you don't want to be part of this list, please let me know.

Attached is the revised rezoning map, which was provided before the second meeting. It incorporated some changes heard at the first meeting.

1. Changed the zoning to RS-6 at the end of Ogden Ln.
2. Changed the RM-21 (multi-family 21 units/acre) to RM-14 (multi-family 14/units acre).
3. Added traffic calming on E Tartan St adjacent to Broodmoor Estates.

Please note that they are planning on this being considered at the 5/6/2025 Planning Commission meeting.

They originally wanted to be considered in April, but we wanted them to tap the breaks to allow for additional feedback and analysis.

Please let me know if you any questions or comments.

Thanks,



RYAN “RUS” RUSNAK
PLANNING DIRECTOR
(319) 626-5747 office

Messages to and from this account are subject to public disclosure unless otherwise provided by law.

You're receiving this message because you're a member of the Watts-Weno Rezoning Group group from City of North Liberty. To take part in this conversation, reply all to this message.

[View group files](#) | [Leave group](#) | [Learn more about Microsoft 365 Groups](#)

From: Chelsey Scanlan <chelseylynnharris@gmail.com>
Sent: Tuesday, April 1, 2025 10:19 AM
To: Ryan Rusnak
Subject: [External] Feedback regarding South Dubuque/Greenbelt Trail Rezoning

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Hi Ryan,

Thank you for all the information you've shared via email and the Good Neighbor Meeting on 3/26.

I had some feedback I wanted to share with you about the current map. Although I do appreciate some of the changed zoning to RS-6 at the end of Ogden Lane, I am still seeing a few lots that are RD-10 (zero-lot). I would like to see those remaining RD-10 lots changed to either RS-6 or RS-9. All homes on Ogden Lane are single family homes, and I do not think it's fair to all the current residents of Greenbelt Trail and Ogden Lane to have zero-lots mixed in with this single family home neighborhood.

Again, due to this being a family neighborhood with many small children, I would like to see some space intentionally left to build a park. There is no walkable park for this area. The closest park is Penn Meadows Park and that is not walkable from this area. Also, it's my understanding that an elementary and middle school will be built on this side of town. It would make sense to also have a dedicated park to this side of town and I would appreciate that being considered when updating the zoning map. I'm a bit concerned that Watts Group is only considering the amount of people/homes they can fit into one area and are not taking into consideration the livability of this area. We are not going to have families stay in this area/side of North Liberty if we are just maximizing the amount of homes/people into one area and not adding in spaces like parks or green areas. Also, I'm not seeing any consideration for widening Dubuque Street. I know in the virtual meeting it was shared that the projected 2050 traffic flow did not warrant any additional changes to Dubuque Street. However, as a resident of this side of town for 7 years - Dubuque Street has not changed in 7 years but we have at least tripled the amount of homes/residents on this side of town. There needs to be consideration for widening Dubuque Street to improve the flow of traffic (especially with the school traffic).

On that note, I'm also very concerned about the RM-12 and RM-14 zoning areas on this map and mixing these multi-family developments into a traditionally single family home area. Again, this feels like Watts Group is maximizing the amount of homes/people they can fit into a small area without considering the logistics, the livability of the space, and also the homes that already exist in these areas. For example, you would have single family homes right next to these multi-family dwellings. Many of these single family homes are half a million dollars (all homes in Greenbelt Trail are roughly this price). I do not think it's appropriate to have a half a million dollar home next to a multi-family dwelling. Additionally, I would imagine the Watts Group would have a hard time selling these homes due to this fact alone.

Overall, I would like to see more thought put into this map - the addition of a space for a park, some green lots, and more consideration into the mixing of single family homes and multi-family dwellings.

Thanks for your consideration and all that you do!

Chelsey Scanlan - Greenbelt Trail Resident

From: m pettersen <mikeppettersen@yahoo.com>
Sent: Tuesday, April 1, 2025 10:26 AM
To: Ryan Rusnak
Subject: [External] Watts group development

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Dear Ryan,

My wife and I live at 1215 Ogden Ln. We are against any multifamily neighborhood being built right next-door to us. We looked at the newest proposal. After all it only harbors families who will rent because they will be unable to sell each one of the dwellings. This is happened to every single new neighborhood in the cities area, including Iowa City and Coralville. Crime goes up like burglary, theft, and criminal mischief. Since North Liberty is down 15 officers at this time I feel that building multifamily dwellings at this time would be unwise and harmful to the local neighborhoods where police officers would not be able to respond. We need single family homes for safety and cohesiveness of home owners alike. Every multi family development Watts group has taken over or developed lack in quality and bring home values down. It's unfair to allow Watts group to develop a huge rental neighborhood next to single family homes.

Sincerely

Mike and Debbi Pettersen

[Sent from Yahoo Mail for iPhone](#)

From: michael ulrey <mulrey31@gmail.com>
Sent: Tuesday, April 1, 2025 9:37 AM
To: Ryan Rusnak
Cc: Clint Conklin; Katie Ulrey
Subject: [External] Re: Watts Group Development, Inc. Rezoning

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Ryan-

Appreciate that everything has been shared and that this rezoning is making a few tweaks. The blending with development off Ogden looks significantly improved and we are onboard with the development now! The only comment or thought that is really beyond the scope of this development is with everything that is being built in this entire portion of North Liberty, there aren't any parks that are truly walkable.

Have a great day,
Michael

On Tue, Apr 1, 2025 at 9:23 AM Ryan Rusnak <rrusnak@northlibertyiowa.org> wrote:
Hello everyone,

We put together an email list of people that participated in the in person and online good neighbor meetings.

We had great attendance, which is awesome. My plan is keep to lines of communication open.

If you don't want to be part of this list, please let me know.

Attached is the revised rezoning map, which was provided before the second meeting. It incorporated some changes heard at the first meeting.

1. Changed the zoning to RS-6 at the end of Ogden Ln.
2. Changed the RM-21 (multi-family 21 units/acre) to RM-14 (multi-family 14/units acre).
3. Added traffic calming on E Tartan St adjacent to Broodmoor Estates.

Please note that they are planning on this being considered at the 5/6/2025 Planning Commission meeting.

They originally wanted to be considered in April, but we wanted them to tap the breaks to allow for additional feedback and analysis.

Please let me know if you any questions or comments.

Thanks,



RYAN "RUS" RUSNAK
PLANNING DIRECTOR
(319) 626-5747 office

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From: Chelsey Scanlan <chelseylynnharris@gmail.com>
Sent: Tuesday, April 1, 2025 10:19 AM
To: Ryan Rusnak
Subject: [External] Feedback regarding South Dubuque/Greenbelt Trail Rezoning

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Hi Ryan,

Thank you for all the information you've shared via email and the Good Neighbor Meeting on 3/26.

I had some feedback I wanted to share with you about the current map. Although I do appreciate some of the changed zoning to RS-6 at the end of Ogden Lane, I am still seeing a few lots that are RD-10 (zero-lot). I would like to see those remaining RD-10 lots changed to either RS-6 or RS-9. All homes on Ogden Lane are single family homes, and I do not think it's fair to all the current residents of Greenbelt Trail and Ogden Lane to have zero-lots mixed in with this single family home neighborhood.

Again, due to this being a family neighborhood with many small children, I would like to see some space intentionally left to build a park. There is no walkable park for this area. The closest park is Penn Meadows Park and that is not walkable from this area. Also, it's my understanding that an elementary and middle school will be built on this side of town. It would make sense to also have a dedicated park to this side of town and I would appreciate that being considered when updating the zoning map. I'm a bit concerned that Watts Group is only considering the amount of people/homes they can fit into one area and are not taking into consideration the livability of this area. We are not going to have families stay in this area/side of North Liberty if we are just maximizing the amount of homes/people into one area and not adding in spaces like parks or green areas. Also, I'm not seeing any consideration for widening Dubuque Street. I know in the virtual meeting it was shared that the projected 2050 traffic flow did not warrant any additional changes to Dubuque Street. However, as a resident of this side of town for 7 years - Dubuque Street has not changed in 7 years but we have at least tripled the amount of homes/residents on this side of town. There needs to be consideration for widening Dubuque Street to improve the flow of traffic (especially with the school traffic).

On that note, I'm also very concerned about the RM-12 and RM-14 zoning areas on this map and mixing these multi-family developments into a traditionally single family home

area. Again, this feels like Watts Group is maximizing the amount of homes/people they can fit into a small area without considering the logistics, the livability of the space, and also the homes that already exist in these areas. For example, you would have single family homes right next to these multi-family dwellings. Many of these single family homes are half a million dollars (all homes in Greenbelt Trail are roughly this price). I do not think it's appropriate to have a half a million dollar home next to a multi-family dwelling. Additionally, I would imagine the Watts Group would have a hard time selling these homes due to this fact alone.

Overall, I would like to see more thought put into this map - the addition of a space for a park, some green lots, and more consideration into the mixing of single family homes and multi-family dwellings.

Thanks for your consideration and all that you do!

Chelsey Scanlan - Greenbelt Trail Resident

From: Garret Krieger <kriegeracing@hotmail.com>
Sent: Friday, April 18, 2025 11:01 AM
To: Ryan Rusnak
Subject: [External] Development near Dubuque St

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Hello Ryan,

I was just driving down front Street kind of a crossed from Colony and noticed how nice those condos look with the front door facing front street I think if we could do something like that along Dubuque Street by us that would make it look nice.

Garret Krieger
200 N Juniper St

From: Ryan Rusnak
Sent: Monday, May 5, 2025 8:08 AM
To: William Lanphere
Subject: RE: [External] Re: May 6, 2025 Planning Commission Meeting

Hi Bill,

Thanks for your email.

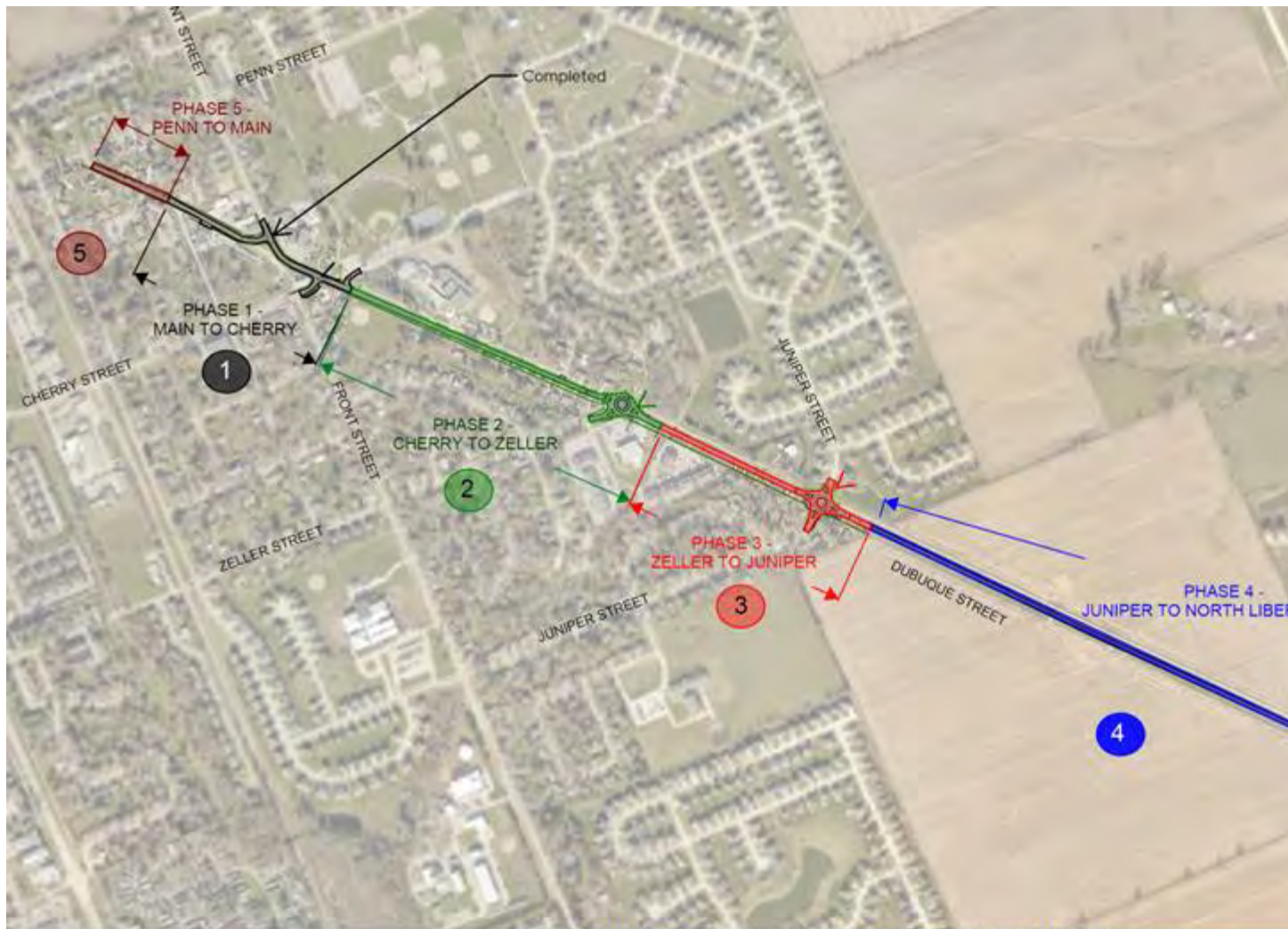
The City has requested and the developer has commissioned a Traffic Engineer to analyze the impact of the proposed development on the City's transportation network. Preliminary review of data demonstrates sufficient capacity to accommodate the development, but the study is further assessing physical improvements to address potential areas of congestion that may or may not be directly related to the development.

For some context, Department of Transportation (DOT) traffic counts indicate a volume of 6,400 cars per day in 2018 and 5,500 cars per day in 2022. This decrease was likely due to North Liberty Road being improved.

We have a couple of projects on Dubuque Street that specifically target congestion.

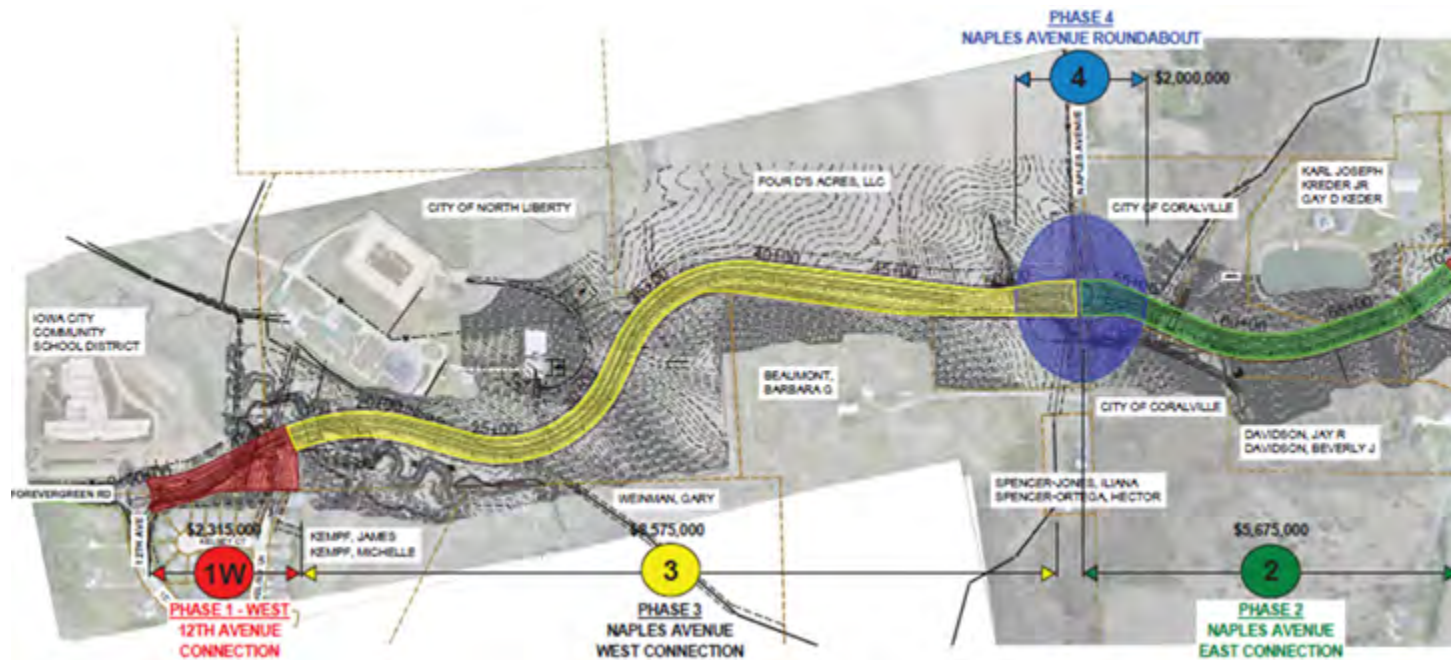
See map below. North Liberty was awarded federal funding through the Metropolitan Planning Organization of Johnson County (MPOJC) for Phases 3 & 4 for Fiscal Year 2028 (July 1, 2027 – June 30, 2028). This includes reconstructing the street in Phase 3, which includes a roundabout at the Juniper Street intersection and resurfacing the asphalt in Section 4. Considering the proposed development, the City is exploring a roundabout at the South Dubuque Street/East Tartan Street intersection.

North Liberty was preliminarily awarded federal funding through the MPOJC for Phase 2 for Fiscal Year 2031 (July 1, 2030 – June 30, 2031). This includes restricting the street and the construction of a roundabout at the East Zeller Street intersection.



NORTH LIBERTY - DUBUQUE STREET IMPROVEMENTS

Also, the Cities of North Liberty and Coralville continue to jointly work on designing and constructing Forevergreen Road from North Central Middle School in North Liberty to North Liberty Road/1st Avenue in Coralville. This is a multi-phase project, which will take several years to ultimately build. It is planned there will be one or more connections from future East Tartan Street to future Forevergreen Road.



Ryan “Rus” Rusnak

PLANNING DIRECTOR

PLANNING

360 N. Main St., North Liberty, IA, 52317



(319) 626-5747 office

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From: William Lanphere <dblarp2@gmail.com>

Sent: Sunday, May 4, 2025 5:24 PM

To: Ryan Rusnak <rrusnak@northlibertyiowa.org>

Subject: [External] Re: May 6, 2025 Planning Commission Meeting

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Ryan,

I am a bit tardy on this, does the city have a plan for dealing with the increased traffic both on Dubuque street as well as Zeller accessing Dubuque? In my opinion the city has missed the boat on dealing with traffic on Penn east of 965. Thank you.

Bill Lanphere
Arlington Ridge

On Sat, May 3, 2025 at 9:32 AM Ryan Rusnak <rrusnak@northlibertyiowa.org> wrote:

Hello everyone,

The Watts Development Group rezoning is on the May 6 Planning Commission (see link below).

You are welcome to attend the public meeting. It will be held in City Hall Council Chambers at 360 N Main St and begins at 6:30 pm

If you sent an email, I included it in the background material. If you don't see something you sent me, please let me know and I will add it to the packet.

If you have any questions, please let me know.

I would appreciate if you reply only to me to keep people's inboxes uncluttered.

Session URL:

<https://studio.bluebeam.com/hyperlink.html?link=studio.bluebeam.com/sessions/869-641-676>

Thanks,

Ryan "Rus" Rusnak

PLANNING DIRECTOR

PLANNING

360 N. Main St., North Liberty, IA, 52317



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From: Jake Scharff <jake.scharff@gmail.com>
Sent: Tuesday, May 6, 2025 4:12 PM
To: Ryan Rusnak
Subject: [External] Re: May 6, 2025 Planning Commission Meeting

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Hi Rus,

I'm the president of Greenbelt Trail Part 1 HOA, which consists of Salm Drive and Ogden Lane. Obviously the proposed development would have a great impact on our existing neighborhood. Myself and the HOA have had several concerns about the proposal and I know many have already expressed concerns individually. I wanted to make sure to submit concerns that I have heard on several occasions from the HOA.

Our biggest concern is the amount of increased traffic our neighborhood will sustain with this new development. The proposal only shows one entrance to and from Dubuque street from the north portion of the new development. We fear without additional options to access Dubuque street Ogden Lane and Salm Drive will see a significant increase in traffic. Additionally, we have concerns about how construction traffic will access the new development. Will dump trucks, backhoes, bulldozers, etc. be routed down Salm Drive or will there be an access point created from Dubuque street? We have a lot of young families in our neighborhood and there's always kids out playing, people riding bikes, walking dogs, etc.

Lastly, we appreciate the consideration that was given to change the remaining houses on Ogden Lane to single family instead of multi family. I've heard several people ask about the possibility of also doing single family homes to the north of Ogden Lane for what looks to be about 5 lots that would back up to the ravine.

We appreciate your consideration of our concerns.

Thanks,
Jake Scharff
1160 Salm Drive
Greenbelt Trail Part 1 President

On Sat, May 3, 2025 at 9:32 AM Ryan Rusnak <rrusnak@northlibertyiowa.org> wrote:

Hello everyone,

The Watts Development Group rezoning is on the May 6 Planning Commission (see link below).

You are welcome to attend the public meeting. It will be held in City Hall Council Chambers at 360 N Main St and begins at 6:30 pm

If you sent an email, I included it in the background material. If you don't see something you sent me, please let me know and I will add it to the packet.

If you have any questions, please let me know.

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<https://studio.bluebeam.com/hyperlink.html?link=studio.bluebeam.com/sessions/869-641-676>

Thanks,

Ryan "Rus" Rusnak

PLANNING DIRECTOR

PLANNING

360 N. Main St., North Liberty, IA, 52317



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Ordinance No. 2025-12

AN ORDINANCE AMENDING THE ZONING MAP DISTRICT DESIGNATION FOR CERTAIN PROPERTY LOCATED IN NORTH LIBERTY, IOWA FROM ID INTERIM DEVELOPMENT DISTRICT TO RS-6 SINGLE-UNIT RESIDENCE DISTRICT, RS-9 SINGLE-UNIT RESIDENCE DISTRICT, RD-10 TWO-UNIT RESIDENCE DISTRICT, RM-12 MULTI-UNIT RESIDENCE DISTRICT AND RM-14 MULTI-UNIT RESIDENCE DISTRICT

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT. The Official Zoning Map incorporated in Chapter 168.01(2) of the North Liberty Code of Ordinances is hereby amended such that the below-described property (the "Property") is assigned a zoning designation of RM-21 Multi-Unit Residence District:

RS-6 Single-Unit Residence District:

BEGINNING at the Northeast Corner of the Southeast Quarter of the Northeast Quarter of Section 18, Township 80 North, Range 6 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa; Thence S02°15'15"E, along the West Line of said Greenbelt Trail - Part One, in accordance with the Plat thereof Recorded in Plat Book 64 at Page 123 of the Records of the Johnson County Recorder's Office, 670.70 feet, to the Southwest Corner thereof; Thence S87°25'51"W, 215.04 feet; Thence N00°37'29"W, 177.92 feet; Thence S89°31'03"W, 155.00 feet; Thence N00°37'29"W, 444.26 feet; Thence S89°22'31"W, 163.00 feet; Thence S00°37'29"E, 275.67 feet; Thence S89°22'31"W, 613.00 feet; Thence S48°41'50"W 140.45 feet; Thence N42°41'36"W, 335.83 feet; Thence S72°11'54"W, 334.93 feet; Thence S09°52'40"W, 63.82 feet, to a Point on the Centerline of South Dubuque Street; Thence N41°41'55"W, along said Centerline, 448.88 feet; Thence N89°02'11"E, 65.99 feet, to the Southwest Corner of Auditor's Parcel 2024010, in accordance with the Plat thereof Recorded in Plat Book 67 at Page 217 of the Records of the Johnson County Recorder's Office; Thence N89°29'25"E, along the South Line of said Auditor's Parcel 2024010, the South Line of Revised Auditor's Parcel 2024009, in accordance with the Plat thereof Recorded in Plat Book 67, at Page 225 of the Records of the Johnson County recorder's Office, the South Line of Greenbelt Trail - Part Two, in accordance with the Plat thereof Recorded in Plat Book 65 at Page 388 of the Records of the Johnson County Recorder's Office, a distance of 2018.95 feet, to the POINT OF BEGINNING. Said Proposed RS-6 Zoning contains 15.21 Acres, and is subject to easements and restrictions of record.

RS-9 Single-Unit Residence District:

COMMENCING at the Southeast Corner of the Northeast Quarter of the Southeast Quarter of Section 18, Township 80 North, Range 6 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa; Thence N01°59'00"W, along the East Line of said Northeast Quarter of the Southeast Quarter, 247.57 feet, to its intersection with the

Centerline of South Dubuque Street; Thence N42°41'36"W, along said Centerline, 942.05 feet; Thence N47°18'24"E, 278.00 feet; Thence N06°13'55"E, 146.93 feet, to the POINT OF BEGINNING; Thence Northwesterly, 87.32 feet, along a 200.00 foot radius curve, concave Northeasterly, whose 86.63 foot chord bears N55°12'05"W; Thence N42°41'36"W, 1222.56 feet; Thence N48°41'50"E, 140.45 feet; Thence N89°22'31"E, 613.00 feet; Thence S00°37'29"E, 168.18 feet; Thence N89°31'03"E, 158.00 feet; Thence S00°37'29"E, 315.26 feet; Thence S24°54'55"W, 182.47 feet; Thence S27°01'01"E, 221.51 feet; Thence S45°30'43"E, 82.56 feet; Thence N88°00'58"E, 91.20 feet; Thence S02°02'04"E, 160.00 feet; Thence S88°00'58"W, 78.34 feet; Thence Northwesterly, 84.73 feet, along a 200.00 foot radius curve, concave Northeasterly, whose 84.10 foot chord bears N79°50'48"W, to the POINT OF BEGINNING. Said Proposed RS-9 Zoning contains 11.30 Acres, and is subject to easements and restrictions of record.

RD-10 – Two-Unit Residence District

COMMENCING at the Northeast Corner of the Southeast Quarter of the Northeast Quarter of Section 18, Township 80 North, Range 6 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa; Thence S02°15'15"E, along the West Line of said Greenbelt Trail - Part One, in accordance with the Plat thereof Recorded in Plat Book 64 at Page 123 of the Records of the Johnson County Recorder's Office, 670.70 feet, to the Southwest Corner thereof, the Northwest Corner of Dahnovan Estates, in accordance with the Plat thereof Recorded in Plat Book 60 at Page 310 of the Records of the Johnson County Recorder's Office, and the POINT OF BEGINNING; Thence S02°35'34"E, along the West Line of said Dahnovan Estates, 178.70 feet; Thence S02°36'12"E, along said West Line, 139.98 feet; Thence S00°31'41"E, along said West Line, 60.10 feet; Thence S02°35'15"E, along said West Line, 154.94 feet; Thence S01°52'46"E, along said West Line, 129.52 feet, to the East Quarter Corner of said Section 18; Thence S01°59'00"E, along the West Line of said Dahnovan Estates, and the East Line of the Northeast Quarter of the Southeast Quarter of said Section 18, a distance of 1078.53 feet, to its intersection with the Centerline of South Dubuque Street; Thence N42°41'36"W, along said Centerline, 942.05 feet; Thence N47°18'24"E, 278.00 feet; Thence N06°13'55"E, 146.93 feet; Thence Southeasterly, 84.73 feet, along a 200.00 foot radius curve, concave Northeasterly, whose 84.10 foot chord bears S79°50'48"E; Thence N88°00'58"E, 78.34 feet; Thence N02°02'04"W, 160.00 feet; Thence S88°00'58"W, 91.20 feet; Thence N45°30'43"W, 82.56 feet; Thence N27°01'01"W, 221.51 feet; Thence N24°54'55"E, 182.47 feet; Thence N00°37'29"W, 315.26 feet; Thence S89°31'03"W, 158.00 feet; Thence N00°37'29"W, 443.86 feet; Thence N89°22'31"E, 163.00 feet; Thence S00°37'29"E, 444.26 feet; Thence N89°31'03"E, 155.00 feet; Thence S00°37'29"E, 177.92 feet; Thence N87°25'51"E, 215.04 feet, to the POINT OF BEGINNING. Said Proposed RD-10 Zoning contains 16.59 Acres, and is subject to easements and restrictions of record.

RM-12 – Multi-Unit Residence District

COMMENCING at the Southeast Corner of the Northeast Quarter of the Southeast Quarter of Section 18, Township 80 North, Range 6 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa; Thence N01°59'00"W, along the East Line of said Northeast Quarter of the Southeast Quarter, 247.57 feet, its intersection with the Centerline of South Dubuque Street; Thence N42°41'36"W, along said Centerline, 942.05 feet, to the POINT OF BEGINNING; Thence continuing N42°41'36"W, along said Centerline, 684.81 feet; Thence N47°18'24"E, 370.00 feet; Thence S42°41'36"E, 503.70 feet; Thence Southeasterly, 87.32 feet, along a 200.00 foot radius curve, concave Northeasterly, whose 86.63 foot chord bears S55°12'05"E; Thence S06°13'55"W, 146.93 feet; Thence S47°18'24"W, 278.00 feet, to the POINT OF BEGINNING. Said Proposed RM-12 #1 Zoning contains 5.75 Acres, and is subject to easements and restrictions of record.

AND

COMMENCING at the Southeast Corner of the Northeast Quarter of the Southeast Quarter of Section 18, Township 80 North, Range 6 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa; Thence N01°59'00"W, along the East Line of said Northeast Quarter of the Southeast Quarter, 247.57 feet, its intersection with the Centerline of South Dubuque Street; Thence N42°41'36"W, along said Centerline, 942.05 feet; Thence continuing N42°41'36"W, along said Centerline, 684.81 feet; Thence continuing N42°41'36"W, along said Centerline 264.30 feet; Thence N41°41'55"W, along said Centerline, 696.16, to the POINT OF BEGINNING; Thence continuing N41°41'55"W, along said Centerline, 196.55 feet; Thence N09°52'40"E, 63.82 feet; Thence N72°11'54"E, 334.93 feet; Thence S42°41'36"E, 96.28 feet; Thence S47°37'06"W, 357.92 feet, to the POINT OF BEGINNING. Said Proposed RM-12 #2 Zoning contains 1.42 Acres, and is subject to easements and restrictions of record.

RM-14 – Multi-Unit Residence District:

COMMENCING at the Southeast Corner of the Northeast Quarter of the Southeast Quarter of Section 18, Township 80 North, Range 6 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa; Thence N01°59'00"W, along the East Line of said Northeast Quarter of the Southeast Quarter, 247.57 feet, its intersection with the Centerline of South Dubuque Street; Thence N42°41'36"W, along said Centerline, 942.05 feet; Thence continuing N42°41'36"W, along said Centerline, 684.81 feet, to the POINT OF BEGINNING; Thence continuing N42°41'36"W, along said Centerline 264.30 feet; Thence N41°41'55"W, along said Centerline, 696.16 feet; Thence N47°37'06"E, 357.92 feet; Thence S42°41'36"E, 958.41 feet; Thence S47°18'24"W, 370.00 feet, to the POINT OF BEGINNING. Said Proposed RM-14 Zoning contains 8.05 Acres, and is subject to easements and restrictions of record.

SECTION 2. CONDITIONS IMPOSED. At the May 6, 2025, meeting the Planning Commission accepted the listed finding and forwarded the request for a zoning map amendment to the City Council with a recommendation for approval with no conditions.

SECTION 3. RECORDATION. The City Clerk is hereby authorized and directed to record this ordinance at the Johnson County Recorder's office upon final passage and approval.

SECTION 4. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 5. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 6. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 7. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on May 27, 2025.

Second reading on

Third and final reading on

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2025-12 in *The Gazette* on the ____ of _____, 2025.

TRACEY MULCAHEY, CITY CLERK



**Watts Group
Development, Inc.
Rezoning (West Side)**



May 7, 2025

Chris Hoffman, Mayor
City of North Liberty
360 North Main Street
North Liberty IA 52317

Re: Request of Watts Development Group, Inc. for a zoning map amendment (rezoning) from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 26.29 acres, RS-9 Single-Unit Residence District on approximately 34.81 acres, RD-10 on approximately 26.93 acres, RM-12 on 7.65 acres, and RM-14 on approximately 8.07 acres. The property contains approximately 103.75 acres and is located on the west side of South Dubuque Street approximately 300 feet south of Juniper Street.

Mayor Hoffman:

The North Liberty Planning Commission considered the above-referenced request at its May 7, 2025 meeting. The Planning Commission took the following action:

Finding:

1. The rezoning request from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 26.29 acres, RS-9 Single-Unit Residence District on approximately 34.81 acres, RD-10 on approximately 26.93 acres, RM-12 on 7.65 acres, and RM-14 on approximately 8.07 acres. The property contains approximately 103.75 acres would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

Recommendation:

The Planning Commission accepted the listed finding and forwards the request for a zoning map amendment (rezoning) from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 26.29 acres, RS-9 Single-Unit Residence District on approximately 34.81 acres, RD-10 on approximately 26.93 acres, RM-12 on 7.65 acres, and RM-14 on approximately 8.07 acres to the City Council with a recommendation for approval.

The vote for approval was 5-0.

Barry A'Hearn, Vice Chairperson
City of North Liberty Planning Commission



To **City of North Liberty Planning Commission**
From **Ryan Rusnak, AICP**
Date **May 2, 2025**
Re **Request of Watts Development Group, Inc. for a zoning map amendment (rezoning) from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 26.29 acres, RS-9 Single-Unit Residence District on approximately 34.81 acres, RD-10 on approximately 26.93 acres, RM-12 on 7.65 acres, and RM-14 on approximately 8.07 acres. The property contains approximately 103.75 acres and is located on the west side of South Dubuque Street approximately 300 feet south of Juniper Street.**

North Liberty City staff has reviewed the subject submission, and offer comments presented in this memo.

1. Request Summary:

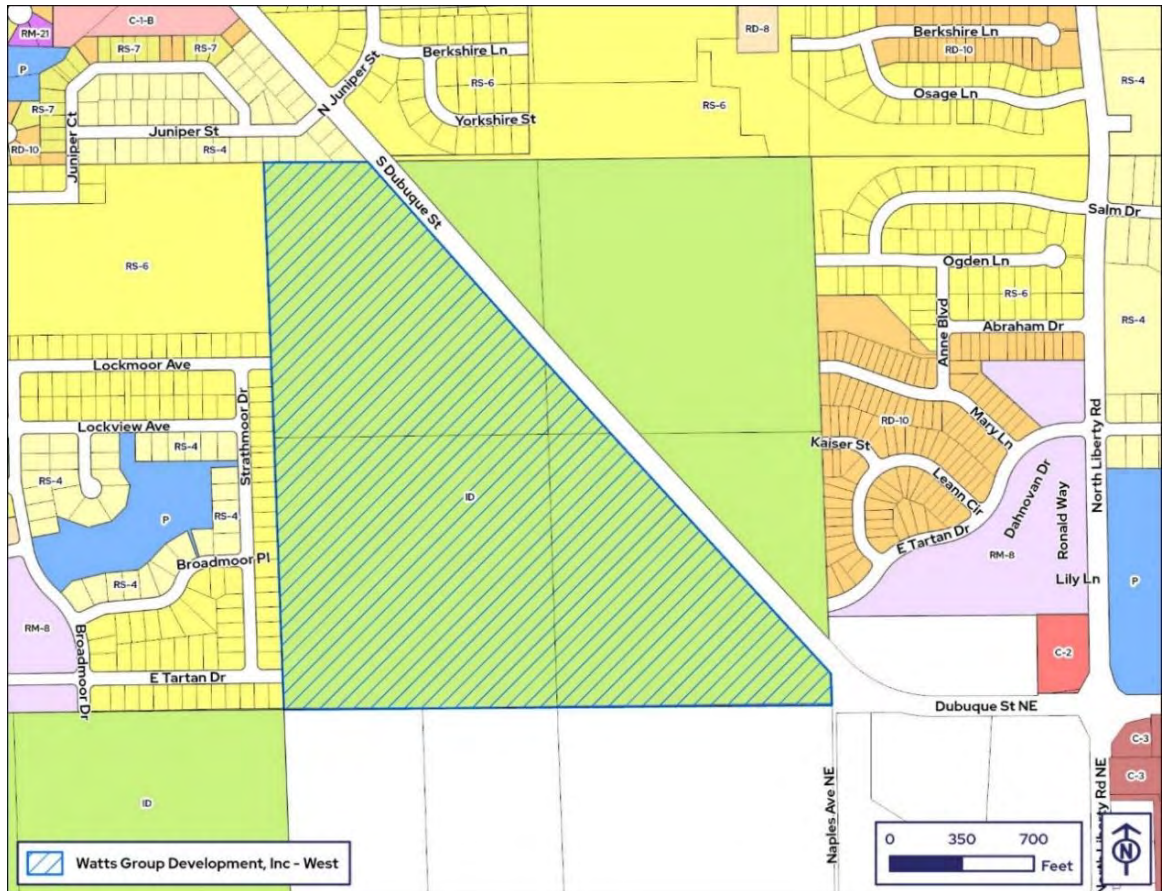
The purpose of the request is to ultimately develop the property with a mix of housing types and related infrastructure. This is a significant development in an area with existing utilities and would create important street connections.



2. Current and Proposed Zoning:

Current Zoning

ID. The ID District is intended to preserve existing agriculture and other non-intensive uses to prevent premature development and non-orderly encroachment of higher intensity urban uses, and to help guide urban growth into suitable areas.



Proposed Zoning

RS-6. The RS-6 District is intended to provide for and maintain moderate density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-6 District.

Minimum Lot Area	Maximum Building Height	Minimum Required Front Yard	Minimum Required Corner Side Yard	Minimum Required Side Yard	Minimum Required Rear Yard
7,000 SF	35'	25'	25'	8'	30'

RS-9. The RS-9 District is intended to provide for and maintain high-density single-unit residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RS-9 District.

Minimum Lot Area	Maximum Building Height	Minimum Required Front Yard	Minimum Required Corner Side Yard	Minimum Required Side Yard	Minimum Required Rear Yard
4,500 SF	35'	20'*	25'	5'	25'

*Garage doors facing a public street shall be setback a minimum of 25'

RD-10. The RD-10 District is intended to allow for attached single-unit dwellings joined together on a common boundary line with a common wall between the units. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RD-10 District.

Minimum Lot Area	Maximum Building Height	Minimum Required Front Yard	Minimum Required Corner Side Yard	Minimum Required Side Yard	Minimum Required Rear Yard
9,000 SF	35'	25'	25'	5'	30'

RM-12. The RM-12 District is intended to provide and maintain medium-density, multiple-unit housing residential neighborhoods. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RM-12 District.

Maximum Density	Maximum Building Height	Minimum Required Front Yard	Minimum Required Corner Side Yard	Minimum Required Side Yard	Minimum Required Rear Yard
12 DU/Acre	35'	25'*	25'*	5' if that side yard abuts RM District, otherwise 15'	30'

* Townhouses may reduce setback to a minimum of 20' except when garage doors face a public street. Notwithstanding the foregoing, there shall be a minimum setback of 20' to any sidewalk or street edge

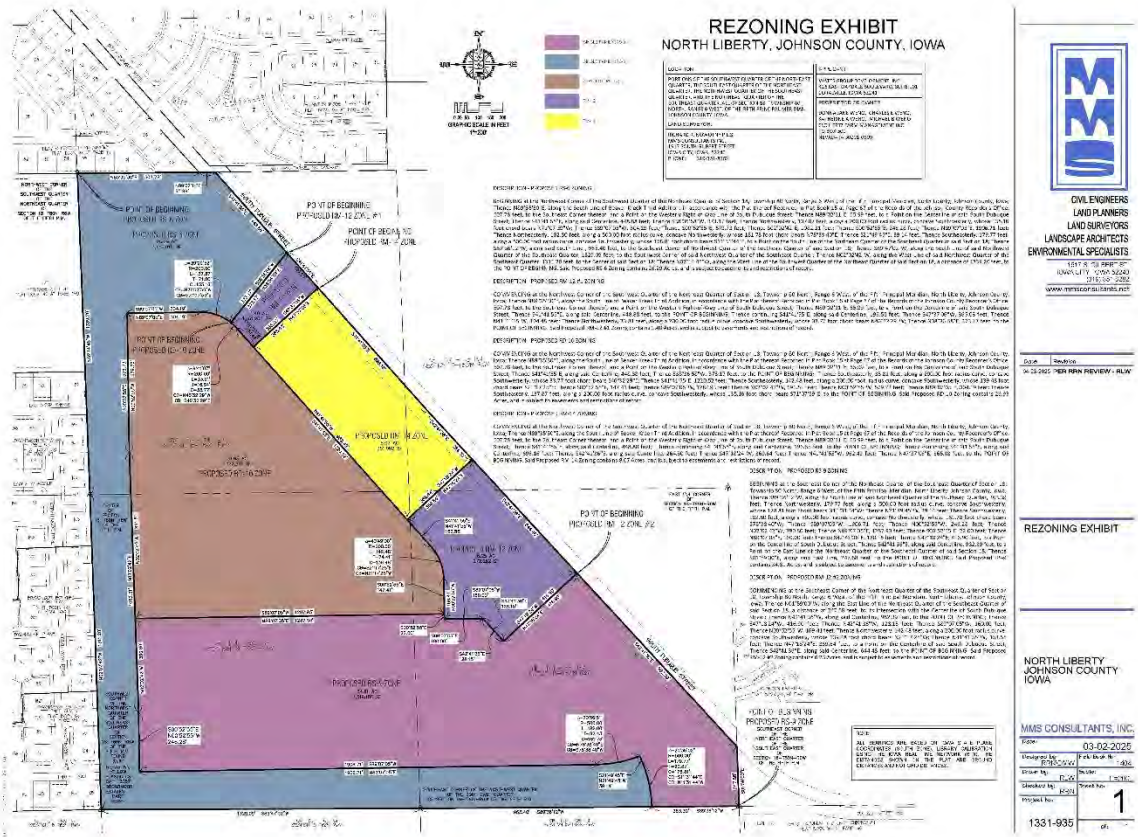
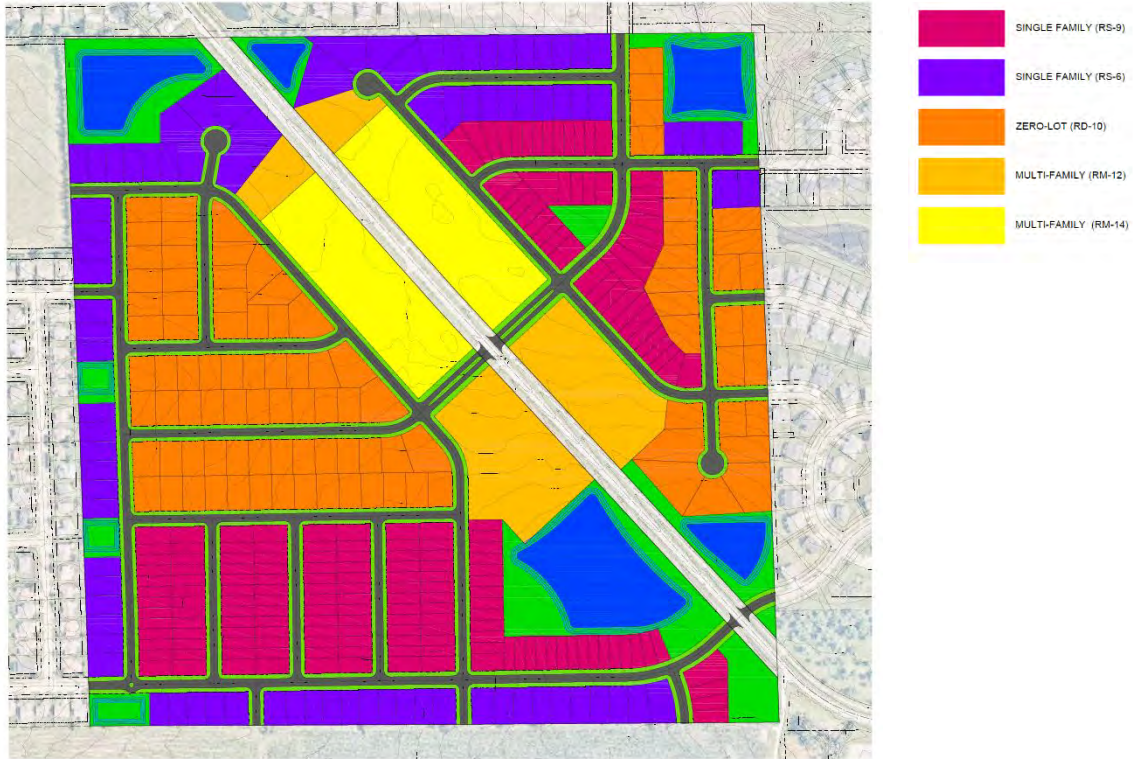
RM-14. The RM-14 District is intended to provide and maintain medium-density, multiple-unit housing residential neighborhoods with a maximum residential density of 14 units/acre. Limited non-residential uses that are compatible with the surrounding residential neighborhoods may be permitted in the RM-14 District.

*RM-14 is a proposed zoning district, which will ultimately need to be approved by the City Council. The Planning Commission unanimously recommended approval of the proposed district at its April 1 meeting.

Maximum Density	Maximum Building Height	Minimum Required Front Yard	Minimum Required Corner Side Yard	Minimum Required Side Yard	Minimum Required Rear Yard
14 DU/Acre	35'	25'*	25'*	5' if that side yard abuts RM District, otherwise 15'	30'

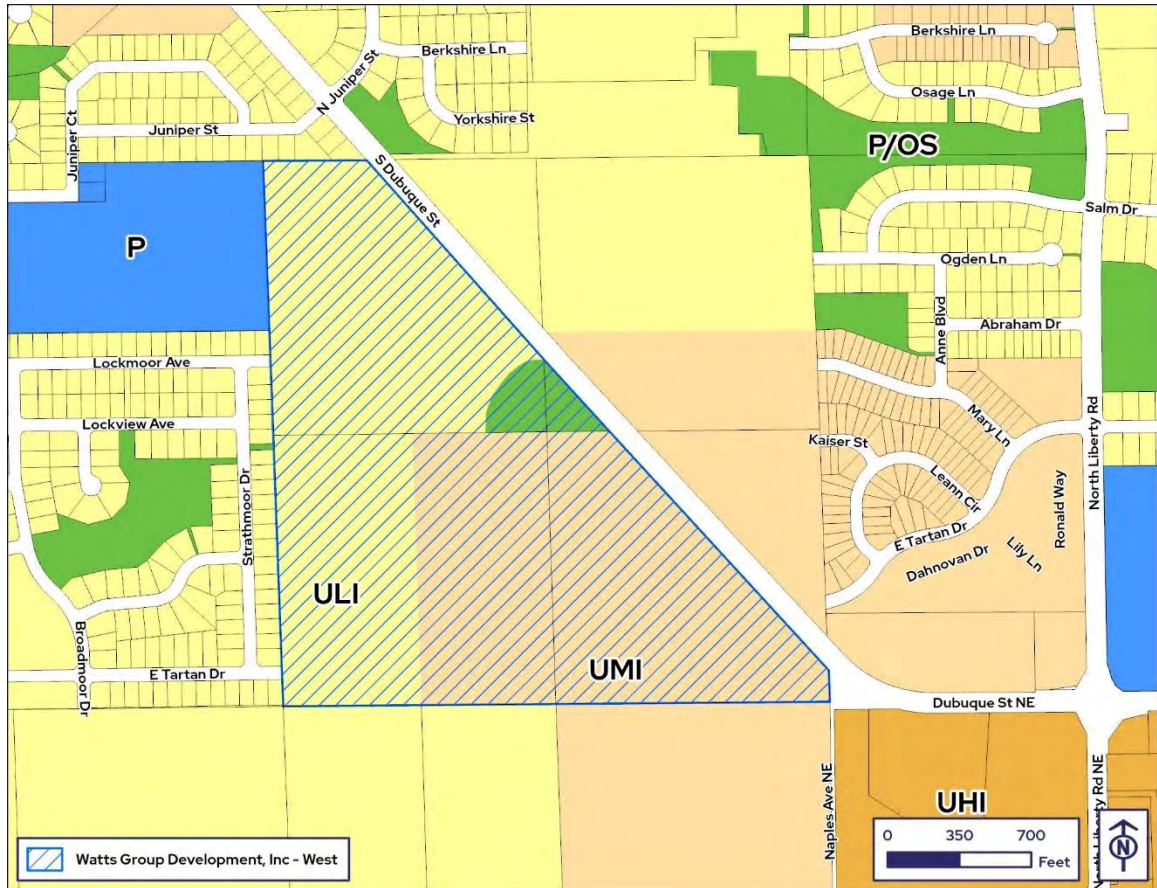
* Townhouses may reduce setback to a minimum of 20' except when garage doors face a public street. Notwithstanding the foregoing, there shall be a minimum setback of 20' to any sidewalk or street edge

Below is a conceptual subdivision plan for the west and east side of the property.



3. Consistency with Comprehensive Plan:

Future Land Use Map (FLUM) designations: 50.19 acres of Urban Low Intensity (ULI), 46.65 acres of Urban Medium Intensity (UMI) and 3.14 acres of Parks/Open Space (P). Please note acreage excludes South Dubuque Street right-of-way.



Urban Low Intensity Description

An efficient, walkable pattern of lower-density development. Compared to denser areas, ULI has more space and separation of uses, with farther distances between destinations and fewer shared amenities. Low-intensity areas can include a horizontal mix of primarily residential and limited non-residential uses at compatible lower densities and scales.

Residential

Emphasis on single-family detached and attached residential developments. Attached housing projects may primarily be at transition areas between arterial or collector streets, small scale commercial uses, and higher intensity districts.

Form and Features

- » General aggregate development density of 3 to 8 units per acre. Lot sizes can vary within developments to provide different housing types.
- » A framework of streets and open space should create neighborhoods and multiple access points for all types of transportation.
- » Open spaces, streets, and trail connections integrate with the larger community.

Urban Medium Intensity Description

More variety in housing arrangements and more allowance for activity areas that draw people from outside the immediate area for services or recreation. Increased intensity (compared to ULI) improves opportunities for economic activity and social interaction. Medium intensity areas include mostly a horizontal mix of residential and non-residential uses at compatible moderate densities and scale, although there may be opportunities for vertical mixed-use.

Residential

Uses include a variety of housing types that may be on smaller lots. Housing mix can include single-family detached homes, duplexes, townhomes, and multifamily buildings to create integrated neighborhoods.

Form and Features

- » General aggregate development density of 7 to 14 dwelling units per acre. Innovative designs should allow more public spaces than ULI.
- » Attached housing developments maintain the identity of the individual housing units.
- » High connectivity with multiple access points into neighborhoods. As compared to ULI, UMI encourages closer proximity between transportation, housing, and commercial services.

Parks/Open Space Description

Some areas contain valuable environmental features that should not be developed or that would make good recreational spaces. Areas intended for parks can be developed with recreational features while open space areas are more appropriate for habitat preservation with only passive recreation uses.

Form and Features

- » Based around natural areas where wetlands, floodplains, and any other sensitive areas should be preserved. Development is limited to park areas.
- » Minimal site disturbance, green infrastructure, and stormwater management.
- » Development on the periphery should not remove trees or other natural landscaping to help retain natural filtering and protection from pollutants.
- » More intense recreation uses within parks, like sports complexes, should be treated like comparable commercial uses for the traffic and compatibility issues that they can generate.

4. Public Input:

Considering that this is a large request, two good neighbor meetings were held:

1. March 12, 2025 – In-person meeting.
2. March 26, 2025 – virtual meeting.

Both meetings were very well attended. There were approximately 40 people at the in-person meeting and 40 people at the virtual meeting.

A summary of the concerns include:

- Zoning compatibility/intensity
- Stormwater drainage
- Traffic impacts
 - Impact of the proposed development to the overall transportation system.
 - The number of access points to Dubuque Street
 - Traffic calming, particularly on East Tartan Street
 - School related traffic, particularly during peak times.
 - Construction traffic
- Parks/open space

Detailed discussion on these topics is provided within the *Additional Considerations* section.

See attachment for public input.

5. Zoning Map Amendment Approval Standards

Section 165.09(4)(D)(1) of the Zoning Ordinance sets for the approval standards for zoning maps amendments.

Approval Standards. The Planning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards (ordinance language in *italics* and staff analysis in **bold**).

Map Amendments.

- (a) *The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.*

Figure 3.4 within Connected to Tomorrow was utilized to determine which zoning district would be compatible with the Future Land Use Map.

Figure 3.4: Land Use Compatibility

TRADITIONAL LAND USES	AGRICULTURE (AG)	URBAN RESERVE (UR)	URBAN LOW INTENSITY (ULI)	URBAN MEDIUM INTENSITY (UMI)	URBAN HIGH INTENSITY (UHI)	COMMERCIAL/ INDUSTRIAL FLEX (FLX)	PUBLIC AND SEMI PUBLIC (PUB)	PARK AND OPEN SPACE (P, OS)
Agriculture	●	●						○
Rural residential		●						
Low-density residential			●	○				
Medium-density residential			●	●	○			
High-density residential				●	●	○		
Rural commercial		●						
Neighborhood commercial			○	●	●	●		
Community commercial				○	●	●		
Regional commercial					○	●		
Low/medium intensity office			○	●	●	●		
High-intensity office				○	●	●		
Limited industrial		○				●		
Heavy industrial						○		
Parks and civic uses	●	●	●	●	●	○	●	●
Major public/civic facilities					○	○	●	○
Residential density range (du/A*)	≤40	≤40	3-8	7-14	14+	14+	NA	NA

● Permitted ○ Permitted with special review
*Dwelling Units per Acre

Notably, the adopted Comprehensive Plan articulates the following (page 45) about Future Land Use Map (FLUM) boundaries:

Generalized land use locations and transitions: The boundaries between land uses on the map are “fuzzy” lines and are meant to show approximate areas for transition, rather than rigid boundaries.

Number of units based on FLUM designations:

- 50.19 acres of Urban Low Intensity (ULI) – 250 – 401 units based on 5 – 8 units/acre.
- 46.65 acres of Urban Medium Intensity (UMI) – 326 – 653 units based on 7 – 14 units/acre.
- 3.14 acres of Parks/Open Space (P) – 0 Units.

Total: 576 – 1,054 units (5.59 – 10.22 units/acre).

Number of units based on lot size or density restrictions.

- RS-6 permits 7,000 square foot lots – 26.29 acres * 6.22 units/acre = 163 units. 56 units are shown on the concept plan.
- RS-9 permits 4,500 square foot lots – 34.81 acres * 9.68 units/acre = 336 units. 136 units are shown on the concept plan.
- The RD-10 District permits 4,500 square foot lots – 26.93 acres * 9.68 units/acre = 260 units. 70 units are shown on the concept plan.
- The RM-12 District permits 12 unit/acre – 7.65 acres * 12 units/acre = 91 units.
- The RM-14 District permits 14 units/acre – 8.07 acres * 14 units/acre = 112 units.

Maximum number of units based on lot size or restrictions: 962 units (9.27 units/acre).

Staff’s estimate on number of units shown on the concept plan: 465 units (4.48 units/acre). The developer’s estimated unit count is 443 unit (4.27 units/acre). Notably, there are 14.9 acres of green space/stormwater detention areas shown on the concept plan.

It is staff’s opinion that the request would be consistent with the Comprehensive Plan.

(b) *The compatibility with the zoning of nearby property.*

The request ensures compatibility by proposing single-unit dwelling zoning next to existing single-unit zoning and increases density/intensity toward South Dubuque Street, which is an arterial roadway.

It is staff's opinion that the request would be compatible with the zoning of nearby property.

(c) *The compatibility with established neighborhood character.*

The request ensures compatibility by proposing single-unit dwelling zoning next to existing single-unit zoning. Also, the street network would be extended in a logical and compatible manner.

It is staff's opinion that the request would be compatible with the established neighborhood character.

(d) *The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.*

It is staff's opinion that the proposed zoning would promote the public health, safety, and welfare of the City.

(e) *The extent to which the proposed amendment creates nonconformities.*

It is staff's opinion that the proposed zoning would not create any nonconformities.

6. Additional Considerations:

Zoning compatibility/intensity:

With respect to the west side, the developer originally included RM-21 Multi-Unit Residence District on the Dubuque Street frontage. Based on neighborhood feedback, RM-21 was removed from the request.

Stormwater Drainage:

City staff understands the common concern about stormwater management, but this is a design related concern. The expectation is that the development will improve stormwater drainage in the area, particular along the north boundary.

Traffic impacts:

Traffic impact study:

The City has requested and the developer has commissioned a Traffic Engineer to analyze the impact of the proposed development on the City's transportation network. Preliminary review of data demonstrates sufficient capacity to accommodate the development, but the study is further assessing physical improvements to address potential areas of congestion that may or may not be directly related to the development.

For some context, Department of Transportation (DOT) traffic counts indicate a volume of 6,400 cars per day in 2018 and 5,500 cars per day in 2022. This decrease was likely due to North Liberty Road being improved.

Concern about the number of access points to Dubuque Street

City staff has been discussing the number of accesses to South Dubuque Street and a final determination has not been made. However, one point of consideration is South Dubuque Street is classified as an arterial (major) roadway. The City limits the number of accesses to an arterial roadway because they can be counterproductive to traffic flow. Section 180.12(3)(D) of the North Liberty City Code reads in part:

Cul-de-sacs will be considered where it can be clearly demonstrated that environmental constraints, existing development, access limitations along arterial streets, or other unusual features prevent the extension of the street to the property line or to interconnect with other streets within or abutting the subdivision.

Traffic calming, particularly on East Tartan Street.

Certainly, East Tartan Street, once fully built out and connected, will serve as an east/west cut through. Staff is exploring physical improvements to East Tartan Street that have the effect of slowing traffic down, such as mini roundabouts or narrowing the street width in certain sections.

School related traffic, particularly during peak times.

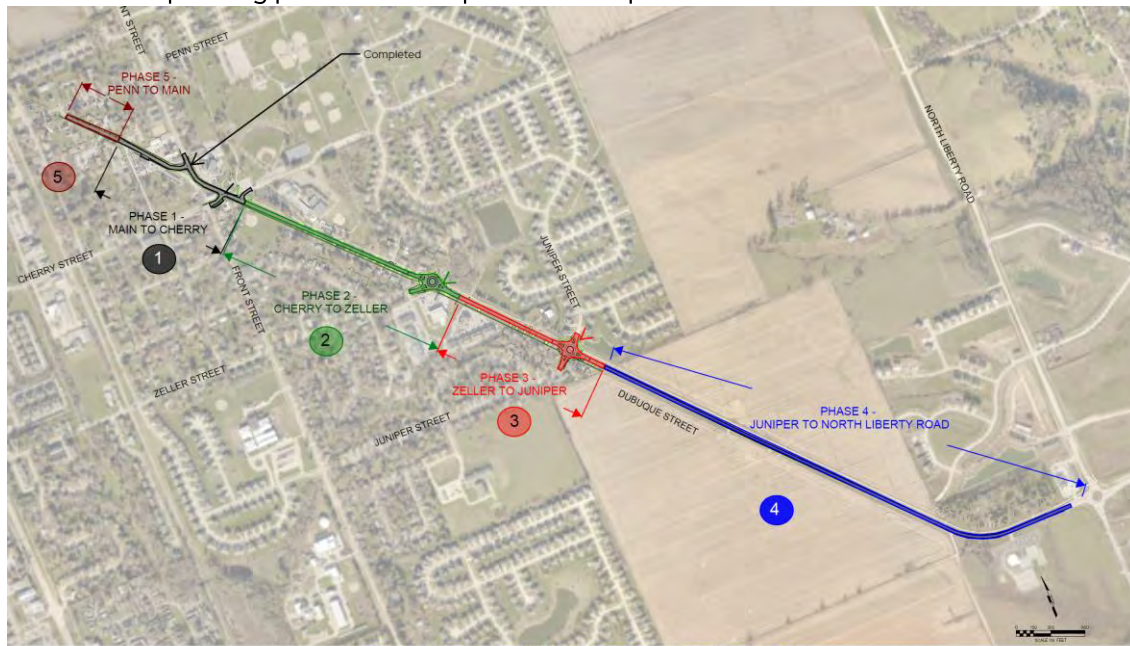
This City doesn't have control over the traffic generated from Penn Elementary, Heritage Christian School and Liberty High School. Although, it is recognized that the traffic is intense during opening and closing times.

Construction traffic.

It's too early in the process for any commitments to be made on how construction equipment will access the site. However, this will be considered at the time the City reviews the subdivision construction plans for individual phases.

Other traffic considerations.

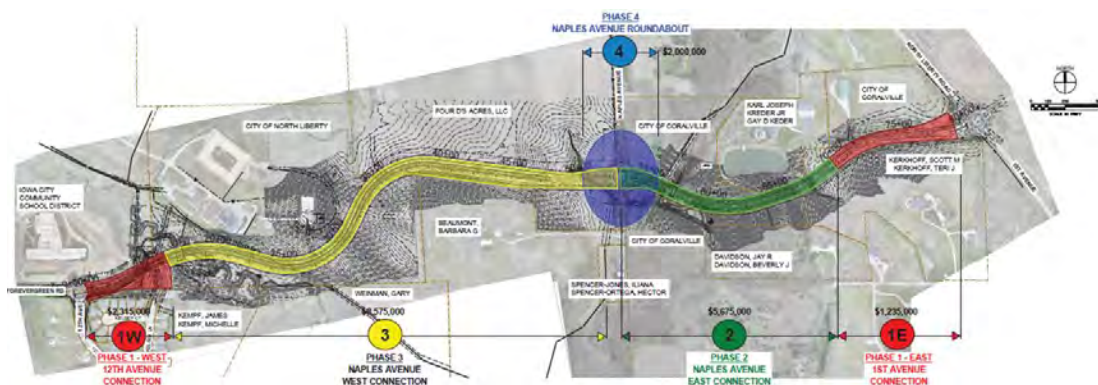
Below is the phasing plan for Dubuque Street Improvements



North Liberty was awarded federal funding through the Metropolitan Planning Organization of Johnson County (MPOJC) for Phases 3 & 4 for Fiscal Year 2028 (July 1, 2027 – June 30, 2028). This includes reconstructing the street in Phase 3, which includes a roundabout at the Juniper Street intersection and resurfacing the asphalt in Section 4. Considering the proposed development, the City is exploring a roundabout at the South Dubuque Street/East Tartan Street intersection.

North Liberty was preliminarily awarded federal funding through the MPOJC for Phase 2 for Fiscal Year 2031 (July 1, 2030 – June 30, 2031). This includes restricting the street and the construction of a roundabout at the East Zeller Street intersection.

The Cities of North Liberty and Coralville continue to jointly work on designing and constructing Forevergreen Road from North Central Middle School in North Liberty to North Liberty Road/1st Avenue in Coralville. This is a multi-phase project, which will take several years to ultimately build. It is planned there will be one or more connections from future East Tartan Street to future Forevergreen Road.

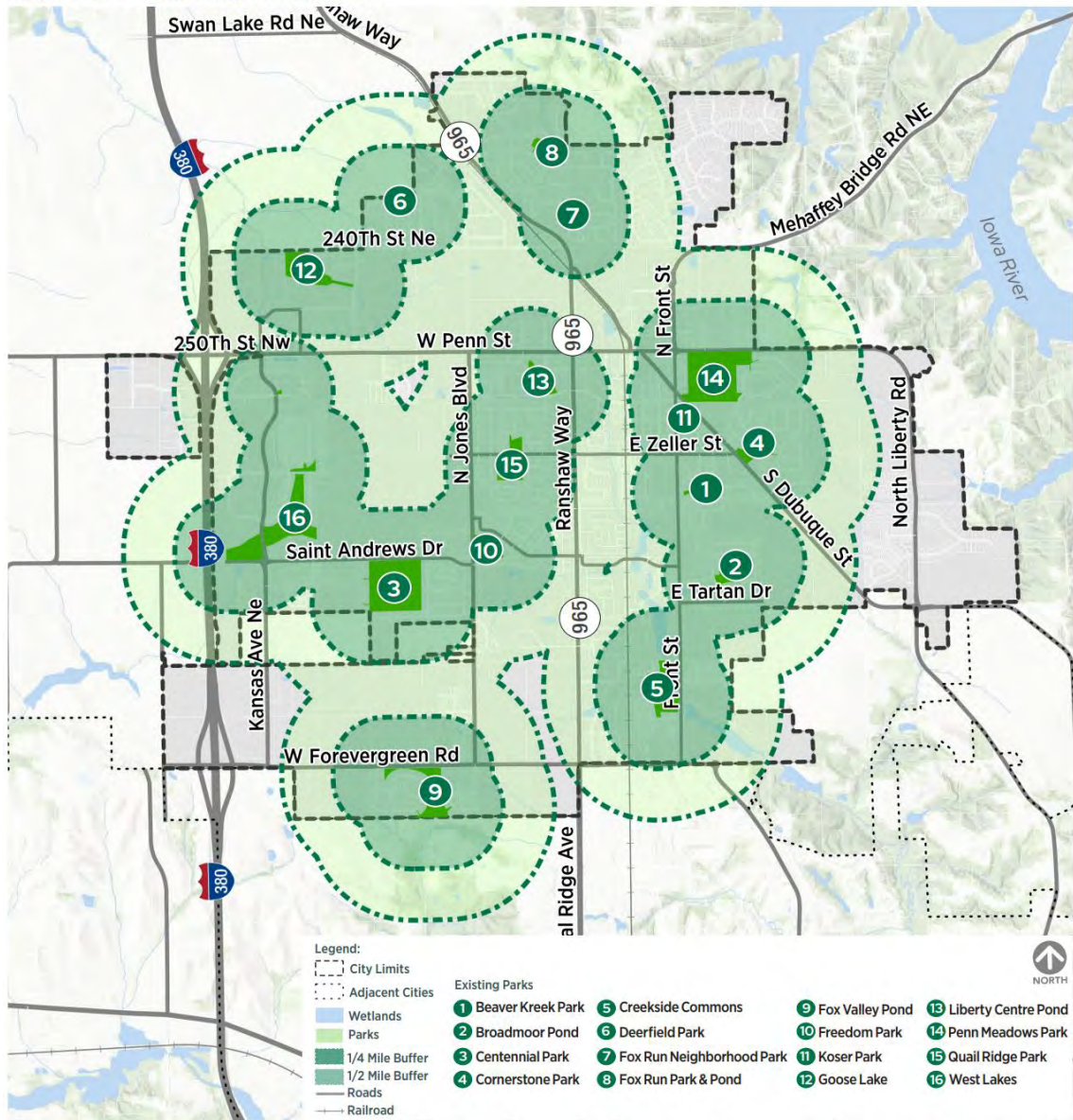


Parks/Open Space

Below is the ¼ mile and ½ mile radius from existing City-owned parks from the 2023 Comprehensive Plan. Due to the location of the Broadmoor Pond (2), there isn't a ½ mile needs gap on the subject property. There is a needs gap in the area south of future Tartan Street. The City intends to discuss the possibility of future park space in that area when future development discussions occur.

As previously noted, there are 14.9 acres of green space/stormwater detention areas shown on the concept plan.

Figure 1.28: Existing Parks, 2022



Source: RDG Planning & Design

Current estimate by housing type (updated 2/21/2025):

Another common concern is the perceived imbalance of housing types in North Liberty.

Total		3434	1783	1231	2150	243	470	9311
Percentage		36.88%	11.74%	9.18%	17.66%	2.42%	4.81%	9311
		SFR	2FR	TH	MFR	MFR w/comm	MH	Total
Total Housing Units	9311							
Household Size	2.59							
Occupied Housing Percentage	96.40%							
Population Estimate	23276.3634							

7. Staff Recommendation:

Finding:

1. The rezoning request from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 26.29 acres, RS-9 Single-Unit Residence District on approximately 34.81 acres, RD-10 on approximately 26.93 acres, RM-12 on 7.65 acres, and RM-14 on approximately 8.07 acres. The property contains approximately 103.75 acres would achieve consistency with the approval standards enumerated in Section 165.09 of the Zoning Code.

Recommendation:

Staff recommends the Planning Commission accept the listed finding and forward the request for zoning map amendment (rezoning) from ID Interim Development District to RS-6 Single-Unit Residence District on approximately 26.29 acres, RS-9 Single-Unit Residence District on approximately 34.81 acres, RD-10 on approximately 26.93 acres, RM-12 on 7.65 acres, and RM-14 on approximately 8.07 acres to the City Council with a recommendation for approval.

Suggested motion:

I move that the Planning Commission accept the listed finding and forward the zoning map amendment to the City Council with a recommendation for approval.

From: Ashley Bermel <ashley@ashleybermel.com>
Sent: Saturday, March 1, 2025 7:04 AM
To: Brent Smith; Brian Leibold; Brian Wayson; Erek Sittig; Mayor; Paul Park; Ryan Heiar; Ryan Rusnak
Subject: [External] Consideration of Substantial Rezoning Along South Dubuque Street

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Dear Councilmembers and Staff,

I want to start by expressing my appreciation for the work you and the council do to guide North Liberty's future. Having once sat in your seat, I understand the complexity of these decisions—the balancing act between meeting immediate housing demands and ensuring that our long-term vision remains intact. The opportunity before us is significant: a ready and willing developer stands prepared to inject new residents, economic activity, and tax dollars into our community. That is not something to take lightly. But beyond the immediate benefit, we need to ask a harder question: **is this the kind of growth that will create a lasting legacy for North Liberty?**

The undeniable short-term benefit of large-scale development is that it quickly meets housing demand. A single developer working at this scale can efficiently provide homes and create accessibility in a growing market. But as we have seen in other communities that have followed this model, there is often a long-term cost—one that is harder to quantify in the moment but becomes evident over time.

Some of North Liberty's most desirable and enduring neighborhoods—most notably Cedar Springs and Arlington Ridge—did not become sought-after by accident. They succeeded because they offered architectural diversity, choice, and thoughtful land planning. They were designed with intention, with green spaces, walking trails, and communal areas that added value beyond just the homes themselves. These neighborhoods stand the test of time because they encourage long-term investment and attachment. People move in, they put down roots, they stay. Their homes appreciate in value, not just because of the broader market but because they are part of a neighborhood that is distinct, desirable, and thoughtfully designed.

The concern many of us share is that large-scale, **single-developer** projects do not provide this same level of architectural diversity or community intentionality. When a builder controls too much of the landscape, we inevitably see a set number of home designs that

reduce competition, limit buyer choice, and create a uniform look that lacks individuality. We see a focus on cost efficiency over long-term value, where homes may be affordable initially but struggle with resale as newer models from the same builder enter the market. And we see a lack of meaningful neighborhood enhancements—fewer mature trees, minimal landscaping, and little investment in shared green spaces that elevate the overall quality of life.

Every council is tasked with making decisions that solve for today while safeguarding tomorrow. The challenge is that short-term wins—filling housing demand quickly, boosting tax revenue, and meeting immediate market needs—are easy to measure. But long-term success—creating a city that people remain proud to call home, ensuring our neighborhoods hold their value, and building a community with lasting identity—is harder to quantify in a single budget cycle.

That is why I urge the council to ask:

Are we making decisions that will stand the test of time, or are we opting for the most immediate solution?

Are we fostering a competitive builder environment that allows for innovation, choice, and architectural creativity?

Are we designing neighborhoods that people will not just buy into, but stay in—putting down roots, investing in their homes, and building a community that thrives for decades?

Are we ensuring that North Liberty doesn't just become a place where homes are built, but a city that is thoughtfully shaped?

I am not suggesting that large-scale development should be rejected outright—only that we must be intentional in ensuring that the growth we approve today contributes to a North Liberty we will be proud of tomorrow. Are there ways to encourage this developer, and others, to integrate more diverse housing styles or perhaps even allow a few builders (of our collective choosing) to be invited into the mixture of offerings? To incorporate shared community spaces that make a neighborhood more than just a collection of homes? To take a page from the success of Arlington Ridge, where design was driven not just by speed, but by vision?

North Liberty is at a pivotal moment. We have the opportunity to welcome new residents and expand our tax base, but let's make sure that we do it in a way that enhances—not diminishes—our city's identity. Let's not just build housing. Let's build a community that will last.

I appreciate your time and consideration, and I welcome the opportunity to discuss how we can ensure that our growth reflects the very best of North Liberty's potential.

Sincerely,

Ashley Bermel

319.855.0248

930 Pheasant Lane North Liberty, IA 52317

From: Keith Clasen <keithclasen@hotmail.com>
Sent: Sunday, March 23, 2025 2:18 PM
To: Ryan Rusnak
Cc: Paul Park; Ryan Heiar; ineska_n@yahoo.com
Subject: [External] Fwd: From AR HOA - Rezoning Along S. Dubuque St - Good Neighbor Meeting
Attachments: [Watts Development Group, Inc GNM Notice - 2-28-2025.pdf](#)

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Hi Ryan,

I will likely not be able to join the good neighbor meetings but would like to share my wife and my concerns with this rezoning request.

We are not opposed to the land being developed but are opposed with the land being developed as multi-family or anything other than single family homes. The reason our family choose to move to North Liberty 9 years ago was because of the single family homes available and because of our desire to live in a city that still maintained the small town Iowa feel to maintain a positive and connected community.

Seeing what is happening in the development across the street from the high school on the Coralville side has us concerned about what will happen if this rezoning request is approved. Having one developer control who builds on the land opens the door to cheaply built homes that look more like cookie cutter boxes than single family homes that people aspire to live for a significant portion of their lives in the same community. While this is a free economy and the developer has the right to purchase the land and make significant profits from the land, the City of North Liberty also has the right to listen to the community members and do the right thing by restricting this development to be for single family homes only and open to other builders in the community to provide fair competition and increase the uniqueness and quality of homes being built in North Liberty.

We have several friends and family who would like to move to North Liberty but are looking to raise their kids in single family homes which are currently under supplied, not multi-family buildings built and sold primarily to raise the profits of one development group or further strengthen the North Liberty small town feel and uniqueness.

North Liberty has been growing at a significant pace over the past several years. Do we have the infrastructure to support multi-family homes? Dubuque St. is already congested and this will only compound the problem.

Lastly and most concerning to many families that live in the Arlington Ridge neighborhood is that approving this rezoning request will devalue our homes along with devaluing the community we live in.

Thank you for your consideration,

Keith and Inna Clasen
440 Carlyle Dr.

Begin forwarded message:

From: Arlington Ridge HOA <mailer@payhoa.com>
Date: February 28, 2025 at 8:11:42 PM CST
To: Keith Clasen <keithclasen@hotmail.com>
Subject: From AR HOA - Rezoning Along S. Dubuque St - Good Neighbor Meeting
Reply-To: Arlington Ridge HOA <arlingtonhomeowners@gmail.com>



Please read information and attend the meeting if possible.
Thank you,
Arlington Ridge HOA Board

From: Ryan Rusnak <rrusnak@northlibertyiowa.org>
Sent: Friday, February 28, 2025 12:55 PM
To: Brent Smith <brent.smith@northlibertyiowa.org>; Brian Leibold <brian.leibold@northlibertyiowa.org>; Brian Wayson <brian.wayson@northlibertyiowa.org>; Erek Sittig <erek.sittig@northlibertyiowa.org>; Mayor <mayor@northlibertyiowa.org>; Paul Park <paul.park@northlibertyiowa.org>
Cc: Ryan Heiar <rheiar@northlibertyiowa.org>
Subject: Watts Development Group, Inc Good Neighbor Meeting

Mayor Hoffman and City Councilors,

Attached is Good Neighbor Meeting for a substantial rezoning along South Dubuque Street.

We will be having two good neighbor meeting on this one:

3/12/2025 – In person 6:00 – 7:00 PM City Hall

3/26/2025 – Virtual 5:30 6:30 PM.

We recognize Spring Break is March 17-21 so meetings will be before and after the break.

Please let me know if you have any questions.

From: Ryan Rusnak
Sent: Tuesday, April 1, 2025 10:31 AM
To: Bob and Carolyn Norton
Subject: RE: [External] Re: Watts Group Development, Inc. Rezoning

We don't use speed humps on public streets in North Liberty.

Stop signs aren't to be used as a traffic calming feature.



RYAN "RUS" RUSNAK
PLANNING DIRECTOR
(319) 626-5747 office

Messages to and from this account are subject to public disclosure unless otherwise provided by law.

From: Bob and Carolyn Norton <bcnorton2@gmail.com>
Sent: Tuesday, April 1, 2025 10:23 AM
To: Ryan Rusnak <rrusnak@northlibertyiowa.org>
Subject: [External] Re: Watts Group Development, Inc. Rezoning

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Question

Is that a roundabout that has been added to Tartan? Why not stop signs or speed humps to slow traffic down?

Carolyn Norton

On Tue, Apr 1, 2025 at 9:23 AM Ryan Rusnak <rrusnak@northlibertyiowa.org> wrote:

Hello everyone,

We put together an email list of people that participated in the in person and online good neighbor meetings.

We had great attendance, which is awesome. My plan is keep to lines of communication open.

If you don't want to be part of this list, please let me know.

Attached is the revised rezoning map, which was provided before the second meeting. It incorporated some changes heard at the first meeting.

1. Changed the zoning to RS-6 at the end of Ogden Ln.
2. Changed the RM-21 (multi-family 21 units/acre) to RM-14 (multi-family 14/units acre).
3. Added traffic calming on E Tartan St adjacent to Broodmoor Estates.

Please note that they are planning on this being considered at the 5/6/2025 Planning Commission meeting.

They originally wanted to be considered in April, but we wanted them to tap the breaks to allow for additional feedback and analysis.

Please let me know if you any questions or comments.

Thanks,



RYAN “RUS” RUSNAK
PLANNING DIRECTOR
(319) 626-5747 office

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You're receiving this message because you're a member of the Watts-Weno Rezoning Group group from City of North Liberty. To take part in this conversation, reply all to this message.

[View group files](#) | [Leave group](#) | [Learn more about Microsoft 365 Groups](#)

From: Chelsey Scanlan <chelseylynnharris@gmail.com>
Sent: Tuesday, April 1, 2025 10:19 AM
To: Ryan Rusnak
Subject: [External] Feedback regarding South Dubuque/Greenbelt Trail Rezoning

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Hi Ryan,

Thank you for all the information you've shared via email and the Good Neighbor Meeting on 3/26.

I had some feedback I wanted to share with you about the current map. Although I do appreciate some of the changed zoning to RS-6 at the end of Ogden Lane, I am still seeing a few lots that are RD-10 (zero-lot). I would like to see those remaining RD-10 lots changed to either RS-6 or RS-9. All homes on Ogden Lane are single family homes, and I do not think it's fair to all the current residents of Greenbelt Trail and Ogden Lane to have zero-lots mixed in with this single family home neighborhood.

Again, due to this being a family neighborhood with many small children, I would like to see some space intentionally left to build a park. There is no walkable park for this area. The closest park is Penn Meadows Park and that is not walkable from this area. Also, it's my understanding that an elementary and middle school will be built on this side of town. It would make sense to also have a dedicated park to this side of town and I would appreciate that being considered when updating the zoning map. I'm a bit concerned that Watts Group is only considering the amount of people/homes they can fit into one area and are not taking into consideration the livability of this area. We are not going to have families stay in this area/side of North Liberty if we are just maximizing the amount of homes/people into one area and not adding in spaces like parks or green areas. Also, I'm not seeing any consideration for widening Dubuque Street. I know in the virtual meeting it was shared that the projected 2050 traffic flow did not warrant any additional changes to Dubuque Street. However, as a resident of this side of town for 7 years - Dubuque Street has not changed in 7 years but we have at least tripled the amount of homes/residents on this side of town. There needs to be consideration for widening Dubuque Street to improve the flow of traffic (especially with the school traffic).

On that note, I'm also very concerned about the RM-12 and RM-14 zoning areas on this map and mixing these multi-family developments into a traditionally single family home area. Again, this feels like Watts Group is maximizing the amount of homes/people they can fit into a small area without considering the logistics, the livability of the space, and also the homes that already exist in these areas. For example, you would have single family homes right next to these multi-family dwellings. Many of these single family homes are half a million dollars (all homes in Greenbelt Trail are roughly this price). I do not think it's appropriate to have a half a million dollar home next to a multi-family dwelling. Additionally, I would imagine the Watts Group would have a hard time selling these homes due to this fact alone.

Overall, I would like to see more thought put into this map - the addition of a space for a park, some green lots, and more consideration into the mixing of single family homes and multi-family dwellings.

Thanks for your consideration and all that you do!

Chelsey Scanlan - Greenbelt Trail Resident

From: m pettersen <mikeppettersen@yahoo.com>
Sent: Tuesday, April 1, 2025 10:26 AM
To: Ryan Rusnak
Subject: [External] Watts group development

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Dear Ryan,

My wife and I live at 1215 Ogden Ln. We are against any multifamily neighborhood being built right next-door to us. We looked at the newest proposal. After all it only harbors families who will rent because they will be unable to sell each one of the dwellings. This is happened to every single new neighborhood in the cities area, including Iowa City and Coralville. Crime goes up like burglary, theft, and criminal mischief. Since North Liberty is down 15 officers at this time I feel that building multifamily dwellings at this time would be unwise and harmful to the local neighborhoods where police officers would not be able to respond. We need single family homes for safety and cohesiveness of home owners alike. Every multi family development Watts group has taken over or developed lack in quality and bring home values down. It's unfair to allow Watts group to develop a huge rental neighborhood next to single family homes.

Sincerely

Mike and Debbi Pettersen

[Sent from Yahoo Mail for iPhone](#)

From: michael ulrey <mulrey31@gmail.com>
Sent: Tuesday, April 1, 2025 9:37 AM
To: Ryan Rusnak
Cc: Clint Conklin; Katie Ulrey
Subject: [External] Re: Watts Group Development, Inc. Rezoning

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Ryan-

Appreciate that everything has been shared and that this rezoning is making a few tweaks. The blending with development off Ogden looks significantly improved and we are onboard with the development now! The only comment or thought that is really beyond the scope of this development is with everything that is being built in this entire portion of North Liberty, there aren't any parks that are truly walkable.

Have a great day,
Michael

On Tue, Apr 1, 2025 at 9:23 AM Ryan Rusnak <rrusnak@northlibertyiowa.org> wrote:
Hello everyone,

We put together an email list of people that participated in the in person and online good neighbor meetings.

We had great attendance, which is awesome. My plan is keep to lines of communication open.

If you don't want to be part of this list, please let me know.

Attached is the revised rezoning map, which was provided before the second meeting. It incorporated some changes heard at the first meeting.

1. Changed the zoning to RS-6 at the end of Ogden Ln.
2. Changed the RM-21 (multi-family 21 units/acre) to RM-14 (multi-family 14/units acre).
3. Added traffic calming on E Tartan St adjacent to Broodmoor Estates.

Please note that they are planning on this being considered at the 5/6/2025 Planning Commission meeting.

They originally wanted to be considered in April, but we wanted them to tap the breaks to allow for additional feedback and analysis.

Please let me know if you any questions or comments.

Thanks,



RYAN "RUS" RUSNAK
PLANNING DIRECTOR
(319) 626-5747 office

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From: Chelsey Scanlan <chelseylynnharris@gmail.com>
Sent: Tuesday, April 1, 2025 10:19 AM
To: Ryan Rusnak
Subject: [External] Feedback regarding South Dubuque/Greenbelt Trail Rezoning

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Hi Ryan,

Thank you for all the information you've shared via email and the Good Neighbor Meeting on 3/26.

I had some feedback I wanted to share with you about the current map. Although I do appreciate some of the changed zoning to RS-6 at the end of Ogden Lane, I am still seeing a few lots that are RD-10 (zero-lot). I would like to see those remaining RD-10 lots changed to either RS-6 or RS-9. All homes on Ogden Lane are single family homes, and I do not think it's fair to all the current residents of Greenbelt Trail and Ogden Lane to have zero-lots mixed in with this single family home neighborhood.

Again, due to this being a family neighborhood with many small children, I would like to see some space intentionally left to build a park. There is no walkable park for this area. The closest park is Penn Meadows Park and that is not walkable from this area. Also, it's my understanding that an elementary and middle school will be built on this side of town. It would make sense to also have a dedicated park to this side of town and I would appreciate that being considered when updating the zoning map. I'm a bit concerned that Watts Group is only considering the amount of people/homes they can fit into one area and are not taking into consideration the livability of this area. We are not going to have families stay in this area/side of North Liberty if we are just maximizing the amount of homes/people into one area and not adding in spaces like parks or green areas. Also, I'm not seeing any consideration for widening Dubuque Street. I know in the virtual meeting it was shared that the projected 2050 traffic flow did not warrant any additional changes to Dubuque Street. However, as a resident of this side of town for 7 years - Dubuque Street has not changed in 7 years but we have at least tripled the amount of homes/residents on this side of town. There needs to be consideration for widening Dubuque Street to improve the flow of traffic (especially with the school traffic).

On that note, I'm also very concerned about the RM-12 and RM-14 zoning areas on this map and mixing these multi-family developments into a traditionally single family home

area. Again, this feels like Watts Group is maximizing the amount of homes/people they can fit into a small area without considering the logistics, the livability of the space, and also the homes that already exist in these areas. For example, you would have single family homes right next to these multi-family dwellings. Many of these single family homes are half a million dollars (all homes in Greenbelt Trail are roughly this price). I do not think it's appropriate to have a half a million dollar home next to a multi-family dwelling. Additionally, I would imagine the Watts Group would have a hard time selling these homes due to this fact alone.

Overall, I would like to see more thought put into this map - the addition of a space for a park, some green lots, and more consideration into the mixing of single family homes and multi-family dwellings.

Thanks for your consideration and all that you do!

Chelsey Scanlan - Greenbelt Trail Resident

From: Garret Krieger <kriegeracing@hotmail.com>
Sent: Friday, April 18, 2025 11:01 AM
To: Ryan Rusnak
Subject: [External] Development near Dubuque St

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Hello Ryan,

I was just driving down front Street kind of a crossed from Colony and noticed how nice those condos look with the front door facing front street I think if we could do something like that along Dubuque Street by us that would make it look nice.

Garret Krieger
200 N Juniper St

From: Ryan Rusnak
Sent: Monday, May 5, 2025 8:08 AM
To: William Lanphere
Subject: RE: [External] Re: May 6, 2025 Planning Commission Meeting

Hi Bill,

Thanks for your email.

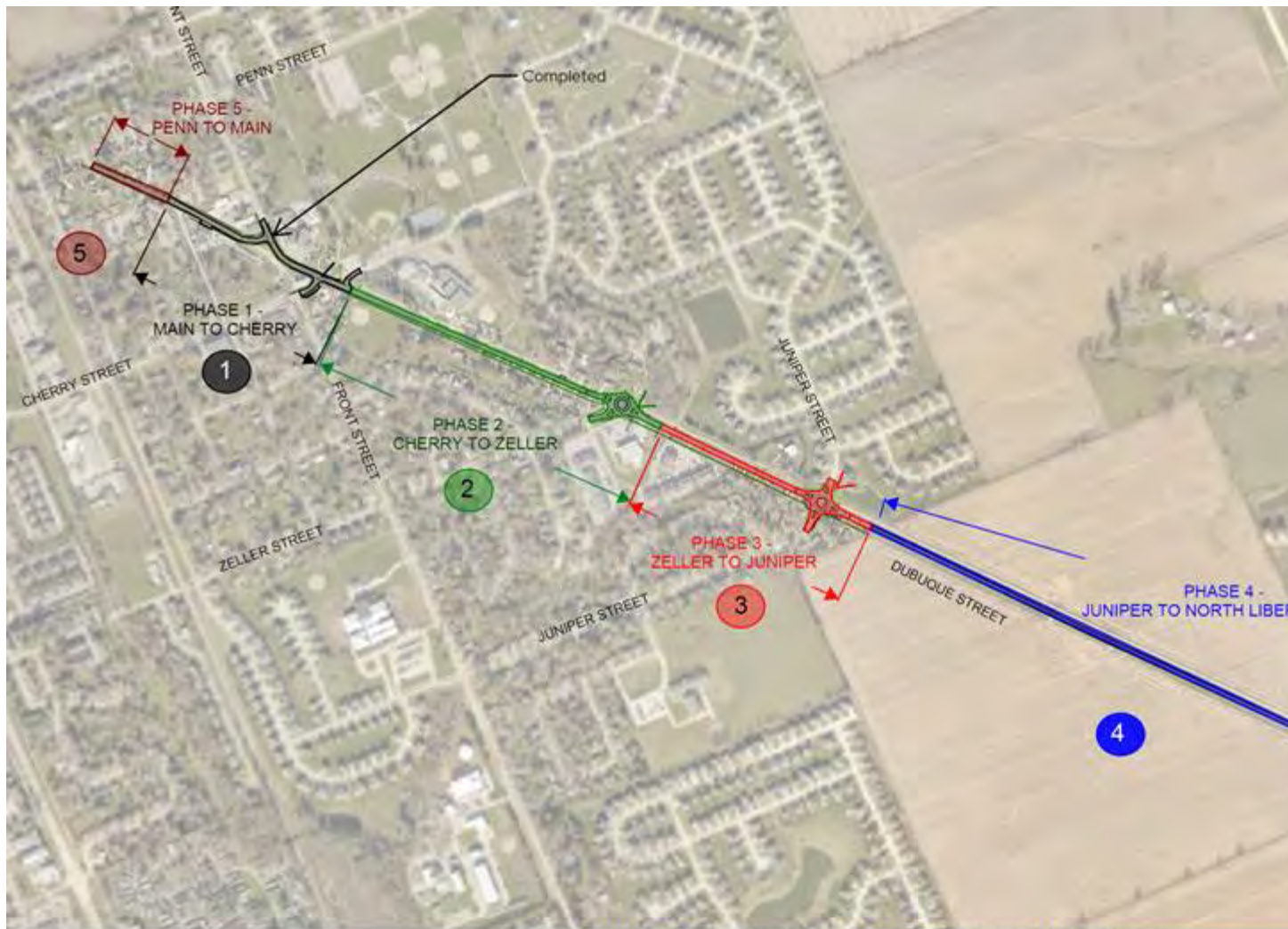
The City has requested and the developer has commissioned a Traffic Engineer to analyze the impact of the proposed development on the City's transportation network. Preliminary review of data demonstrates sufficient capacity to accommodate the development, but the study is further assessing physical improvements to address potential areas of congestion that may or may not be directly related to the development.

For some context, Department of Transportation (DOT) traffic counts indicate a volume of 6,400 cars per day in 2018 and 5,500 cars per day in 2022. This decrease was likely due to North Liberty Road being improved.

We have a couple of projects on Dubuque Street that specifically target congestion.

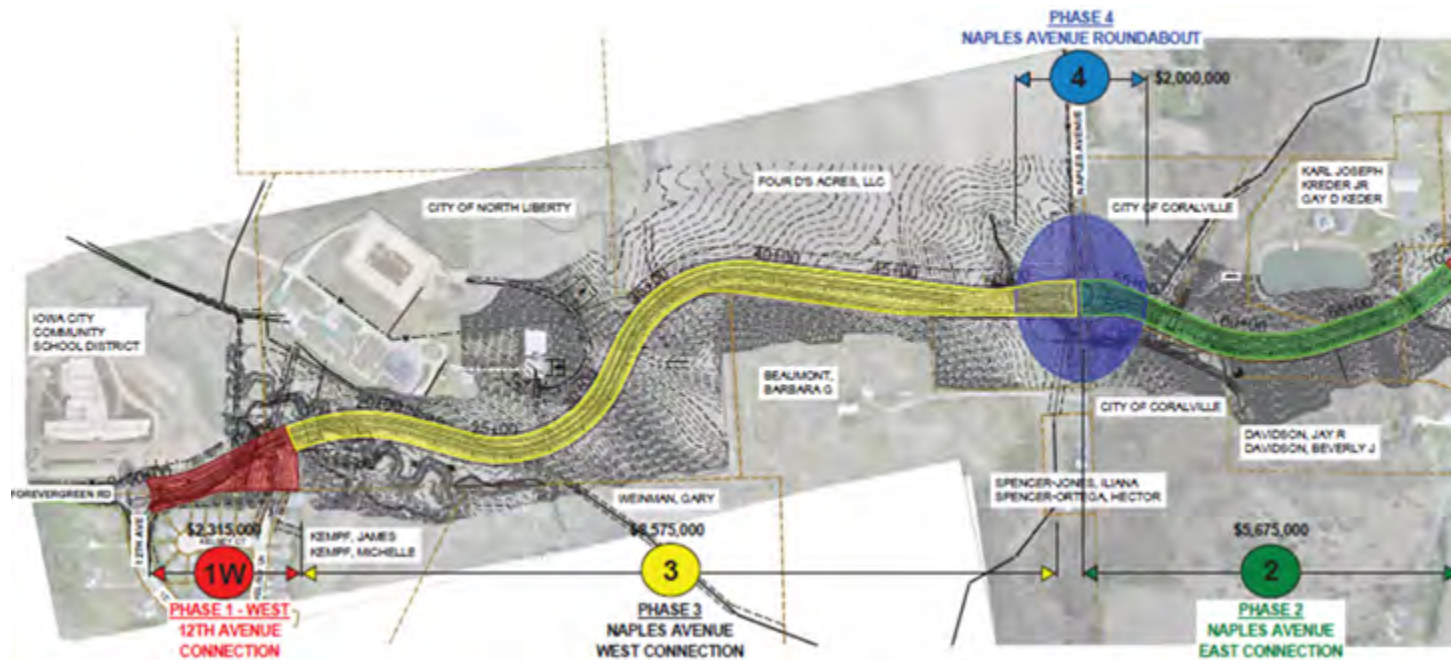
See map below. North Liberty was awarded federal funding through the Metropolitan Planning Organization of Johnson County (MPOJC) for Phases 3 & 4 for Fiscal Year 2028 (July 1, 2027 – June 30, 2028). This includes reconstructing the street in Phase 3, which includes a roundabout at the Juniper Street intersection and resurfacing the asphalt in Section 4. Considering the proposed development, the City is exploring a roundabout at the South Dubuque Street/East Tartan Street intersection.

North Liberty was preliminarily awarded federal funding through the MPOJC for Phase 2 for Fiscal Year 2031 (July 1, 2030 – June 30, 2031). This includes restricting the street and the construction of a roundabout at the East Zeller Street intersection.



NORTH LIBERTY - DUBUQUE STREET IMPROVEMENTS

Also, the Cities of North Liberty and Coralville continue to jointly work on designing and constructing Forevergreen Road from North Central Middle School in North Liberty to North Liberty Road/1st Avenue in Coralville. This is a multi-phase project, which will take several years to ultimately build. It is planned there will be one or more connections from future East Tartan Street to future Forevergreen Road.



Ryan “Rus” Rusnak

PLANNING DIRECTOR

PLANNING

360 N. Main St., North Liberty, IA, 52317



(319) 626-5747 office

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From: William Lanphere <dblarp2@gmail.com>

Sent: Sunday, May 4, 2025 5:24 PM

To: Ryan Rusnak <rrusnak@northlibertyiowa.org>

Subject: [External] Re: May 6, 2025 Planning Commission Meeting

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Ryan,

I am a bit tardy on this, does the city have a plan for dealing with the increased traffic both on Dubuque street as well as Zeller accessing Dubuque? In my opinion the city has missed the boat on dealing with traffic on Penn east of 965. Thank you.

Bill Lanphere
Arlington Ridge

On Sat, May 3, 2025 at 9:32 AM Ryan Rusnak <rrusnak@northlibertyiowa.org> wrote:

Hello everyone,

The Watts Development Group rezoning is on the May 6 Planning Commission (see link below).

You are welcome to attend the public meeting. It will be held in City Hall Council Chambers at 360 N Main St and begins at 6:30 pm

If you sent an email, I included it in the background material. If you don't see something you sent me, please let me know and I will add it to the packet.

If you have any questions, please let me know.

I would appreciate if you reply only to me to keep people's inboxes uncluttered.

Session URL:

<https://studio.bluebeam.com/hyperlink.html?link=studio.bluebeam.com/sessions/869-641-676>

Thanks,

Ryan "Rus" Rusnak

PLANNING DIRECTOR

PLANNING

360 N. Main St., North Liberty, IA, 52317



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From: Jake Scharff <jake.scharff@gmail.com>
Sent: Tuesday, May 6, 2025 4:12 PM
To: Ryan Rusnak
Subject: [External] Re: May 6, 2025 Planning Commission Meeting

WARNING: This email originated from outside of this organization. Do not click links or open attachments unless you know the contents are safe. Never provide your user ID or password to anyone.

Hi Rus,

I'm the president of Greenbelt Trail Part 1 HOA, which consists of Salm Drive and Ogden Lane. Obviously the proposed development would have a great impact on our existing neighborhood. Myself and the HOA have had several concerns about the proposal and I know many have already expressed concerns individually. I wanted to make sure to submit concerns that I have heard on several occasions from the HOA.

Our biggest concern is the amount of increased traffic our neighborhood will sustain with this new development. The proposal only shows one entrance to and from Dubuque street from the north portion of the new development. We fear without additional options to access Dubuque street Ogden Lane and Salm Drive will see a significant increase in traffic. Additionally, we have concerns about how construction traffic will access the new development. Will dump trucks, backhoes, bulldozers, etc. be routed down Salm Drive or will there be an access point created from Dubuque street? We have a lot of young families in our neighborhood and there's always kids out playing, people riding bikes, walking dogs, etc.

Lastly, we appreciate the consideration that was given to change the remaining houses on Ogden Lane to single family instead of multi family. I've heard several people ask about the possibility of also doing single family homes to the north of Ogden Lane for what looks to be about 5 lots that would back up to the ravine.

We appreciate your consideration of our concerns.

Thanks,
Jake Scharff
1160 Salm Drive
Greenbelt Trail Part 1 President

On Sat, May 3, 2025 at 9:32 AM Ryan Rusnak <rrusnak@northlibertyiowa.org> wrote:

Hello everyone,

The Watts Development Group rezoning is on the May 6 Planning Commission (see link below).

You are welcome to attend the public meeting. It will be held in City Hall Council Chambers at 360 N Main St and begins at 6:30 pm

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<https://studio.bluebeam.com/hyperlink.html?link=studio.bluebeam.com/sessions/869-641-676>

Thanks,

Ryan "Rus" Rusnak

PLANNING DIRECTOR

PLANNING

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Ordinance No. 2025-13

AN ORDINANCE AMENDING THE ZONING MAP DISTRICT DESIGNATION FOR CERTAIN PROPERTY LOCATED IN NORTH LIBERTY, IOWA FROM ID INTERIM DEVELOPMENT DISTRICT TO RS-6 SINGLE-UNIT RESIDENCE DISTRICT, RS-9 SINGLE-UNIT RESIDENCE DISTRICT, RD-10 TWO-UNIT RESIDENCE DISTRICT, RM-12 MULTI-UNIT RESIDENCE DISTRICT AND RM-14 MULTI-UNIT RESIDENCE DISTRICT

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF NORTH LIBERTY, IOWA:

SECTION 1. AMENDMENT. The Official Zoning Map incorporated in Chapter 168.01(2) of the North Liberty Code of Ordinances is hereby amended such that the below-described property (the "Property") is assigned a zoning designation of RM-21 Multi-Unit Residence District:

RS-6 Single-Unit Residence District:

BEGINNING at the Northwest Corner of the Southwest Quarter of the Northeast Quarter of Section 18, Township 80 North, Range 6 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa; Thence N89°35'30"E, along the South Line of Beaver Creek Third Addition, in accordance with the Plat thereof Recorded in Plat Book 15 at Page 67 of the Records of the Johnson County Recorder's Office, 507.78 feet, to the Southeast Corner thereof, and a Point on the Westerly Right-of-Way Line of South Dubuque Street; Thence N89°02'11"E, 65.99 feet, to a Point on the Centerline of said South Dubuque Street; Thence S41°41'55"E, along said Centerline, 448.88 feet; Thence S38°36'58"W, 373.17 feet; Thence Northwesterly, 137.87 feet, along a 200.00 foot radius curve, concave Southwesterly, whose 135.16 foot chord bears N71°07'59"W; Thence S89°07'05"W, 304.19 feet; Thence S00°52'55"E, 579.73 feet; Thence S02°02'42"E, 1082.31 feet; Thence S00°52'55"E, 246.28 feet; Thence N89°07'05"E, 1906.71 feet; Thence Northeasterly, 182.80 feet, along a 500.00 foot radius curve, concave Northwesterly, whose 181.78 foot chord bears N78°38'40"E; Thence S21°49'45"E, 39.14 feet; Thence Southeasterly, 179.77 feet, along a 500.00 foot radius curve, concave Southwesterly, whose 178.81 foot chord bears S11°31'44"E, to a Point on the South Line of the Northeast Quarter of the Southeast Quarter of said Section 18; Thence S89°36'12"W, along said South Line, 965.40 feet, to the Southeast Corner of Northwest Quarter of the Southeast Quarter of said Section 18; Thence S89°47'02"W, along the South Line of said Northwest Quarter of the Southeast Quarter, 1329.09 feet, to the Southwest Corner of said Northwest Quarter of the Southeast Quarter; Thence N02°02'42"W, along the West Line of said Northwest Quarter of the Southeast Quarter, 1311.28 feet, to the Center of said Section 18; Thence N02°14'45"W, along the West Line of the Southwest Quarter of the Northeast Quarter of said Section 18, a distance of 1339.20 feet, to the POINT OF BEGINNING. Said Proposed RS-6 Zoning contains 26.29 Acres, and is subject to easements and restrictions of record.

RS-9 Single-Unit Residence District:

BEGINNING at the Southeast Corner of the Northeast Quarter of the Southeast Quarter of Section 18, Township 80 North, Range 6 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa; Thence S89°36'12"W, along the South Line of said Northeast Quarter of the Southeast Quarter, 363.39 feet; Thence Northwesterly, 179.77 feet, along a 500.00 foot radius curve, concave Southwesterly, whose 178.81 foot chord bears N11°31'44"W; Thence N21°49'45"W, 39.14 feet; Thence Southwesterly, 182.80 feet, along a 500.00 foot radius curve, concave Northwesterly, whose 181.78 foot chord bears S78°38'40"W; Thence S89°07'05"W, 1906.71 feet; Thence N00°52'55"W, 246.28 feet; Thence N02°02'42"W, 390.80 feet; Thence N89°07'05"E, 1287.93 feet; Thence S00°52'55"E, 22.00 feet; Thence N89°07'05"E, 160.00 feet; Thence S42°41'36"E, 128.15 feet; Thence N47°18'24"E, 416.90 feet, to a Point on the Centerline of South Dubuque Street; Thence S42°41'36"E, along said Centerline, 982.39 feet, to a Point on the East Line of the Northeast Quarter of the Southeast Quarter of said Section 18; Thence S01°59'00"E, along said East Line, 247.58 feet, to the POINT OF BEGINNING. Said Proposed RS-9 contains 34.81 Acres, and is subject to easements and restrictions of record.

RD-10 – Two-Unit Residence District

COMMENCING at the Northwest Corner of the Southwest Quarter of the Northeast Quarter of Section 18, Township 80 North, Range 6 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa; Thence N89°35'30"E, along the South Line of Beaver Creek Third Addition, in accordance with the Plat thereof Recorded in Plat Book 15 at Page 67 of the Records of the Johnson County Recorder's Office, 507.78 feet, to the Southeast Corner thereof, and a Point on the Westerly Right-of-Way Line of South Dubuque Street; Thence N89°02'11"E, 65.99 feet, to a Point on the Centerline of said South Dubuque Street; Thence S41°41'55"E, along said Centerline, 448.88 feet; Thence S38°36'58"W, 373.17 feet, to the POINT OF BEGINNING; Thence Southeasterly, 33.81 feet, along a 200.00 foot radius curve, concave Southwesterly, whose 33.77 foot chord bears S46°32'29"E; Thence S41°41'55"E, 1220.52 feet; Thence Southeasterly, 142.48 feet, along a 200.00 foot radius curve, concave Southwesterly, whose 139.48 foot chord bears S21°17'25"E; Thence S00°52'55"E, 147.41 feet; Thence S89°07'05"W, 1287.93 feet; Thence N02°02'42"W, 691.51 feet; Thence N00°52'55"W, 579.73 feet; Thence N89°07'05"E, 304.19 feet; Thence Southeasterly, 137.87 feet, along a 200.00 foot radius curve, concave Southwesterly, whose 135.16 foot chord bears S71°07'59"E, to the POINT OF BEGINNING. Said Proposed RD-10 Zoning contains 26.93 Acres, and is subject to easements and restrictions of record.

RM-12 – Multi-Unit Residence District

COMMENCING at the Northwest Corner of the Southwest Quarter of the Northeast Quarter of Section 18, Township 80 North, Range 6 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa; Thence N89°35'30"E, along the South Line of Beaver Creek Third Addition, in accordance with the Plat thereof Recorded in Plat Book 15 at Page 67 of the Records of the Johnson County Recorder's Office, 507.78 feet, to the Southeast Corner thereof, and a Point on the Westerly Right-of-Way Line of South Dubuque Street; Thence N89°02'11"E, 65.99 feet, to a Point on the Centerline of said South Dubuque Street; Thence S41°41'55"E, along said Centerline, 448.88 feet, to the POINT OF BEGINNING; Thence continuing S41°41'55"E, along said Centerline, 196.55 feet; Thence S47°37'06"W, 365.03 feet; Thence N41°41'55"W, 104.48 feet; Thence Northwesterly, 33.81 feet, along a 200.00 foot radius curve, concave Southwesterly, whose 33.77 foot chord bears N46°32'29"W; Thence N38°36'58"E, 373.17 feet, to the POINT OF BEGINNING. Said Proposed RM-12 #1 Zoning contains 1.40 Acres, and is subject to easements and restrictions of record.

AND

COMMENCING at the Southeast Corner of the Northeast Quarter of the Southeast Quarter of Section 18, Township 80 North, Range 6 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa; Thence N01°59'00"W, along the East Line of the Northeast Quarter of the Southeast Quarter of said Section 18, a distance of 247.58 feet, to its intersection with the Centerline of South Dubuque Street; Thence N42°41'36"W, along said Centerline, 982.39 feet, to the POINT OF BEGINNING; Thence S47°18'24"W, 416.90 feet; Thence N42°41'36"W, 128.15 feet; Thence S89°07'05"W, 160.00 feet; Thence N00°52'55"W, 169.41 feet; Thence Northwesterly, 142.48 feet, along a 200.00 foot radius curve, concave Southwesterly, whose 139.48 foot chord bears N21°17'25"W; Thence N41°41'55"W, 153.55 feet; Thence N47°18'24"E, 369.64 feet, to a Point on the Centerline of said South Dubuque Street; Thence S42°41'36"E, along said Centerline, 644.48 feet, to the POINT OF BEGINNING. Said Proposed RM-12 #2 Zoning contains 6.25 Acres, and is subject to easements and restrictions of record.

RM-14 – Multi-Unit Residence District:

COMMENCING at the Northwest Corner of the Southwest Quarter of the Northeast Quarter of Section 18, Township 80 North, Range 6 West, of the Fifth Principal Meridian, North Liberty, Johnson County, Iowa; Thence N89°35'30"E, along the South Line of Beaver Creek Third Addition, in accordance with the Plat thereof Recorded in Plat Book 15 at Page 67 of the Records of the Johnson County Recorder's Office, 507.78 feet, to the Southeast Corner thereof, and a Point on the Westerly Right-of-Way Line of South Dubuque Street; Thence N89°02'11"E, 65.99 feet, to a Point on the Centerline of said South Dubuque Street; Thence S41°41'55"E, along said Centerline, 448.88 feet; Thence continuing S41°41'55"E, along said Centerline, 196.55 feet, to the POINT OF BEGINNING; Thence continuing S41°41'55"E, along said Centerline, 696.16 feet; Thence S42°41'36"E, along said Centerline, 264.30 feet; Thence S47°18'24"W, 369.64 feet; Thence

N41°41'55"W, 962.49 feet; Thence N47°37'06"E, 365.03 feet, to the POINT OF BEGINNING. Said Proposed RM-14 Zoning contains 8.07 Acres, and is subject to easements and restrictions of record.

SECTION 2. CONDITIONS IMPOSED. At the May 6, 2025, meeting the Planning Commission accepted the listed finding and forwarded the request for a zoning map amendment to the City Council with a recommendation for approval with no conditions.

SECTION 3. RECORDATION. The City Clerk is hereby authorized and directed to record this ordinance at the Johnson County Recorder's office upon final passage and approval.

SECTION 4. REPEALER. All Ordinances and parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

SECTION 5. SCRIVENER'S ERROR. The correction of typographical errors which do not affect the intent of the ordinance may be authorized by the City Clerk or the Clerk's designee without further public hearing.

SECTION 6. SEVERABILITY. If any section, provision or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

SECTION 7. WHEN EFFECTIVE. This ordinance shall be in effect from and after its final passage, approval and publication as provided by law.

First reading on May 27, 2025.

Second reading on

Third and final reading on

CITY OF NORTH LIBERTY:

CHRIS HOFFMAN, MAYOR

ATTEST:

I, Tracey Mulcahey, City Clerk of the City of North Liberty, hereby certify that at a meeting of the City Council of said City, held on the above date, among other proceedings, the above was adopted.

TRACEY MULCAHEY, CITY CLERK

I certify that the forgoing was published as Ordinance No. 2025-13 in *The Gazette* on the ____ of _____, 2025.

TRACEY MULCAHEY, CITY CLERK



Additional Information



To **Mayor and City Council**
CC **City Administrator**
From **Tom Palmer, Building Official**
Date **6/4/2025**
Re **Monthly Report**

May Permits:

Hundred-thirty-two permits were issued in the month of May with an estimated construction value of 11.4 million dollars. Staff completed 342 inspections in the month of None.

Rental/Code Compliance Cases:

Nine rental permit applications were received in May. No code compliance case was processed in May.

Buck Moon Subdivision:

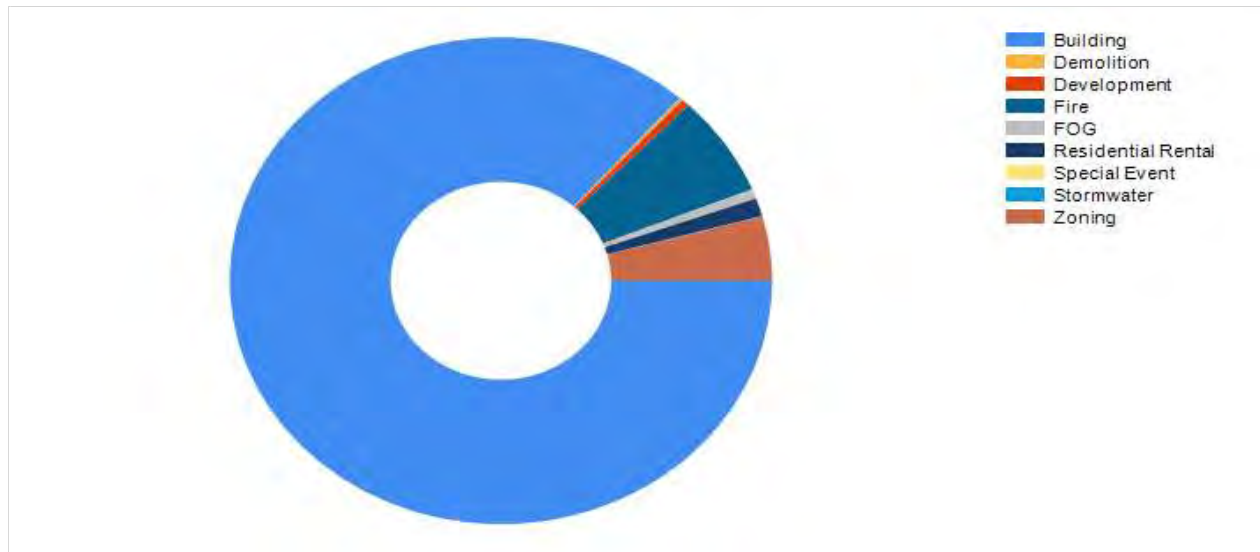
The first permit application was submitted by Buck Moon Villas LLC to build 3 unit townhomes in the new Buck Moon subdivision.

Permit Type Report

Permit Date
05/01/2025 to 05/31/2025

Description	Fees	Construction Value	Permits
Building	\$60,942.47	7,708,246.94	63
Demolition	\$125.00	365,000.00	5
Development	\$350.00	1,480,300.00	3
Fire	\$4,726.00	927,624.60	7
FOG	\$450.00	800,000.00	9
Residential Rental	\$850.00	0.00	9
Special Event	\$0.00	0.00	1
Stormwater	\$23.50	2,000.00	3
Zoning	\$2,995.00	123,281.00	32
Total	\$70,461.97	11,406,452.54	132

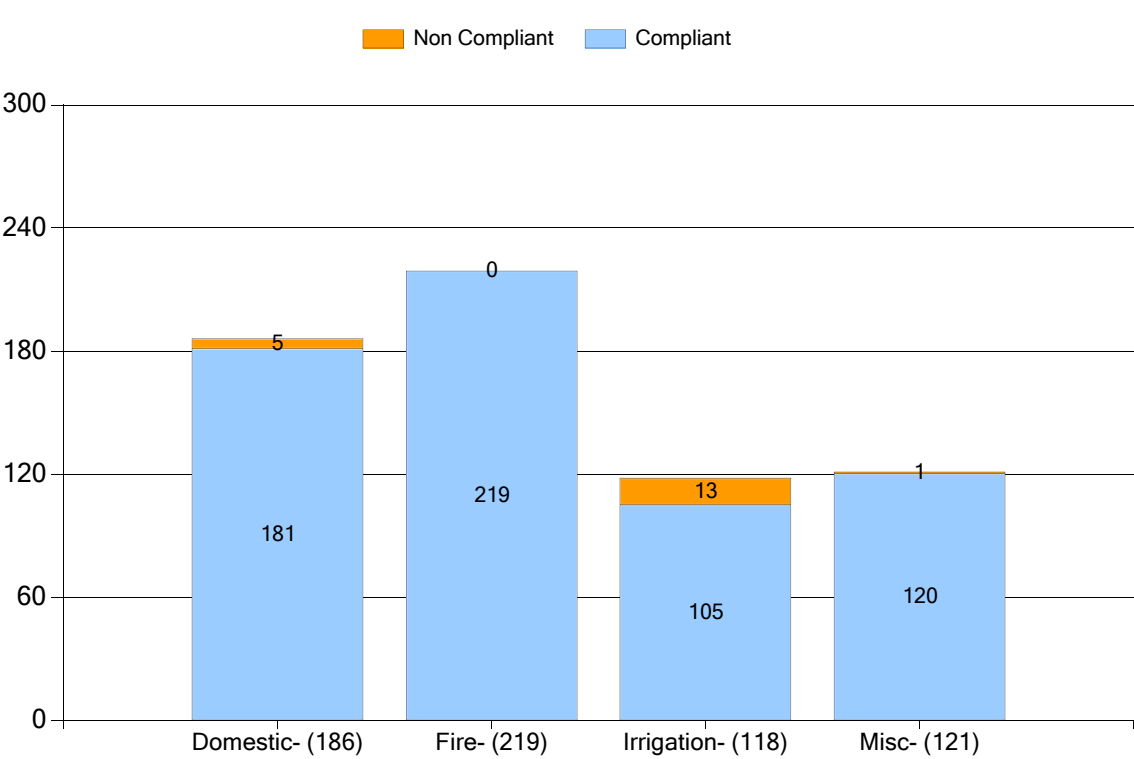
Fees Breakdown





		Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Row	Total
	Inspection request	13	6	33	27	27	0	0	0	0	0	0	0		106
	Re-inspection	38	40	34	67	28	0	0	0	0	0	0	0		207
	1st SWPPP	2	4	1	6	9	0	0	0	0	0	0	0		22
	Above Suspended Ceiling	1	1	1	1	3	0	0	0	0	0	0	0		7
	Backflow Preventer	0	0	1	1	0	0	0	0	0	0	0	0		2
	Building Sewer	0	0	0	0	1	0	0	0	0	0	0	0		1
	Commercial Final	2	4	0	3	2	0	0	0	0	0	0	0		11
	Commercial Photovoltaic (PV) Solar System	0	0	0	0	1	0	0	0	0	0	0	0		
	Commercial Rough-In	1	2	1	5	0	0	0	0	0	0	0	0		9
	Deck, Porch, Sunroom Footings	9	6	11	8	9	0	0	0	0	0	0	0		43
	Final	13	14	13	8	13	0	0	0	0	0	0	0		61
	Fire - Automatic Sprinkler System	0	1	3	0	0	0	0	0	0	0	0	0		4
Fire - Automatic Sprinkler System - Hydrostatic Test		0	0	0	0	1	0	0	0	0	0	0	0		1
Fire - Automatic Sprinkler System - Preconcealment		0	0	0	0	2	0	0	0	0	0	0	0		2
	Fire - Final Inspection	2	1	3	3	4	0	0	0	0	0	0	0		13
	Fire - Fire Alarm Installation	0	0	2	0	4	0	0	0	0	0	0	0		6
	Fire - Fire Alarm Installation (Rough-In)	0	0	1	0	0	0	0	0	0	0	0	0		1
Fire - Kitchen Hood Suppression System Installation		0	0	1	1	1	0	0	0	0	0	0	0		3
	Fire - LP-Gas (Temporary Installation)	0	0	1	0	0	0	0	0	0	0	0	0		1
	Fire - Operational - Compressed Gases	0	1	0	0	0	0	0	0	0	0	0	0		1
	Footings/Slabs	2	4	7	7	15	0	0	0	0	0	0	0		35
	Foundation Dampproofing	3	0	6	4	6	0	0	0	0	0	0	0		19
	Foundation Wall	2	2	8	8	11	0	0	0	0	0	0	0		31
	Framing	1	1	0	3	0	0	0	0	0	0	0	0		5
	Furnace/AC Replacement	4	2	3	2	10	0	0	0	0	0	0	0		21
	Gas service release	16	14	6	5	13	0	0	0	0	0	0	0		54
	Grading	5	1	11	10	3	0	0	0	0	0	0	0		30
	Meeting	2	3	2	4	1	0	0	0	0	0	0	0		12
	Notice of Termination CSR	2	0	2	10	6	0	0	0	0	0	0	0		20
	Other	0	1	1	3	4	0	0	0	0	0	0	0		9
	Permanent Electric Service Release	18	11	11	19	20	0	0	0	0	0	0	0		79
	Plumbing below slab	2	6	10	10	10	0	0	0	0	0	0	0		38
	Pool Final (residential)	0	0	1	0	0	0	0	0	0	0	0	0		1
	Rental	56	41	46	51	49	0	0	0	0	0	0	0		243
	Residential final (New Construction)	7	6	24	27	10	0	0	0	0	0	0	0		74
Residential Photovoltaic (PV) Solar System		0	1	1	2	2	0	0	0	0	0	0	0		6
	Residential Rough-in (New Construction)	19	8	11	18	16	0	0	0	0	0	0	0		72
	Residential Sewer Service	0	3	9	6	14	0	0	0	0	0	0	0		32
	Residential Water Service	7	3	13	13	14	0	0	0	0	0	0	0		50
	Rough-in	0	1	3	4	4	0	0	0	0	0	0	0		12
	Sanitary Sewers	0	0	0	0	1	0	0	0	0	0	0	0		1
	Sidewalk Release	5	2	15	11	3	0	0	0	0	0	0	0		36
	Sump Pump Discharge Line	0	0	5	17	2	0	0	0	0	0	0	0		24
	Temporary Electric Service	8	2	9	5	8	0	0	0	0	0	0	0		32
	Water Heater	0	1	0	2	2	0	0	0	0	0	0	0		5
	Water Main and Appurtenance	0	0	0	1	5	0	0	0	0	0	0	0		6
Witness air pressure test and piping inspection		15	9	13	23	11	0	0	0	0	0	0	0		71
	Zoning Department Acceptance	0	1	0	0	0	0	0	0	0	0	0	0		1
	Totals:	255	203	323	395	345	0	0	0	0	0	0	0		1521

Breakdown of Backflow Preventer Compliance



Fire = Fire Protection / Fire Detector Bypass
Domestic = Domestic / Domestic Bypass
Irrigation = Lawn Irrigation
Isolation = All Others



To **Mayor and City Council**
CC **City Administrator Ryan Heiar**
From **Community Relations Director Nick Bergus**
Date **June 5, 2025**
Re **May 2025 Community Relations Staff Report**

City Slate

The City Slate offered Remarkable Rigs on May 10 and the Playground Crawl on May 17. Staff prepared for upcoming Slate events including the Ranshaw House Concert Series (Fridays in June and July), Let Love Fly (June 14), fireworks (July 3), Eras in the Park on July 10 and other plans. The City Slate continues to be an opportunity for us to try new things without having to seek individual sponsorships for lots of events while providing a clear marking framework and lots of fun, free programs for the community. Details about events on the Slate can be found at northlibertyiowa.org/cityslate.

Youth Council

The North Liberty Youth Council met with Jeff Schweitzer about development in North Liberty, particularly the Urban Central District, hosted a flag football tournament for middle school students in partnership with the Recreation Department, and continued work on their year-end letter. The group planned a Bike Tuneup Clinic with the Bike Library and Sugar Bottom Bikes for June. Registration for next year opened and registration has been up, including returning councilors. The program slows during the summer and will pick up again in the fall.

Pig & Pint

Tickets are on sale for the event in partnership with Field Day Brewing Co. (with the help of Jimmy Jacks Rib Shack) for a July 17 event at the brewery. Tickets are \$70 a ticket or \$550 for a table of eight. The tickets include food, drink and entertainment from James Tutson and the Rollback. Veridian Credit Union is presenting the event this year. We also took this opportunity to commission a Pig & Pint logo and a new Otis.

Neighborhood Ambassadors

The first cohort of the reimagined Neighborhood Ambassadors program graduated following a tour of the Hy-Vee Center at Centennial Park. Applications for the fall cohort are now open and we look forward to iterating on the program. Abbi and Nick met with members of the Good Neighbor Book Club, which grew out of the program and included a current and a past program participant, and discussed ways they might continue engagement for the now-graduated group.

Centennial Park

We continue to meet with the project team, book private and public events in the center for this fall, next spring and summer and are now looking towards Phase 2. Staff continues to select finishes, furniture and work on other logistics. Our team hosted a number of hard-hat tours including ones for local arts organizations, Neighborhood Ambassadors and prospective renters. We continue to work on advertising for private events as well as laying the groundwork for communication around events as the park.

Other Items

Staff represented North Liberty at Greater Iowa City, Inc., events including City Connections Lunch, Coffee Connections and in the current Community Leadership Program and Executive Leadership Program classes and in planning for the Cherry Street Strategic Investment District, which we hosted this past month.

We produced City Council meetings and provided them to Iowa City's City Channel.

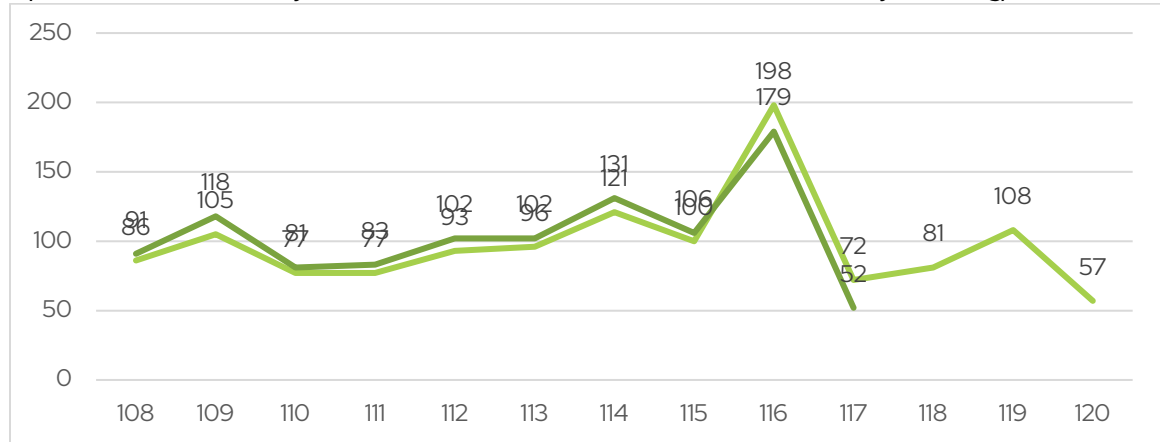
We posted news releases about board and commission openings, a variety of street closures, the outdoor pool, Fire Department responses, City Slate events and more. An Operation Quickfind release, which is behind the increase in Facebook reach reported below, was also produced.

Completed Videos

Title	Requested By	Completed	Duration
Parks & Recreation	Administration	May 1	0:44
Join the NLFD	Fire	May 2	0:01
Planning & Zoning Commission	Administration	May 6	1:14
City Council	Administration	May 13	1:45
Library Board	Administration	May 19	1:05
City Council	Administration	May 27	2:13
Eye On: Great Neighborhoods	Community Relations	May 29	0:03
Total completed productions: 7	Duration of new video: 7.1 hours		

52317 Podcast

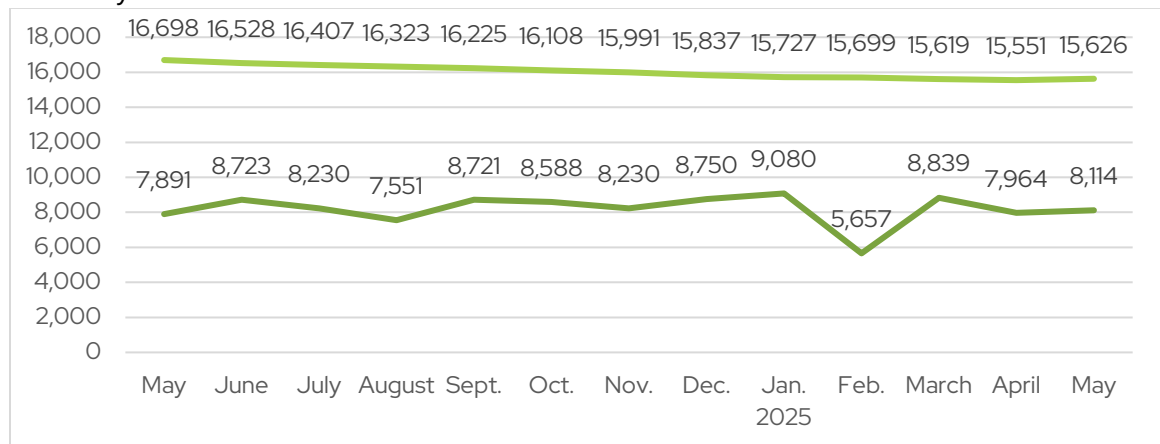
Episodes release every three weeks and can be found at northlibertyiowa.org/52317.



Downloads is the number times the podcast file was downloaded to a player, including a podcast client, webpage-embedded player or other device in its first 30 days and 90 days of publication. Numbers are as reported by service provider LibSyn as of the date of this report.

North Liberty Bulletin Email Newsletters

These emails offer news and updates in a friendly, approachable way on the first Thursday of each month.

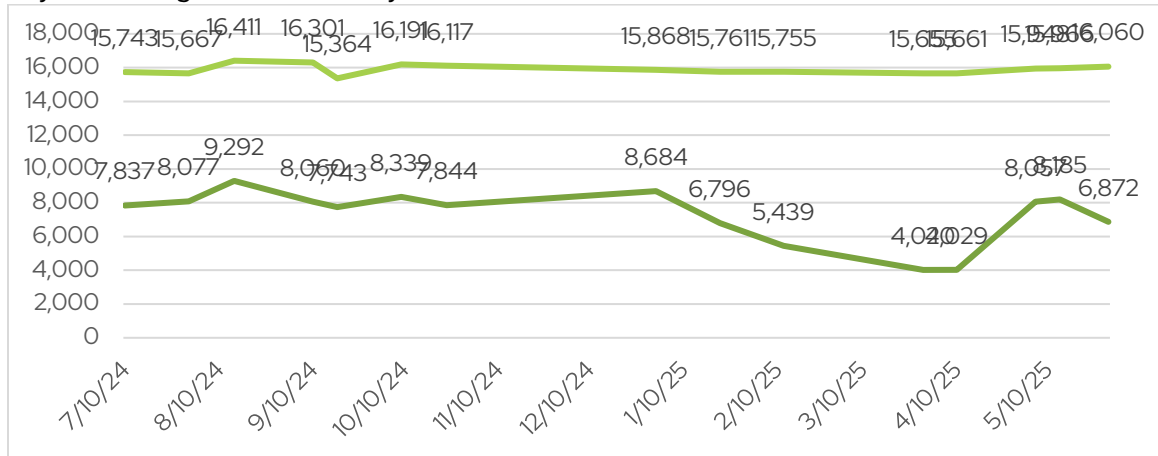


Recipients is the number of email addresses to which an issue of the Bulletin was sent and is represented by the top line.

Opens is the number of unique recipients who opened the Bulletin and is represented by the bottom line; the standard open rate for government is 25.4%. Numbers are as reported by service provider Mailchimp.

Know Before You Go Emails

These emails focus on free, large-scale community and leverage the city's email list. It is a key marketing channel for City Slate events.



Recipients is the number of email addresses to which an issue of the Bulletin was sent and is represented by the top line. **Opens** is the number of unique recipients who opened the Bulletin and is represented by the bottom line; the standard open rate for government is 25.4%. Numbers are as reported by service provider Mailchimp.

Social Media

Month	Facebook		Instagram	Nextdoor
	New follows	Reach	Followers	Members
May	219	511,092	3,664	7,376
April	110	50,114	3,636	7,340
March	180	177,591	3,617	7,274
Feb	208	97,292	3,597	7,248
Jan 2025	137	66,371	3,570	7,216
Dec	68	21,554	3,542	7,183
Nov	104	26,980	3,526	7,128
Oct	67	41,795	3,526	7,069
Sept	112	69,482	3,507	7,000
Aug	110	37,807	3,471	6,935
July	108	75,615	3,462	6,851
June	128	69,922	3,425	6,762
May	125	74,483	3,394	6,708

Facebook new likes is the net number of new users following the city's Facebook page; it does not include new *followers*. **Facebook reach** is the number of unique users who saw any of the city's Facebook content, reported on a 28-day period. **Instagram followers** is the number of users following the city's Instagram account. **Nextdoor members** is the number of verified North Liberty residents who are users and able to receive our agency messages.



TO: City Administrator, Ryan Heiar, and City Council
FROM: Jennie Garner, Library Director
DATE: June 3, 2025
SUBJECT: Monthly Library Report

Library News

Summer is upon us and research consistently shows that summer reading programs (SRP) support school success and help eliminate summer learning loss as well as encouraging lifelong learning. SRP is a ton of fun and a lot of work and we know it pays off! Staff have been digging in to plan great summer reading programs (SRP) for all ages. Summer months are the busiest time of year in the library, and we love it! Clear Creek Amana Schools let out this week and Iowa City Schools are out as of June 6. The theme this year is Level Up at Your Library. Registration has started with the programs running June 9 to August 16. Completion of one of the age groups' programs means prizes! All youth get a free book, a t-shirt, and a Blank Park Zoo pass along with being added to drawings to win larger prizes. Adults have the option to select from a variety of prizes and be added to larger prize drawings.

Research consistently shows that summer reading programs support school success and help eliminate summer learning loss as well as encouraging lifelong learning.

The Adventure Pass is finally back. Passes offer free experiences to a variety of Iowa destinations for two adults and two children. We've added a few new options this year as well. Check out the how the pass works and see the destinations [here](#).

The library has a new 3D printer which has come in handy for printing a variety of giveaways for the book bike and SRP prizes. Additionally, we've let other departments know that there are several ways the 3D printer might be used to print useful tools and items for City needs. So far, Nick, our adult services librarian, has been working on a few prints for the maintenance team for the overnight staff maintenance cart and with recreation staff to design and print bigfoot footprints for the NL campout.

As I'm sure you all know, the library is much more than a building for people to visit, whether they are coming to check out materials, attend programs, and to connect with information and each other, or simply linger in the space. A big component of our work is the outreach efforts of our staff. They spend time in the community providing library services remotely and interacting with community members who may otherwise not have opportunities to visit the library.

Outreach takes several forms, including:

- Weekly story times at several daycares to reach youth with working parents
- Tabling at Liberty High (on their last visit, the youth and teen team talked to over 70 students)
- Kirkwood STEAM programs with middle school kids
- Visits to our independent living centers to bring materials for residents to check

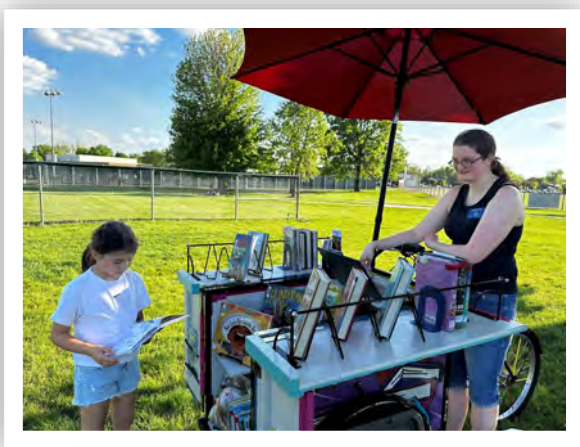
out and answer questions

- Visits to the food pantry to provide library access to their customers
- Working with our community partners to provide information and programs at the Johnson County Fair and at City of Literature events
- Providing information and activities at City Slate programming
- Helping coordinate and implement the Summer Lunch and Fun
- Assisting with 55+ Connections lunch and speaker coordination

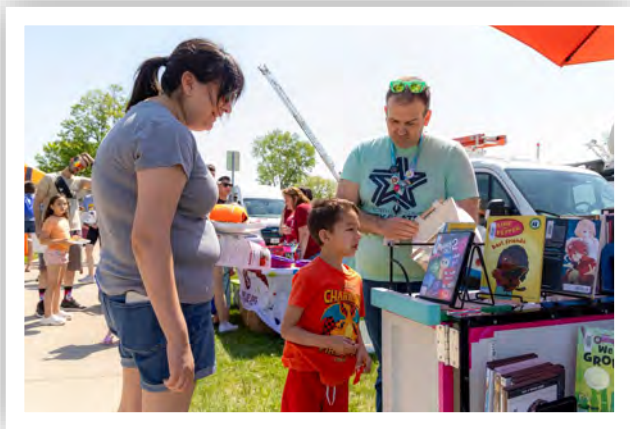
Our library work is centered on representing our entire community and connecting community members to information, civic education, and to a variety of forms of literacies, including early literacy and lifelong learning in areas such as technology, health, digital, cultural, financial, and information literacies. It's also focused on connecting people to each other.

Youth & Teen Services staff at an outreach at Liberty High building connections:





Book Bike season has officially launched. Above is Corrie at a baseball game at Penn Meadows. To the right is Nick at Remarkable Rigs. Corrie said four kids followed her to the park and when she offered to let them pass they said they wanted to see where she was going. They helped her pick a spot to set up and they all grabbed books and started reading



Our Peeps Diorama winner, Moby Peep.

We kicked off National Library Week wotj Tales from a Troll and this lucky winner found the tale B-Real had hidden on the community center grounds.





Left to Right:

**Emily (Family Services)
with teen volunteers (one
as Bluey) and some
attendees at the Play-
ground crawl.**



**Youth STEAM Programs:
Above—Pokemon Slime
Bottom—Dinosaur
excavations**



**Lifeguard storytime with
our colleagues from the
Aquatic Center— stories
and pool safety.**



To **Mayor and City Council**
Parks and Recreation Commission
City Administrator

From **Guy Goldsmith, Director of Parks, Building and Grounds**

Date **June 3, 2025**

Re **Monthly Report**

We performed various building maintenance tasks as needed this month.

We installed a new pressure tank at the Penn Meadows restroom/concessions building. We installed new HVAC filters at City Hall. We power washed and stained 12 picnic tables in preparation for summer programming at the Ranshaw house. I attended a Johnson Controls HVAC training class on May 21st.

All groundwork has been completed for the 240 & 242 Main Street property demolition project. Asbestos' abatement will begin on June 16th, and the actual demolition of the property may take place as early as July.

We had many qualified applicants for the new Physical Facilities Manager position. We conducted interviews and I am happy to say we will have a new employee onboard within a month. I will report more on this as we move forward with this new position.

We maintained equipment as needed this month performing preventive maintenance and making repairs to ball field maintenance, mowing, trimming, and landscaping equipment.

We continue to pick up park/trail trash receptacles and pet waste stations as needed this month. Usage remains high due to residents getting out and utilizing our parks system.

We continue to maintain ball fields and facilities. Fields have been very busy during the week and on weekends with scheduled tournaments. Our sports field maintenance team continues to provide weekly ball field/soccer field maintenance and line painting.

Daily mowing and trimming duties continue at full capacity. It has been somewhat of a challenge due to the lack of employees. This will improve as we begin to see the arrival of new seasonal employees.

Much staff time was spent on landscape maintenance this past month. Seasonal weed pressure in our landscape areas has required additional time and effort to maintain. Our staff prepared and planted approximately 100 planter boxes with annuals at Liberty Centre Pond, bike trail and tunnel, Rec Center and Heyn's Ice Cream/Sugar Bottom Bike's frontages. The planters require daily watering.

Park staff tilled and prepared the Community Gardens site located at the northeast corner of Penn Meadows Park next to the barn in preparation for the May 1st Garden plot renters. This program remains a great success. All garden plots have been rented for the season.

We treated all our detention ponds with a beneficial bacterial enzyme product due to an early bloom of algae. The pond product helps by depleting the overabundance of nitrogen & nutrients available to the algae. We will continue to monitor and adjust.

We planted 12 shade trees at Penn Meadows Park on May 5th. This was funded in part by Mid-American Energy through the *Trees Please* grant we recently received.

We overseeded Red Fern Dog Park turf grass area on May 15th. The dog park is now closed for the month of June due to the North Liberty Trails Improvement project.

I would like to thank Heritage Christian School and students for their service work completed in our parks on May 2nd. Students & teachers assisted Parks Staff with mulching trees at Penn Meadows Park, Quail Ridge Park and removing trash, sticks and limbs at Cornerstone Park. Much appreciation goes out to the students & teachers for their "Service Day of Work".

Parks staff performed the annual Penn Meadows Park splash pad started up in preparation for Memorial Day Opening. Everything is working great.

Parks staff participated in the Remarkable Rigs event on May 10th. The kids enjoyed sitting on the equipment. Staff had a great time showcasing our equipment.

Parks staff inspected and prepared our playground sites ahead of the "Playground Crawl" event held on May 17th. We dispersed 4 semi loads of playground safety wood chips in preparation for the event.

I would like to thank the Liberty High School *Construction Tech* class and instructor, Micah Casper, who built two new dugouts at Koser Park. This has been a great partnership and opportunity with the school for the past 4 years. We supply the materials, and Liberty High school students facilitate and construct the project.

We finished interviewing potential seasonal employees and have hired 15 new employees. Most will begin working very soon.



New pressure tank at Penn Meadows restroom facility.



Picnic table refinishing.



Ball field and soccer field maintenance.



Liberty Centre Park planter boxes planted with annual plants.



Landscape maintenance.



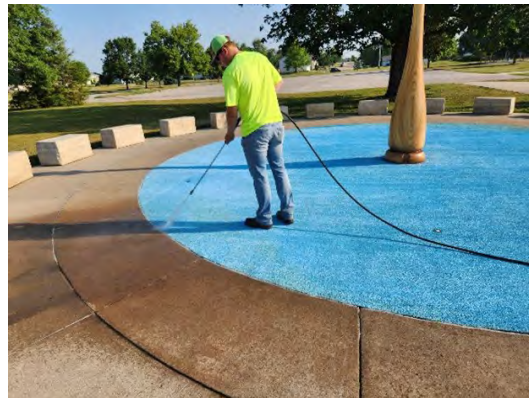
Community Gardens prep.



Pond maintenance.



Pond maintenance.



Annual splash pad startup at Penn Meadows.



MidAmerican tree planting at Penn Meadows Park on May 5th.



Heritage Christian students "Service Day of Work" at Penn Meadows Park & Cornerstone Park.



Parks Department staff & equipment at the "Remarkable Rigs" event at the fire station on May 10th.



Parks Depart. adding safety surface to our playgrounds in preparation for the playground crawl.



May 17th Playground Crawl event.



Two new dugouts at Koser Park were constructed by the Liberty High School *Construction Tech* students and their instructor, Micah Casper.



North Liberty Police Monthly Report May 2025

Training:

- Kaliah Griffin started ILEA and will be there until August 2025. She participated in the state's honoring and the torch run for National Law Enforcement Memorial Day. (See pictures below)
- Three officers are in the Field Training program, riding along and training with FTO's.
- Lt Rueben Ross and Chief Venenga attended the Chief's conference in Coralville, Iowa. This year's topics were recruiting and retention, resiliency, and mental health training presented by national speakers. (40 hours)
- All supervisors had a class on the benefits of performance coaching with Blair Wagner, and our HR director, Alexis Miller (5 hours)
- Supervisors had their monthly one on one coaching with their direct reports on training and education needs in May.

Public Relations:

- At the request of schools, an officer worked the Solon and Liberty proms. Officer's receive overtime for these assignments and the department is reimbursed by the school and prom committee.
- Members of the department assisted with a community policing project for our recruit at ILEA, and a teacher at North Central on police and community relations.
- We hosted new applicants and college students on ride along this month who are interested in applying here.
- Officer Simpson was present to show off the police car at the Playground Crawl for City Slate. (photo below).
- Lt Rueben Ross presented with the AG office on Stop the Scammer Event to help educate and stop fraud in Iowa. This was hosted at the Rec Center.
- Lt Landsgard met with ICCSD officials, FD, and a company that provides a mapping software feature for school safety and response options.
- Chief Venenga and Lt Rueben Ross attended the Remarkable Rigs event, showed off the patrol car and handed out the PD swag we had available. We had a great turnout.
- We hosted the Garner 2nd grade classes for a PD tour. This is an annual event.
- Lt. Landsgard was requested to teach the firearms recertification course for the Tipton Police Department. He happy to help out another agency and share his expertise.
- We received some great treats (donuts, cookies, snack packs, ice cream bars) during National Police Week. Thanks to everyone who recognized the officers at the department.
- Lt Rueben Ross attended a job fair and mock interviews for Criminal Justice students at Kirkwood Community College.

Traffic Contacts	310
Parking Contacts	41
Vehicle Inspections	0
Vehicle Unlocks	22
Crash Investigations	36
Public Assists	298
Assist other Agency	125
Crimes Against Persons Report	15
Crimes Against Property Report	16
Other Reports	23
Arrests	20
Warrants	3
Alcohol/Narcotics Charges	6
Crimes Against Persons Charges	5
Crimes Against Property Charges	1
Other Charges	12
Animal Calls	86
Total Calls for Service	2318
*Total Calls for Service for the year	8664

Equipment:

- We ordered and received a drug terminator. It is a high heat furnace to properly dispose of illegal narcotics. In the past, we have used a local crematorium, but were informed we would have to make other arrangements. The incinerator will be stored at the PD and will be monitored while court ordered drugs are being destroyed.
- Planning to replace two marked patrol cars and interior equipment, for the July budget. We typically keep a vehicle for around 4 years and replace all of the equipment inside if transferable on the second swap out of the gear.
- We are in the process of receiving accessories and equipment for our new handguns and rifles.

Enforcement/Crime:

- To review any criminal complaints for the month [List of Criminal Complaints | Johnson County Iowa](#) or see North Liberty Calls for service go to [Joint Emergency Communications Center \(jecc-ema.org\)](#) or you can visit the crime map at [LexisNexis® Community Crime Map](#) and type in North Liberty. If you are interested in overall Crash Data from police reports, that can be found at <https://icat.iowadot.gov/#>
- Lt Ross completed a 2-year review of our use of force data (2023 and 2024) and created a brief overview to give us a snapshot in time. (see attached).
- Completed the second round of the tobacco compliance checks for the business that failed the first time. Since the first check, the business changed their practices and passed the second audit.
- Several Officers worked a Cinco de Mayo GTSB program with officers from neighboring agencies. This overtime is reimbursed by the State and is part of our joint contract requirement.

Department Admin:

- We completed the Federal 10-33 audit and decided that we are going to return or transfer the equipment under NLPD to other departments since we no longer have a use for the items. In the past we had rifle optics, rifle magazines and a robot that was used for the bomb squad.
- Held an exempt council session to discuss the Sgt and Officers Union contracts. This will be on next month's council agenda.
- As of the end of May, we have 6 officer positions open. Former Officer Bryan Davis has accepted a conditional offer to come back and will start in July. Officer Jordan Myles has accepted a position to be a youth pastor and submitted his 2-week resignation. Officer Myles has been with the department for 6 months and we wish him well in his future endeavors.
- The PD mission, vision and values were updated and provided to all officers and on the website. We are looking for some artwork that will prominently display our values within the department.
- We posted our open positions in the Mega Job section of Corridor Careers and Lt Rueben Ross attended a job fair at Kirkwood Community College.
- Attended the local Chief's meeting, Command Staff meeting, supervisor meeting, a meeting with a gazette reporter about our hiring and training, department head meeting, Iowa Police Chief's executive board meeting, the Chief legislative committee meetings and an ILEA contested case appeal hearing.
- In reviewing our overtime for the May pay period, and making sure we meet our minimum staffing levels, we posted only 29 hours for May. Officers can sign up for this overtime. We have other overtime opportunities like for each FTO while they are training a recruit, get 2 hours of overtime per shift for a total of 56 for the month. Officers can volunteer and sign up to work extra jobs like GTSB traffic enforcement, this is reimbursed through the State for 21 hours and we have a contract for these projects. Officers also volunteered to work for schools for proms for 7 hours and their time is reimbursed. Outside of the officers' control, we had late calls and being

held over 5.5 hours to complete work. One officer had 2 hours for court for May. Each month the patrol commander goes through the schedule and post the overtime to meet our minimum staffing standards and not include recruits in training/FTO as part of the decision. This is for covering a short day, vacation, or known sick leave. We also had 40 hours of Holiday pay that officers get time and half for if they work the holiday. We still have the Emergency Declaration in place but only have used that document since the investigators are covering patrol currently. Lt Rueben Ross is handling follow-up investigations at this time. As we hire, we will replenish investigators, as needed.

Submitted on 6/4/2025.



Snapshots from the PD

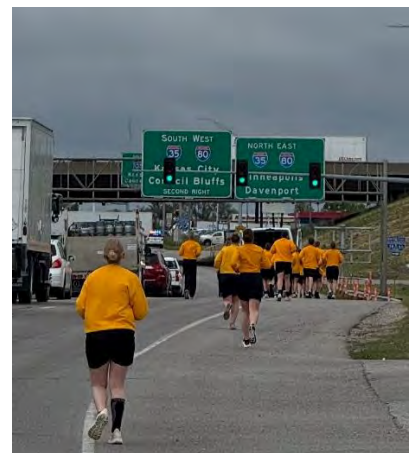


Our police stickers ended up in the kindness box on Molly. Love to hear we are paying it forward. Thanks to resident, Dave McGlaughlin, for sharing.

Officer Austin Simpson at the playground crawl.



Kaliah Griffin with female recruits and the Governor at the Police Officer's Memorial. Participating in the torch run along with all ILEA recruits.





Free Training
Open to the public for
Military or law enforcement at our PD next month.

Are you a First Responders, Veteran, Military Family Member, or Champion for Our Heroes?
We are here to help you navigate life's ups and downs.

Join us this June for an engaging THRIVE Workshop to unlock strategies and practical tools to build resilience.

THRIVE 101 - June 26th
THRIVE 201 - June 27th
world-maker.org/thrive-trainings-events

*"Worldmaker understands the **science and art of exercising the brain** as one would exercise the body. Its **innovative programming** is helping veterans, first responders, and their families prepare for stress, stay mentally healthy, and get help in times of crisis."*
—Kirk Ferguson, Retired US Army Medic

Scan Code to Register THRIVE 101 Scan Code to Register THRIVE 201

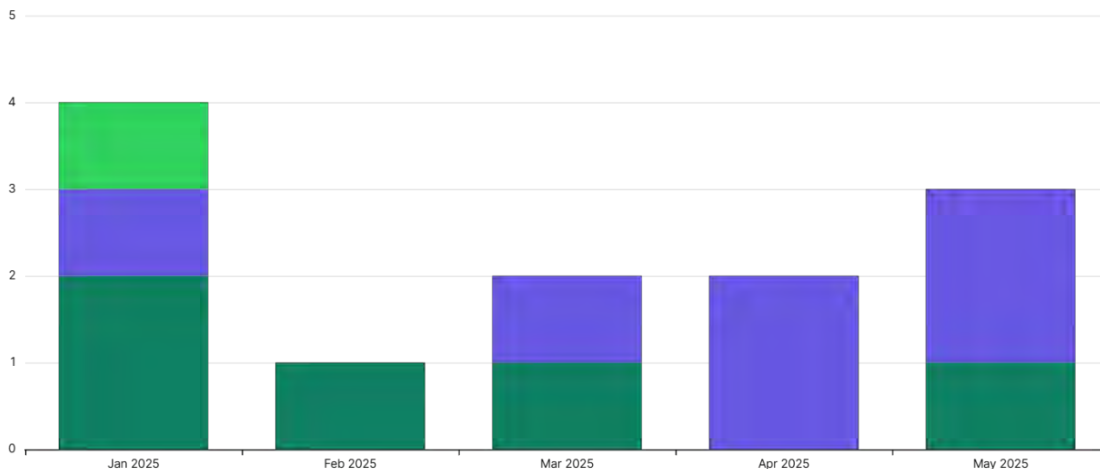
Worldmaker Resilience Institute
Triumph over Trauma

In collaboration with:

HILLS BANK

Flock outcomes Since Jan 2025- May 31, 2025 You can see our searches of the system on city website and the reason for the search. <https://transparency.flocksafety.com/north-liberty-ia-pd> All 12 cameras are operational now.

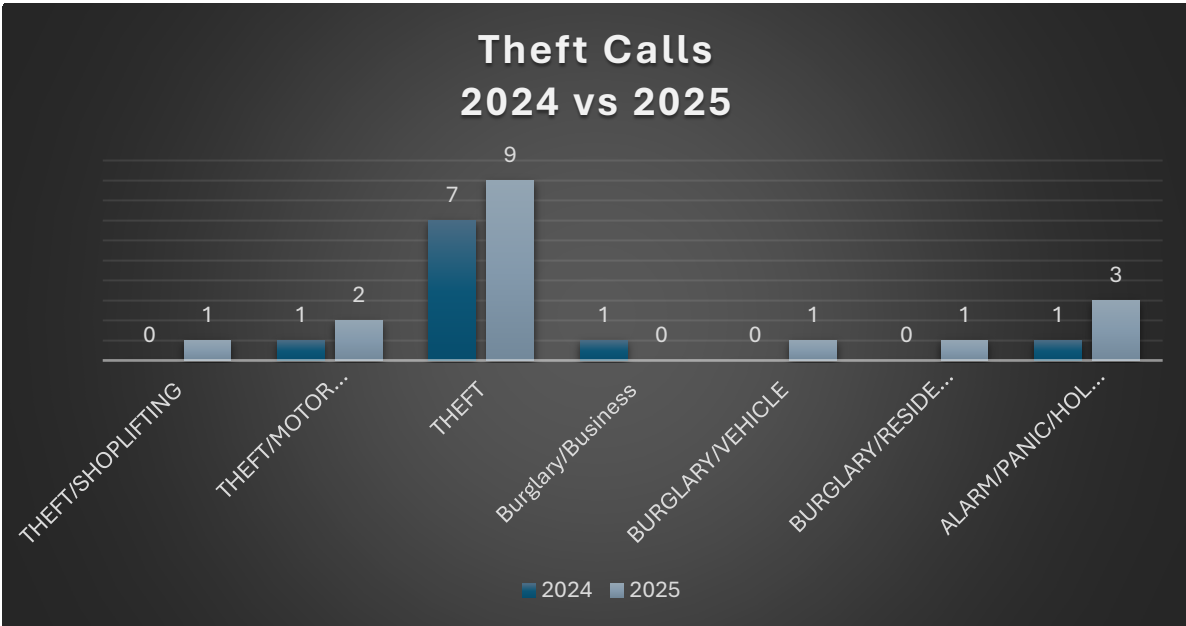
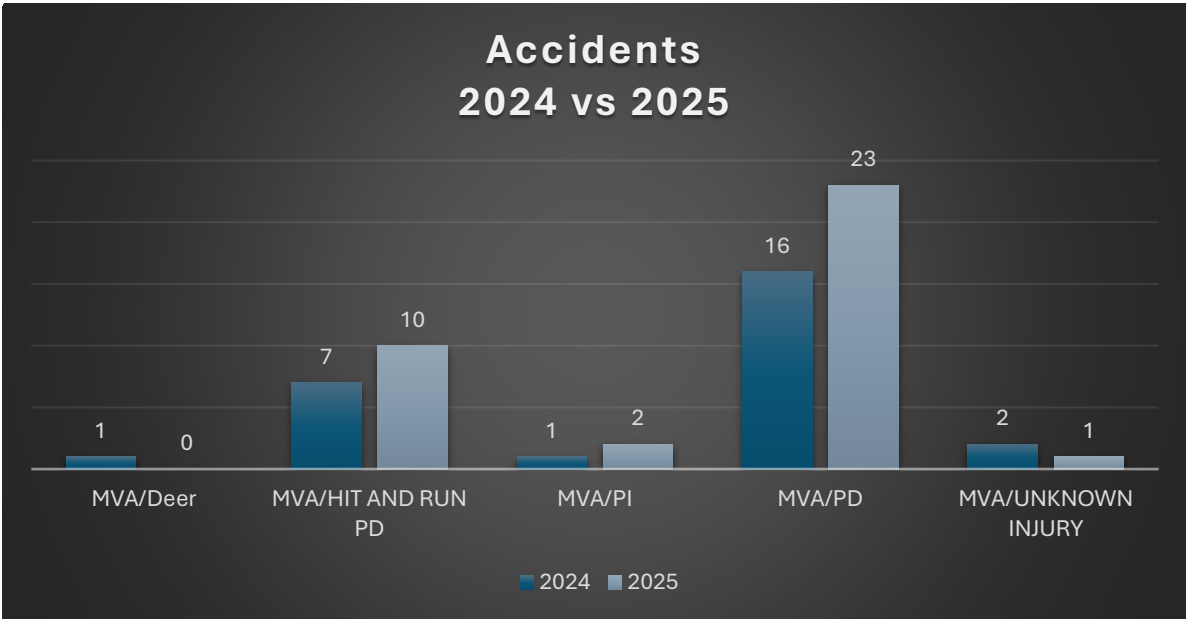
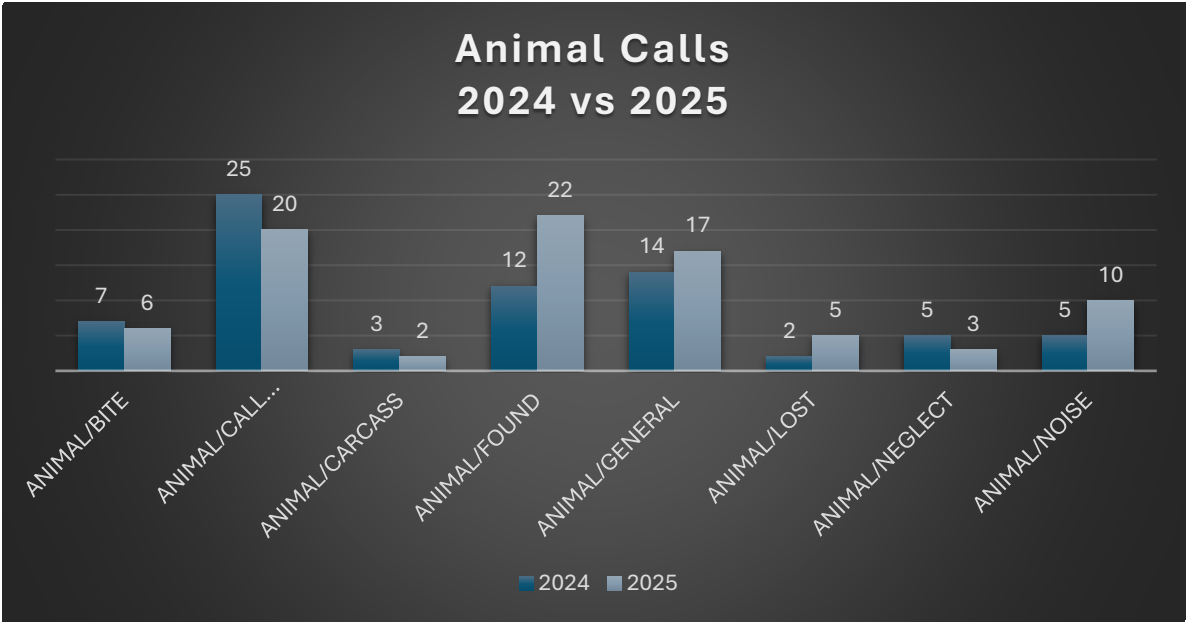
We have had 12 total successes with Flock since January that resulted in 5 Cleared by arrest, 1 lead generated, and 6 by other means. **Lead Generated** **Cleared by other means** **Cleared- arrest**

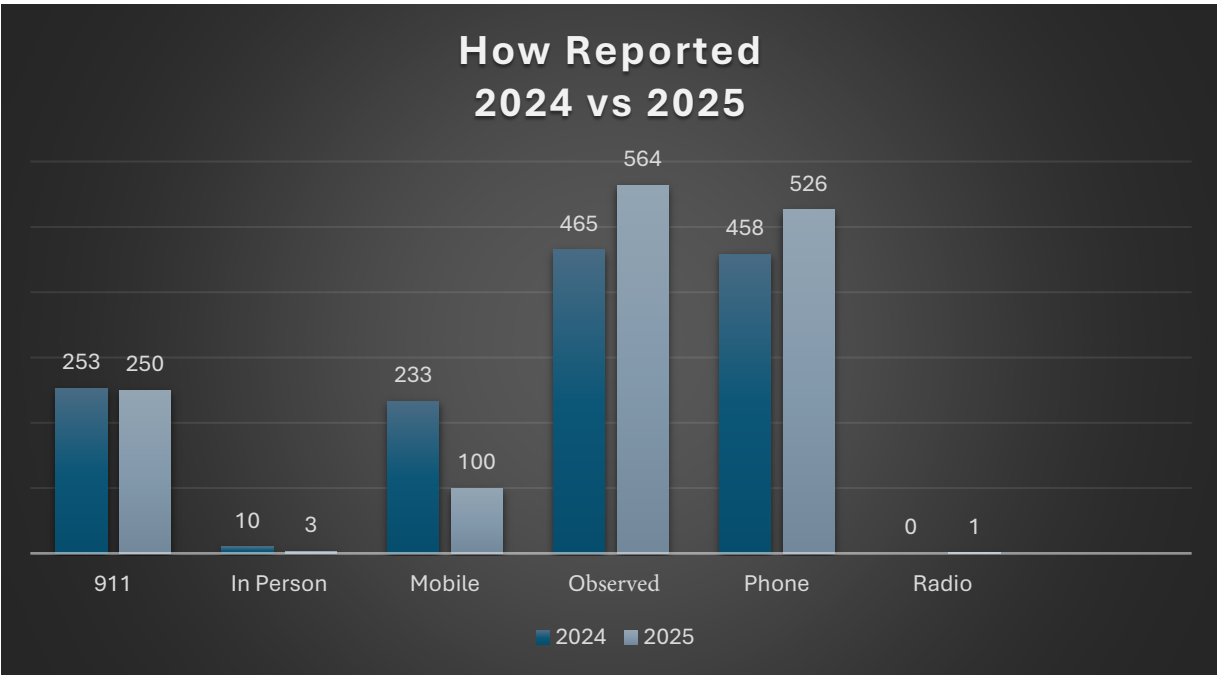
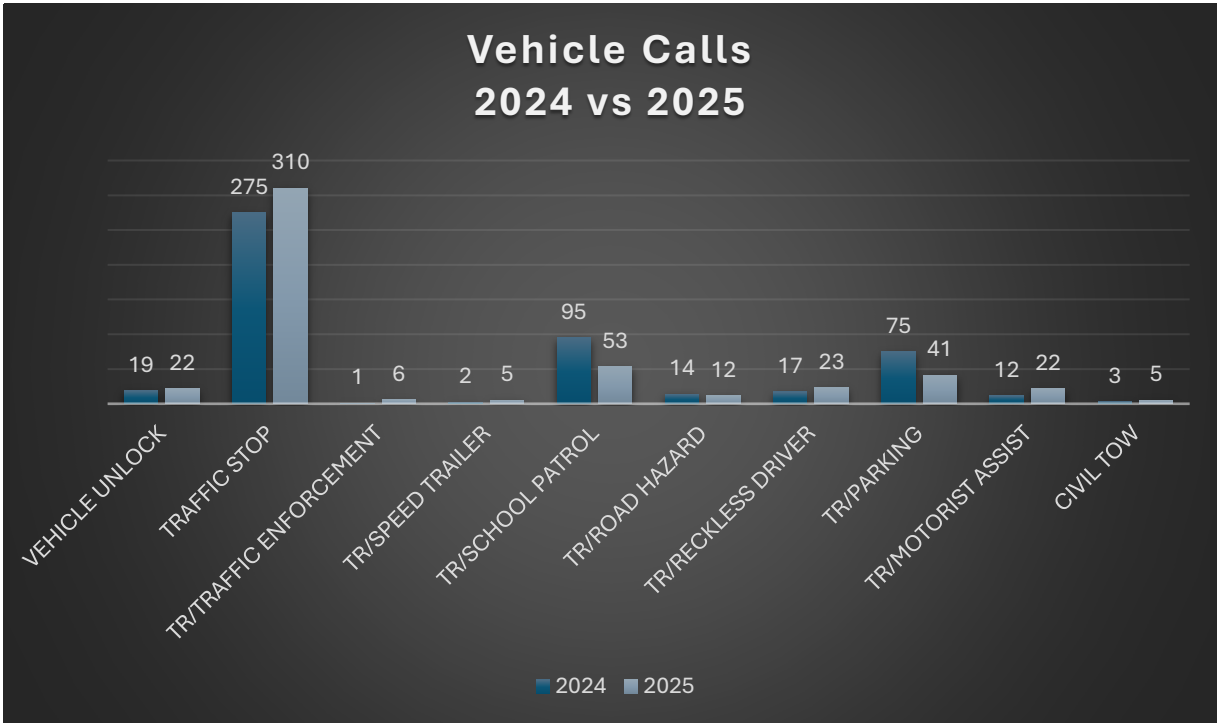


Copy of 2023-2024 Use of Force Review (attached).

Dispatch summary for Call Types for the Month of May for 2024 and 2025 are listed below. These were calculated on 6/2/2025 and as with most data of our data, there may be a plus or minus 5 differential in the numbers. The reason being, the call type could have been changed after the time the data was pulled. Also, the data is based on incident/event and not taking into account how many members from North Liberty Police responded.

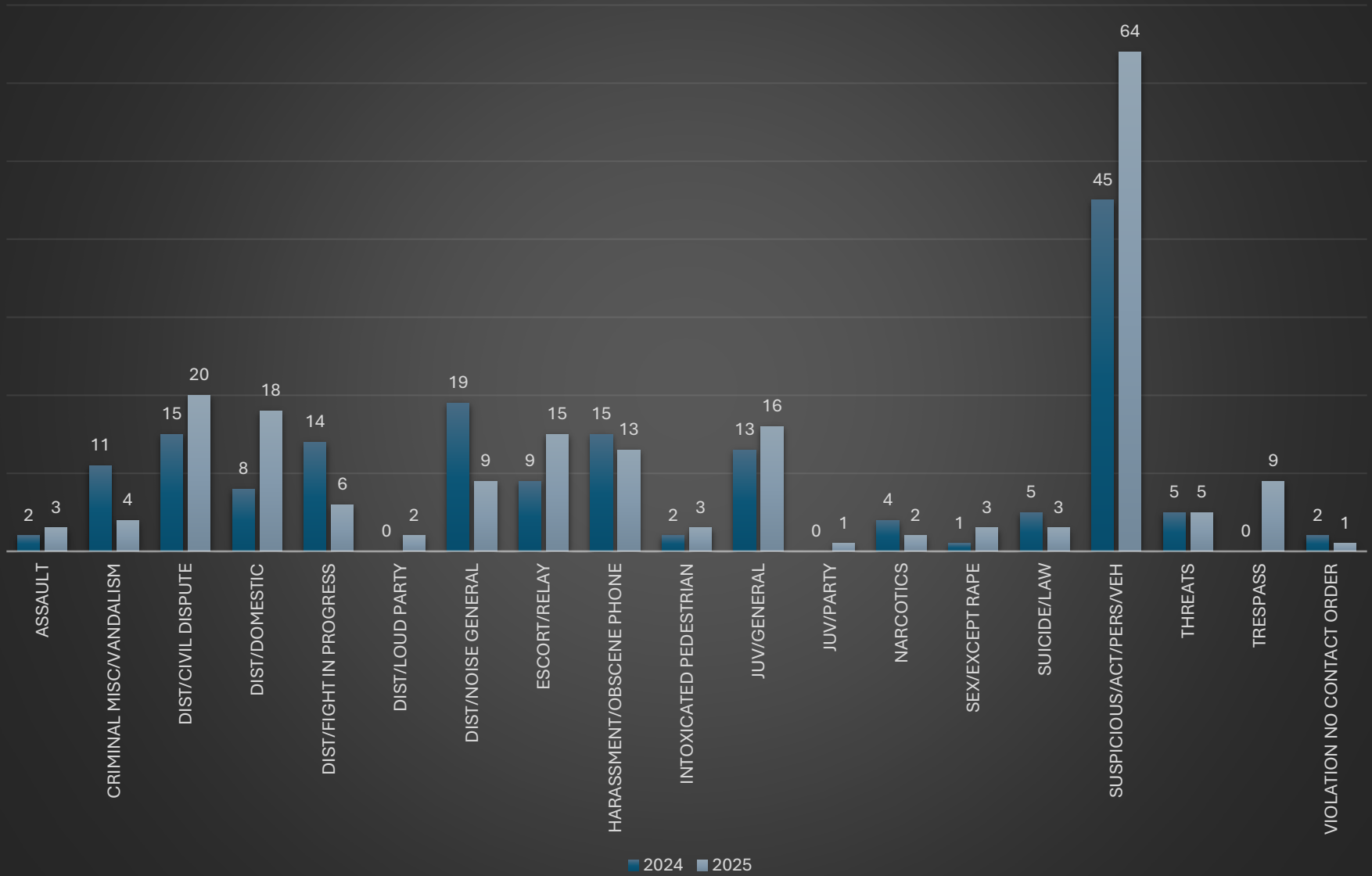
Mary McCann also provides information for Jonhson County, Iowa City and Coralville dispatch calls on a public Facebook group page www.facebook.com/groups/td2020vision.turnthetide/ if anyone wants to compare calls in the neighboring jurisdictions.



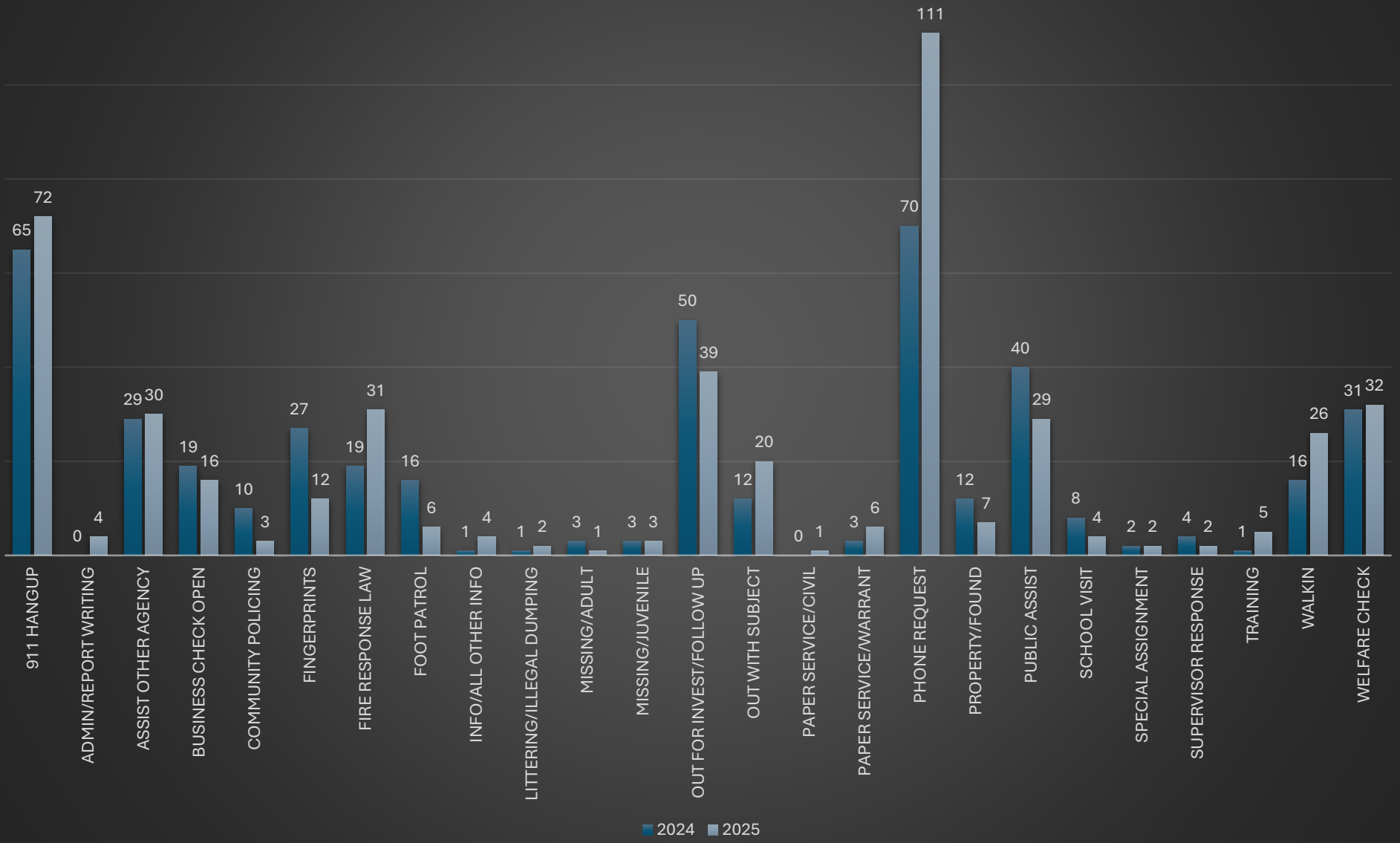


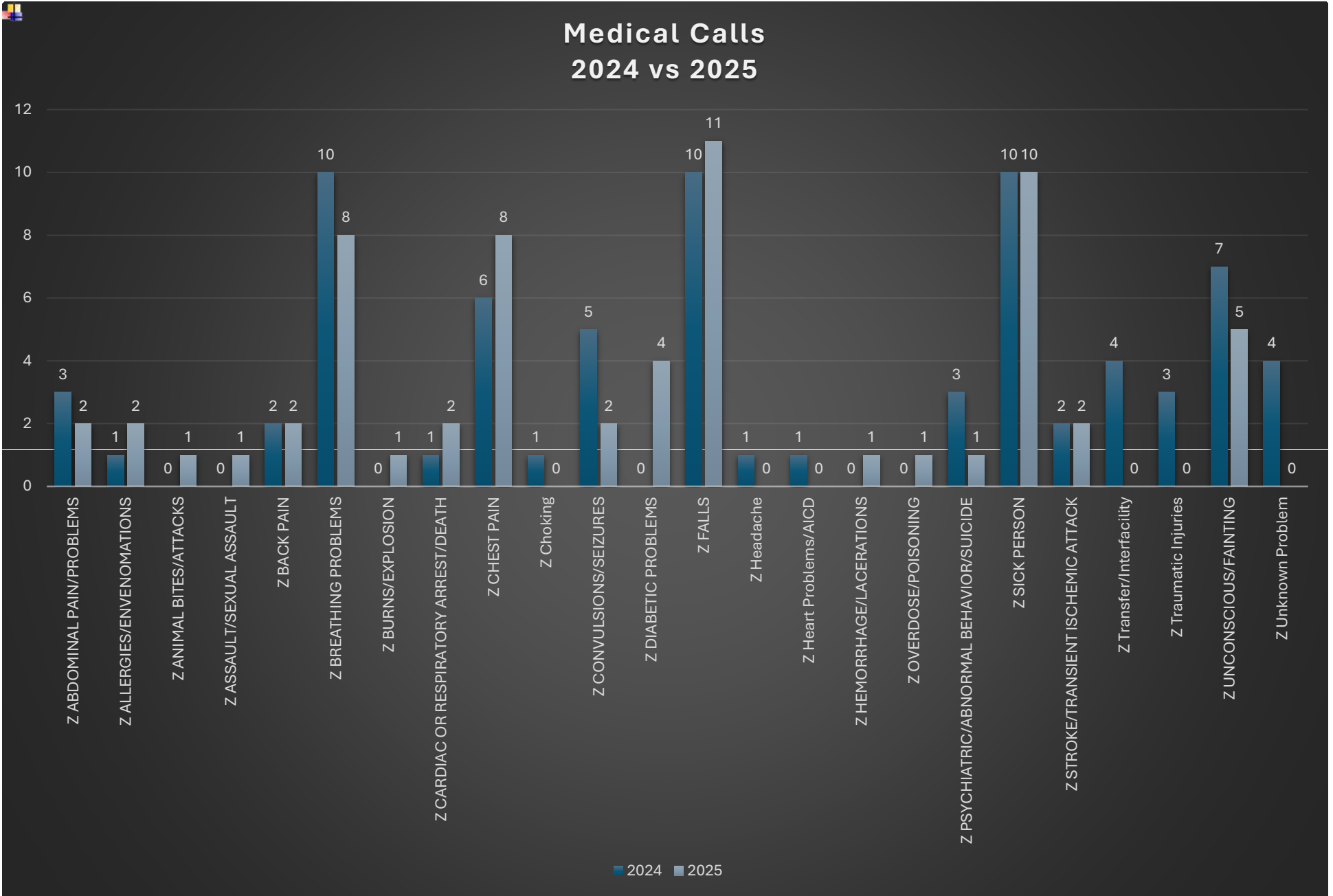


Public Security 2024 vs 2025



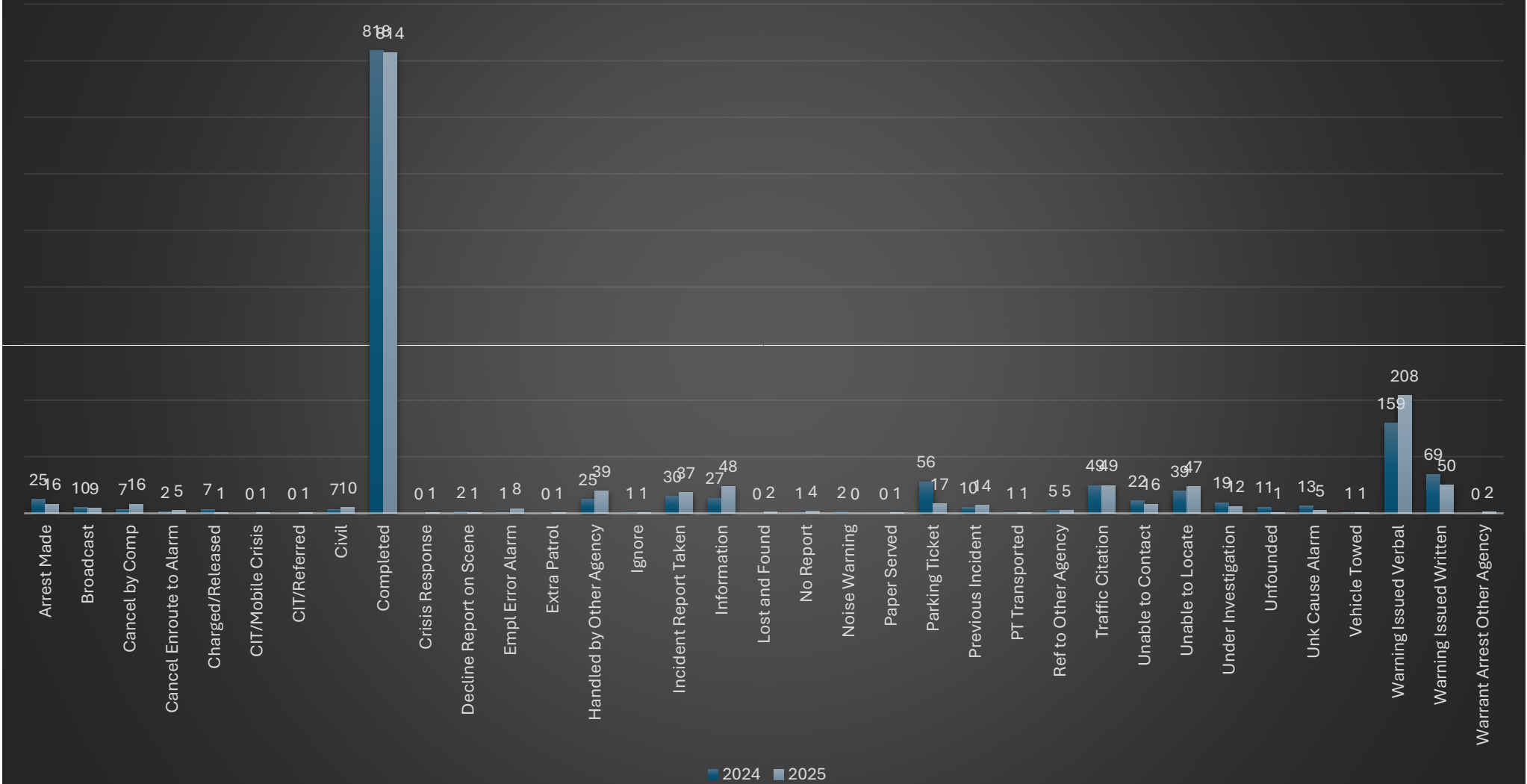
Public Assists, Warrants, Presence 2024 vs 2025







Cleared By 2024 vs 2025

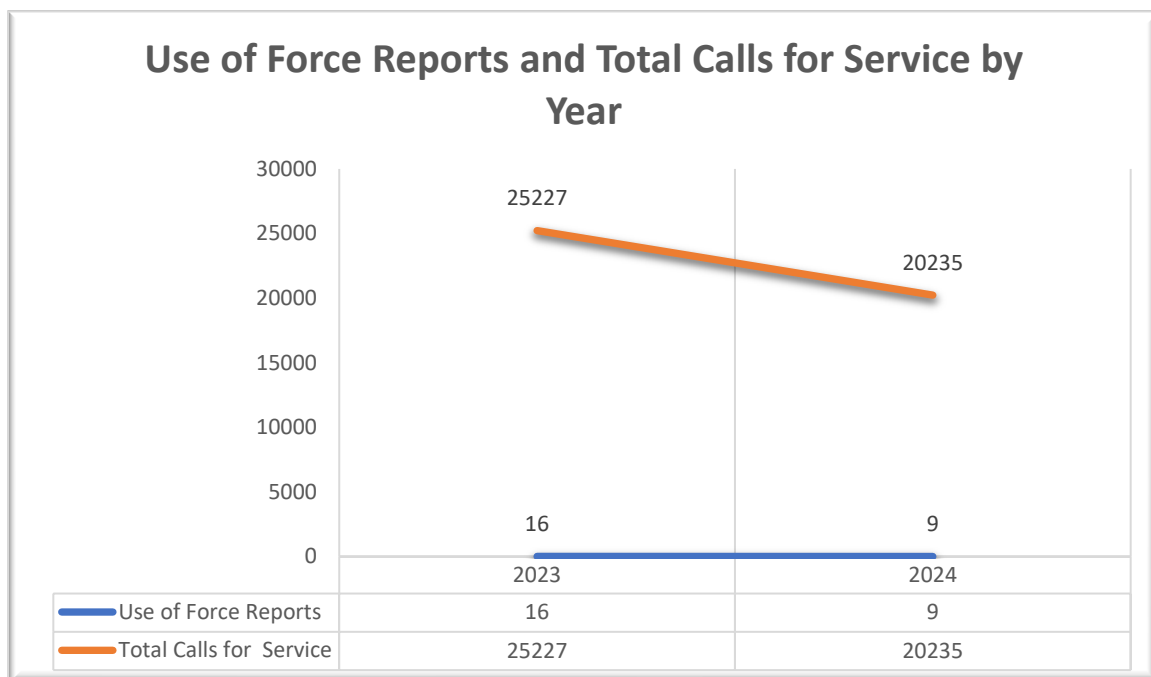


2024	25	10	7	2	7	0	0	7	818	0	2	1	0	25	1	30	27	0	1	2	0	56	10	1	5	49	22	39	19	11	13	1	159	69	0
2025	16	9	16	5	1	1	1	10	814	1	1	8	1	39	1	37	48	2	4	0	1	17	14	1	5	49	16	47	12	1	5	1	208	50	2

Overview

The North Liberty Police Department (NLPD) use of force policy requires a formal use-of-force report any time an officer uses force greater than “soft hands” compliance techniques; when an officer or subject sustains an injury; and when the subject complains of more than momentary discomfort. These reports are then put through a multilevel review process to determine whether the force used was legal, within policy, and effective. There were no instances during the review period where an officer’s use of force was determined to have been excessive. The following graphs and tables will illustrate some of the factors and trends involved in NLPD’s use of force from 2023 and 2024.

It’s important to note that there is no nationally-implemented standard for use-of-force reporting. For example, some agencies require a report whenever a firearm or electronic control device (ECD) is unholstered. Other agencies, including NLPD, require a report only if the weapon is actually pointed at a subject. Additionally, some agencies only report visible or medically-confirmed injuries, while NLPD and other agencies report complaints of more than momentary pain as injuries. These variances can create statistical discrepancies when comparing agencies to each other or to nationally-reported data.

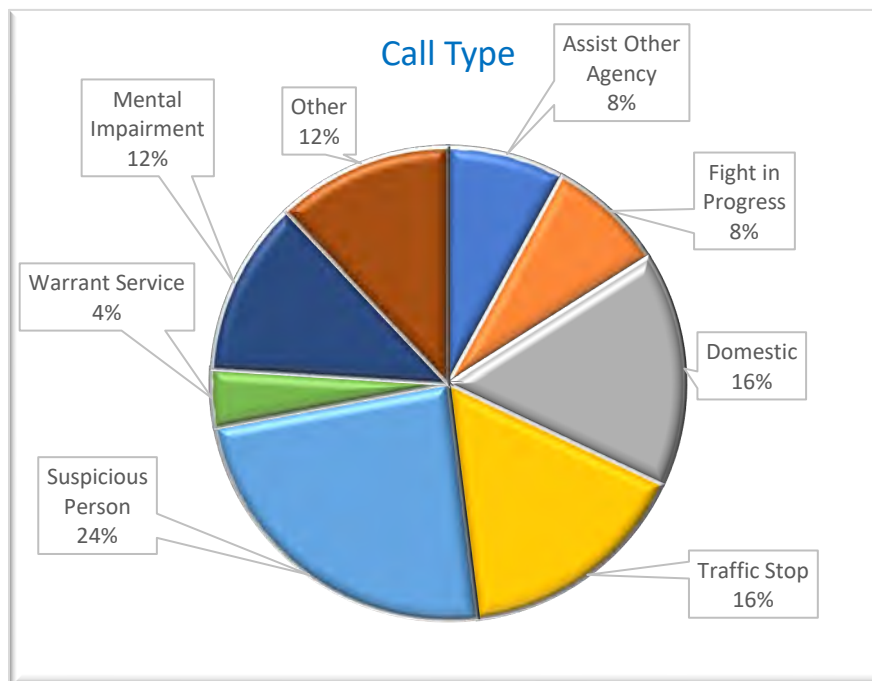
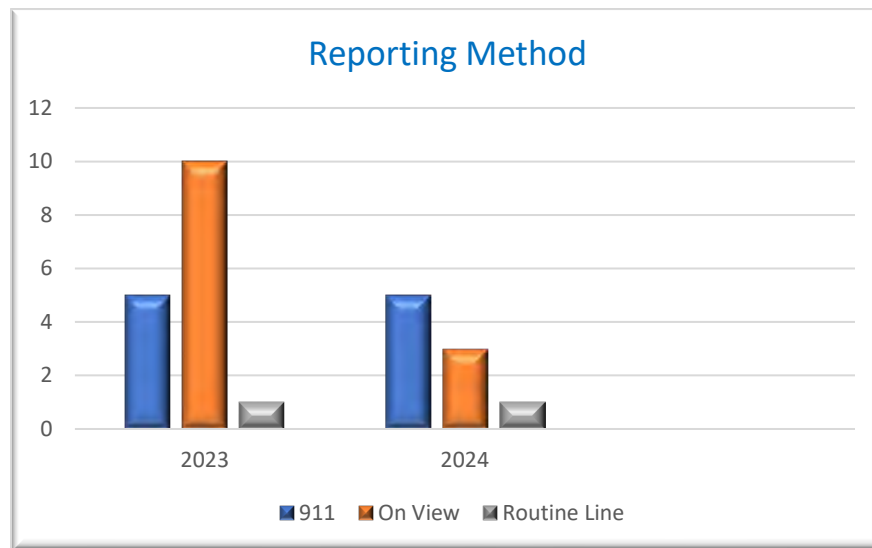


In 2023 and 2024, NLPD officers responded to a combined 45,462 calls for service and filed 25 use of force reports. According to the Department of Justice (2019), law enforcement agencies nationwide reported using force in 1.8% to 2% of calls for service. This national average has remained fairly consistent year-to-year. By contrast, NLPD reported using force in just 0.05% of its calls per year over a two-year period.

Reporting Methods and Call Types

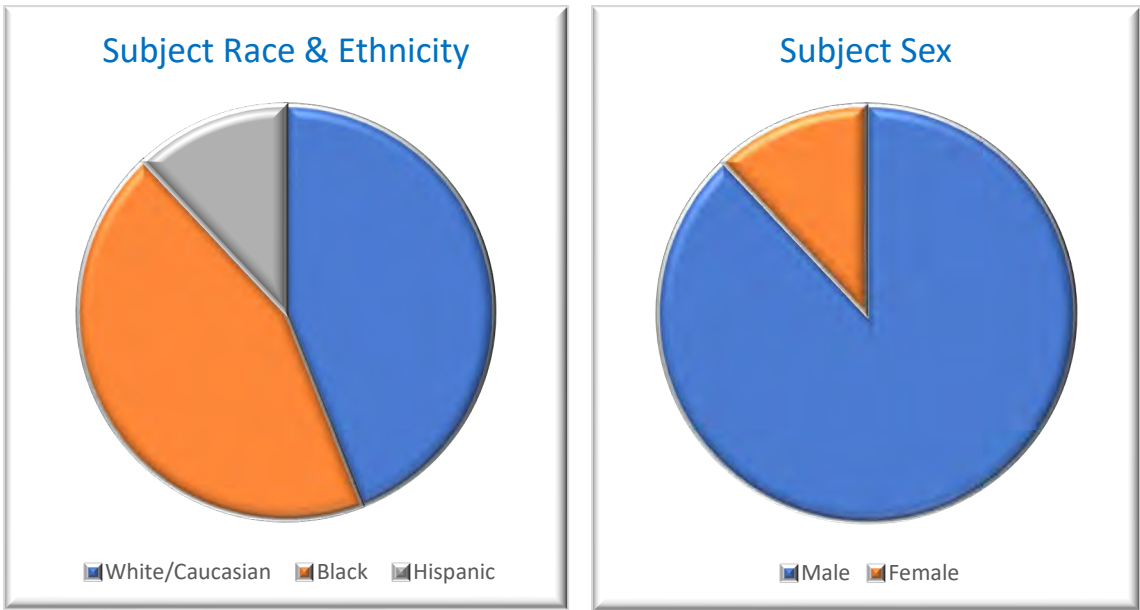
As the following two graphs show, there isn't a clear call type or reporting method with an abnormally high likelihood of resulting in a use-of-force incident. In fact, 60% of use-of-force incidents originated through a routine line/dispatch or as officer-initiated activity (on view). 911 calls accounted for just over 40% of use-of-force incidents.

Mental impairment, assist other agency, fight in progress, domestic, traffic stop, and suspicious person calls account for 84% of total reports.



Subject Demographics

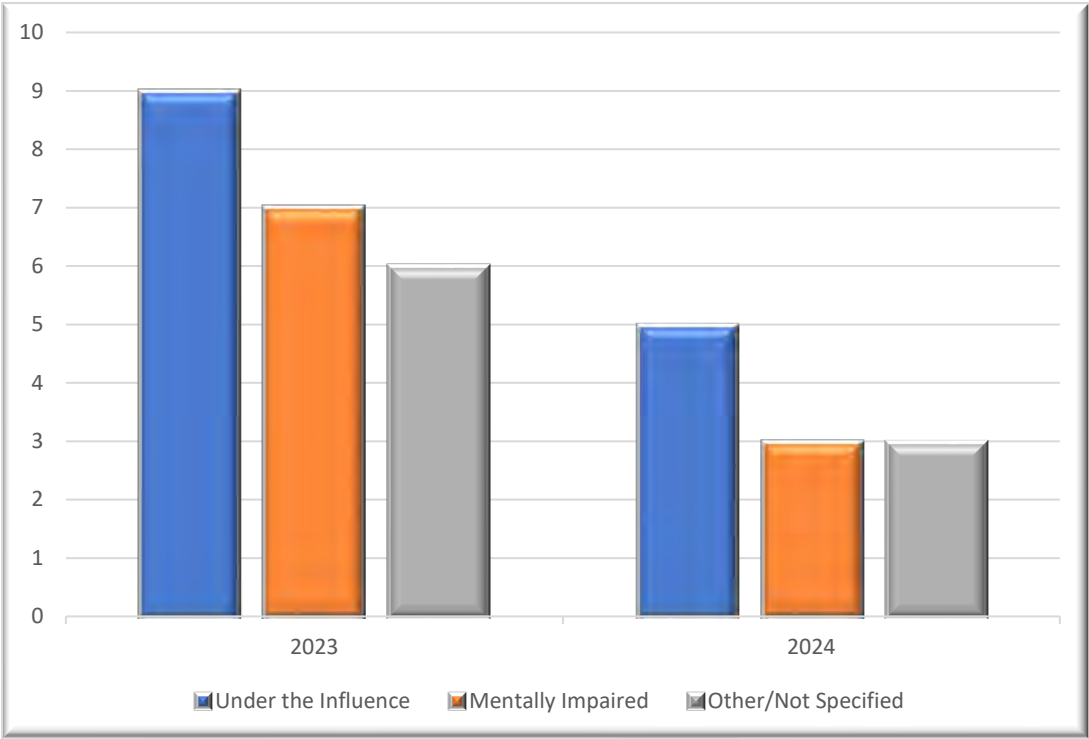
The following charts and table show that minorities and males were involved in use-of-force incidents at rates higher than their population percentages. It should be noted that 47% of subjects involved in use-of-force incidents were not residents of North Liberty. It is also worth noting that some subjects were involved in multiple use-of-force incidents during the review period, and the subject’s demographic data is entered each time an officer files a report.



NLPD Use of Force Subjects Population Percentage	North Liberty Population Percentage (city-data.com, 2022)
White/Caucasian: 44%	White/Caucasian: 79.1%
Black: 44%	Black/Two or More Races: 10.7%
Hispanic: 12%	Hispanic: 5.9%
Male: 88%	Male: 51.3%
Female: 12%	Female: 48.7%
Average Age: 27.35 Years	Average Age: 33.2 Years

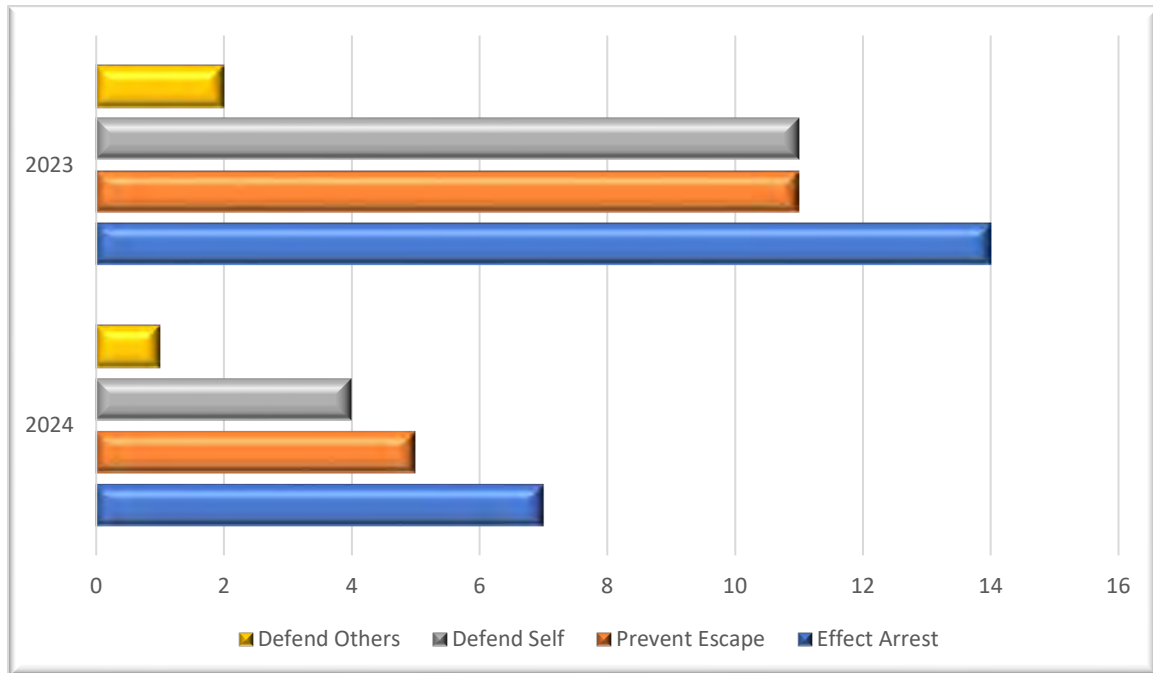
State of Subjects

The use of force report form contains a required field for the officer’s perception of the subject’s condition. Officers are allowed, but not required, to identify a secondary condition. Roughly half of the incidents recorded two subject conditions, with the most common combination being under the influence and mentally impaired. All entered data was used to compile the following graph. For these reasons, the total numbers in this table are higher than the total of use-of-force incidents.



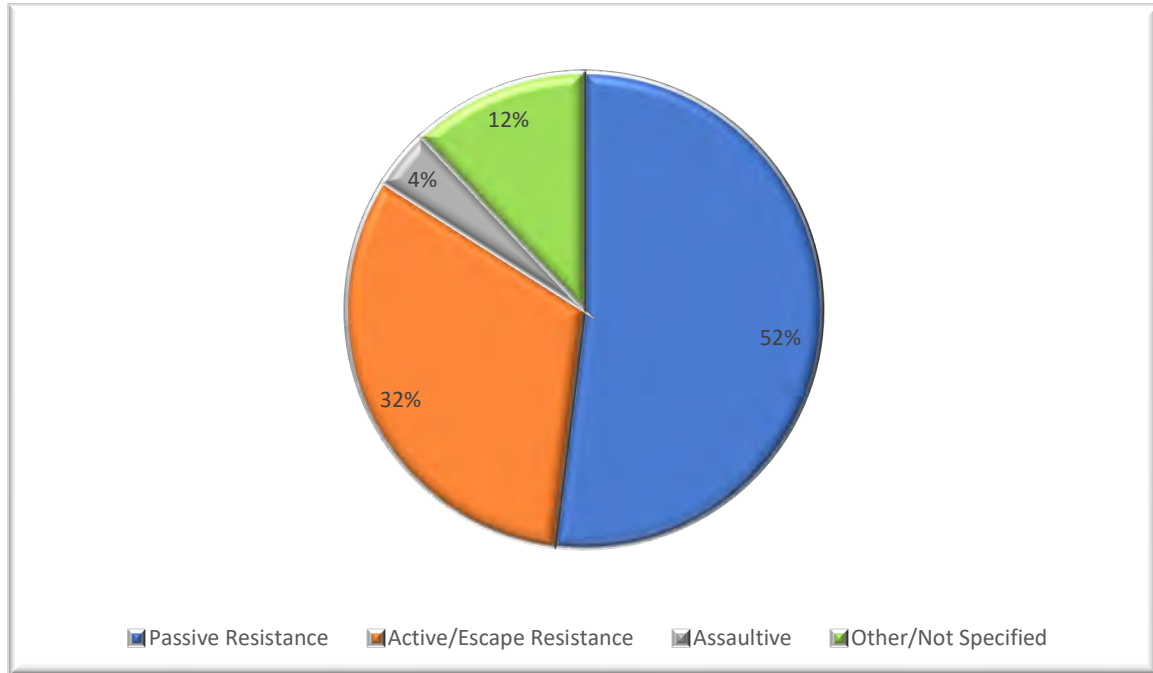
Reasons for Use of Force

The use of force report requires officers to list the reasons for the force used. While not required to identify more than one reason, officers are allowed to list up to six. The majority of incidents listed three reasons, and these were the data used to compile the following table. Note that “defend others” includes other officers, bystanders, victims, and the subjects from self-harm.



Perception of Subject Actions

The use of force report requires the involved officers to record their perceptions, up to three, of the subjects' actions and resistance during the use-of-force incident. The majority of incidents recorded one perception. Incidents with a secondary or tertiary perception mostly listed active/escape resistance. Only the primary perception was used to create the following chart.

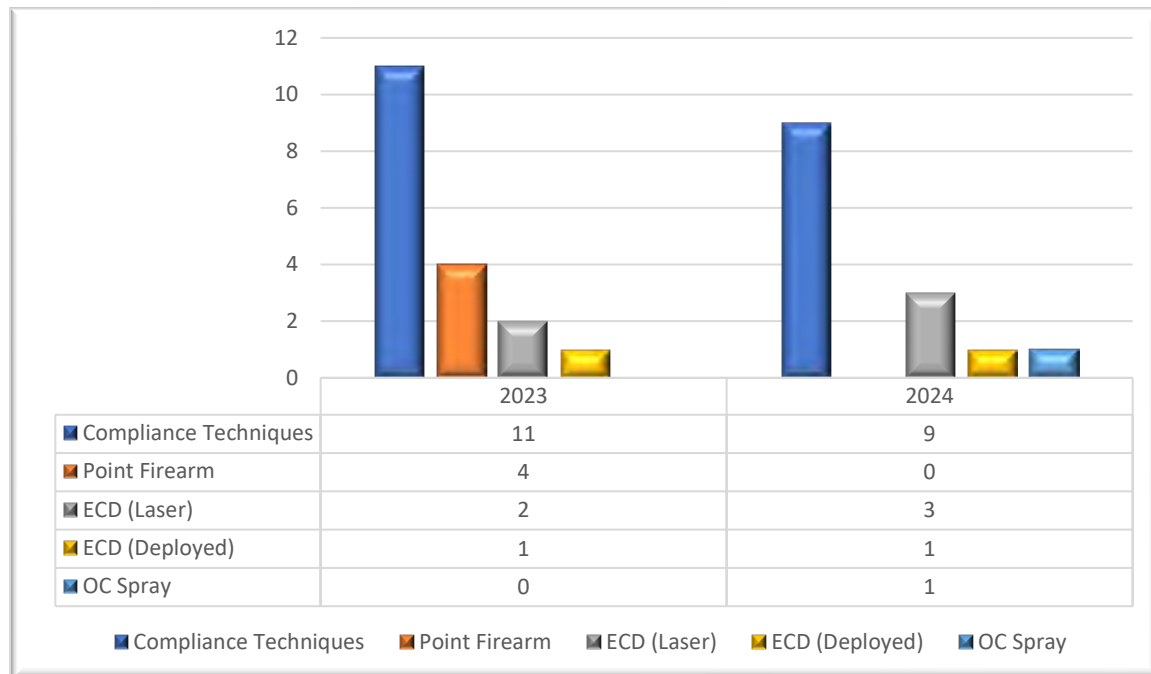


Types of Force Used

The use of force report requires officers to list the types of force used during an incident. Each officer who used force must fill out a separate form and the final report will contain forms and statements from every officer involved in the incident. As an example, one officer might point an electronic control device (ECD) at a subject while a backup officer points a firearm at the same subject. This incident will result in two entries for the use of force statistics; one for ECD (Laser) and one for Point Firearm.

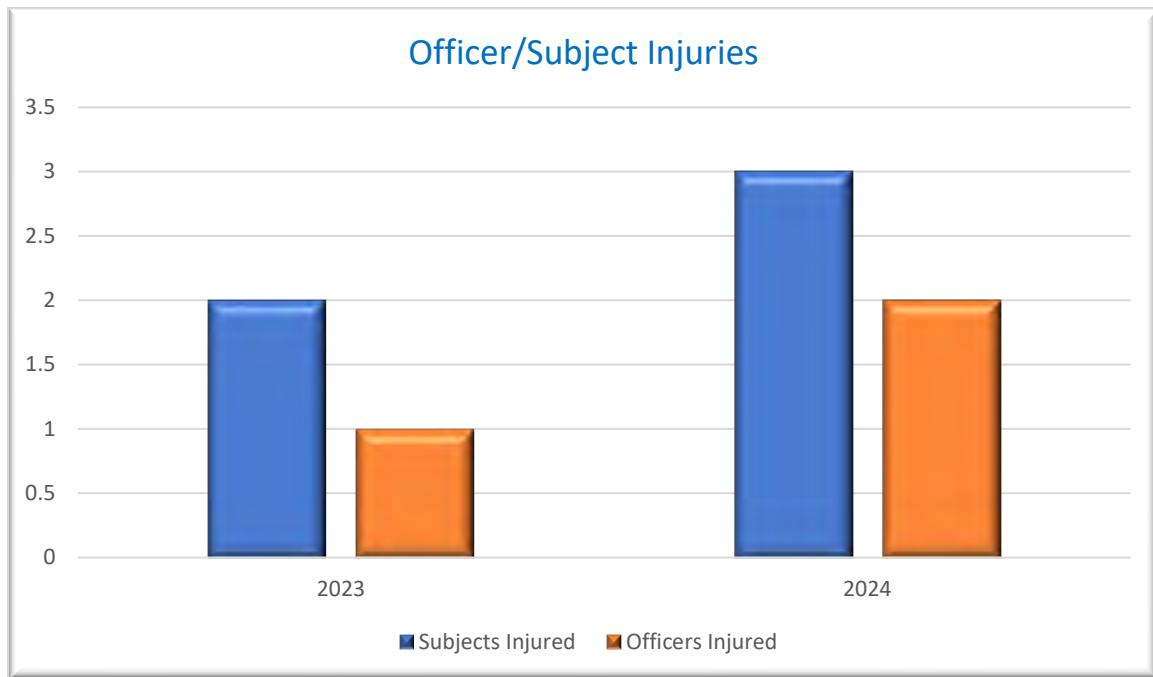
Additionally, an officer might use a variety of force options in a single incident, each of which must be recorded. For instance, an officer might attempt to effect an arrest with compliance techniques, and then transition to an ECD deployment. Like the example above, this incident will also result in two entries for the use of force statistics; one for Compliance Techniques and one for ECD (Deployed). For these reasons, the numbers in the following graph are higher than the total number of use-of-force incidents.

NLPD officers did not utilize impact weapons, canine bites, vehicle pursuits, stop sticks, or deadly force during the review period.



Injuries

5 subjects and 3 officers reported injuries during use-of-force incidents, meaning 32% of use-of-force incidents resulted in injury to the subject, an officer, or both. All but one of the reported injuries were minor, most commonly bruises, scrapes, abrasions, complaints of pain and minor wounds from ECD probes. The serious injury during the review period involved an impaired driving call during which an intoxicated subject resisted arrest and injured an officer's shoulder. NLPD's injury rate is consistent with national averages according to the National Institute of Justice (2011). Remember that there is considerable variance in reporting practices among law enforcement agencies.



Conclusion

NLPD officers use force at a much lower rate than national averages, and the last two years show a marked decline from the previous five years. A possible explanation for this fact could be that NLPD officers make discretionary decisions to limit or avoid using force when possible, including utilizing de-escalation tactics and crisis intervention techniques (CIT) when feasible. When force is used, injury rates are consistent with national averages, possibly reflecting the realities of the inherent dangers of use-of-force incidents. The disparate representation of males and minorities in use-of-force incidents is consistent with national trends and should be included in broader conversations about law enforcement and racial issues.



To **Park & Recreation Commission Board Members**
CC **Mayor, City Council, City Administrator**
From **Shelly Simpson**
Date **June 2, 2025**
Re **Monthly Report – May 2025**

The month of May is a busy month of getting ready for outdoor pool operations. We filled the outdoor pool, to find some gutter cracks that needed repair. This repair work, cure time, then chemical treatment and staff training delayed opening. Along with a poor weather forecast, we did not open on Memorial Day Weekend. The outdoor pool did open the following weekend, May 31st and regular summer hours begin once school is out for summer. Summer programs began this month and two City Slate events held were Remarkable Rigs and the Playground Crawl.

Recdesk Database:

Reviewing Recdesk, we have 16,268 residents (58%) and 11,923 non-residents (42%) totaling 28,191 individuals. Increase of 350 from last month.

Aqua Programs:

Aqua classes enrollment: Aqua Boot Camp (4), Aqua Dance Fusion (-0-), Aqua Zumba (3), Arthritis MWF (15), Arthritis T TH (15), Easy Does It (20), Water Resistance (-0-) totaling 57, plus drop-ins. Aqua Program/Class revenue totaled \$ 1,679.

Swim Lessons:

Swim lessons will begin in June, enrollment numbers will be provided next month.
Level 1 (-0-), Level 2 (-0-), Level 3 (-0-), Level 4 (-0-); Level 5 (-0-); Level 6 (-0-); Parent Tot (-0-); Privates (-0-); Tadpoles (-0-) totaling -0- participants.
Rec Swim Team has (-0-) participants.
Lifeguard Class had (6) participants.
Revenues totaled \$9,926.

Leagues/Sports:

Pee Wee Baseball: (35) participants.
Adult Pickleball: (8) participants.
More programs begin next month.
Sport/Leagues revenues totaled \$ 5,390.

Recsters BASP Program:

BASP has AM (20) and PM (48), averaging (68) kids per month.
Summer Camp Weeks begin next month.
BASP revenues this month totaled \$ 15,455.

Classes/Programs:

Tippi Toes Dance begins next month.

Baby Ballet (-0-), Ballet Tap Jazz (-0-), Poms Hip Hop (-0-), Tippi Pro (-0-), Toddler & Me (-0-); totaling 0 participants.

Aerobics Classes: Body Blast (6), Total Body Sculpt (3), Zumba (5), Vinyasa Yoga (1) & Integrative Yoga had drop-ins only, totaling 15 registered, plus drop-ins.

Matter of Balance Class (15) and Qigong Movement Class (8) totaled 23 participants. These programs are in cooperation with Iowa City Senior Center.

Jiu-jitsu (1), Taekwondo (-0-), Taiji (3) totaled 4 participants.

Connection Luncheons served (174) meals this month, averaging (35) participants per date.

Classes/Programs revenue totaled \$ 7,893.50.

Special Events/Programs:

Two City Slate Events were held this month: Remarkable Rigs and Playground Crawl.

Pools: The outdoor pool opened for the season on May 31 from 12-3pm & June 1 from 12-4:30pm before closing due to clarity issues. Normal summer hours begin June 6.

This month, Season Pool Pass revenues totaled \$6,941.25; Daily Pool Fees totaled \$3,562; Pool Rentals totaled \$1,600 and Concessions revenues totaled \$399.

Weight & Exercise Area / Track:

Weight fee revenues totaled \$12,614.46; Split membership revenues totaled \$10,277.87

We had 3,854 active memberships for the month.

We had 1,574 point of sale transactions for the month.

Rentals:

Gymnasium Rental revenues totaled \$3,756.67, Community Center Rental revenues totaled \$12,450.75, Shelter rental revenues totaled \$550, Field Rental/Tennis/PB Courts revenues totaled \$6,796.

Revenues:

Other revenues showing on Recdesk report are Pet Licenses (\$350) and Dog Park Pass revenue (\$240) as we are assisting CH with credit card transactions through our software system.

Revenue for May, 2025: totaled \$100,375.

Additional Reports: Recdesk Monthly Revenue, Dashboard Summary, Membership Summary and Organizational Activity.

2025-May-31 01:59:51.565 PM



2025-Jun-01 01:36:51.156 PM



Revenue By Period - GL Account Summary

Start Date: 5/1/2025 12:00 AM End Date: 5/31/2025 11:59 PM
Payment Methods: CA, CK, CC, IC, EC, CR
User(s)/Cashier(s): - All -

Regular Revenue

DEBITS										CREDITS		
**Gross	**Net	Cash	Check	CC (Gross)	CC (Net)	ACH (Gross)	ACH (Net)	Internal CC	Acct Credit	Other	Refunds	Other
000 - Household Credit Account												
393.50	393.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	835.25	0.00	-441.75
001-0000-4180 - CH - Pet Licenses												
350.00	339.50	0.00	0.00	350.00	339.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-0000-4180-02 - CH - Dog Park Passes												
240.00	232.80	0.00	0.00	240.00	232.80	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-0000-4310-01 - Pool Rentals												
1,600.00	1,547.50	0.00	0.00	1,750.00	1,697.50	0.00	0.00	0.00	0.00	0.00	-150.00	0.00
001-0000-4310-02 - Community Center Rentals (Room Rental)												
12,450.75	12,319.35	275.00	7,846.25	4,379.50	4,248.10	0.00	0.00	0.00	50.00	0.00	-100.00	0.00
001-0000-4310-03 - Gymnasium Rentals												
3,756.67	3,643.97	0.00	0.00	3,756.67	3,643.97	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-0000-4310-04 - Shelter Rental												
550.00	533.50	0.00	0.00	550.00	533.50	0.00	0.00	0.00	0.00	0.00	0.00	0.00
001-0000-4310-05 - Field Rentals/Tennis Courts												
6,796.00	6,681.94	0.00	0.00	3,802.00	3,687.94	0.00	0.00	2,994.00	0.00	0.00	0.00	0.00
001-0000-4500-10 - Weight Fees												
12,614.46	12,290.46	1,890.00	0.00	10,800.00	10,476.00	0.00	0.00	0.00	36.00	0.00	-111.54	0.00
001-0000-4500-11 - Class/Programs												
7,893.50	7,671.75	872.00	0.00	7,391.25	7,169.50	0.00	0.00	0.00	120.25	0.00	-490.00	0.00

Start Date: 5/1/2025 12:00 AM
End Date: 5/31/2025 11:59 PM

End Date: 5/31/2025 11:59 PM

Payment Methods: CA, CK, CC, IC, EC, CR

User(s)/Cashier(s): **-All-**

**** Difference between GROSS and NET calculation is that NET uses CC (Net) value instead of CC (Gross) value**

Sales Tax

Dashboard Summary: May 2025

Today is Monday, June 2, 2025

HomeRecent RegistrationsRecent ReservationsRecent MembershipsRecent MembersCRM+

Time Period: Last 30 Days

Top 5 Programs - Registrations

Program	Registrations
BASP May PM	50
Connections Lunch 2025 05/16	25
BASP May AM	25

Top 5 Programs - Revenue

Program	Revenue
BASP May PM	\$10,000
Summer Outdoor	\$2,500
Soccer-Hy...	\$1,500

Total Program Registrations603

Online352

In-house (In Person)251

Total Receipts\$111,286.04

RecDesk Credit Card\$93,202.79

Check\$7,796.25

Cash\$6,863.50

Internal Credit Card\$2,994.00

Household Credit\$429.50

Refunds\$7,876.29

Invoices - Balance Due

Open:\$115,456.58

Overdue:\$10,297.50

Alerts & Notices

Membership Counts; May 2025:

Membership Counts (By Period)

Time Range

Last Month

From Date

5/1/2025

To Date

5/31/2025

Summary By Month

	May, 2025
New Primaries	295
All New	433
Primary Renewals	102
All Renewals	137
Active Primaries	2672
All Active	3854

Organization Activity; May 2025:

Organization Activity

From 5/3/2025 to 6/2/2025

	Registrations	Reservations	Memberships	Check-Ins	Profiles Created	POS Transactions
All	602	114	603	6579	301	1574
Resident	385	80	464	4436	147	
Non-Resident	217	34	139	2143	154	
No Residency Set	0	0	0	0	0	
Demographics						
< 18	446	0	208	876	97	
18 - 65	42	110	320	3634	189	
65+	114	4	75	2069	15	
Male	298	39	347	4305	146	
Female	304	73	255	2273	154	
Other Genders	0	2	1	1	1	
Online vs In-House						
Online	351	64	28	N/A	196	
In-Person	251	50	575	N/A	105	

Database Breakdown:

Residents:	16,268
Non-residents:	11,923
Total Database:	28,191
North Liberty (Residents)	16,268 (Outside city limits – 1,021)
Iowa City	2,857
Coralville	2,577
Tiffin	1,389
Solon	1,075
Cedar Rapids	670
Swisher	542
Oxford	240
Other	1,370



To **Mayor and City Council**
CC **City Administrator Ryan Heiar**
From **Street Superintendent Michael Pentecost**
Date **June 2, 2025**
Re **Street Department Staff Monthly Report for May 2025**

The following items took place in the month of **May** that involved the Street Department.

- a. Locating City Utilities (346 job tickets) ongoing
 - b. This increased 12% from May 2024
- Continued animal control services (13 responses to animal issues)
- Cemetery plot locates (2 in total)
- Sanitary Sewer
 - a. Inspection of various manhole locations
 - b. Jet/vac of sewer mains
 - c. Contractor performing manhole rehabilitation at 25 locations
 - d. 2 manholes were deemed to be unrepairable and needed to be completely replaced
- Storm Sewer
 - a. Jet/Vac of storm sewers in various locations
 - b. Sub-drain addition on Hickory St to provide sump pump connection for residents.
- Street Work
 - a. Minor pothole patching repairs in various locations
 - b. Completion of Public Works drive asphalt repairs by staff
 - c. 240th St concrete panel replacement in 2 locations by staff
 - d. N Kansas Ave panel replacement by staff
 - i. Road closed with detour route in order to make this repair
 - e. Street sweeping of the entire city has been completed
 - i. 512 miles of sweeping collected 124,000 lbs. hauled to the Iowa City Landfill costing \$3,200
- Construction Plan Review team meeting to evaluate and discuss the most recent submitted plans
- Staff conducted monthly safety inspections for all street equipment and buildings
- Staff training
 - a. Avoiding being struck by Hazards by IAMU
 - b. Trenching and Shoring by IAMU
 - c. Confined Space Safety by IAMU
 - d. 2 staff attended MUTCD (Manual on Uniform Traffic Control Devices) updated version by LTAP

- Assisted Pool/REC staff on finding water loss location in outside pool
- Mowing of ROW and easement locations
- Remarkable Rigs Event
 - a. Staff set up and removed traffic control for event as well as participated
- Tree cleanup after hours on North Stewart St Friday 5-16 when high winds took down large tree that blocked the road
- Service work and repairs performed on several pieces of equipment
- Sign repairs and installation in various locations
- Traffic Signal maintenance and repairs in various locations
- The Traffic Controls Committee discussed most recent requests from the public and provided feedback
- Monthly warning siren tested in all 8 locations
- North Liberty Road Trail Project
 - a. Bi-monthly progress meetings
- Ranshaw Way Phase 6 meeting with City staff and Shive Hattery to work on design
- Jasper Ave/W Forevergreen Rd roundabout meetings with City staff and Shive Hattery to work on design
- I380/Penn St bridge project
 - a. Weekly progress meeting



Tree blocking N Stewart St



240th St repair location



240th St repair prepared for repair



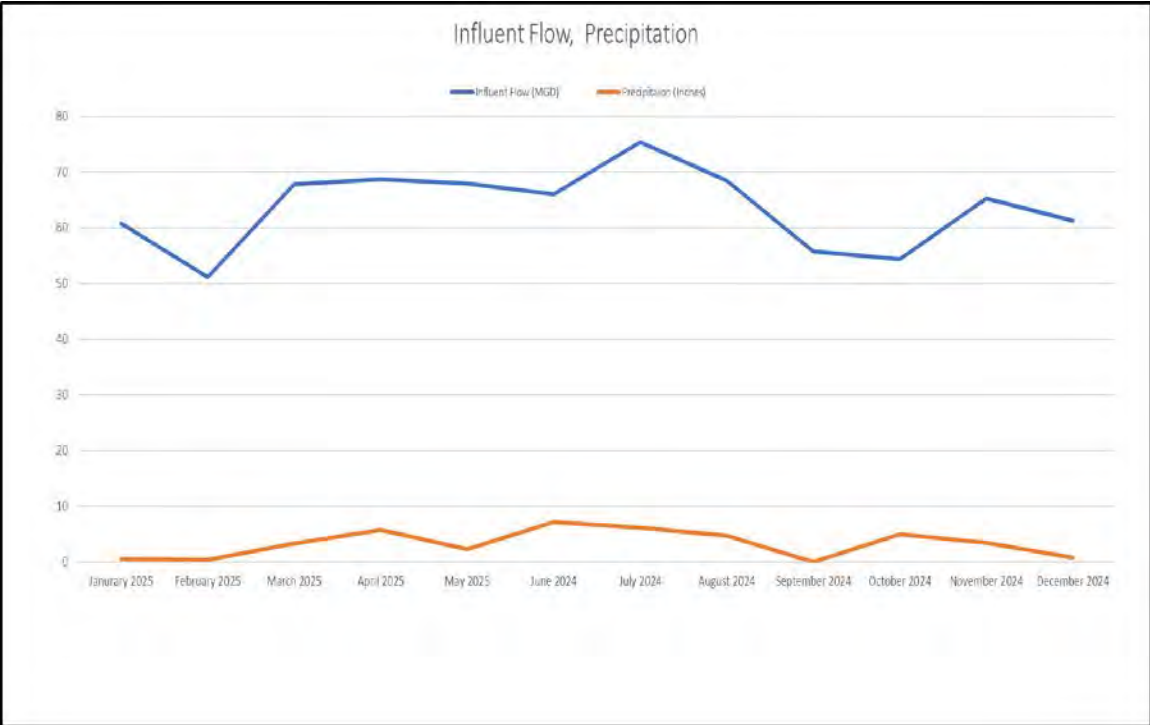
N Kansas Ave location during repair process



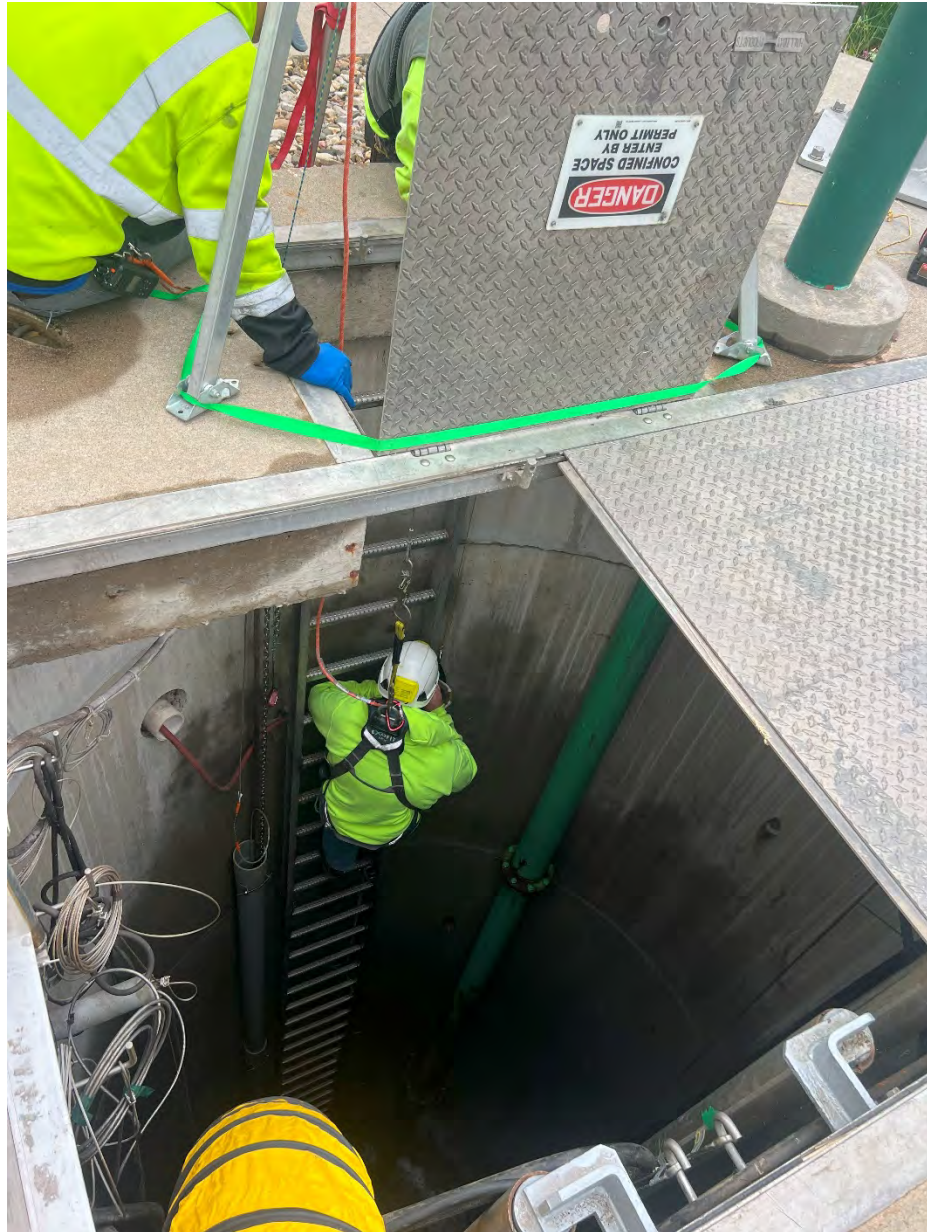
To **City Council, Mayor, and City Administrator**
From **Drew Lammers**
Date **June 1, 2025**
Re **May 2025 Water Pollution Control Plant (WPCP) Report**

1. All scheduled preventative maintenance at the plant and lift stations were completed. **137 work orders** were completed throughout May. Staff performed preventative maintenance on all submersible mixers throughout the treatment tanks. They also diagnosed and repaired an issue with the south digester motor starter. A touch-screen panel-view for a PLC was also replaced for the dewatering system.
2. This month's staff safety meeting topic was Trenching and Shoring. Staff completed target solutions training online and reviewed the training topic as a group. WPCP performed 2 permit required confined space entries. One was for repairs to the equalization basin return valve in an underground valve pit and the second was for plumbing repairs to the oxygen generator inside the North Liberty Rd. Lift Station wet well. Both entries were successful repairs, and the equipment was returned to operation.
3. Operations and Lab completed all monthly sample results and reports. Monthly Influent Flow Avg. was **2.19 MGD**. **1.258 MG** of solids were wasted from biological tanks to digesters during May.
4. Spring recovery cleans were completed for all 4 membrane trains. Staff thoroughly drained and washed each membrane cassette between overnight chemical soaks with citric acid and then chlorine. All membranes looked good and key performance indicators proved effective recovery cleans.
5. Staff completed lift station flushing and cleaning of the wet wells along with inspection of the pumps and level detection equipment. Most stations seemed normal for this preventative maintenance. There was one area where a lot of sand and silt was pumped from the bottom of the wet well so we will do a follow up inspection of this station and surrounding collection system.
6. Mowing, trimming, and landscape maintenance continues at the plant and lift stations.
7. WPCP gave tours to 2 fourth grade groups of Van Allen Elementary Students. Approximately 40 total students and teachers attended.

Drew Lammers - WPCP Superintendent



Confined Space Entry – NL Rd. Lift Station





To **North Liberty Mayor and City Council Members**
CC **City Administrator Ryan Heiar**
From **Water Superintendent Greg Metternich**
Date **June 3, 2025**
Re **Monthly Report – May 2025**

In the month of May, we treated a total of 51,900,000 gallons of water, our average daily flow was 1,674,000 gallons, and our maximum daily flow was 2,331,000 gallons. The total amount of water used in the distribution system was 22.97% (11,921,000 gallons) higher than in May 2024.

We have had a busy month with 9,511 accounts read, 102 re-reads, 164 service orders, 173 shut-off notices delivered, 39 shut-offs, 37 re-connects for water service, 15 new meter set inspections, 13-meter change outs, 45 MIU change outs, assisted 36 customers with data logging information, 70 calls for service, and 1 after hour emergency calls. Our monthly total service work averaged 38 service orders per day.

Two of the new meter reading collectors are up and running. While we only have half of the collectors installed, we're able to read about 83.3% (7,892 meters) of the entire system. The new collectors read meters and store the data multiple times throughout the day. The readings are then stored for two years. The remaining equipment will ship to us after July 1st. Staff training has also been completed to ensure smooth and sustained operation.

Our maintenance staff continue flushing fire hydrants as part of our routine system upkeep to ensure water quality and proper hydrant function. Currently they've flushed 1,284 hydrants, have 249 remaining and found two that need repairs.

An emergency water line repair was made to an eight-inch water line running from the cartridge filter housing to the high service booster pump on R/O train number two. This maintenance addressed a significant leak that could have compromised the plant's ability to produce potable water. The repair process involved isolating the affected section of the water line, draining the system, removing damaged components, and replacing them with new materials to restore full functionality.

Staff finished repairing several different excavation sites, they hauled black dirt, did some small grading work, and seeded the areas.

Water Superintendent
Greg Metternich

**Planning Commission**

June 3, 2025

Council Chambers, 360 N. Main Street

Call to Order

Chair Amy Yotty called the Tuesday, June 3, 2025, Planning Commission to order at 6:30 p.m. in the Council Chambers at 360 N. Main Street. Commission members present: Josey Bathke, Sheila Geneser, Jason Heisler, Valerie Ward, Dave Willer, Amy Yotty; absent: Barry A'Hearn.

Others present: Ryan Heiar, Ryan Rusnak, Grant Lientz, Tracey Mulcahey, Josiah Bilskemper, and other interested parties.

Approval of the Agenda

Heisler moved, Willer seconded to approve the agenda. The vote was all ayes. Agenda approved.

Public Comment

No public comments were offered.

Hyper Energy Bar LLC Preliminary Site Plan*Staff Presentation*

Rusnak presented the request of Hyper Energy Bar LLC to approve a Preliminary Site Plan for a 1,000 square foot commercial building with drive throughs and related infrastructure on approximately .73 acres. The property is located at the northeast corner of Ranshaw Way and Sara Court (1695 Jordan Street). Staff recommends the Planning Commission accept the listed finding; the preliminary site plan would achieve consistency with the approval standards enumerated in Section 165.05(2)(E) of the Zoning Code; and forward the request to approve a Preliminary Site Plan for a 1,000 square foot commercial building with drive throughs and related infrastructure on approximately 0.73 acres to the City Council with a recommendation for approval.

Applicant Presentation

Kevin Bogert, Anderson Bogert, was present on behalf of the applicant and offered additional information on the application and the use. The Commission discussed the application with Bogert.

Public Comments

No public comments were offered.

Questions and Comments

The Commission had no questions or comments regarding the application.

Recommendation to the City Council

Willer moved, Geneser seconded that the Planning Commission accept the listed finding and forward the Preliminary Site Plan to the City Council with a recommendation for approval. The vote was: ayes – Geneser, Bathke, Willer, Heisler, Yotty, Ward; nays – none; absent – A'Hearn. Motion carried.

Zoning Code Ordinance

Staff Presentation

Rusnak presented the request of the City of North Liberty for an Ordinance amending the North Liberty Code of Ordinances Chapter 165 governing zoning map amendments, Chapter 168 governing the use matrix table and uses defined and use standards and Chapter 169 governing accessory structures and uses. Staff recommends the Planning Commission accept the listed finding; the proposed amendment would achieve consistency with Section 165.09 of the Zoning Code; and forward the request for Ordinance amendment to the City Council with a recommendation for approval.

Public Comments

No public comments were offered.

Questions and Comments

The Commission had no questions or comments on the application.

Recommendation to the City Council

Heisler moved, Willer seconded that the Planning Commission accept the listed finding and forward the Ordinance amendment to the City Council with a recommendation for approval. The vote was: ayes – Yotty, Bathke, Heisler, Willer, Ward, Geneser; nays – none; absent – A’Hearn. Motion carried.

Approval of Previous Minutes

Ward moved, Geneser seconded to approve the minutes of the May 6, 2025, meeting. The vote was all ayes. Minutes approved.

Planning Updates

Rusnak presented information on Heisler’s last Commission meeting and offered thanks for his 12 years of service.

Adjournment

At 6:40 p.m., Willer moved, Heisler seconded to adjourn. The vote was all ayes. Meeting adjourned.

Signed:

Tracey Mulcahey, City Clerk



Parks & Recreation Commission Meeting Minutes
May 1, 2025, 7:00pm

Present: Shelly Simpson, Brian Motley, Tim Hamer, Richard Grugin, Shannon Greene, Nick Arnold, Kevin Smith

1. Call to Order

2. Approval of Minutes: Motion to approve April 3, 2025 minutes: Greene; Second: Smith. Approved via unanimous consent.

3. Reports

Parks Report – Tim Hamer

- Hamer referenced the submitted written report, highlights below:
- City field use is in full swing
- Completed drainage work at Penn Meadows and Owen Skelley Field
- Tree trimming and preventative maintenance completed
- Muddy Creek clean up completed
- Centennial Park and North Liberty Road Trail projects continue
- City received 30th consecutive Tree City USA designation
- Fish population survey completed by DNA at city ponds
- Vehicle removed from Goose Lake after winter accident
- Citywide clean up held
- Seasonal employee interviews complete
- There was discussion about the North Liberty Trail project and the road improvement project timeline and about parking at Penn Meadows during sports tournaments.

Recreation/Pool Report—Shelly Simpson

- Simpson referenced her written report. Highlights below:
- Registration for summer programming and camps underway
- April 2 open house was very successful with new memberships
- Several “Eggstravaganza” events held with over 800 people attending
- Staff CPR recertification held
- Aqua programs continue to perform well
- Launched new grow your own garden workshop with 30 participants
- Court rental system has moved online which has resulted in more reservations of those courts
- Outdoor pool work will fix leak and plan is to open on schedule this summer
- With Iowa City pool closure, anticipate a larger demand for the pool this summer

4. Questions, Concerns, Updates

- There was discussion about the swimming program, new senior activity program, new membership pricing model and punch pass, pool repairs, pool use/capacity this summer,

5. Community Input / Ideas to Share

6. Upcoming Events

- Remarkable Rigs - May 10
- Playground Crawl - May 17

7. New Business

8. Old Business

9. Next Meeting

a. Thursday, June 5, 2025

10. Adjourn Motion: Arnold; Second: Smith. None opposed.



KIM REYNOLDS, GOVERNOR

SCOTT MARLER, IOWA DOT DIRECTOR

IOWA DEPARTMENT OF TRANSPORTATION
DIVISION/BUREAU
5455 Kirkwood Blvd. SW
Cedar Rapids, IA 52404
319-364-0235
www.iowadot.gov

May 29, 2025

Ref: NHSN-000-T(381)--2R-00

Dear City Council:

This is official notification to your City Council that the Iowa Department of Transportation (DOT) proposes to let the project as referenced above on June 17, 2025. This project, or a portion thereof, lies within your city. This project is proposed for construction during 2025 and 2026 and will consist of a Statewide signing project at various locations on multiple routes.

The work will be done in accord with the current Form 810034 "Agreement for Primary Road Extension Maintenance and Operation". Project costs will be paid from the Primary Road Fund and no charges will be made against the city.

The contract will be administered by the Cedar Rapids Resident Construction Engineer's Office. If the City would like to be notified of the preconstruction meeting schedule, contractor's proposed work schedule, or has any other questions and/or concerns, please contact John Lamping, P.E., Resident Construction Engineer of the Cedar Rapids RCE Office by calling 319-365-6986, or by email at john.lamping@iowadot.us

We would appreciate this project notification being included on your next City Council meeting agenda as a matter of information for the Council members. If you have any questions concerning the work involved, please contact this office as soon as possible to expedite any possible changes.

Sincerely yours,

Jesse Tibodeau, P.E.
Assistant District Engineer

JLT:JWP

To: Melissa Schwan, City Clerk, City of Vinton

Karla Marck, City Administrator/Clerk, City of Marengo

Bruce Trumpold, Society Administrator, Amana Society

Russ Eimers, Utility Administrator, Amana Society

Niki Osweiler, City Clerk/Treasurer, City of Williamsburg

Sara Fricke, City Clerk, City of Williamsburg

Sarah Chmelar, City Clerk, City of Kalona

Kellie Grace, City Clerk, City of Iowa City

Thorsten Johnson, City Clerk, City of Coralville

Tracey Mulcahey, City Clerk, City of North Liberty

Abigail Hora, City Clerk, City of Tiffin



KIM REYNOLDS, GOVERNOR

SCOTT MARLER, IOWA DOT DIRECTOR

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To: Susie Siddell, City Clerk, City of Solon

Alissa Van Sloten, City Clerk, City of Cedar Rapids

Shari Hoffert, City Clerk, City of West Liberty

Leah Kolar, City Clerk, City of Shueyville

Cc: Jim Schnoebelen, P.E., Iowa DOT District Engineer, District 6

Jesse Tibodeau, P.E., Iowa DOT Assistant District Engineer, District 6

Danielle Alvarez, P.E., Iowa DOT District Construction Engineer, District 6

John Lamping P.E., Cedar Rapids Resident Construction Engineer, Cedar Rapids RCE Office

Steve Staebler, Iowa DOT Construction Tech Supervisor, Cedar Rapids RCE Office

Tammy Siebert, Iowa DOT Engineering Office Assistant, Cedar Rapids RCE Office

Tom Storey P.E., Iowa DOT Area Engineer, District 6 Office

Mark Harle P.E., Iowa DOT Area Engineer, District 6 Office